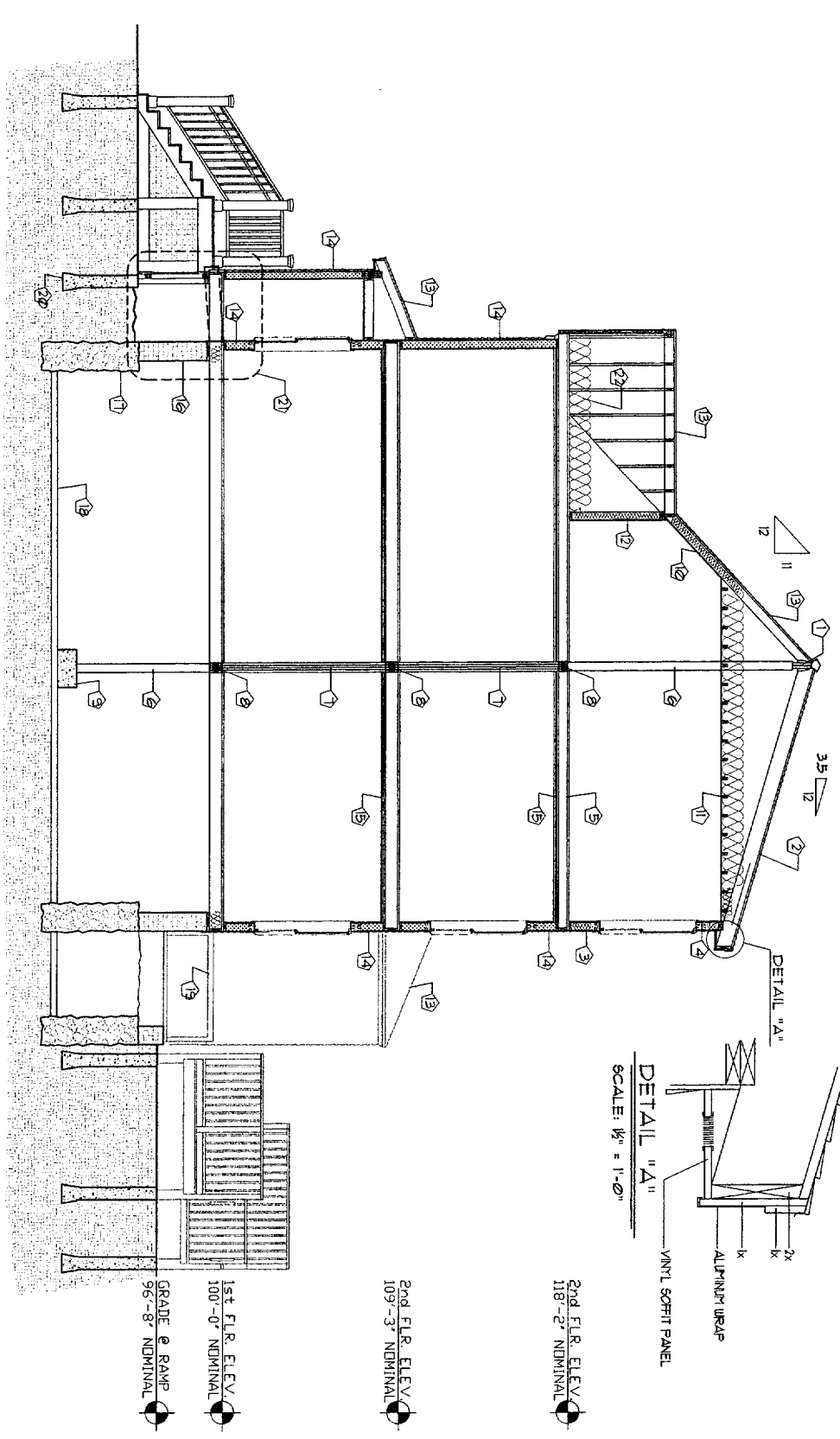
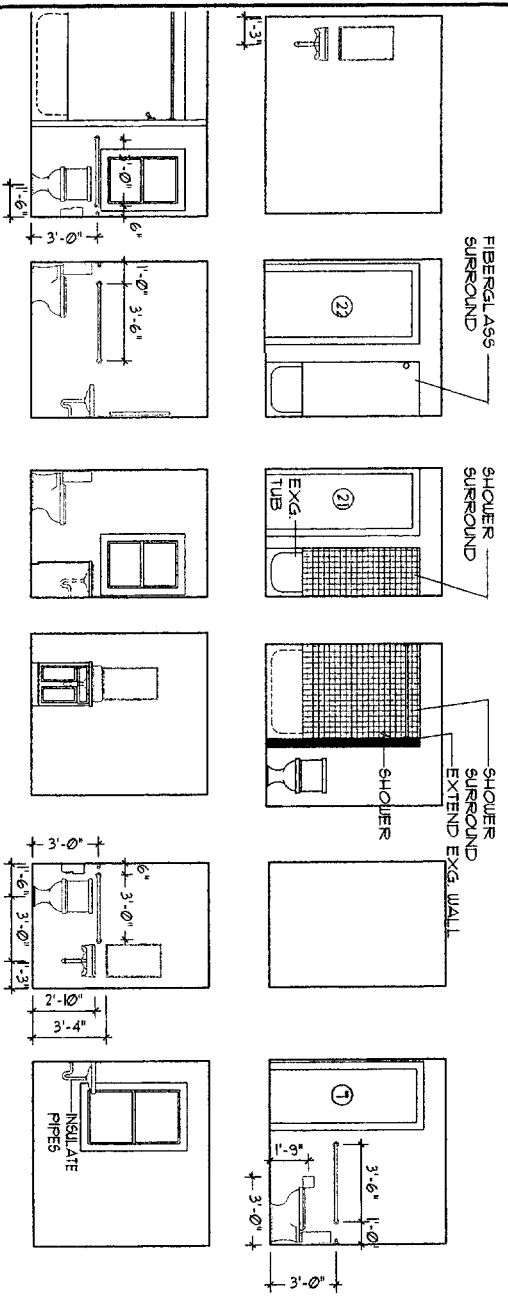
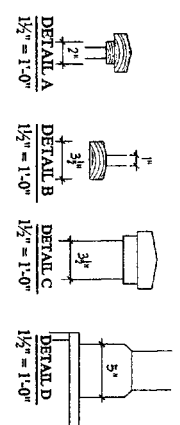


KEYED NOTES

- ① (2) 1/4" x 1 1/2" MICROLAM RIDGE BEAM;
- ② DORMER ROOF SYSTEM:
2x6 @ 16" O.C.
SIMPSON HANGER @ BEAM
SIMPSON FRAMING ANCHOR @ PLATE
3/4" APA RATED SHEATHING
1 1/2" FELT
1" @ 24" ALUM. DRIP EDGE
ICE & WATER SHIELD 6" @ EAVE
25 YEAR ORGANIC ASPHALT SHINGLES
FRIDGE VENT
SOFFIT VENT
- ③ DORMER WALL:
VINYL SIDING
BUILDING WRAP
1/2" APA RATED WALL SHEATHING
2x6 @ 16" O.C.
R19 BATT INSULATION
6 MIL VAPOR BARRIER
1/2" G.B. - PTD.
WOOD BASE - PTD.
- ④ TYPICAL WINDOW HEADER - (3) 2x8
- ⑤ THIRD FLOOR FRAMING:
1 1/2" x 5 1/2" MICROLAM - SISTER @ EA
EXISTING 2x6 FLOOR JOIST
3/4" T&G PLTWOOD STURDIFLOOR
- ⑥ 6x6 POST INSTALL SIMPSON POST
BASE & CAP.
- ⑦ (4) 2x BUILT-UP COLUMN WITHIN WALL.
- ⑧ BLOCK SOLID WITHIN FLOOR FRAMING.
- ⑨ 2'-0" x 2'-0" x 1'-0" THICK CONCRETE
FOOTING.
- ⑩ R19 BATT INSULATION.
- ⑪ THIRD FLOOR CEILING:
12" BATT INSULATION
2x6 @ 16" CEILING FRAMING
1x4 STRAPPING @ 12" O.C.
6 MIL VAPOR BARRIER
1/2" G.B. CEILING FINISH - PTD.
- ⑫ ALIGN WALL WITH EXISTING DORMER
HEADER
- ⑬ TYPICAL EXISTING ROOFING SYSTEM:
STRIP EXISTING SHINGLES/PAPER
INSPECT & REPAIR DECK AS REQ'D
INSTALL ASPHALT SHINGLES PER
MSHA TECH. SERV. STANDARD -
MARCH 3, 2003 FLASH ALL ROOF
PENETRATIONS PRIOR TO
INSTALLATION OF METAL FLASHING.
- ⑭ TYPICAL EXISTING WALL SYSTEM:
VINYL SIDING OVER EXISTING SIDING -
CERTAINTED "MAIN STREET" OR EQUAL.
BLOCK IN FIBERGLASS INSULATION TO FILL
CAVITY
6 MIL VAPOR BARRIER OVER EXISTING
PLASTER WALL FINISH
3/8" G.B. - PTD
- ⑮ TYPICAL EXISTING CEILING SYSTEM:
1x4 STRAPPING @ 12" O.C. OVER
EXISTING CEILING FINISH
1/2" G.B. - PTD.
- ⑯ EXISTING BRICK FOUNDATION -
EXTERIOR TO BE PAINTED.
- ⑰ EXISTING RUBBLE FOUNDATION
- ⑱ EXISTING CONCRETE FLOOR
- ⑲ METAL BULKHEAD.
- ⑳ 3500 PSI, 8" DIA. CONCRETE PIER (TYP.)
- ㉑ EXISTING PORCH:
SHOE EXISTING PORCH FRAMING
REMOVE EXISTING PIPE COLUMN
FOUNDATION SYSTEM
INSTALL CONCRETE PIER FOUNDATION
SYSTEM
SECURE & LEVEL PORCH FRAMING
- ㉒ 12" THICK BATT INSULATION.



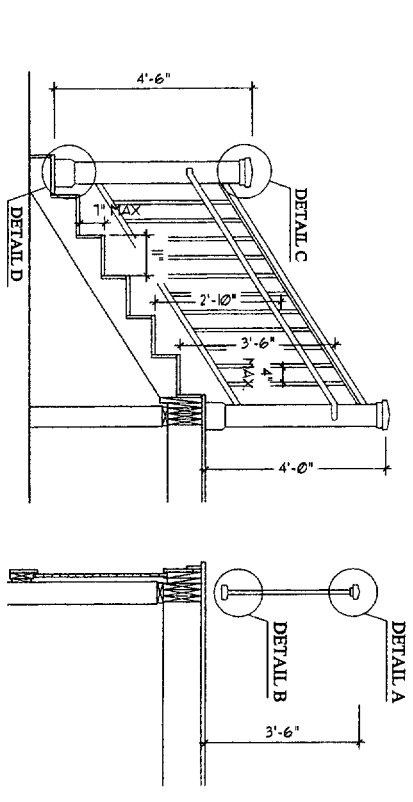
1 BUILDING SECTION
SCALE: 1/4" = 1'-0"



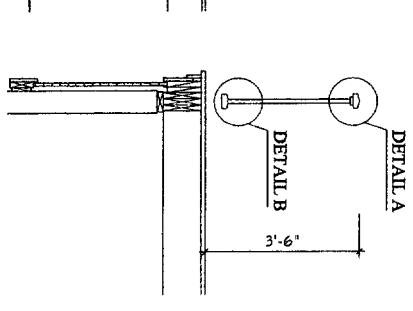
3 BATH 301 - ELEVATIONS
SCALE: 1/4" = 1'-0"

5 EXISTING BATH 208 - ELEVATIONS
SCALE: 1/4" = 1'-0"

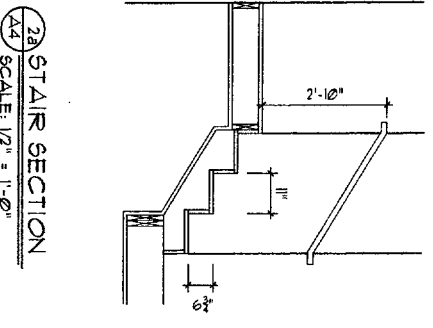
4 HC TOILET 101 - ELEVATIONS
SCALE: 1/4" = 1'-0"



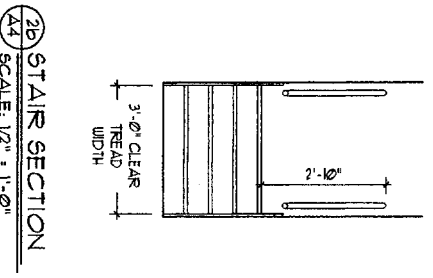
38 TYPICAL EXTERIOR STAIR SECTION
SCALE: 1/2" = 1'-0"



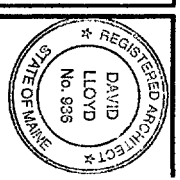
39 TYP. GUARDRAIL
SCALE: 1/2" = 1'-0"



22 STAIR SECTION
SCALE: 1/2" = 1'-0"



23 STAIR SECTION
SCALE: 1/2" = 1'-0"



OWNER
SHALOMHOUSE, INC.
PORTLAND, MAINE

ARCHETYPE, P.A. ARCHITECTS
48 Union Wharf Portland, Maine 04101
(207) 772-6022 Fax (207) 772-4056

Project:
SHALOMHOUSE
1103 FOREST AVENUE
PORTLAND, MAINE

Scale AS NOTED
Date FEB 0 4 2005
Revisions:

Drawing
BUILDING SECTION, DETAILS

A.4

THE SHALOM HOUSE

at

1103 FOREST AVENUE PORTLAND, MAINE

Index of Drawings

- Title Sheet
- SP.1 Site Plan
- A.1 Floor Plans, Roof Plan
- A.2 Exterior Elevations
- A.3 General Notes, Schedules
- A.4 Building Section, Details

Owner

Shalom House, Inc.
P.O. Box 560
Portland, Maine 04112

Architect

Archetype, P.A.
48 Union Wharf
Portland, Maine 04101

Project Description

The project consists of the renovation of an existing (3) story, wood framed house into a Residential Board and Care Facility.
The project includes (6) bedrooms, (3) baths, kitchen, living and dining areas.
The basement will include no living space.
The work includes a monitored sprinkler system and fire alarm system.

Code Review

Building Code Criteria
This code review is based on the 2003 I.B.C. code, and N.F.P.A. Life Safety Code 2003.

I.B.C.

Building Description
Residential Care Facility - sprinkled, three (3) stories, full basement.

Construction Type
5B, Combustible, Unprotected

Use Group
Residential Use Group R-2 - Residential Care Facility

N.F.P.A.

Occupancy Group
Chapter 32/33 - New and Existing Residential Board & Care Occupancies.

Facility Type (Section 32.2)
Small Facility - provides sleeping accommodation for less than 16 residents.

Means of Escape (Section 32.2.2)
Primary Means of Escape - 32.2.2.2. Primary means of escape is an interior stair in accordance with 32.2.2.4, each sleeping area to include an egress window.

Interior Stairs used for Primary Means of Escape
Section 32.2.2.4: interior stair enclosed with 1/2 hour fire rating.

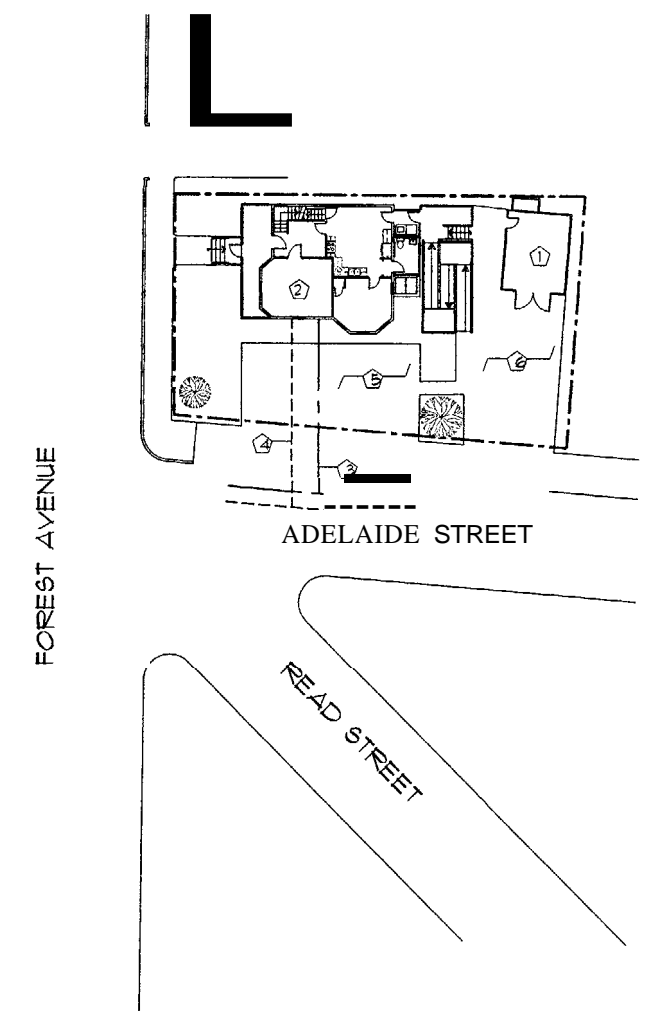
Fire Alarm System (Section 32.2.3.4.1)
Required in accordance with Section 9.6

Notification (Section 32.2.3.4.2)
Audible and visible occupant notification per Section 9.6.3.

Smoke Alarms (Section 32.2.3.4.3)
Required with 9.6.2.1 ceiling in sleeping areas, smoke alarm. Per 32.2.3.4.3 smoke alarms required at all levels, including basements.

Automatic Extinguishing System (Section 32.2.3.5)
Required.

Construction of Corridor Walls (Section 3.3.6)
Walls of 1/2



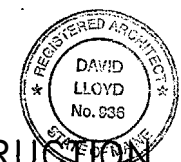
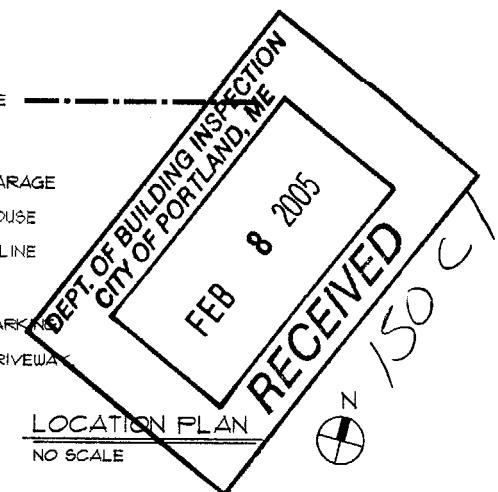
LEGEND:

PROPERTY LINE

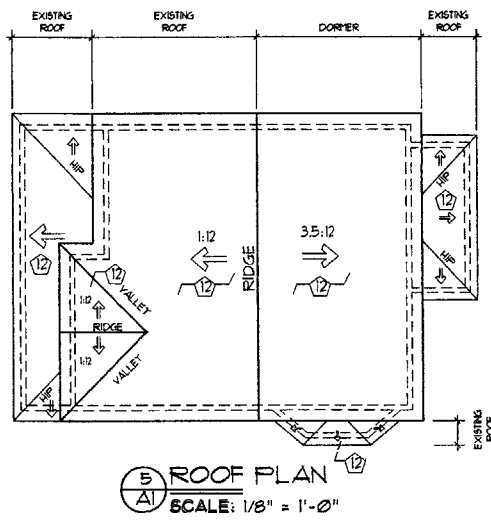
KEYED NOTES:

- ① EXISTING GARAGE
- ② EXISTING HOUSE
- ③ SPRINKLER LINE
- ④ GAS LINE
- ⑤ EXISTING PARKING
- ⑥ EXISTING DRIVEWAY

LOCATION PLAN
NO SCALE

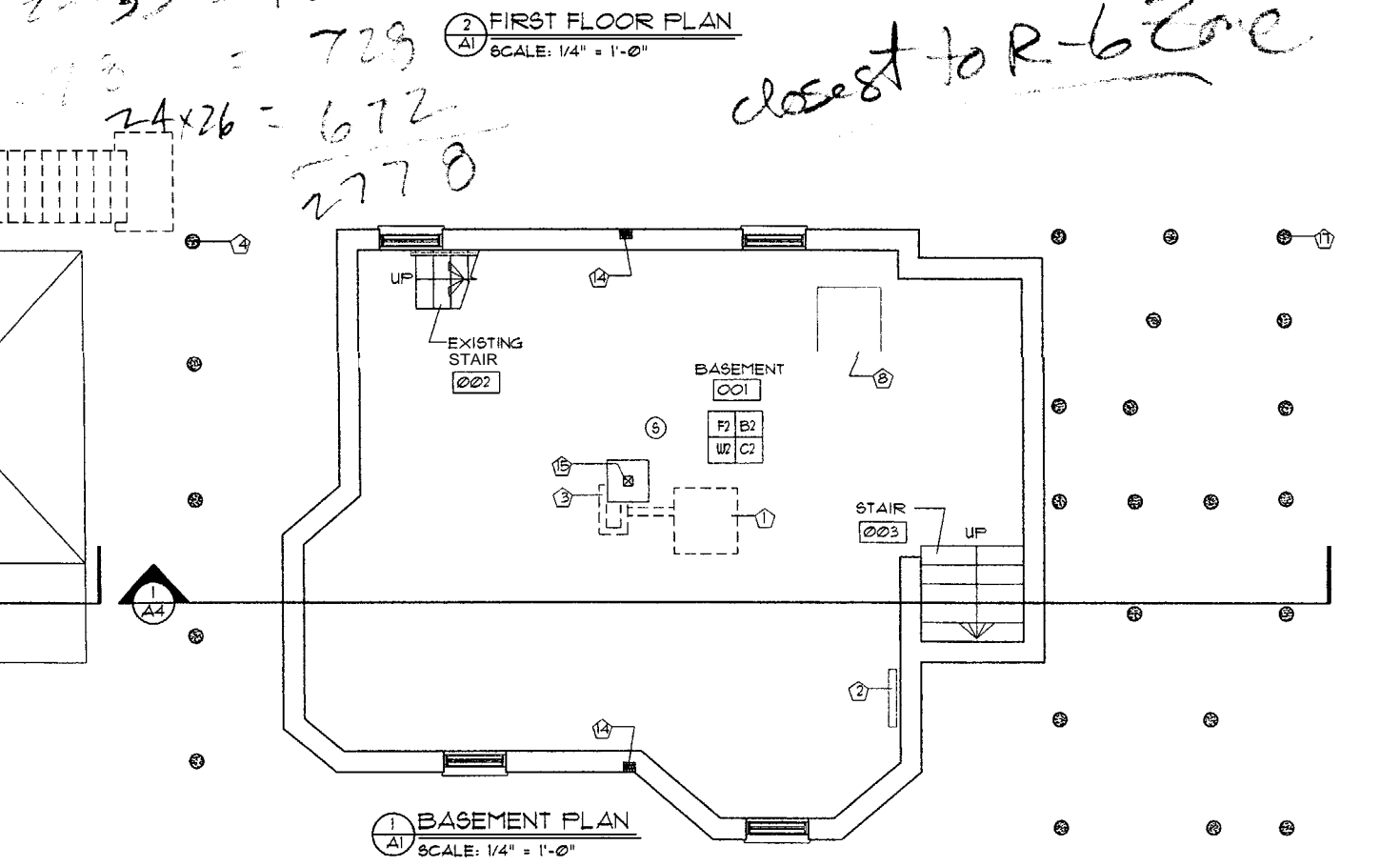
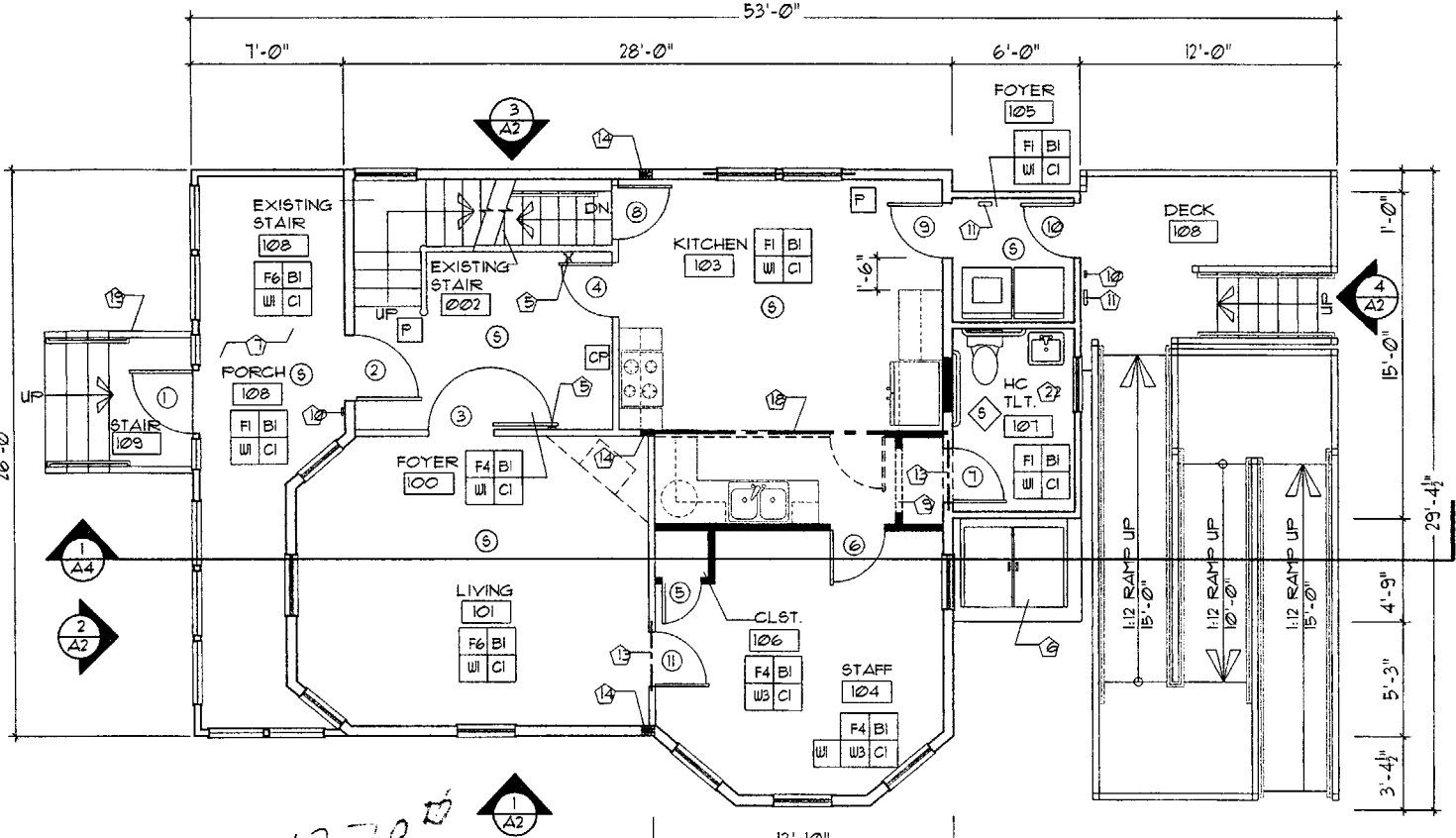
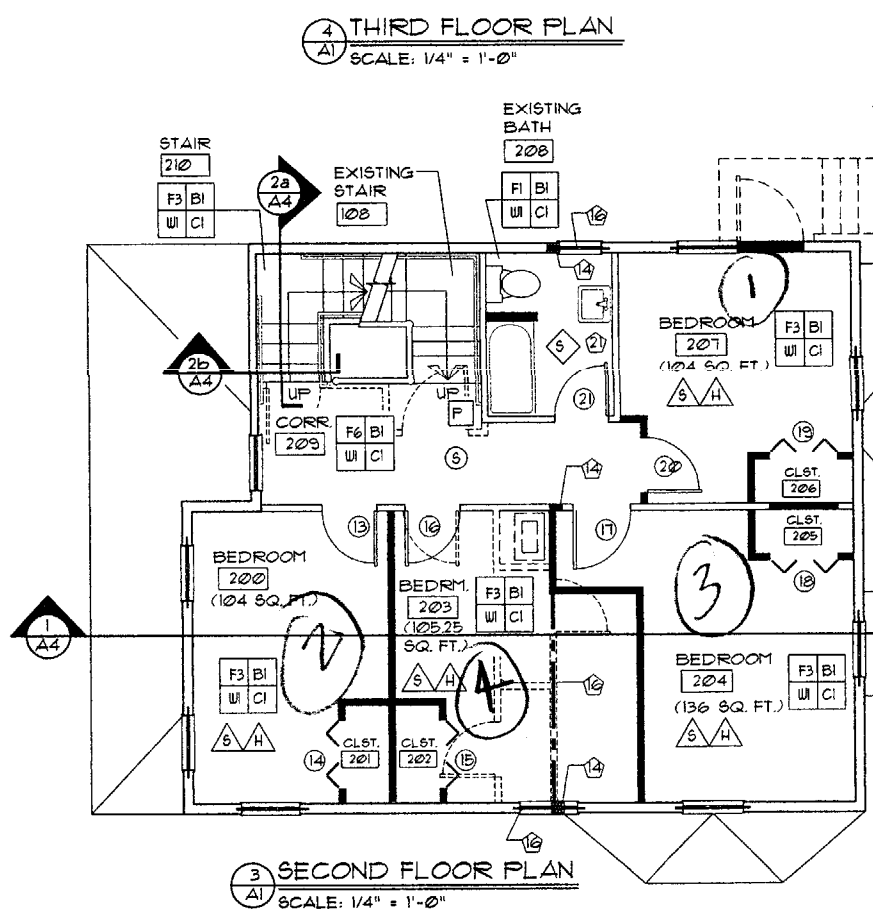
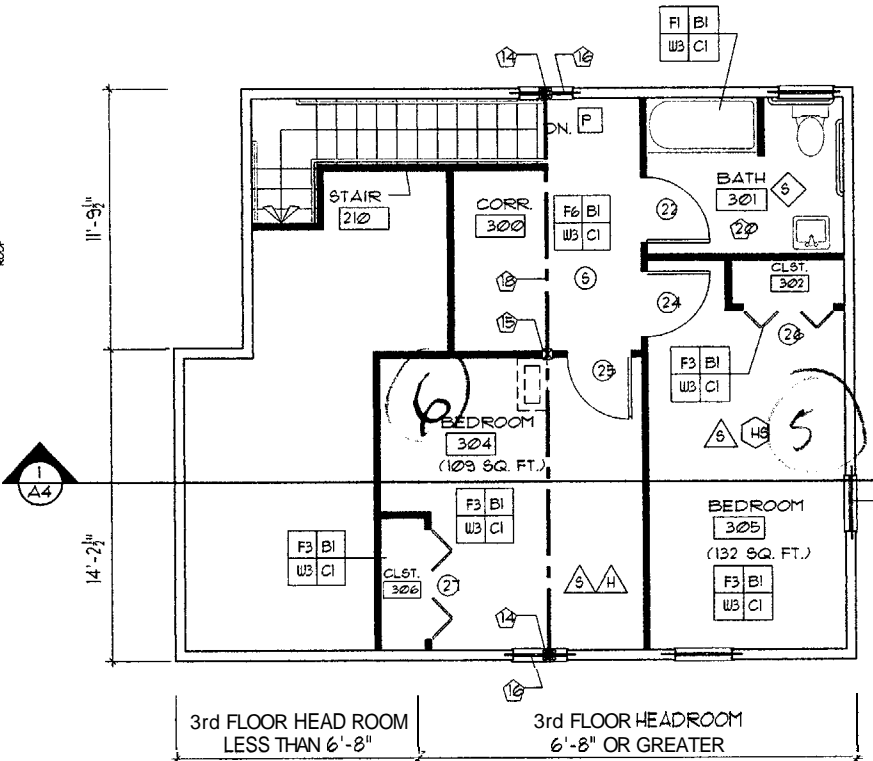


CONSTRUCTION SET
DATE: 02/04/05



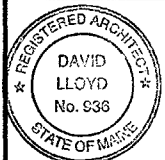
- LEGEND**
- EXISTING WALLS
 - WALLS/ITEMS TO BE REMOVED
 - NEW WALLS
 - TYPICAL: 2x4 @ 24" OC, SINGLE TOP & BOTTOM PLATE, 1/2" G.B. EA. SIDE, FTD., WOOD BASE.
 - STRUCTURAL UEADEER BEAM
 - SYSTEM SMOKE DETECTOR
 - SINGLE STATION SMOKE DETECTOR
 - UORN STROBE - 110cd.
 - STROBE - 15cd
 - HORN
 - MANUAL PULL STATION
 - FIRE ALARM SYSTEM CONTROL PANEL
 - DOOR

- KEYNOTES**
- 1) EXISTING FURNACE - TO BE REMOVED
 - 2) EXISTING ELECTRICAL PANELS
 - 3) EXISTING CHIMNEY - TO BE REMOVED
 - 4) EXISTING STEEL PIPE COLUMNS AT PORCH (TYP.) - REMOVE. INSTALL 3500 PSI. 8" DIA. CONCRETE PIER FOUNDATION AT EA. LOCATION. FIELD VERIFY LOCATIONS & QUANTITIES.
 - 5) MAGNETIC HOLDBACK - WIRED TO FIRE ALARM SYSTEM.
 - 6) METAL BULKHEAD ENCLOSURE - REMOVE EXISTING ENCLOSURE.
 - 7) EXISTING UNEATED PORCH.
 - 8) GAS FIRED FURNACE - VENTED TO OUTSIDE.
 - 9) CASSED OPENING.
 - 10) DOORBELL.
 - 11) AUTOMATIC DOOR PUSH PADDLE.
 - 12) ASPHALT SHINGLES - SEE M9-HA TECU. SERV. STANDARD, ASPHALT SHINGLES, MARCU 3, 2003.
 - 13) (3) 2x8 HEADER (TYPICAL UNO.)
 - 14) (4) 2x BUILT-UP COLUMN.
 - 15) 6 x 6 COLUMN.
 - 16) (3) 2x10 UEADEER
 - 17) 3500 PSI. 8" DIA. CONCRETE PIER FOUNDATION (TYP.)
 - 18) (2) 1 1/4" x 11 1/8" MICROLAM BEAM.
 - 19) STAIR 109 - REMOVE EXISTING STAIR REPLACE PER DETAIL 3/A4.
 - 20) BATU 301 - SEE 6/A4 INT. ELEVS.
 - 21) BATH 208 - SEE 5/A4 INT. ELEVS.
 - 22) BATH 101 - SEE 4/A4 INT. ELEVS.



22-53 = 1378
 24x26 = 672
 2778

closest to R-6 zone



OWNER:
SHALOM HOUSE, INC.
 PORTLAND, MAINE

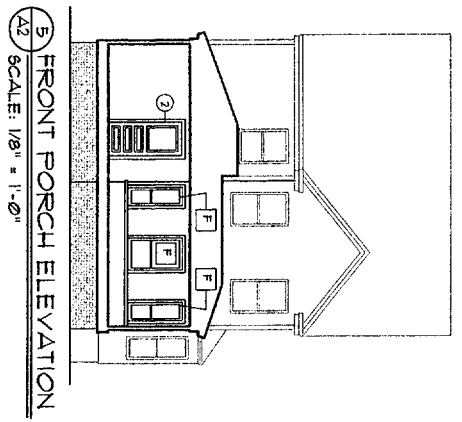
ARCHETYPE, P.A.
 ARCHITECTS
 48 Union Wharf Portland, Maine 04101
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Project:
SHALOM HOUSE
 1103 FOREST AVENUE
 PORTLAND, MAINE

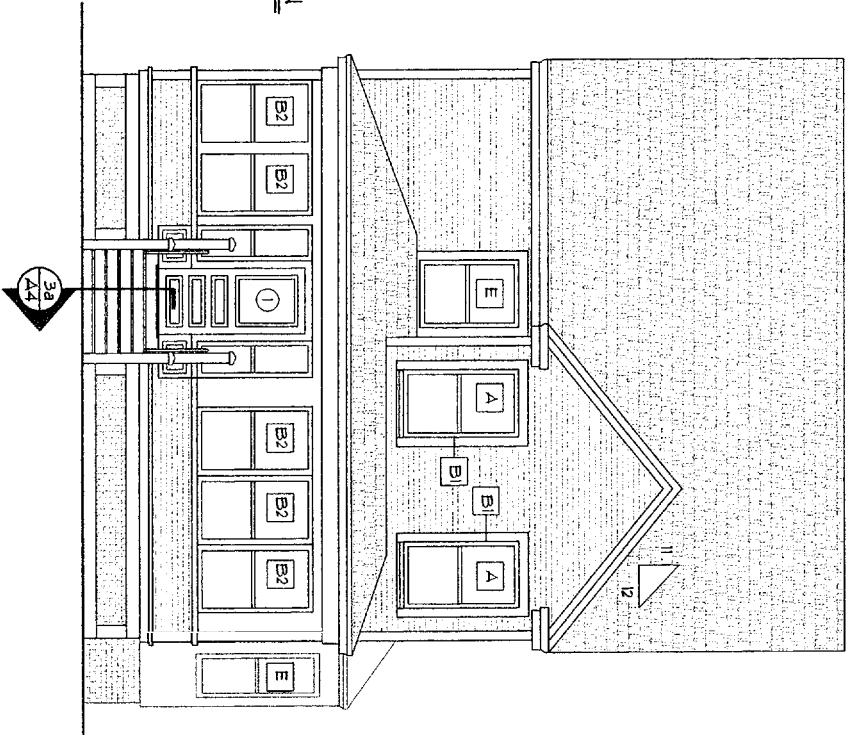
Date: FEB 04 2005
 Scale: AS NOTED
 Revisions:

Drawing:
**FLOOR PLANS, ROOF
 PLAN**

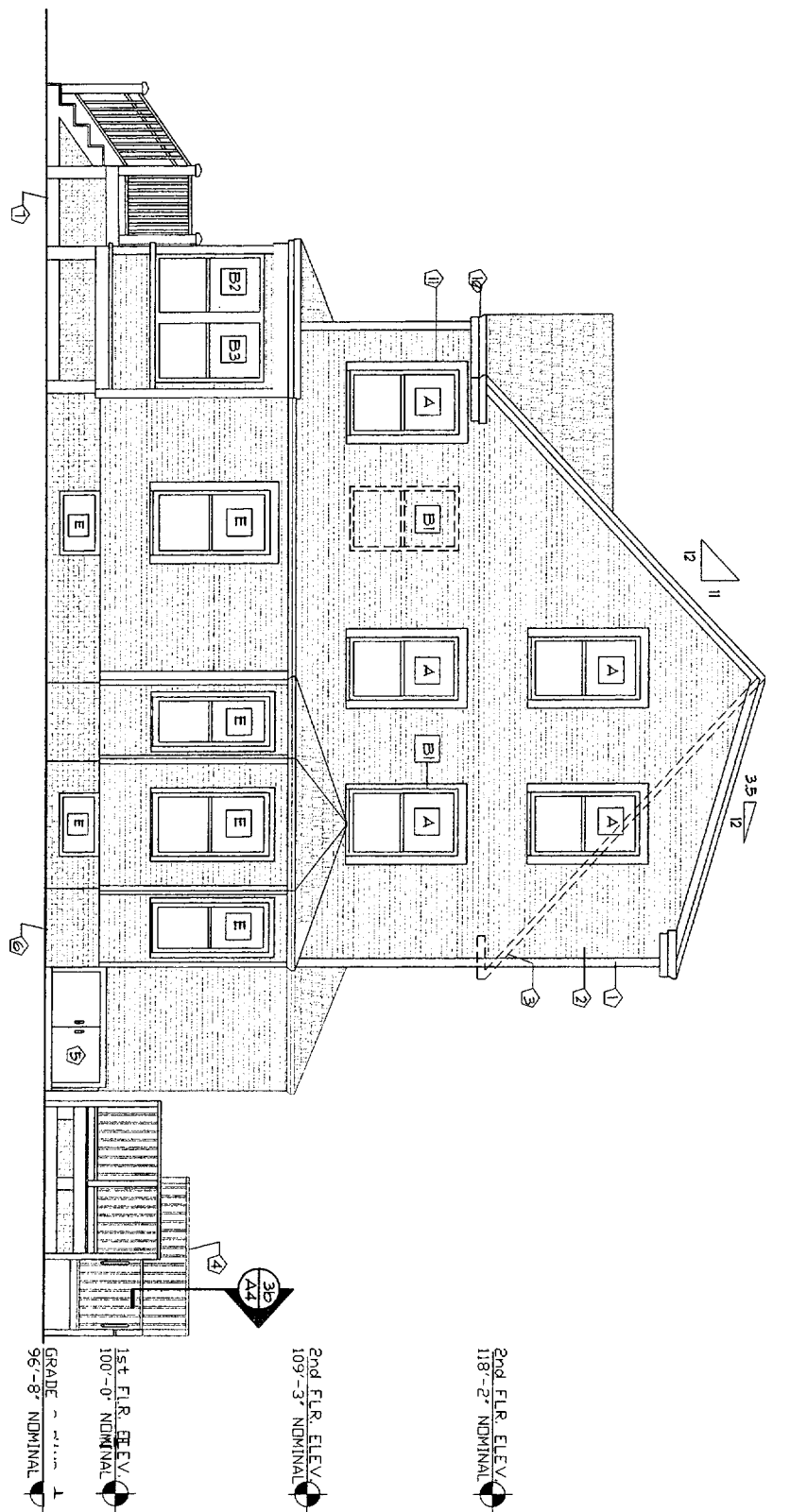
A.1



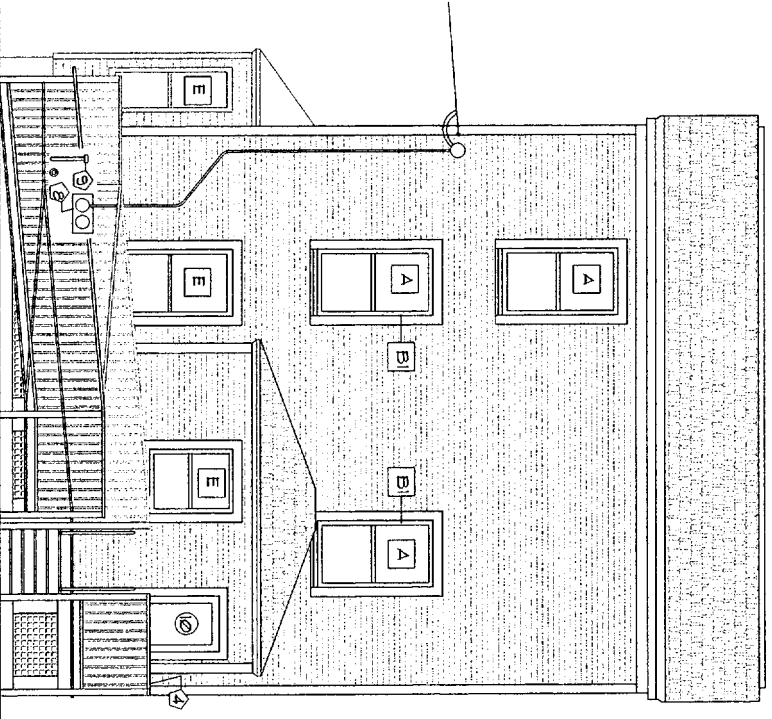
5 FRONT PORCH ELEVATION
SCALE: 1/8" = 1'-0"



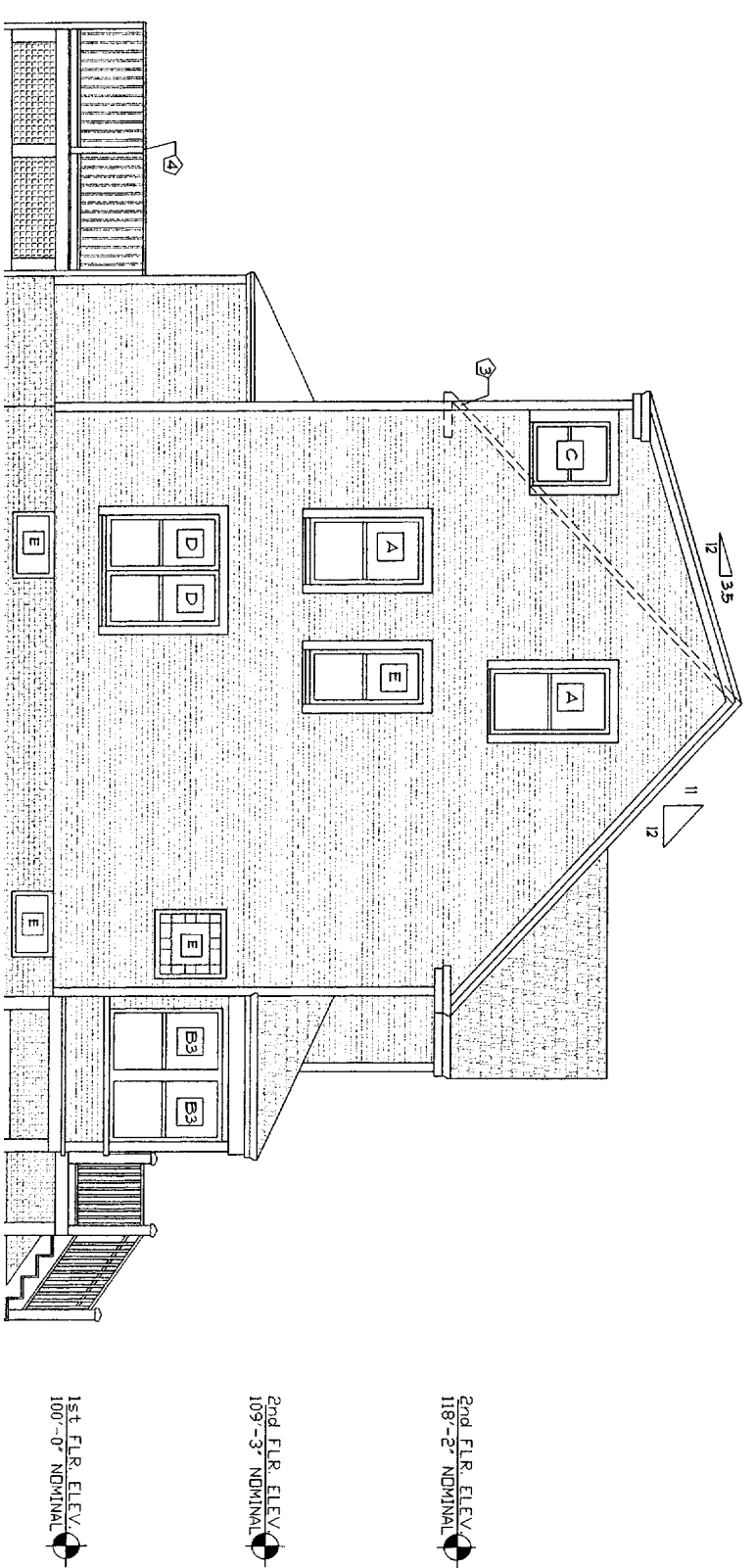
2 WEST (FOREST AVE) ELEVATION
SCALE: 1/4" = 1'-0"



1 SOUTH (ADELAIDE ST) ELEVATION
SCALE: 1/4" = 1'-0"



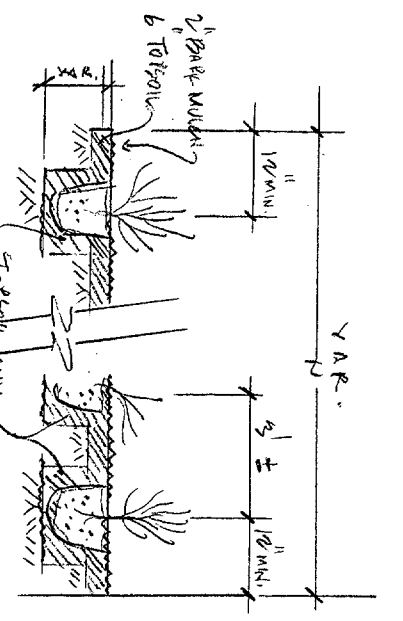
4 EAST (REAR) ELEVATION
SCALE: 1/4" = 1'-0"



3 NORTH (SIDE) ELEVATION
SCALE: 1/4" = 1'-0"

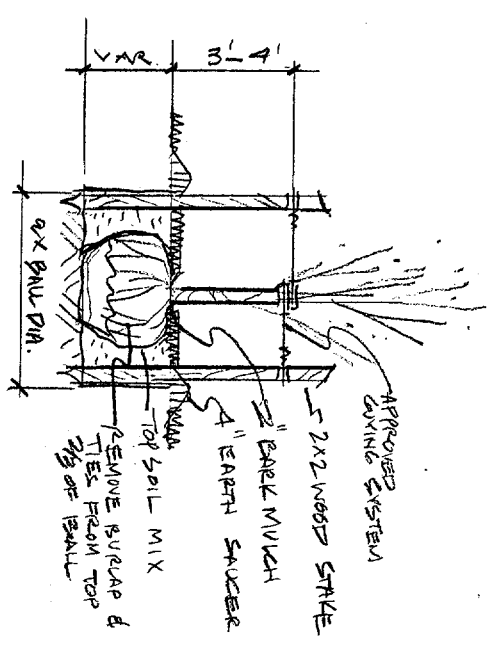
- KEYED NOTES:
- 1 VINYL CORNERBOARD (TYP)
 - 2 VINYL SIDING (TYP)
 - 3 DASHED LINE INDICATES EXISTING ROOF LINE TO BE REMOVED.
 - 4 WOOD RAMP/STAIRS WITH METAL RAILINGS.
 - 5 METAL BULKHEAD.
 - 6 EXISTING BRICK FOUNDATION - PTD. (TYP)
 - 7 WOOD STAIRS W/METAL RAILINGS BOTH SIDES - PTD.
 - 8 EXISTING ELECTRICAL SERVICE TO REMAIN.
 - 9 OIL FILL/VENT TO BE REMOVED.
 - 10 ALUMI WRAP AT EAVE (TYP)
 - 11 VINYL WINDOW TRIM (TYP)

2nd FLR. ELEV. 118'-2" NOMINAL
1st FLR. ELEV. 100'-0" NOMINAL
2nd FLR. ELEV. 118'-2" NOMINAL
1st FLR. ELEV. 100'-0" NOMINAL

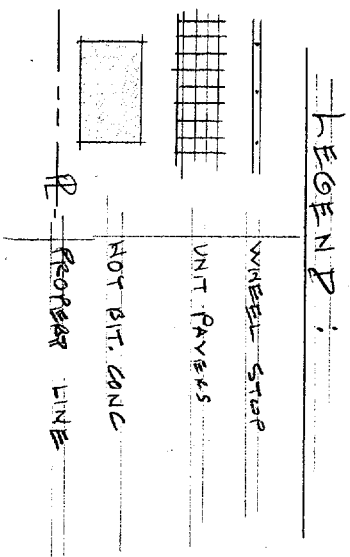


SHRUB PLANTING DETAIL
N.T.S.

TOPSOIL MIX:
20% TOPSOIL
10% COMPOST
70% PEAT

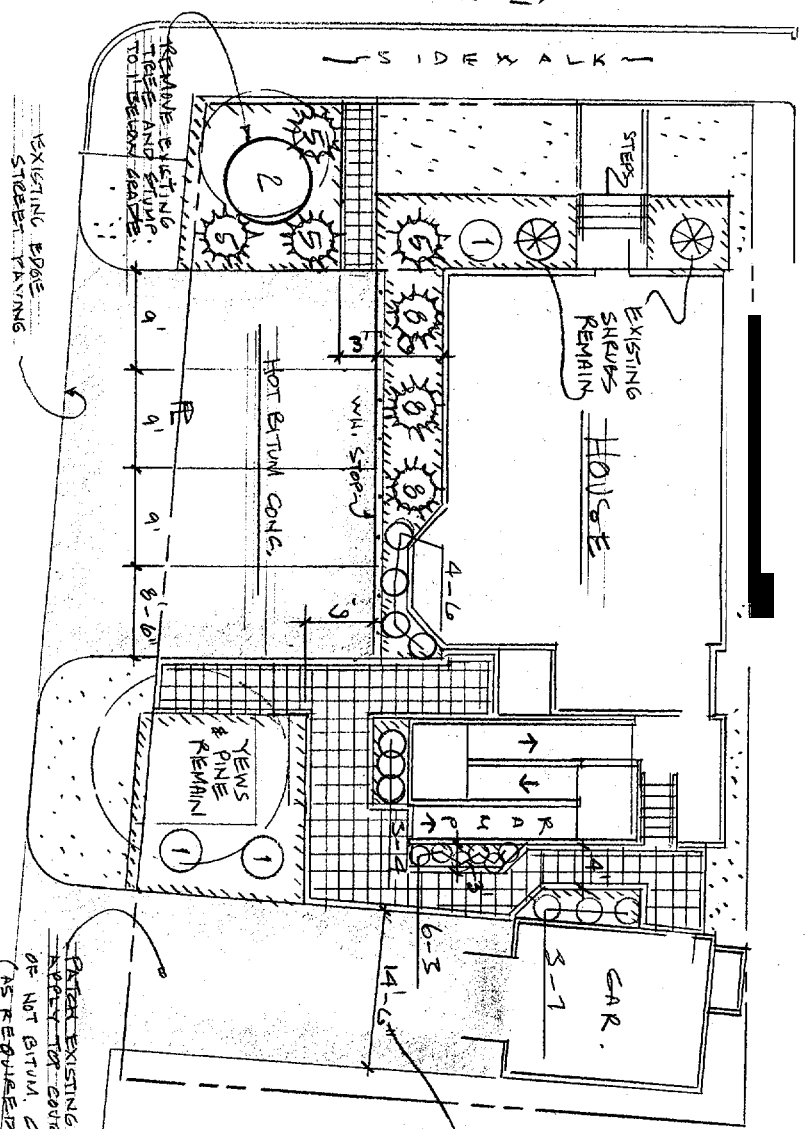
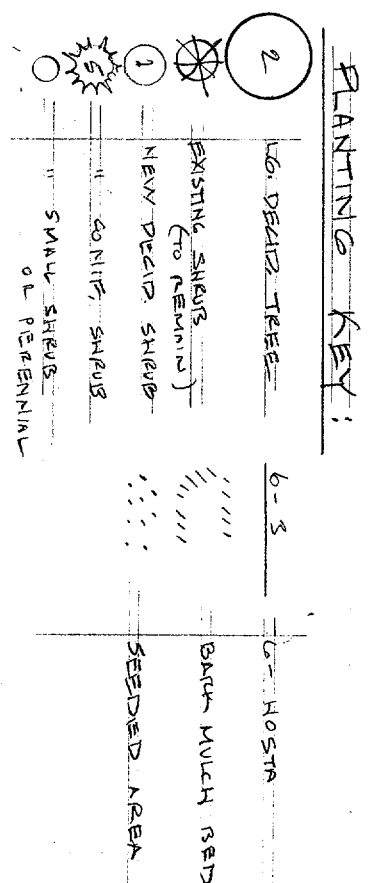


TREE PLANTING (S&B)
N.T.S.

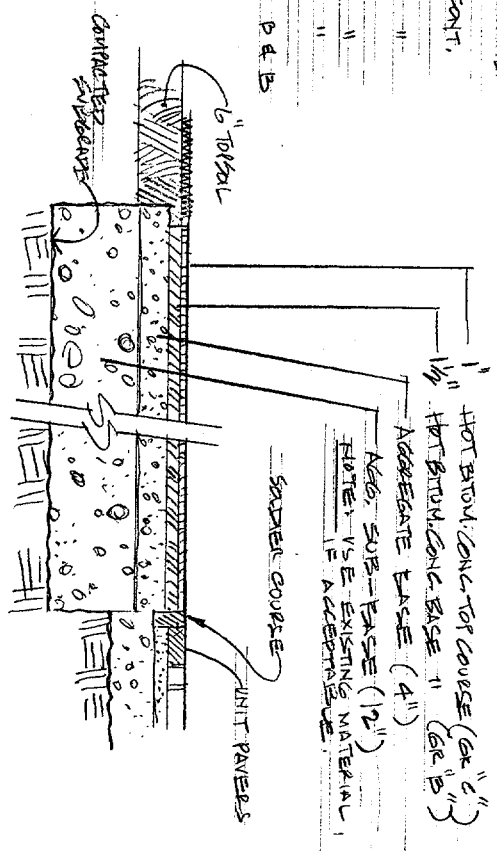


PLANT LIST

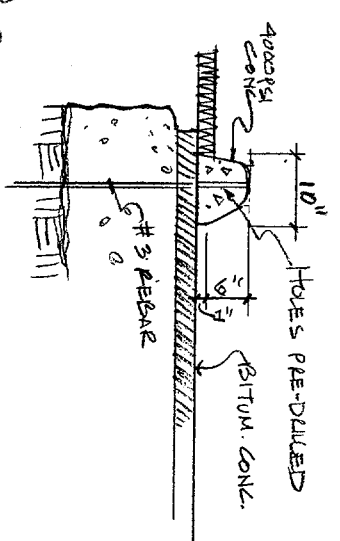
NO.	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE/REMARKS
1	CORNUS SAUBER VARGENTEA-MARQUINA	VARIETATED DOGWOOD	3	2-3 HT. CONT.
2	GINKGO BILOBA	GINKGO	1	2 1/2-3 GAL BEB (MULE)
3	HOSTA VAR.	HOSTA	6	GALLOTT CONTAINERS
4	HYDRANGEA MACROPHYLLA	RAINBOW LILY	3	18"-24" HT. CONT.
5	JUNIPERUS CHINENSIS PETERIANA	NICKO-BLUE HYDRANGEA	4	18"-24" HT. CONT.
6	POTENTILLA FRUTICOSA	SWAMP PENTEE JUNIPER	4	18"-24" HT. CONT.
7	SYMPLOCARPOS ALBA THUIDA OCCIDENTALIS	JACKMAN CINQUEFOUR COMMON SNOWBERRY	4	2-3 HT. CONT.
8	RYTHMIDALIS	PYRAMIDAL REDBUD	3	5'-6" HT. BEB



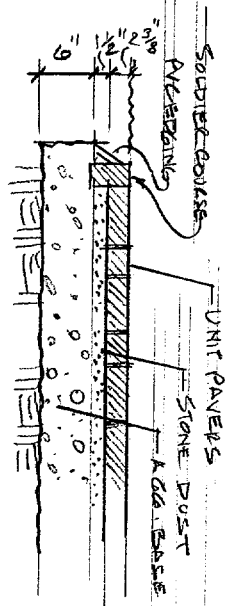
SITE PLAN
SCALE: 1/8" = 1'-0"



BITUM. PAVING DETAIL
N.T.S.



PRECAST CONC. WHEEL STOP
N.T.S.



UNIT PAVE DETAIL
N.T.S.

NOTES:
1. PAVES BY TRIPAL CONCRETE BLOCK CO. OR APPROVED EQUIV. USE TREADON HILL BLEND HEREIN FOR PATERN IN WALKS.
2. PROVIDE POSITIVE DRAINAGE TOWARD STREETS.

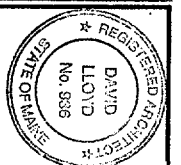
Drawing: SITE PLAN SP-1

Date: 1/28/05
Scale: AS NOTED

SHALOM HOUSE
1103 FOREST AVENUE
PORTLAND, MAINE

ARCHETYPE, P.A. ARCHITECTS
48 Union Wharf Portland, Maine 04101
(207) 772-6022 Fax (207) 772-4056

OWNER: SHALOM HOUSE, INC. PORTLAND, MAINE



GENERAL NOTES

ELECTRICAL - PROVIDE ALL NEW WIRING, NEW 200A SERVICE, NEW 200A PANEL - ALL CIRCUITS 20A MIN. (#14 WIRE PROHIBITED). LIGHTING - PROVIDE (1) METALUX 1423 CIRCLINE COMPACT FLUORESCENT FIXTURE IN EACH ROOM - 14" DIAMETER TYPICAL, 9' IN BATHROOMS. PROVIDE (4) 2-LAMP-T8 WITH WIRE GUARD IN BASEMENT, (1) IN GARAGE. PROVIDE EXTERIOR LIGHT FIXTURE WESTWOOD #312 W/40W PAR16 LAMP AT DOORS 1 AND W.

MECHANICAL - PROVIDE HEATING & PLUMBING PER APPLICABLE CODES. ALL SUPPLY AND HEATING PIPE SHALL BE TYPE "L" COPPER. THERMOSTATS SHALL BE HONEYWELL T-87.

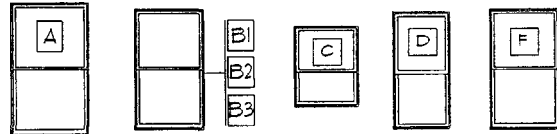
CLOSETS - CLOSETS 201, 202, 205, 206, 302 AND 306 SHALL RECEIVE VINYL COATED WIRE SHELF W/INTEGRAL CLOTHES ROD.

GARAGE - REROOF WITH ASPHALT SHINGLES PER MSHA TECH SERVICE STANDARD, MARCH 3, 2003.

SPRINKLER - ALL SPRINKLER PIPING TO BE ENCLOSED IN WALLS, FLOORS OR SOFFITS. NO EXPOSED PIPING ALLOWED IN HABITABLE AREAS.

BEDROOMS - BEDROOM SQUARE FOOTAGES EXCLUDE CLOSET AREA, DOOR SWING AND THIRD FLOOR AREAS WITH HEADROOM LESS THAN 6'-8".

KEY	MANUFACTURER	MODEL	TYPE	REMARKS
A	PARADIGM	PREMIUM DOUBLEHUNG	VINYL DOUBLE HUNG	EGRESS WINDOW PER IBC 2003 SECTION 1025, NOTE 1.
B1			VINYL DOUBLE HUNG	EXISTING WINDOW - REMOVE AND RESERVE. (TOTAL QUANTITY - 6)
B2			VINYL DOUBLE HUNG	TYPE B1 WINDOW - REINSTALL WHEN SHOWN ON DRAWINGS. (TOTAL QUANTITY - 6)
B3			VINYL DOUBLE HUNG	VINYL DOUBLE HUNG WINDOW TO MATCH TYPE B1 WINDOW
C	PARADIGM	PREMIUM DOUBLEHUNG	VINYL DOUBLE HUNG	3'-2"H X 2'-6"W
D	PARADIGM	PREMIUM DOUBLEHUNG	VINYL DOUBLE HUNG	4'-8"H X 2'-2"W
E				EXISTING TO REMAIN
F	PARADIGM	PREMIUM DOUBLEHUNG	VINYL DOUBLE HUNG	MATCH EXISTING WINDOW OPENING - SEE DRAWING 5/A2.

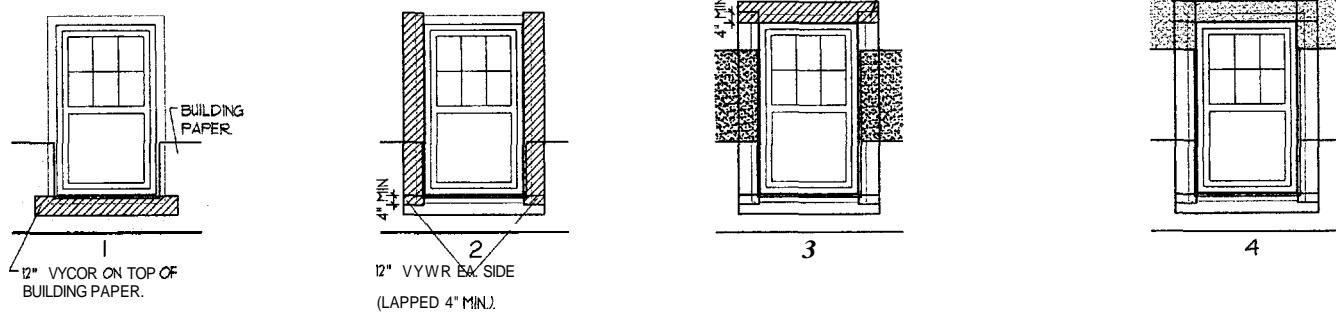


ORDER OF INSTALLATION OF WATER ROOFING AT WINDOWS

GENERAL NOTE
"VYCOR" COVERING AT ALL NAILING FLANGES
"VYCOR" AT LEAD LAPPED OVER "VYCOR" AT JAMBS, LAPPED OVER "VYCOR" AT SILL

SECOND LAYER OF BUILDING FELT ON TOP.
12" "VYCOR" AT LEAD LAPPED 4" MIN.

BUILDING PAPER ON Top.



FINISH SCHEDULE

KEY	FLOORING	KEY	WALL	PAINTING NOTES
F1	SHEET VINYL - COORDINATES PLUS BY TARKETT.	W1	3/8" G.B. - PAINTED	1. INTERIOR WALLS, CEILING & TRIM TO RECEIVE (1) COAT PRIMER, (2) COATS FINISH.
F2	EXISTING CONCRETE	W2	EXISTING RUBBLE/BRICK FOUNDATION	2. EXTERIOR FRONT PORCH, EXTERIOR DOORS AND OTHER EXTERIOR WOOD AND METAL ITEMS TO BE PAINTED ARE TO RECEIVE (1) COAT PRIMER, (2) COATS FINISH
F3	CARPET - BEDROOM - PATTERN ASSURANCE BY JAJ INDUSTRIES.	W3	1/2" G.B. - PAINTED	3. EXTERIOR BRICK FOUNDATION TO RECEIVE (1) WAT PRIMER, (2) COATS FINISH
F4	EXISTING HARDWOOD - REFINISHED.	W4	NO WALL FINISH.	KITCHEN COUNTER TOP NOTE. COUNTERTOP TO BE RADIUS EV BY WILSONART
F5	NO FINISH FLOORING.	B1	WOOD BASE	
F6	CARPET - PUBLIC AREAS - PATTERN LINK BY JAJ INDUSTRIES. (RUNNER AT STAIR 100.)	B2	NO BASE	
		C1	CEILING	
		C2	1/2" G.B. - PTD.	
			NO FINISH CEILING.	

DOOR SCHEDULE

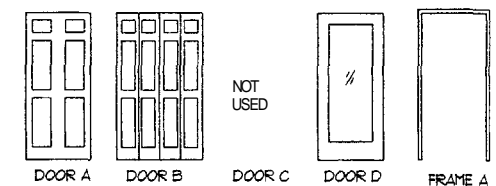
KEY	DOOR				FRAME			FIRE LABEL	HARDWARE FUNCTION	REMARKS
	TYPE	SIZE WxH	MATL	FINISH	TYPE	MATERIAL	FINISH			
1										PORCH 108 TO EXTERIOR EXISTING DOOR TO REMAIN - PTD. INSTALL ENTRANCE LOCKSET.
2										PORCH 108 TO FOYER 100, EXISTING TO REMAIN - REFINISH. INSTALL ENTRANCE LOCKSET.
3	A	3'-0"x6'-8"x1 3/4"	MOULDED	PTD.	A	WOOD	PTD.	1/3 HOUR	PASSAGE	FOYER 100 TO LIVING 101, NOTE 1, 2 & 5.
4	A	3'-0"x6'-8"x1 3/4"	W L D E D	PTD.	A	WOOD	PTD.			
5	A	2'-0"x6'-8"	MOULDED	PTD.	A	WOOD	PTD.	NONE	STOREROOM	MEDICAL CLOSET 106 TO STAFF 104.
6	A	3'-0"x6'-8"	MOULDED	PTD.	A	WOOD	PTD.			
7	A	3'-0"x6'-8"	MOULDED	PTD.	A	WOOD	PTD.	NONE	PRIVACY	KITCHEN 103 TO HC TLT. 107.
8	A	2'-6"x6'-8"	MOULDED	PTD.	A	WOOD	PTD.	NONE	PASSAGE	STAIR 002 TO KITCUEN 103
9	D	3'-0"x6'-8"	METAL	PTD.	A	WOOD	PTD.	NONE	PASSAGE	FOYER 105 TO KITCUEN 103, NOTE 3
10	D	3'-0"x6'-8"	METAL	PTD.	A	WOOD	PTD.	NONE	ENTRANCE	DECK 108 TO FOYER 105, NOTE 3, 6
11	A	3'-0"x6'-8"	MOULDED	PTD.	A	WOOD	PTD.	NONE	OFFICE	LIVING 101 TO STAFF W4, NOTE 4
										NOTUSED.
13	A	2'-6"x6'-8"x1 3/4"	MOLDED	PTD.	A	WOOD	PTD.	1/3 HOUR	ENTRANCE	CORR 209 TO BEDROOM 200, NOTE 5.
14	B	3'-0"x6'-8"	MOULDED	PTD.	--	--	--	NONE	---	BEDROOM 200 TO CLOSET 201.
15	B	3'-0"x6'-8"	MOULDED	PTD.	--	--	--	NONE	---	BEDROOM 203 TO CLOSET 202.
16	A	2'-6"x6'-8"x1 3/4"	MOULDED	PTD.	A	WOOD	PTD.	1/3 HOUR	ENTRANCE	CORR 209 TO BEDROOM 203, NOTE 5.
17	4	2'-6"x6'-8"x1 3/4"	MOULDED	PTD.	A	WOOD	PTD.	1/3 HOUR	ENTRANCE	CORR 209 TO BEDROOM 204, NOTE 5.
18	B	3'-0"x6'-8"	MOULDED	PTD.	--	--	--			
19	B	3'-0"x6'-8"	MOULDED	PTD.	--	--	--	NONE	---	BEDROOM 201 TO CLOSET 206.
20	A	2'-6"x6'-8"x1 3/4"	MOULDED	PTD.	A	WOOD	PTD.	1/3 HOUR	ENTRANCE	CORR 209 TO BEDROOM 201, NOTE 5.
21	A	2'-6"x6'-8"x1 3/4"	MOULDED	PTD.	A	WOOD	PTD.	1/3 HOUR	PRIVACY	CORR 209 TO BATH 208, NOTE 5
22	A	3'-0"x6'-8"x1 3/4"	MOULDED	PTD.	A	WOOD	PTD.	1/3 HOUR	PRIVACY	CORR 300 TO BATU 301, NOTE 5
23										NOTUSED.
24	A	3'-0"x6'-8"x1 3/4"	MOULDED	PTD.	A	WOOD	PTD.	1/3 HOUR	ENTRANCE	CORR 300 TO BEDROOM 305, NOTE 5.
25	A	3'-0"x6'-8"x1 3/4"	MOULDED	PTD.	A	WOOD	PTD.	1/3 HOUR	ENTRANCE	CORR 300 TO BEDROOM 304, NOTE 5.
26	B	4'-0"x6'-8"	MOULDED	PTD.	--	--	--	NONE	---	BEDROOM 305 TO CLOSET 302.
27	B	5'-0"x6'-8"	MOULDED	PTD.	--	--	--			BEDROOM 304 TO CLOSET 306.

GENERAL DOOR NOTES

A CONTRACTOR TO FIELD VERIFY ALL DOOR/FRAME DIMENSIONS PRIOR TO SUBMITTALS TO ARCHITECT
B ALL GLAZING IN DOORS TO BE SAFETY GLAZING
C HARDWARE TO INCLUDE ADA APPROVED LEVER HANDLES

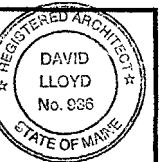
DOOR NOTES

1 PROVIDE DOOR CLOSER WITH MAGNETIC HOLD BACKS CONNECTED TO THE FIRE ALARM SYSTEM
2 PROVIDE 180 DEGREE HINGES
3 PROVIDE INSULATED METAL DOOR
4 PROVIDE WEATHERSTRIPPING
5 PROVIDE DOOR CLOSER
6 PROVIDE AUTO DOOR OPENER



KITCHEN BATH FIXTURES

1. Kitchen Sink - Elkay Pacemaker model P&R-2522-15-4, 25"x22", 20 ga, type 302 stainless steel. McGuire #151 strainer and tailpiece. McGuire #165 7" angle supplies w/wheel stops. all chrome plated. McGuire #3089 adjustable P-trap w/cleanout and brass nipple to wall w/cast escutcheon, all chrome plated.
2. Kitchen Faucet - Symmons Symmetrix No. S-248-2, 8" center deck mount, conventional swing faucet, hose & spray, metal lever handles, washerless valve cartridges, all chrome plated.
3. Kitchen Range Hood: Broan 41000 vent-free, 30", white.
4a. Bathroom Vanity at Bath 208 - top shall be equal to "Oasis Marble Tops" with built in bowl available through RW Webb Co. (207) 784-4515. Coordinate with plumber for drilling holes to receive faucet.
4b. Lavatory, Barrier free - American Standard Declyn #2321075, 19"x17", vitreous china, faucet holes at 4" centers, concealed arm support. Provide Truebro, Inc pipe trap kit on supplies, trap and waste.
5. Bathroom Faucet - Symmons Symmetrix No. S-248-2, centerset, metal lever handles, metal pop-up drain, washerless valve cartridges, all chrome plated. McGuire #167 angle supplies w/wall flange, wheel handle stop and 1/2" flexible copper risers, all chrome plated. McGuire #3090 adjustable P-trap, 1 1/2" x 1 1/2", cleanout plug, #2121 brass nipple to wall w/cast escutcheon, all chrome plated.
6. Toilet Paper Holder - shall be Nutone Hallmack "Coronado" series.
7. Grab Bars - Stainless steel, 1 1/2" diameter, concealed mounting with snap flange, satin finish. Bobrick B-5806 Series, lengths as shown on drawings.
8. Bathroom Mirror - Bobrick B-290 2430 stainless steel angle frame mirror, 24" wide x 30" high Mount bottom of reflective surface at 40" max.
9. Watercloset, Barrier Free - American Standard Cadet 1168.100.16GFF, pressure assisted, elongated bowl, siphon jet, vitreous china, flushometer tank, floor mounted, 17" high rim, ADA compliant. McGuire #166 angle supply w/wheel handle stop, wall flange, all chrome plated. Church #48TL white, elongated, closed front seat w/cover. Provide 1292.100 with 1 1/2" rim height at Bath 208.



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PORTLAND, MAINE

1/8" = 1'-0"

Drawing SCHEDULES

A.3