

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING DEPARTMENT

Please Read Application And Notes, If Any, Attached

PERMIT

Permit Number 0909
PERMIT ISSUED
 SEP 16 2009
 CITY OF PORTLAND

This is to certify that BROWN J B & SONS/SF FLYING Z
 has permission to install a exterior pad for non hazardous material w/ chain link fence & 7 Bollards
 AT 40 QUARRY RD 150 A003001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lath or other work is used-in. 2 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. CAPT. R. Gauthier
 Health Dept. _____
 Appeal Board _____
 Other _____

Department Name

[Signature]
 Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0913	Issue Date:	CBL: 150 A003001
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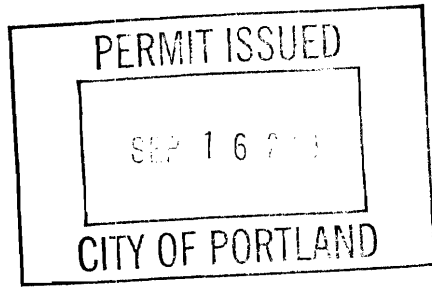
Location of Construction: 40 QUARRY RD	Owner Name: BROWN J B & SONS	Owner Address: PO BOX 207	Phone:
Business Name:	Contractor Name: SF Flynn-Z	Contractor Address: P.O. Box 2353 West Scarborough	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Commercial	Zone: C-50

Past Use: Commercial	Proposed Use: Commercial - install a exterior pad for non hazardous nitrogen w/ chain link fence & 7 Bollards	Permit Fee: \$230.00	Cost of Work: \$20,718.85	CEO District: 4	using I.L. dimensions
Proposed Project Description: install a exterior pad for non hazardous nitrogen w/ chain link fence & 7 Bollards		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied *See Conditions	INSPECTION: Use Group: U Type: S26 TBC 2003		
		Signature: (KG)	Signature: [Signature]		
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)			
		Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied			
		Signature: _____ Date: _____			

Permit Taken By: Ldobson	Date Applied For: 08/25/2009	Zoning Approval
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input type="checkbox"/> Shoreland	<input type="checkbox"/> Variance	<input checked="" type="checkbox"/> Not in District or Landmark
<input type="checkbox"/> Wetland	<input type="checkbox"/> Miscellaneous	<input type="checkbox"/> Does Not Require Review
<input type="checkbox"/> Flood Zone	<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Requires Review
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Interpretation	<input type="checkbox"/> Approved
<input checked="" type="checkbox"/> Site Plan exemption given to Planning	<input type="checkbox"/> Approved	<input type="checkbox"/> Approved w/Conditions
Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>	<input type="checkbox"/> Denied	<input type="checkbox"/> Denied
Date: [Signature]	Date:	Date: [Signature]



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

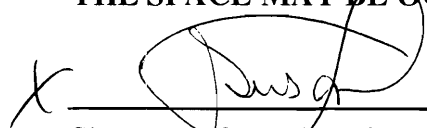
Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers

Final inspection required at completion of work.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.

X 

Signature of Applicant/Designee

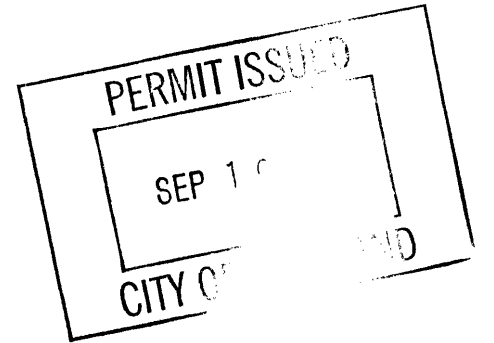
Date



Signature of Inspections Official

9.17.09

Date



City of Portland, Maine - Building or Use Permit
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0913	Date Applied For: 08/25/2009	CBL: 150 A003001
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Location of Construction: 40 QUARRY RD	Owner Name: BROWN J B & SONS	Owner Address: PO BOX 207	Phone:
Business Name:	Contractor Name: SF Flynn-Z	Contractor Address: P.O. Box 2353 West Scarborough	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Commercial	

Proposed Use: Commercial - install a exterior pad for non hazardous nitrogen w/ chain link fence & 7 Bollards	Proposed Project Description: install a exterior pad for non hazardous nitrogen w/ chain link fence & 7 Bollards
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Dept: Zoning	Status: Approved	Reviewer: Marge Schmuckal	Approval Date: 08/27/2009
Note:			Ok to Issue: <input checked="" type="checkbox"/>
Dept: Building	Status: Approved	Reviewer: Tammy Munson	Approval Date: 09/16/2009
Note:			Ok to Issue: <input checked="" type="checkbox"/>
Dept: Fire	Status: Approved with Conditions	Reviewer: Capt Keith Gautreau	Approval Date: 08/27/2009
Note:			Ok to Issue: <input checked="" type="checkbox"/>
1) No means of egress shall be affected by this renovation			



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>40 Quarry Rd.</u>		
Total Square Footage of Proposed Structure/Area <u>405 sq'</u>	Square Footage of Lot <u>15.53 Acres</u>	Number of Stories —
Tax Assessor's Chart, Block & Lot Chart# Block# Lot#	Applicant * <u>must be owner, Lessee or Buyer</u> * Name <u>Flynn, Stephen</u> Address <u>P.O. Box 2353</u> City, State & Zip <u>W. Scarborough</u> <u>04074</u>	Telephone: <u>883-0306</u>
Lessee/DBA (If Applicable) <u>X-Cafe</u> <u>Coffee Extracts</u>	Owner (if different from Applicant) Name <u>JB Brown + Sons</u> Address <u>81 W. Commercial</u> City, State & Zip <u>Portland</u> <u>04101</u>	Cost Of Work: \$ <u>20,719.95</u> C of O Fee: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) _____ Number of Residential Units _____ If vacant, what was the previous use? _____ Proposed Specific use: _____ Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>Exterior pad for Non hazardous Nitrogen w/ chain link fence + 7 bollards.</u>		
Contractor's name: <u>S.F. Flynn - 2 Co. Inc.</u> Address: <u>P.O. Box 2353 W. Scarborough</u> City, State & Zip <u>Maine 04074 - 2353</u> Telephone: <u>883-0306</u> Who should we contact when the permit is ready: <u>Stephen Flynn</u> Telephone: <u>415-6073</u> Mailing address: <u>same</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

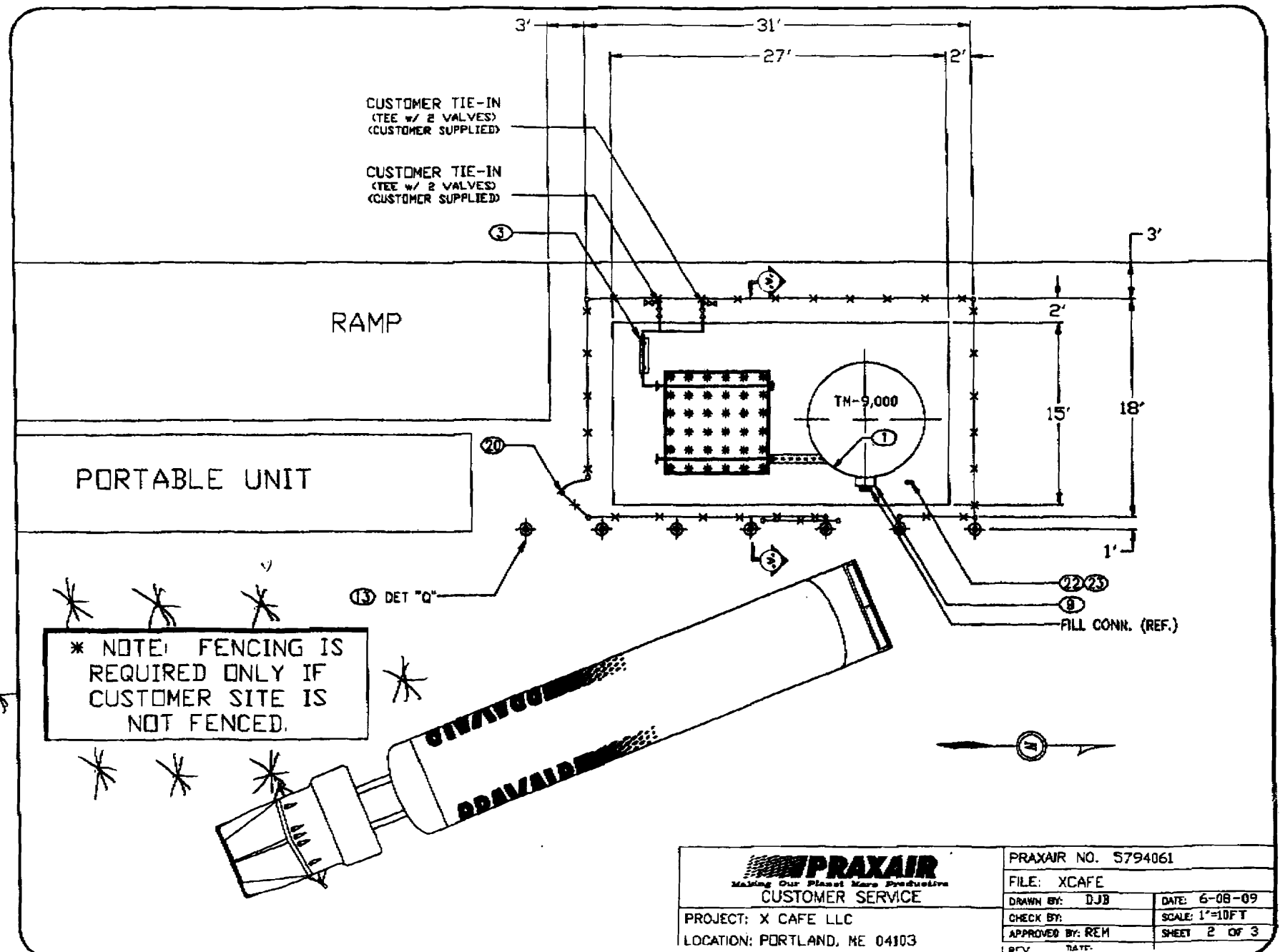
Signature: Stephen Flynn Date: 8-25-09

This is not a permit; you may not commence ANY work until the permit is issue

Aug. 08 1999 02:38PM P1

FAX NO. :

COM :



* NOTE: FENCING IS
REQUIRED ONLY IF
CUSTOMER SITE IS
NOT FENCED.

PRAXAIR Making Our Plans More Productive		PRAXAIR NO. 5794061	
CUSTOMER SERVICE		FILE: XCAFE	
DRAWN BY: DJB	DATE: 6-08-09	CHECK BY:	SCALE: 1"=10FT
APPROVED BY: REM	SHEET 2 OF 3	REV:	DATE:
PROJECT: X CAFE LLC		LOCATION: PORTLAND, ME 04103	

Phone 207-883-0306

July 21, 2009

ESTIMATE # 09-127

Ron Nicholas
40 Quarry Road
Portland, ME 04103

207-253-9691
Ronald.nicholas@kerry.com

Reference: XCafe-Coffee Extracts - Nitrogen Pad/Fence

Enclosed is an estimate for budgeting purposes only to provide labor and materials to replace existing nitrogen pad and install fencing at the above named location per customer request. This estimate is based upon verbal conversations with the customer, prints provided, and a site visit to review the proposed scope of work. A line item allowance breakdown is as follows:

A. Excavation/Concrete:

- * Remove existing pavement and dispose of
- * Excavate and prep for pad
- * Pour 84' x 4' x 8" frostwall
- * Pour 15' x 27' x 8" pad with wire mesh
- * Install (7) 6" bollards with 18" bases
- * Backfill to rough grade only with materials on site

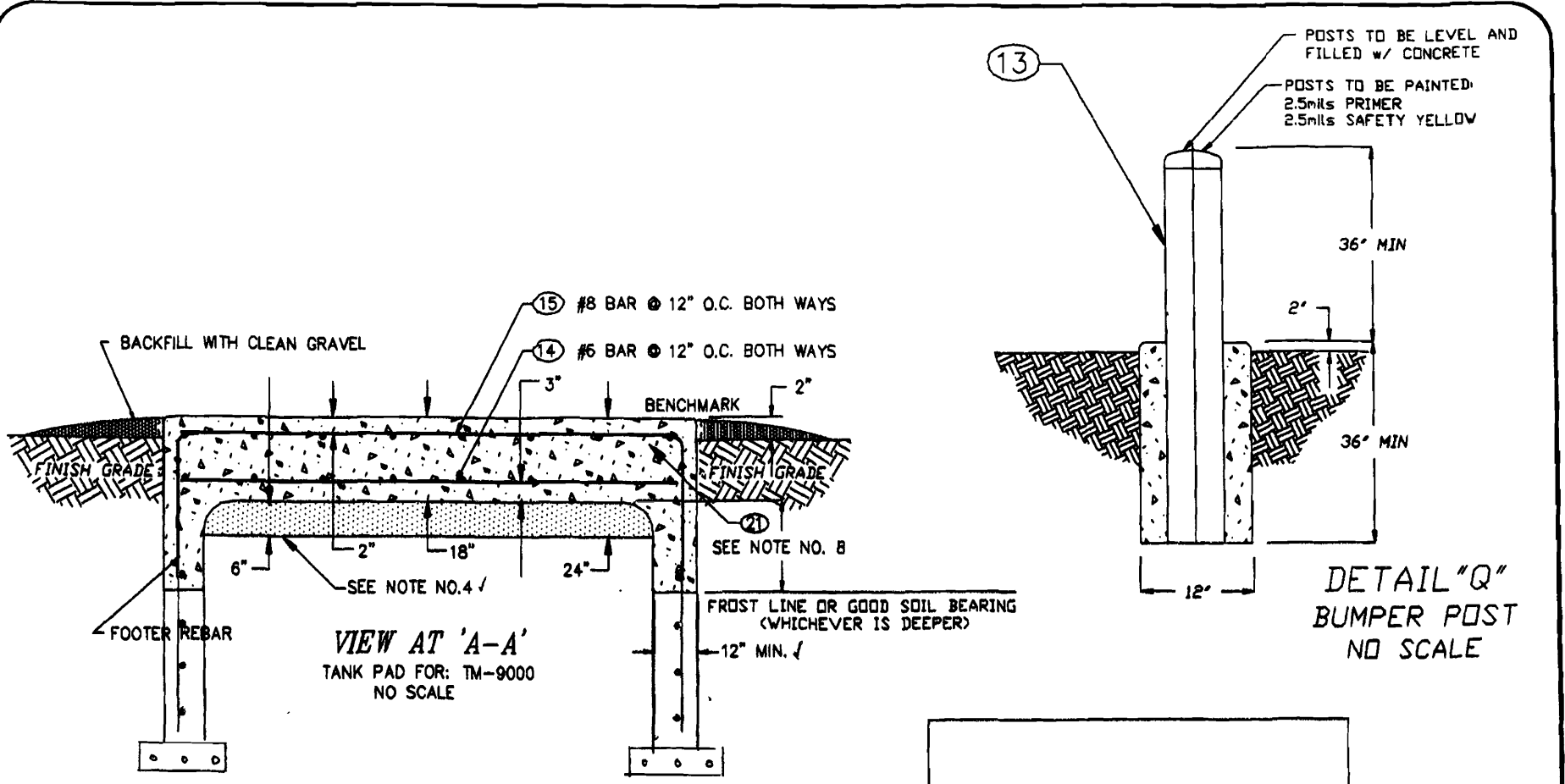
B. Fencing:

- * Install 98' of 9 GA chain link fence with (2) gates including:
 - (1) 3' single swing gate
 - (1) 6' single cantilever style rolling gate
 - 3" OD gate, corner posts
 - 2 1/2" OD intermediate posts
 - 1 5/8" OD top rail

Exclusions:

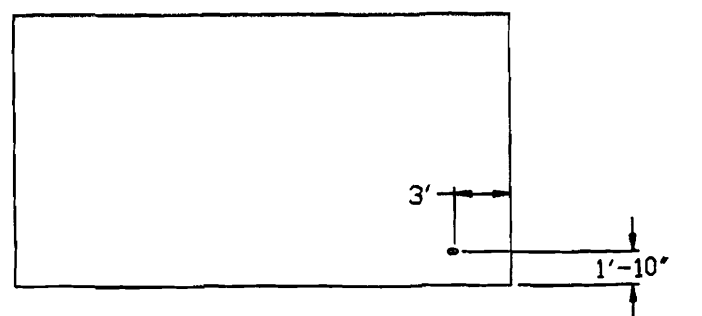
- * Permits - to be invoiced on T&M basis
- * Removal/Relocation of existing tanks and equipment
- * Locating property lines
- * Landscaping/Loam
- * Driveway Repair/Paving
- * Electrical

MS 2-1-2009




VIEW AT 'A-A'
TANK PAD FOR: TM-9000
NO SCALE

DETAIL "Q"
BUMPER POST
NO SCALE



CONDUIT LOCATION
SCALE: 1"=10'

 PRAXAIR Making Our Planet More Productive CUSTOMER SERVICE	PRAXAIR NO. 5794061	
	FILE: XCAF6	
	DRAWN BY: DJB	DATE: 6-08-09
	CHECK BY:	SCALE: 1"=10FT
	APPROVED BY: REM	SHEET 3 OF 3
PROJECT: X CAFE LLC	REV.	DATE:
LOCATION: PORTLAND, ME 04103		

PROJECT DESIGN CRITERIA


- 1). REFERENCE THE "BILL OF MATERIAL" ON THIS SHEET. THE SITE WORK, i.e. CIVIL, ELECTRICAL, PERMITTING etc. IS THE RESPONSIBILITY AND OWNED BY THE "CUSTOMER" AS SHOWN. THE PRODUCT SUPPLY SYSTEM, i.e. TANK, VAPORIZERS & INTERCONNECTING PIPING, IS THE RESPONSIBILITY AND IS OWNED BY "PRAXAIR INC."
- 2). ALL ACCESS ROADWAYS ARE THE RESPONSIBILITY OF THE CUSTOMER AND ARE TO BE CAPABLE OF SUPPORTING 80,000 lbs. AASHTO HS-20 LOADING.
- 3). THIS FOUNDATION SYSTEM IS DESIGNED ASSUMING THE FOLLOWING CONDITIONS:
 2000 psf SOIL BEARING CAPACITY.
 90 MPH WIND LOAD EXPOSURE 'C'
 SEISMIC ZONE 2 ESSENTIAL SERVICE
 NORMAL WATER TABLE CONDITIONS
 IN ACCORDANCE WITH A.C.I.318 LATEST EDITION
 FOR CONDITIONS OUTSIDE THESE CRITERIA IT IS THE CUSTOMER'S RESPONSIBILITY TO PROVIDE SUITABLE FOUNDATION DESIGNS THAT MUST BE APPROVED BY "PRAXAIR INC." BEFORE CONSTRUCTION.
- 4). CONTRACTOR TO REMOVE TOPSOIL UNTIL A SUITABLE BASE IS ESTABLISHED FOR GRAVEL UNDERLAYMENT IF CONDITIONS CANNOT BE MET AT DRAWING DEPTHS.
- 5). CONTRACTOR TO USE AIR ENTRAINED 4"-5" SLUMP CONCRETE:
 ASTM #C-150 TYPE I, FC=3000psi @ 28 DAYS OR
 ASTM #C-150 TYPE III, FC=3000psi @ 7 DAYS.
- 6). ROUND EDGES OF PADS WITH SIDEWALK EDGING TOOL.
- 7). TOP OF PADS TO BE BROOM FINISHED AND LEVEL. ALL PAD ELEVATIONS TO BE REFERENCED FROM CHOSEN BENCHMARK.
- 8). SKIRTING OF PAD TO BE BELOW FROST LINE PER LOCAL BUILDING CODES.
- 9). BUMPER POSTS TO BE FILLED WITH CONCRETE. IN MULTIPLE POST INSTALLATIONS, ALL POST TOPS ARE TO BE IN A LINE.
- 10). BUMPER POSTS TO BE PAINTED: BLAST=SSPC-SP6
 PRIME=2.5mil RED OXIDE
 PAINT=2.5mil SAFETY YELLOW
 W/3 STRIPS OF REFLECTIVE TAPE AT TOP OF POST.
- 11-A). INDIVIDUAL PADS i.e. TANK, VAPORIZER etc. TO BE SEPARATED WITH A SAWCUT 1/3 OF "D" DEEP (WHERE "D" IS THE TOTAL DEPTH OF THE SLAB).
- 11-B). INDIVIDUAL PADS i.e. TANK TRANSFER etc. TO BE SEPARATED WITH AN ISOLATION JOINT. USE PLYWOOD TREATED WITH WAX (OR EQUIV. BOND-BREAKER) EXCEPT ON TOP FACE. TOP OF PLYWOOD TO BE 1" FROM TOP OF CONCRETE; THIS SURFACE TO BE SEALED w/ "CS-2727" FLEXIBLE EPOXY JOINT SEALER (OR EQUIV.).
- 12). ALL OUTDOOR RECEPTACLES AT SITE TO BE PROTECTED WITH GROUND FAULT INTERRUPTERS.
- 13). ALL ELECTRICAL COMPONENTS NOT INSTALLED WITHIN A BUILDING MUST BE IN WEATHER TIGHT ENCLOSURES.
- 14). VOICE GRADE PHONE LINE MUST BE DEDICATED LINE FOR CUSTOMERS WITH AUTOMATIC PRODUCT ORDERING.

BILL of MATERIAL

ITEM	QTY	U/M	DESCRIPTION	SUPPLIER
1	1	EA	VESSEL CRYOGENIC STORAGE, TM-9000, NITROGEN	PRAXAIR
2	1	EA	VAPORIZER, ATMOSPHERIC PRODUCT, THERMAX 5LWS-12M	PRAXAIR
3	1	EA	MANIFOLD, 1" KAYE-MAC	PRAXAIR
4	0	EA	VAPORIZER, ATMOSPHERIC PRESSURE BLDNG, PVB 820	PRAXAIR
5	0	EA	MODULE, LIQUID DEWAR FILL	PRAXAIR
6	0	EA	MODULE, CRITICAL FLOW, w/ -100F TO +100F THERMOMETER.	PRAXAIR
7	0	EA	MODULE, FILTER, 1" PS	PRAXAIR
8	0	EA	MIXER, THERMCO,	PRAXAIR
9	1	EA	MODULE, "TRACKER", REMOTE TELEMETRY UNIT, WRED	PRAXAIR
10	0	EA	MODULE, REMOTE FILL	PRAXAIR
11	0	EA	MODULE, EXTENDED FILL w/ STAND.	PRAXAIR
12	6	EA	BOLT, MECHANICAL WEDGE/STUD, HILTY OR OTHERS	PRAXAIR
13	4	EA	PIPE, 6" SCH 40 x 72" lg, C-STL	CUSTOMER
14	AS REQ'D		BAR, NO. 6, ASTM TYPE A-615, GRADE 60	CUSTOMER
15	AS REQ'D		BAR, NO. 8, ASTM TYPE A-615, GRADE 60	CUSTOMER
16	AS REQ'D		BAR, NO. 4, ASTM TYPE A-615, GRADE 60	CUSTOMER
17	AS REQ'D		BAR, NO. 5, ASTM TYPE A-615, GRADE 60	CUSTOMER
18	AS REQ'D		FENCE, GALVANIZED CHAIN LINK 2" MESH, 9 GA. X 72" HIGH	CUSTOMER
19	1	EA	GATE, SLIDING, 72" WIDE MIN, CHAIN LINK, 9 GA. X 72" HIGH	CUSTOMER
20	1	EA	GATE, SWING, 36" WIDE MIN, CHAIN LINK, 9 GA. X 72" HIGH	CUSTOMER
21	AS REQ'D		CONCRETE, SEE NOTE # 5	CUSTOMER
22	AS REQ'D		120V / 15A GFI SERVICE (UNDERGROUND CONDUIT)	CUSTOMER
23	AS REQ'D		VOICE GRADE PHONE LINE (UNDERGROUND CONDUIT), NOTE #14	CUSTOMER

TM-9,000 TANK - DIAMETER 10.2', HEIGHT 32'
 WEIGHT EMPTY 37,000#, WEIGHT FULL WITH LIQUID NITROGEN 97,000#
 THERMAX 5-LWS-12M VAPORIZER - LENGTH 8.31', WIDTH 8.31', HEIGHT 23.73'
 WEIGHT EMPTY 2,600#, WEIGHT FULL WITH ICE 49,340#

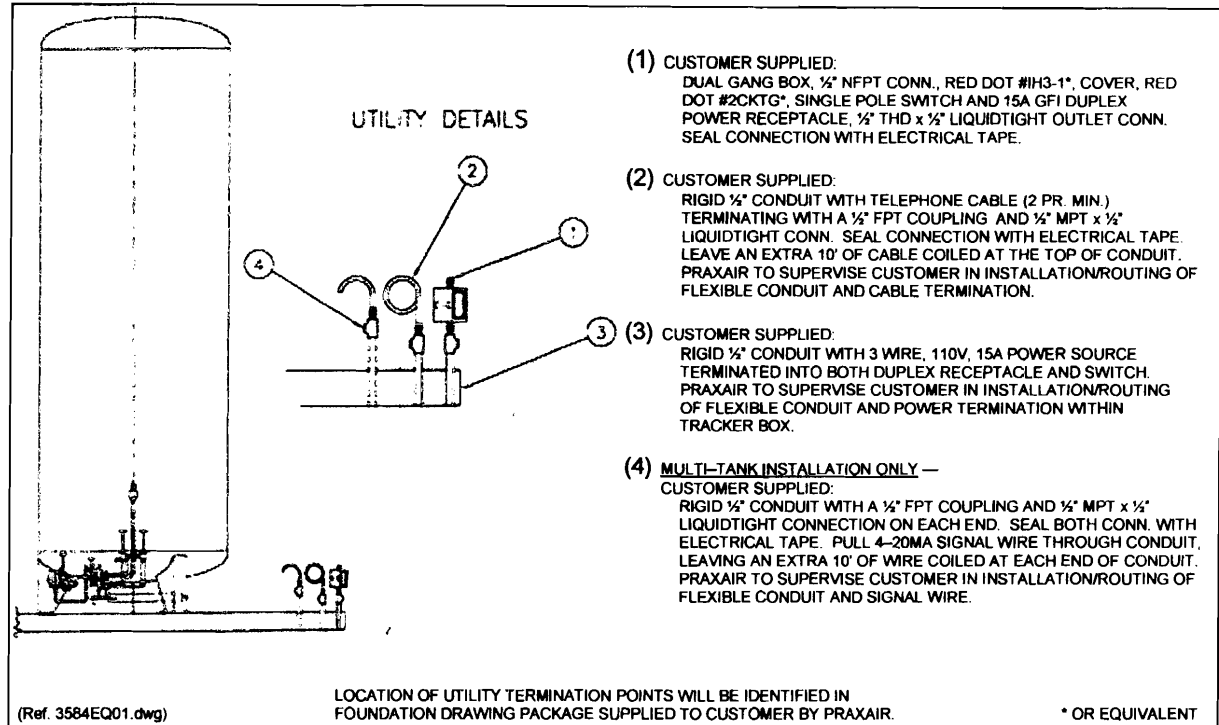
I-L Zone
 MAX height: 45'
 10.2' Diameter
 32' Height

 <p>PRAXAIR Making Our Planet More Productive CUSTOMER SERVICE</p>	PRAXAIR NO. 5794061	
	FILE: XCAF	DATE: 6-08-09
PROJECT: X CAFE LLC	DRAWN BY: DJB	SCALE: 1"=10FT
LOCATION: PORTLAND, ME 04103	CHECK BY:	SHEET 1 OF 3
	APPROVED BY: REM	REV. DATE:



Tracker™ RTU Utility Requirements for Non-Hazardous¹ Locations

Praxair Tracker™ remote telemetry unit (RTU) operation requires a dedicated supply of 120-volt AC power and standard (direct inward dialing) telephone service. Installation of the power and telephone service must adhere to National Electrical Code® (NFPA 70™) requirements. Utility details are provided in the following diagram.



height
? see other
Pg

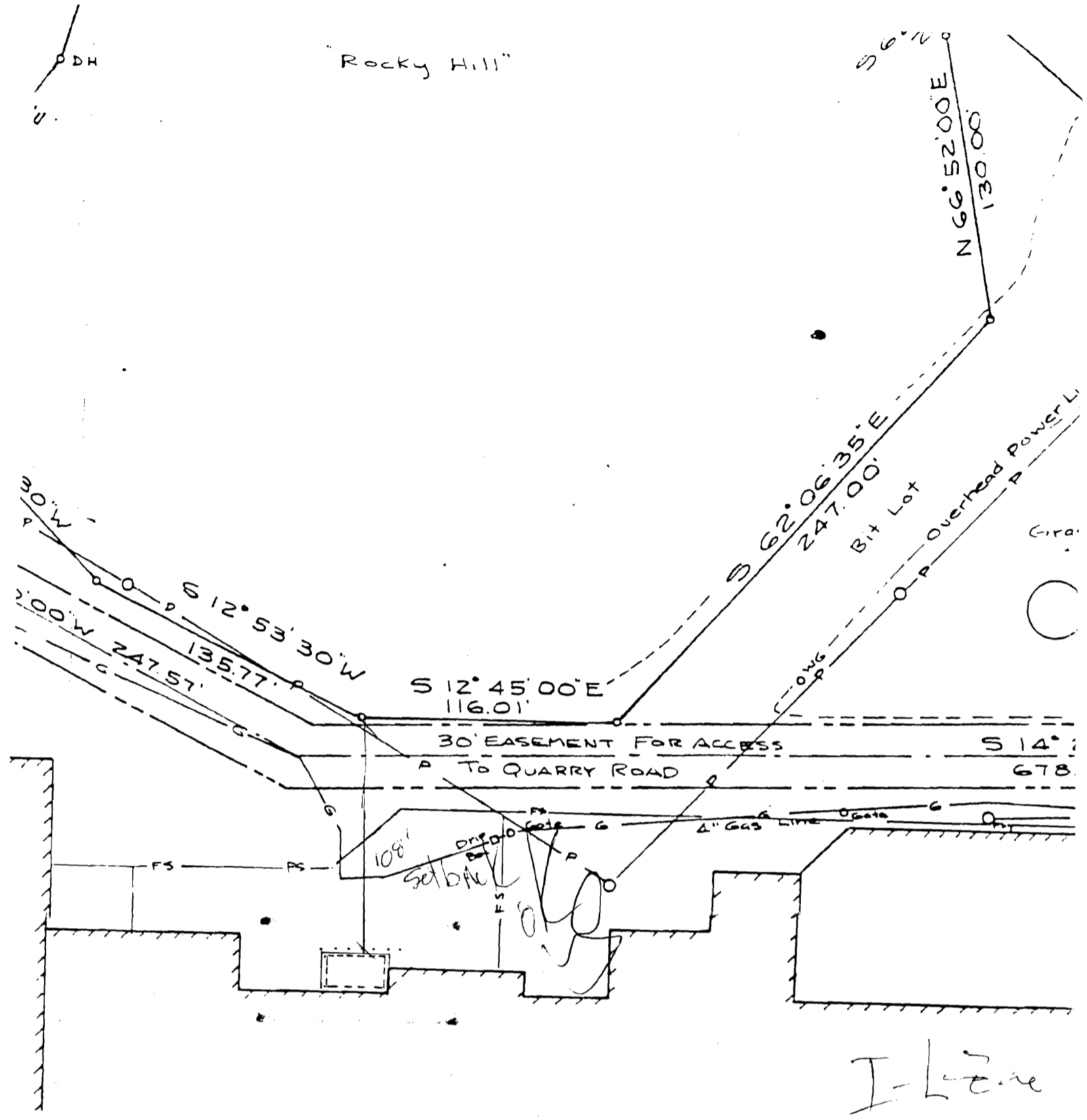
Rigid conduits for the power and telephone service are to be run to the specified location at the tank foundation perimeter. Cable and conduit runs should be as direct as possible with a minimum of splice joints. Telephone cable must not be installed in trays or in conduit shared with electrical power cable. Wiring requirements are as follows:

- **Electrical Power** – 120 volts AC, 15-amp circuit, #14 AWG, 3-conductor, type THWN wire. An on/off switch shall be installed as the termination point for the electrical power.
- **Telephone Service** – Twisted-pair, two-pair cable minimum (1 spare pair), 22-gauge solid copper wire, PVC-insulated conductors color coded to telephone industry standards with cable sheath per site environment, and shielding as required. Cable must meet or exceed Insulated Cable Engineer's Association standard S-80-576, and must be capable of carrying Level 1 modulated analog data. "Voice-Over-Internet Protocol" (VoIP) telephone systems will not work for RTU applications. The service must be Direct Inward Dialing (DID).

The installed power service shall be tested for proper voltage, and shall then be de-energized, electrically insulated, and secured from physical damage. The installed telephone service shall be tested for strong dial tone and the ability to place and receive telephone calls at the RTU end of the cable. Praxair will supervise the customer's electrician in the completion of the power and telephone service installation from the conduit termination points into the RTU.

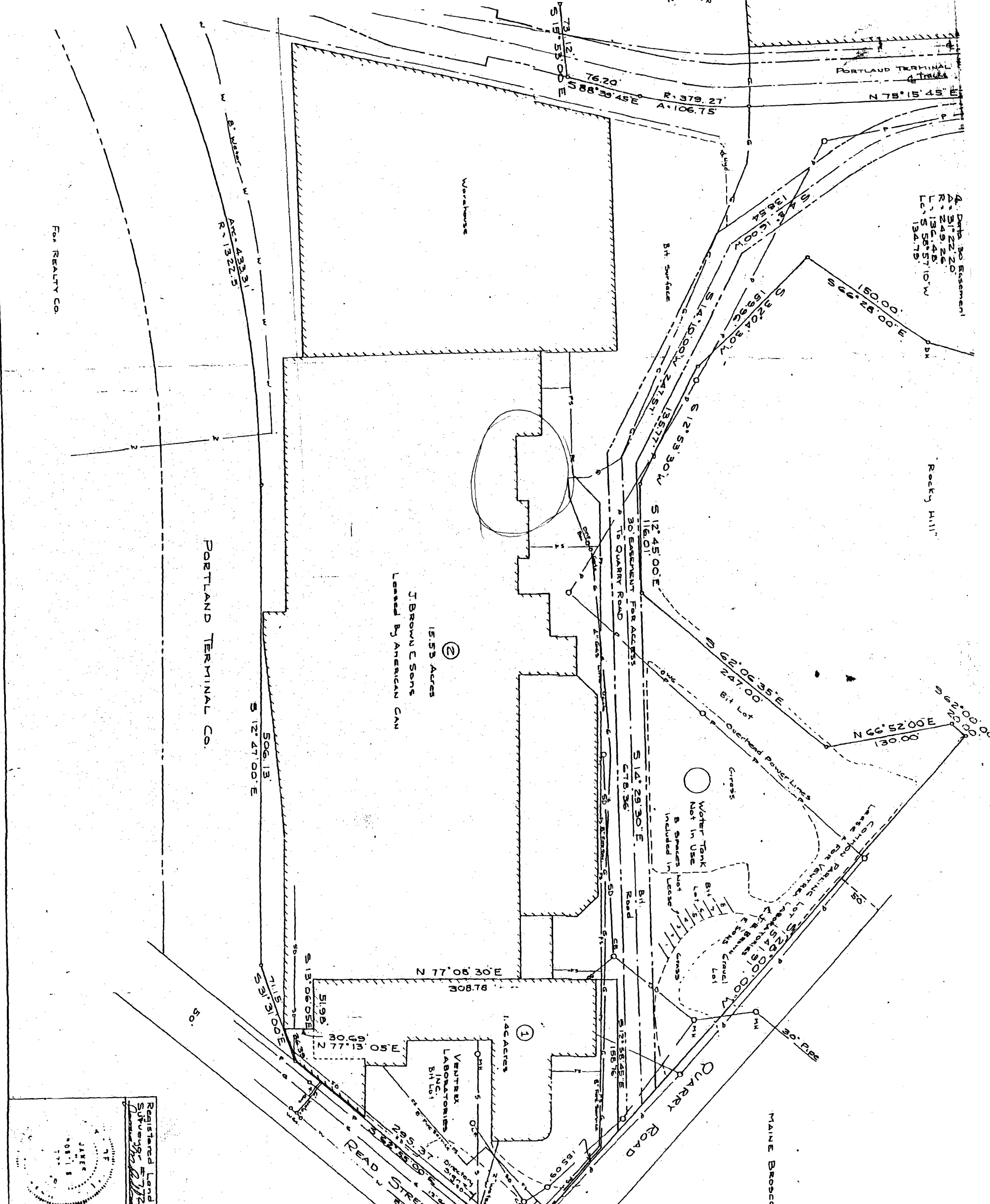
¹ "Hazardous" location defined by NFPA 70 National Electrical Code, section 500.5.

Rocky Hill



I-Line

1" = 60' on original survey

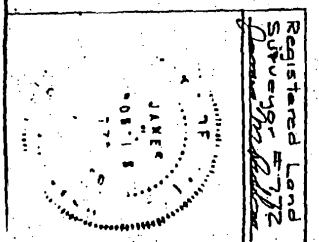


FOL REALTY CO.

PORTLAND TERMINAL CO.

15.53 Acres
 J. BROWN & SONS
 Leased By AMERICAN CAN

MAINE BROSCO, INC.



Registered Land Surveyor
 JAMES J. JORDAN
 No. 172

SCALE 1" = 50'
 SURVEY PLAT JHR
 TRACED JHR
 FIELD BOOK (Open Page No.) JHR
 DATE 3-27-1931

H. I. & E. C. JORDAN - SURVEYORS
 DIVISION OF EDWARD C. JORDAN CO., INC.
 PORTLAND, MAINE

PLAN OF SUBDIVISION
 MADE FOR
 PORTLAND MAINE
 J.B. BROWN & SONS

Recorded 4/15/31
 Plan Book 130, Page 43

Note: Corners are marked by irons or reinforcing rods.

AUG 2 1931