

Listed below are key characters (in bold) for searching within this file.

Hold down the control key and select the “f” key. Enter either a key character from the list below or document name and select enter for a list of documents containing the search word you entered.

APL – all documents behind this target sheet pertain to the original application submitted by the Applicant.

REVIEW – all documents behind this target sheet pertain to those documents submitted to and from staff as part of the project review.

PBM1 – all documents behind this target sheet are any Planning Board memos with attachments that went to the Board.

PBR1 - all documents behind this target sheet are any Planning Board reports with attachments that went to the Board.

CC1 - all documents behind this target sheet are any City Council memos/reports that went to the City Council.

DRC1 - all documents behind this target sheet are those pertaining to the post review of the project by the Development Review Coordinator.

MISC1 - all documents behind this target sheet are those that may not be included in any of the categories above.

APL

CITY OF PORTLAND, MAINE

PLANNING BOARD

Orlando E. Delogu, Chair
Lee Lowry III, Vice Chair
John Anton
Kevin Beal
Michael Patterson
David Silk
Janice E. Tevanian

April 30, 2004

Kristin Newland
Curry Brandaw Architects
2601 25th Street, SE
Suite 300
Salem, Oregon 97302

RE: Canco Woods, Phase II, 219 Canco Road
ID #2003-0196, CBL #149-B-1

Dear Ms. Newland:

On April 27, 2004 the Portland Planning Board voted 6-1 (Silk opposed) to approve the subdivision, site plan and site location of development for Portland Retirement Residence at 219 Canco Road. The approval was granted for the project with the following conditions:

- i. that the project engineer address the Development Review Coordinator's comments raised in the April 21, 2004 memo, and the final plans shall require approval by the Development Review Coordinator after such consultation.
- ii. that the applicant provide a subdivision recording plat for the development, as required by the subdivision ordinance, which shall include all easements between Parcel A and Parcel B.
- iii. that the applicant revise the plans in accordance with the Public Works' comments dated March 10, 2004 regarding the sewer connection.
- iv. that the applicant submit the Tier 1 Wetlands Alteration Permit approval from the Maine Department of Environmental Protection prior to issuance of a building permit.
- v. that the applicant submit easement deed or deeds between owners of Parcel A and Parcel B for review and approval by Corporation Counsel.
- vi. that the applicant shall provide satisfactory evidence of its legal right to install a sewer line within Dudley Street and Lee Street as shown on the plan and, if no such right is shown, applicant will provide an alternative design and location to the Planning Authority for review and approval prior to the issuance of a Certificate of Occupancy.
- vii. Prior to issuance of a building permit, the Zoning Administrator will be provided the subdivision plan for review with compliance with zoning provisions of ordinance relative to the lots.

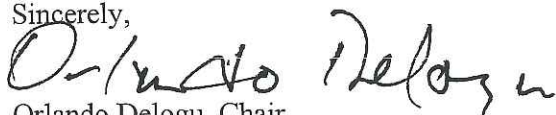
The approval is based on the submitted site plan and the findings related to subdivision and site plan review standards as contained in Planning Report #15-04, which is attached.

Please note the following provisions and requirements for all site plan approvals:

1. A performance guarantee covering the site improvements as well as an inspection fee payment of 1.7% of the guarantee amount and 7 final sets of plans must be submitted to and approved by the Planning Division and Public Works prior to the release of the building permit. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.
2. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. Requests to extend approvals must be received before the expiration date.
3. A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.
4. Prior to construction, a preconstruction meeting shall be held at the project site with the contractor, development review coordinator, Public Work's representative and owner to review the construction schedule and critical aspects of the site work. At that time, the site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the preconstruction meeting.
5. If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)
6. The Development Review Coordinator (874-8300 ext. 8722) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If there are any questions, please contact Kandice Talbot, Planner at 874-8901.

Sincerely,



Orlando Delogu, Chair
Portland Planning Board

cc: Lee D. Urban, Planning and Development Department Director
Alexander Jaegerman, Planning Division Director
Sarah Hopkins, Development Review Services Manager
Kandice Talbot, Planner
Jay Reynolds, Development Review Coordinator
Marge Schmuckal, Zoning Administrator
Karen Dunfey, Inspections
Michael Bobinsky, Public Works Director
Traffic Division
Tony Lombardo, Project Engineer
Eric Labelle, City Engineer
Jeff Tarling, City Arborist
Penny Littell, Associate Corporation Counsel
Lt. Gaylen McDougall, Fire Prevention
Don Hall, Appraiser, Assessor's Office
Approval Letter File
Owens McCullough, Sebago Technics Inc., One Chabot Street, P.O. Box 1339, Westbrook, ME
04098-1339

From: "Steve Bushey" <SBushey@DelucaHoffman.com>
To: "Kandi Talbot (E-mail)" <KCOTE@ci.portland.me.us>
Date: Thu, May 6, 2004 10:33 AM
Subject: Woods at Canco

Kandi,

Owens McCullough, Steve Gross and I walked the Woods at Canco site on Tuesday and reviewed the drainage conditions downgradient to Fall Brook. We observed multiple drainage paths originating in the woods that are to be a Natural Open Space park. These various drainage fingers combine in the vicinity of the northeast corner of the property and the Lee Street area and then the drainage flows somewhat parallel with the rear property line of the residences easterly towards Fall Brook. From Lee Street downstream the drainage is generally confined to a defined channel that has eroded a modest swale (4' to 8' deep) below the adjacent back yards. The swale is not very well stabilized, however it has been encroached upon by dumped leaves, grass clippings, natural or placed trees branches etc. Based on these observations, Owens and I agreed that the project's stormwater facilities should adequately address stormwater issues on the site and that downstream conditions are acceptable to handle the site generated flows, particularly since a system will be installed as part of the project. Therefore, I am satisfied that the Planning Board's condition of approval regarding the applicant's cooperation with the peer review engineer has been satisfied. Owens is to address the potential to relocate the sanitary sewer alignment out of Dudley and Lee Street. In my opinion the Dudley and Lee Street route is more favorable than through the Natural Open space park since a pipe route throught the park would result in impacts to a number of wetlands and drainage fingers that run through the land.

If you have any further questions please call this office.

Stephen Bushey, PE
Senior Engineer
Deluca-Hoffman Associates, Inc.
778 Main Street, South Portland, ME
207-775-1121
(fax) 207-879-0896
sbushey@delucahoffman.com



CITY OF PORTLAND, MAINE

Department of Building Inspections

Sept 18 2008

Received from Colonial Colon-Construction

Location of Work 557 Carico Rd

Cost of Construction \$ _____

Permit Fee \$ 4,000.00

Building (IL) _____ Plumbing (I5) _____ Electrical (I2) _____ Site Plan (U2)

Other _____

CBL: 149 B001
160 E001
161 A001

Check #: _____

Total Collected \$ 4,000.00

THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy

Handwritten signature

City of Portland Site Plan Application

If you or the property owner owe real estate taxes, personal property taxes or user charges on any property within the City of Portland, payment arrangements must be made before permit applications can be received by the Inspections Division.

Address of Proposed Development: <u>257 Canco Road (217-283)</u>		Zone:
Total Square Footage of Proposed Structure: <u>≈ 72,000 SF</u>	Square Footage of Lot: <u>218,312 SF</u>	
Tax Assessor's Chart, Block & Lot: Chart# Block# Lot#	Property owner's mailing address: <u>P.O. Box 14111</u> <u>Salem, OR 97309</u>	Telephone #: <u>503-370-7070</u>
Consultant/Agent, mailing address, phone # & contact person: <u>Curry Brandaw Architects</u> <u>2601 25th St. SE, Suite 300</u> <u>Salem, OR 97302</u> <u>503-399-1090 Kristin Newland</u>	Applicant's name, mailing address, telephone #/Fax#/Pager#: <u>Portland Retirement</u> <u>Residence Limited</u> <u>Liability Company</u> <u>P.O. Box 14111 Salem OR 97309</u> <u>503-370-7070</u>	Project name: <u>Portland Assisted</u> <u>Living Facility</u>
Proposed Development (check all that apply) <input checked="" type="checkbox"/> New Building <input type="checkbox"/> Building Addition <input type="checkbox"/> Change of Use <input type="checkbox"/> Residential <input type="checkbox"/> Office <input type="checkbox"/> Retail <input type="checkbox"/> Manufacturing <input type="checkbox"/> Warehouse/Distribution <input type="checkbox"/> Parking lot <input type="checkbox"/> Subdivision (\$500.00) + amount of lots _____ (\$25.00 per lot) \$ _____ <input checked="" type="checkbox"/> Site Location of Development (\$3,000.00) (except for residential projects which shall be \$200.00 per lot _____) <input type="checkbox"/> Traffic Movement (\$1,000.00) <input type="checkbox"/> Stormwater Quality (\$250.00) <input type="checkbox"/> Section 14-403 Review (\$400.00 + \$25.00 per lot) <input type="checkbox"/> Other _____		
Major Development (more than 10,000 sq. ft.) <input type="checkbox"/> Under 50,000 sq. ft. (\$500.00) <input checked="" type="checkbox"/> 50,000 - 100,000 sq. ft. (\$1,000.00) <input type="checkbox"/> Parking Lots over 100 spaces (\$1,000.00) <input type="checkbox"/> 100,000 - 200,000 sq. ft. (\$2,000.00) <input type="checkbox"/> 200,000 - 300,000 sq. ft. (\$3,000.00) <input type="checkbox"/> Over 300,000 sq. ft. (\$5,000.00) <input type="checkbox"/> After-the-fact Review (\$1,000.00 + applicable application fee)		
Minor Site Plan Review <input type="checkbox"/> Less than 10,000 sq. ft. (\$400.00) <input type="checkbox"/> After-the-fact Review (\$1,000.00 + applicable application fee)		
Plan Amendments <input type="checkbox"/> Planning Staff Review (\$250.00) <input type="checkbox"/> Planning Board Review (\$500.00)		

- Please see next page -

Who billing will be sent to: (Company, Contact Person, Address, Phone #)

Curry Brandaw Architects
Holly Benton
2601 25th St. SE, Suite 300
Salem, OR 97302
503-399-1090

Submittals shall include (9) separate folded packets of the following:

- a. copy of application
- b. cover letter stating the nature of the project
- c. site plan containing the information found in the attached sample plans check list

Amendment to Plans: Amendment applications should include 6 separate packets of the above (a, b, & c)
ALL PLANS MUST BE FOLDED NEATLY AND IN PACKET FORM

Section 14-522 of the Zoning Ordinance outlines the process, copies are available at the counter at .50 per page (8.5 x11)
you may also visit the web site: ci.portland.me.us chapter 14

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant:



Date:

9/5/03

This application is for site review ONLY, a building Permit application and associated fees will be required prior to construction.



Site Plan Submission
to
City of Portland

Portland Retirement Residence
257 Canco Road
Portland, Maine

on behalf of

Owner

XL Management Company, LLC/Holiday Retirement Corp.
2601 25th Street, S.E., Suite 300
Salem, OR 97302

Architect

Curry Brandaw Architects
2601 25th Street, S.E., Suite 300
Salem, OR 97302

March 2004

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Exhibit 12 Evidence of Community Notification

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Grading & Utility Plan, Floor Plan, Building Elevations, and Color
Rendering

24" X 36" Site Plan Drawings



City Of Portland Site Plan Checklist

THE WOODS AT CANCO ROAD

Project Name, Address of Project

Application Number

Submitted () & Date Item

Required Information

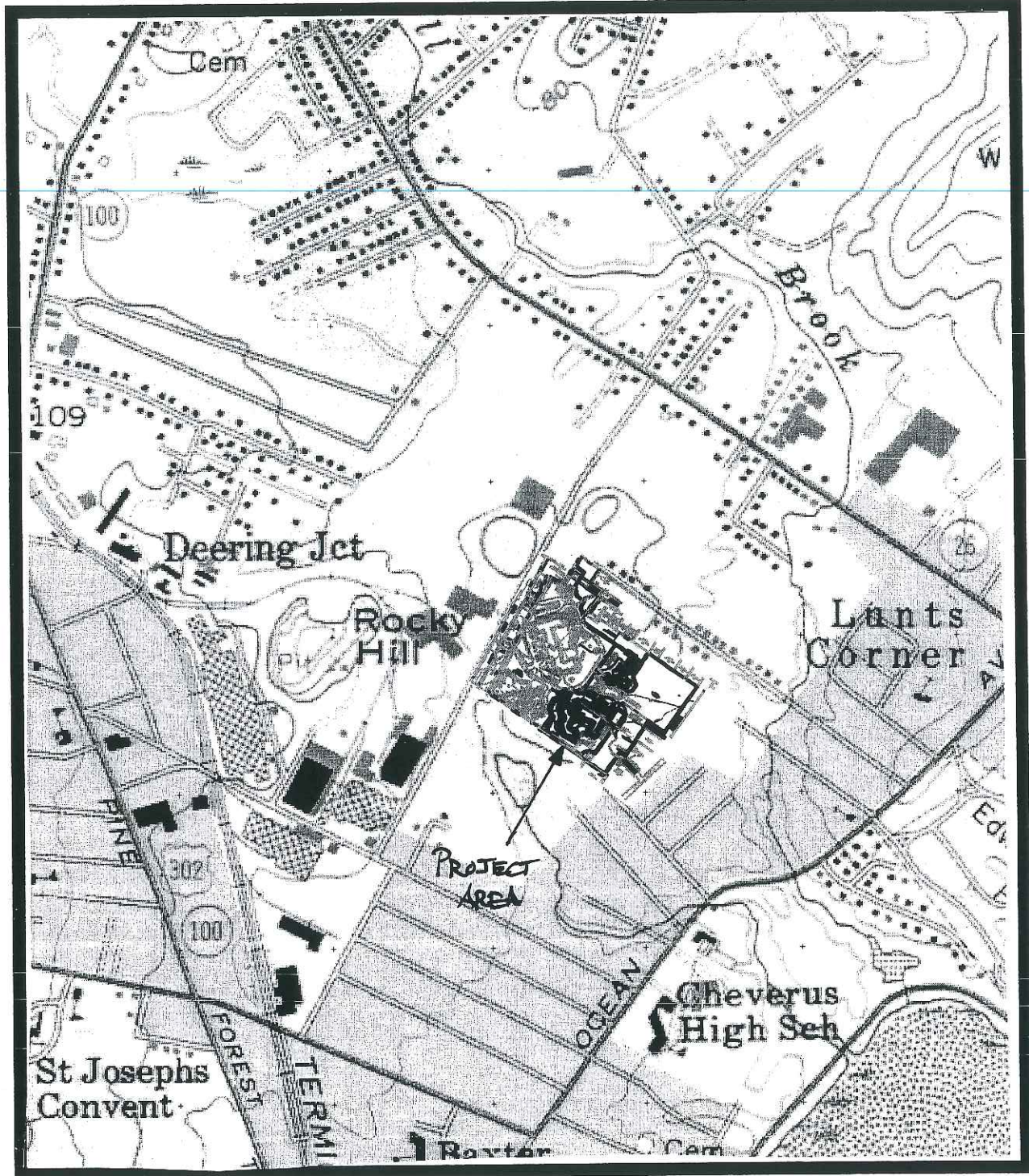
Section 14-525 (b,c)

✓	(1)	Standard boundary survey (stamped by a registered surveyor, at a scale of not less than 1 inch to 100 feet and including:	1
✓	(2)	Name and address of applicant and name of proposed development	a
✓	(3)	Scale and north points	b
✓	(4)	Boundaries of the site	c
✓	(5)	Total land area of site	d
✓	(6)	Topography - existing and proposed (2 feet intervals or less)	e
✓	(7)	Plans based on the boundary survey including:	2
✓	(8)	Existing soil conditions	a
✓	(9)	Location of water courses, marshes, rock outcroppings and wooded areas	b
✓	(10)	Location, ground floor area and grade elevations of building and other structures existing and proposed, elevation drawings of exterior facades, and materials to be used	c
✓	(11)	Approx location of buildings or other structures on parcels abutting the site	d
✓	(12)	Location of on-site waste receptacles	e
✓	(13)	Public utilities	e
✓	(14)	Water and sewer mains	e
✓	(15)	Culverts, drains, existing and proposed, showing size and directions of flows	e
✓	(16)	Location and dimensions, and ownership of easements, public or private rights-of-way, both existing and proposed	f
✓	(17)	Location and dimensions of on-site pedestrian and vehicular access ways	
✓	(18)	Parking areas	g
✓	(19)	Loading facilities	g
✓	(20)	Design of ingress and egress of vehicles to and from the site onto public streets	g
✓	(21)	Curb and sidewalks	g
✓	(22)	Landscape plan showing:	h
✓	(23)	Location of existing proposed vegetation	h
✓	(24)	Type of vegetation	h
✓	(25)	Quantity of plantings	h
✓	(26)	Size of proposed landscaping	h
✓	(27)	Existing areas to be preserved	h
✓	(28)	Preservation measures to be employed	h
✓	(29)	Details of planting and preservation specifications	h
✓	(30)	Location and dimensions of all fencing and screening	i
✓	(31)	Location and intensity of outdoor lighting system	j
✓	(32)	Location of fire hydrants, existing and proposed	k
✓	(33)	Written statement	c
✓	(34)	Description of proposed uses to be located on site	l
✓	(35)	Quantity and type of residential, if any	l
✓	(36)	Total land area of the site	b2
✓	(37)	Total floor area and ground coverage of each proposed building and structure	b2
✓	(38)	General summary of existing and proposed easements or other burdens	c3
✓	(39)	Method of handling solid waste disposal	4
✓	(40)	Applicant's evaluation of availability of off-site public facilities, including sewer, water and streets	5
✓	(41)	Description of any problems of drainage or topography, or a representation that there are none	6
✓	(42)	An estimate of the time period required for completion of the development	

Exhibit 2

Site Location Map

FIGURE 1



SITE LOCATION MAP

PORTLAND ASSISTED LIVING FACILITY

CANCO ROAD

PORTLAND, MAINE

SCALE 1" = 1000'



Sebago Technics
Engineering & Planning for the Future

Exhibit 3

Property Deed

Exhibit 4

Conditional Zoning Information

Exhibit 1

Site Plan Checklist

City of Portland, Maine
IN THE CITY COUNCIL

Order 59
Tab 20 8-4-97

AMENDMENT TO ZONING MAP
RE: R-5A AND R-OS CONDITIONAL REZONING/VICINITY CANCO ROAD

**BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF PORTLAND, MAINE
IN CITY COUNCIL ASSEMBLED AS FOLLOWS:**

That the Zoning Map of the City of Portland, dated March 1958, as amended and on file in the Department of Planning and Urban Development, and incorporated by reference into the Zoning Ordinance by §14-49 of the Portland City Code, be and hereby is amended by adopting the map change amendments shown on Attachment A.

BE IT FURTHER ORDAINED that such rezoning shall be subject to the following conditions:

1. The development shall be substantially as shown on the plan attached hereto as Attachment B, subject to final approval by the Planning Board.

2. In the event that the property is transferred to a non-profit entity, the current owner attains non-profit status, or the property, together with any improvements thereon, is otherwise determined to be exempt from municipal taxation, the owner shall make a payment in lieu of taxes in the full amount of the taxes that would be due and payable on the property if it were taxable. Such payments shall be made at the same time that property tax bills are due. Notwithstanding the foregoing, any present or future owner of the property who may be obligated by reason of this conditional rezoning to make a payment in lieu of taxes may appeal the valuation of the property, but not the obligation to make such a payment, pursuant to 36 M.R.S.A. §841. Failure to make payments required under this section shall result in a rezoning of the property to O-P, or a successor zone, after notice to the then owner of the property and a hearing by the City Council.

In the event that this condition is determined by a court of law to be unenforceable, then the use of the property permitted in the R-5A zone shall cease and the zoning classification shall revert to O-P or any successor zone after notice to the owner and a hearing by the City Council.

3. Public access shall be provided as shown on Attachment B. The Owner shall provide a deed for such access, in a form acceptable to the City's Corporation Counsel. Areas shown on

R-5ACANCREPB.FIN
07.23.97

Attachment B as open space park and easement areas shall remain undeveloped and shall not be disturbed, except for removal of dead or diseased trees or other vegetation, planting of new vegetation, installation and maintenance of utilities if areas are appropriately restored after such work, and construction and maintenance of trails.

4. This rezoning shall run with the land and shall be binding upon the owner, its successors and assigns, and any users of the property.

5. An attested copy of this conditional rezoning order shall be recorded in the Cumberland County Registry of Deeds.

**CITY OF PORTLAND, MAINE
CITY COUNCIL AGENDA REQUEST FORM**

TO: Nadeen Daniels, City Clerk/Assistant City Manager
Elizabeth Boynton, Associate Corporation Counsel

FROM: Joseph E. Gray, Jr., Director of Planning and Urban Development

DATE: July 23, 1997

SUBJECT: R-5A Text Amendment and Zone Change Request from O-P to R-5A and ROS
Conditional Zone at 185 Canco Road

- 1) Council Meeting at which action is requested (Date): August 4, 1997
- 2) Can action be taken at a later date? YES NO

I. SUMMARY OF ISSUE

Holiday Retirement Corp. is requesting a R-5A and ROS Conditional rezoning in the vicinity of 185 Canco Road to accommodate a Retirement Residence and an Assisted Living facility. They are also requesting a text amendment to the R-5A zone to allow intermediate, extended and long term care facilities with a minimum lot size of one and one-half acres. The Portland Planning Board voted unanimously (7-0) to recommend to City Council approval of the R-5A Text Amendment and the proposed R-5A and ROS conditional rezoning at 185 Canco Road, subject to five (5) conditions.

II. REASON FOR SUBMISSION (What issue/problem will this address?)

185 Canco Road is situated in an O-P zone which excludes a Retirement Residence and an Assisted Living Facility.

III. INTENDED RESULT (How does it resolve the issue/problem?)

The text amendment and conditional rezoning will allow a Retirement Residence and an Assisted Living Facility. The conditional rezoning includes conditions that the development shall be substantially as shown on the site plan, that if this property becomes exempt from municipal taxation the owner shall make payments in lieu of taxes, that public access shall be provided, and that the open space park and easement areas to be rezoned ROS shall remain undeveloped and not be disturbed, except for removal of dead and diseased trees or other vegetation, planting of new vegetation, installation and maintenance of utilities if areas are appropriately restored after such work, and construction and maintenance of trails. The text amendment and conditional rezoning are included as Attachment 1 and 2.

IV. FINANCIAL IMPACT

There are no known financial impacts to the City.

V. **STAFF ANALYSIS & RECOMMENDATION**

See attached copy of the Board's report to City Council (Attachment 3).

Attachments:

1. R-5A Text Amendment
2. R-5A and ROS Conditional Rezoning
3. Planning Board Report

PLANNING BOARD REPORT #30-97

PLANNING BOARD REPORT

CANCO ROAD

**R-5A TEXT AMENDMENT AND ZONE CHANGE REQUEST
O-P TO R-5A AND ROS CONDITIONAL ZONE
HOLIDAY RETIREMENT CORP., APPLICANT**

Submitted to:

Portland City Council
Portland, Maine

July 28, 1997

I. INTRODUCTION

The Planning Board is forwarding a recommendation to the City Council a request for a R-5A text amendment and a zone change from O-P Office Park to a R-5A Residential and ROS Recreation Open Space Conditional Zone for the property located in the vicinity of 185 Canco Road.

Holiday Retirement Corp. is requesting a R-5A and ROS conditional zone change in the vicinity of 185 Canco Road to accommodate a Retirement Residence and an Assisted Living Facility. Attachment 1 is the zone change application, Attachment 3 and 4 is the R-5A Text Amendment and Conditional Rezoning Amendment, and Attachment 10 is the zone change map. Letters from the public are included as Attachment 6.

II. FINDINGS

Current Zoning:	O-P Office Professional
Proposed Zoning:	R-5A Residential and ROS Recreation Open Space Conditional Zone
Land Area:	20.97 acres
Existing Use:	Vacant
Proposed Use:	211 Retirement Residence and Assisted Living Facility
Proposed Parking:	155 parking spaces
Land Uses in the Vicinity:	The area east and north of the site is predominantly residential. To the south of the site is an IL zone which is currently vacant. To the west of the property are office and industrial uses.

III. PROPOSED ZONE CHANGE

Holiday Retirement Corp. is requesting a R-5A and ROS conditional zone change in the vicinity of 185 Canco Road to accommodate a Retirement Residence and an Assisted Living Facility. The 20.97 acre site is currently zoned O-P Office park and is a vacant, wooded lot. The lot is bounded by Canco Road, Frye Street, Dudley Street, Rosedale Street and Murray Street.

The applicant is proposing a two phased project with a total of 211 retirement suites and 155 parking spaces. Also proposed, would be a 75 foot open space buffer along the Murray Street neighborhood, which would total 1.63 acres, and a natural open space park along the east portion of the site, which would total 4.81 acres. The applicant is requesting that the open space park and easement be rezoned ROS.

IV. ZONING POLICY ANALYSIS

The applicant is seeking a R-5A and ROS conditional zone to allow a Retirement Residence and an Assisted Living Facility. The purpose of the R-5A Residential Zone states:

The purpose of the R-5A residential zone is to provide for moderate-density residential development in off-peninsula sections that can provide a unique residential living experience with a high degree of natural site amenities; and to provide areas of the city in the general proximity of the peninsula that have the capability for adequate municipal services, including traffic corridors with

adequate traffic capacity, that can appropriately accommodate a more intensive use of land than other lower-density zoned land and be compatible with surrounding neighborhoods; and to increase affordable housing opportunities in off-peninsula locations by providing a moderate-density zone.

The site is a vacant wooded lot. The applicant is proposing to retain approximately 7 acres of the 20 acre site for open space. This project would also create a moderate-density residential development in an off-peninsula area.

The Comprehensive Plan states as a goal "to ensure that the housing needs of a growing and diverse elderly population are met." This project would offer an independent style of living to a variety of income levels and people with different needs.

At the workshop the applicant submitted a letter discussing the zoning policy for this site. Attachment 7 is the letter.

As one of the last large undeveloped commercially zoned sites in the City, the future of this parcel is an important policy consideration for the City of Portland. This site is the last undeveloped Office Park O-P zone in Portland. An Office Park development and an elderly housing proposal vary greatly in impact on neighbors, infrastructure and natural resources and these issues should be considered by the Planning Board during its deliberations.

The applicant has submitted an economic impact study that estimates between Phase I and Phase II, this project will be approximately an \$11 million project. The economic impact study is included as Attachment 2.

At the last workshop meeting, the Board asked the Department of Economic Development for their opinion on this zone change and proposal. The Department of Economic Development would like to lend strong support to this development. Economic Development is currently engaged in efforts to attract and expand companies that offer higher-than-average wages, using technologically. This industry requires office space designed to meet the needs associated with 24-hour telemarketing call centers, back office services and other computer related users. Given the type of industries that are emerging and their need for real estate, there may be future zoning request for O-P office park land in Portland. A memo from Tony Donovan has been included as Attachment 5.

V. DEVELOPMENT PLAN

The applicant is proposing two phases. The first phase will consist of the Retirement Residence with approximately 127 suites. The second phase will be the Assisted Living Facility and will have approximately 84 suites.

The Retirement Residence is designed for elderly residents who are still ambulatory, but in need of support. The private suites include studio, one and two bedroom versions, and are similar to apartments except that a kitchen is not included. Services provided include three prepared meals daily, housekeeping, laundering, private bus transportation and various activities. Staff are "in house" 24 hours a day.

The Assisted Living Facility is designed for the elderly who do not require a nursing home, but need some support. The suites will be set up the same as the Retirement Residence. Services provided include licensed nurse on site, personal care attendant coverage, assistance with essential personal activities, ancillary service, monthly health screening, dietary consultation, and three prepared meals daily.

The building construction will be wood frame with stucco siding, and an asphalt shingle roof. The building interior design has common areas for a variety of uses. Both buildings will have a common dining room and kitchen, multi-purpose room, beauty shop, and lounge. The Retirement Residence will have a crafts room, TV room, lounges and an exercise room.

Access will be from Canco Road. The applicant has proposed 90 parking spaces for the first phase and 65 parking spaces for the second phase.

If this zone change is approved, some issues that will need to be resolved at the site plan stage are:

- 1) Status of paper streets. If paper streets run into this site they will need to be vacated.
- 2) Traffic issues. A traffic study will be required.
- 3) Stormwater/sanitary sewer issues. There are serious drainage and sewer issues that will need to be dealt with for this site.

VI. NEIGHBORHOOD ISSUES

A neighborhood meeting was held on May 28, 1997. The three main concerns of the neighborhood include (but are not limited to):

- drainage and sewer problems already existing in the area and how would this development affect this problem;
- that the open space easement along Murray Street remain as is and not be cleared; and
- a neighbor abutting the southeast corner of the site would like to see the 75 foot open space easement continue on the south side of the property. The applicant has considered this request and has added some open space on the south side of the property.

Attachments 6a - 6n are correspondence from the neighbors. Please note that Attachment 6k is Mary Conroy's letter to Kathi Staples, City Engineer, and Ms. Staples response is included as Attachment 6n.

VII. Conditions For Rezoning

This property is one of the last large undeveloped sites left in the city. Due to neighborhood issues and concerns of the city it was determined that this project may be appropriate as an R-5A conditional rezoning. This rezoning shall be subject to the following proposed conditions:

- that the development shall be substantially as shown on the site plan;

- that in the event this property is transferred to a non-profit entity, or is otherwise determined to be exempt from municipal taxation, the owner shall make a payment in lieu of taxes in the full amount of the taxes that would be due and payable on the property as if it were taxable. Such payments shall be made at the same time that property tax bills are due;
- that public access shall be provided and areas shown as open space park and easement areas shall remain undeveloped and shall not be disturbed, except for removal of dead or diseased trees or other vegetation, planting of new vegetation, installation and maintenance of utilities if areas are appropriately restored after such work, and construction and maintenance of trails;
- that the rezoning shall run with the land and shall be binding upon the owner, its successors and assigns, and any users of the property; and
- that a copy of this conditional rezoning order shall be recorded in the Cumberland County Registry of Deeds.

VIII. R-5A TEXT AMENDMENT

The applicant is also requesting a text amendment to the R-5A zoning text. This amendment will allow intermediate, extended and long-term care facilities as permitted uses in the R-5A zone with a minimum lot size of one and one-half acres. Attachment 3 is the R-5A Text Amendment.

IX. MOTIONS FOR THE BOARD TO CONSIDER

On July 22, 1997 the Planning Board voted 6-0 (Carroll absent) to recommend the proposed R-5A text amendment and proposed rezoning from O-P Office Park to R-5A Residential and ROS Recreation Open Space Conditional Zone in the vicinity of 185 Canco Road to the City Council.

Attachments:

1. Zone Change Application
2. Letter from Applicant
3. R-5A Text Amendment
4. Conditional Rezoning Amendment
5. Memo from Economic Development
- 6a-6n. Letters from neighbors and responses
7. Zoning Policy Submitted by Applicant
8. Site Plan
9. Zoning Map and Uses in the Area

APPLICATION FOR ZONING AMENDMENT
CITY OF PORTLAND, MAINE

Attachment 1

DATE March 19, 1997

TO THE CITY PLANNING BOARD, CITY HALL, PORTLAND, MAINE 04101:

The undersigned hereby requests that you consider whether it would be consistent with the comprehensive plan of the City of Portland, Maine, and make appropriate recommendation for action by the City Council concerning the following proposed amendments to the Zoning Ordinance of the City of Portland, Maine:

A. ZONING MAP AMENDMENT:

FROM O-P ZONE TO R-5A ZONE
w/ amendment to allow I - use

The property situated on Canco Rd. Street/Avenue
between Murray Street/Avenue and Frye Street/Avenue
on Southeast side(s).

Assessor's Reference (Chart, Block and Lot) for the property is as follows:

Parcel II, III, and IV of attached record owner information.

1. What original deed restrictions, if any, concerning the type of improvements and class of uses permitted were placed on the property involved? Give date restrictions expire:

N/A

2. Description of the existing use of property: Vacant land

3. Description of the proposed use of property: See attached concept information for both the retirement residence and assisted living facility

4. Area of Lot(s): 19.3 acres (gross)

Total Floor Area: N/A

5. Street Address of Property Involved

Unknow at this time

Property Owner and/or Name of Option Holder

Black Bear Development
Colson & Colson Const. Co.

Date of Acquisition

6. Submission of a site plan, as required in Article V of the Municipal Code.
7. Submission of plans and addresses of property owners abutting the subject property.

B. ZONING TEXT AMENDMENT:

1. Section of Ordinance to be amended: 14-127
2. Proposed text amendment - Attach on separate sheet the exact language being proposed, including existing relevant text, in which language to be deleted is depicted as crossed out (example), and language to be added is depicted with underlined (example).
3. Brief statement of the purpose of the proposed amendment.
4. If the amendment is intended to facilitate a development, reuse, alteration, addition or modification to a specific property, fill out the sections above under ZONING MAP AMENDMENT.

A fee for this application for a zoning amendment will be charged in accordance with Section 14-54 of the Municipal Code (see copy attached). The applicant also agrees to pay all costs of publication (or advertising) of the Public Hearing Notice as required for this application. Such amount will be billed to the applicant following the appearance of the advertisement.

The above information and the attached lists of property -- owners in the vicinity are true and accurate to the best of my knowledge.

3/19/97
Date of Filing


Signature of Applicant
Curry Brandaw Architects

2260 McGilchrist St. SE, Suite 100
Address of Applicant

Salem, OR 97302
City State ZIP

WITHDRAWAL: In the event of withdrawal of the zoning amendment application by the applicant prior to the submission of the advertisement copy to the newspaper to announce the public hearing, a refund of two-thirds of the amount of the zone change fee will be made to the applicant by the City of Portland.

Portland Planning Board
Portland, Maine

Effective: April 11, 1988

Sec. 14-54. Zone Change Fees

The following schedule of fees will be charged by the City for applications for changes of zon according to the following major zoning classifications and pertinent data relating to the specific zone change:

(1) Zoning Map Changes

	<u>1-25 Units</u>	<u>26-50 Units</u>	<u>51-75 Units</u>	<u>75 & Over</u>
Residence Zones	\$150.00	\$200.00	\$250.00	\$300.00
Nonresidential Zones	0-15,000 sq. ft. or 0-5 acres (which- ever is less)	15,000-30,000 sq. ft. or 6-10 acres (which- ever is less)	30,000-45,000 sq. ft. or 10-15 acres (which- ever is less)	45,000-60,000 sq. ft. or 15-20 acres (which- ever is less)
	\$150.00	\$200.00	\$250.00	\$300.00

Applicant shall assume payment of cost of all notices, including newspaper publication.

- (2) Text Changes: Minimum fee of one hundred dollars (\$100.00). Applicant shall assume payment of cost of all notices, including newspaper publication.

Administrative Policy: All ordinances that would cost more than the maximum to public should be printed in separate pamphlet form and advertised only by reference.

- (3) Waiver of Fees: The fee for zone change applications will be waived in the case of an application submitted by any governmental body.

- (4) Withdrawal of Application: If a zone change application is withdrawn by an applicant prior to the submission of the advertisement copy to the newspaper to announce the public hearing, a refund of two-thirds of the amount of the zone change fee will be made to the applicant by the City. (Code 1968, * 602.1.F; Ord. No. 589-75, * 1, 10-20-75; Ord. No. 590-75, * 1, 11-19-75; Ord. No. 693-81, 5-18-81; Ord. No. 523-87, 5-18-87)

Attachment B as open space park and easement areas shall remain undeveloped and shall not be disturbed, except for removal of dead or diseased trees or other vegetation or planting of new vegetation.

4. This rezoning shall run with the land and shall be binding upon the owner, its successors and assigns, and any users of the property.

5. An attested copy of this conditional rezoning order shall be recorded in the Cumberland County Registry of Deeds.

Exhibit 5

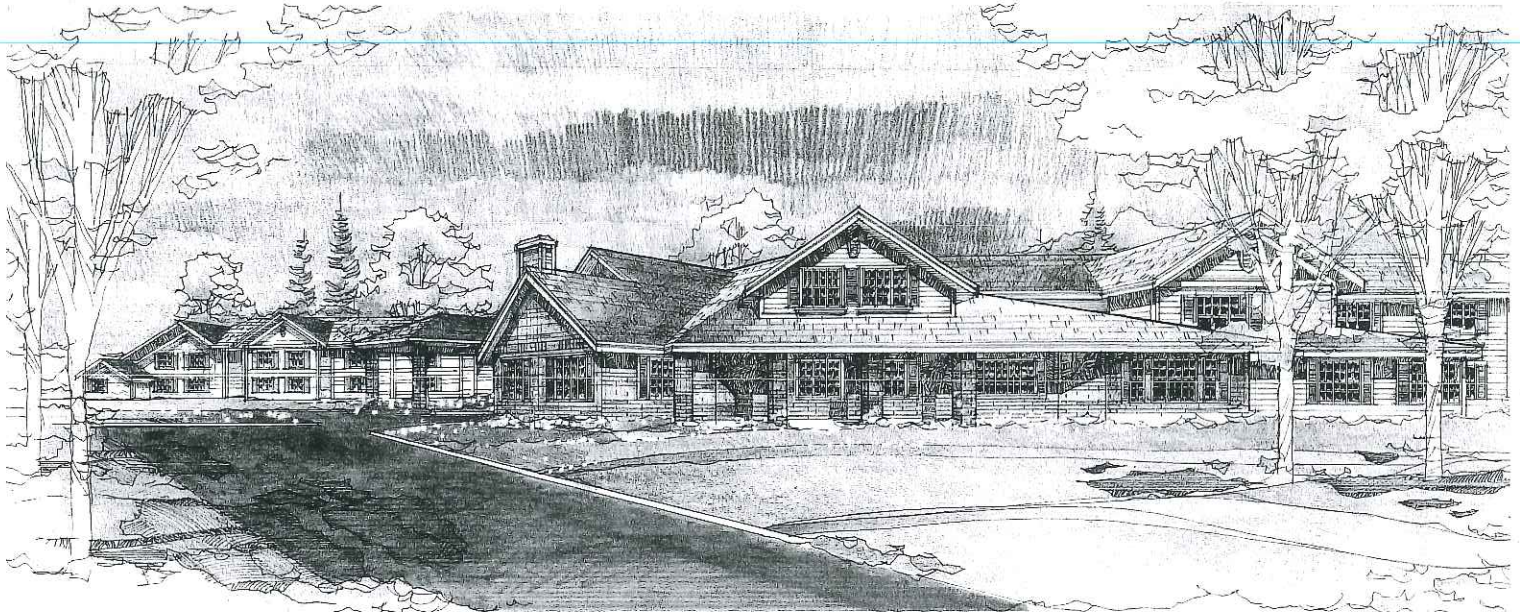
Curry Brandaw Project Narrative



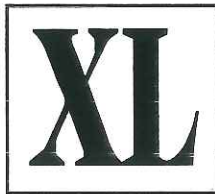
Curry Brandaw Architects

PARTNERSHIP

96592
" Do not
V/BINO



Portland Assisted Living Facility
Portland, Maine



Management Company L.L.C.



HOLIDAY RETIREMENT CORP.
2250 McGilchrist St. SE, Suite 200 • Salem, Oregon 97302
P.O. Box 14111 • Salem, Oregon 97309-5026 • (503) 370-7070



Curry Brandaw Architects

PARTNERSHIP

Portland Assisted Living Facility Portland, Maine Site Plan Approval Application

I. PROPOSAL

XL Management Company, L.L.C./Holiday Retirement Corp. proposes to develop an 80-suite assisted living facility with four cottage suites on the Phase II portion of the Woods at Canco Retirement Residence site along Canco Road.

II. REQUEST

The request is to obtain a Site Plan approval to allow the assisted living project to be developed on the site, which is zoned R-5A Residential.

III. OVERVIEW

Existing Zoning: R-5A
Land Area: 5.0 acres
Existing Use: Undeveloped Land
Proposed Use: 80-suite Assisted Living Facility
Proposed Parking: 48 total spaces consisting of 46 open, 2 handicap accessible

IV. CONCEPT

The Assisted Living Facility is an 80-suite facility for seniors who do not require the specialized services of a nursing home, yet are in need of some assistance with their daily routine. Services and activities at the facility are provided to maintain or improve the capabilities of each resident, with an emphasis on abilities rather than disabilities.

Services include three prepared meals daily, housekeeping, laundering, and private bus transportation. The monthly rent payment covers the private room, the afore-mentioned services and utilities. In addition to these services, a Service Plan detailing the services a resident requests or requires is determined. These services include assistance with medications, bathing, grooming, dressing and other areas of need. These services are offered 24 hours a day.

Private rooms afford the advantages of independent living while the services included provide support, security and friendship. The private suites include

studio, one and two bedroom versions. Each is similar to a dwelling unit except a kitchen is not included.

Typically our resident will be a single person in their late 70's or 80's. Approximately 10% of the rooms will be rented by couples making a total building population of 95. Fewer than 5% of the residents will be driving their own cars.

The site is ideally suited for our senior housing use. The site is in close proximity to services such as shopping, recreation and medical needs while still being part of an established residential area.

This proposal would offer several benefits to the area, which include:

- Large open spaces and generous setbacks. Over 60% of the site will be landscaped open space providing large open spaces and ample setbacks to create a park-like setting, and help buffer neighboring properties.
- Quiet Senior Residential Use - The proposed assisted living facility has 80 suites and four cottage units, which include studios, one bedroom, and two bedroom types. The suites do not have kitchens and are not considered full dwelling units. They are different from conventional senior apartment units with full kitchens, in that the density effect would be negligible. In addition, only about 10 percent of the suites will be occupied by couples, keeping the overall building population low. This project will not create the problems typically associated with higher density developments, such as traffic, noise or increased demand on public services.
- Low Traffic Generation - Residents, since they are in need of assistance, will seldom drive. We expect less than two trips per day per suite for visitor and staff purposes, but without the peak hour trip generation. This is based on the Institute of Transportation Engineers report and is far below equivalent trips per unit for a multi-family project.
- Increases Local Tax Base - This project is privately funded with no publicly funded assistance.
- Low Impact on Public Services - Including parks, schools, libraries, and transportation system.
- Fulfills Need for Assisted Living Housing - Our research has found that there is a strong need for the XL/Holiday program in this area.

V. STAFFING PLAN

The facility will employ approximately 32 full-time equivalent positions, which include administrative, food services, housekeeping and maintenance, and health care staff. The facility will maintain a health services staff on duty 24-hours a day.

VI. TRAFFIC/PARKING

Residents, since they are in need of assistance, typically do not drive. One parking space per two suites is sufficient for visitor and staff parking. Since residents do not drive, we expect less than two trips per day per suite for visitor and staff purposes. This is based on the Institute of Transportation Engineers informational report and is far below equivalent trips per unit for a multifamily project. Enclosed is a study of traffic and parking implications for Assisted Living Residences conducted by the American Seniors Housing Association. This study explains in detail the traffic and parking generation a project like ours will produce.

CONCLUSION

In conclusion, we feel that this site is ideally suited for our use and would be a nice addition to the Canco Road area and the existing Retirement Residence development

2000 American Seniors Housing Association 25 OWNERS

(25 LARGEST U.S. SENIORS HOUSING OWNERS AS OF JUNE 1, 2000)

2000 RANK	1999 RANK	COMPANY	HEADQUARTERS	CEO	1999 UNITS OWNED	2000 UNITS OWNED	1999 PROPERTIES OWNED	2000 PROPERTIES OWNED
1	1	COLSON & COLSON/HOLIDAY RETIREMENT CORP.	Salem, OR	William E. Colson	25,975	27,427	216	229
2	2	ALTEIRA HEALTHCARE CORP.	Brookfield, WI	William F. Lasky	16,435	21,119	274	453
3	4	NATIONWIDE HEALTH PROPERTIES, INC.	Newport Beach, CA	R. Bruce Andrews	9,500	11,529	124	125
4	3	Atria, Inc.	New York, NY	Mark Ticotin	11,010	9,704	114	100
5	5	SENIOR LIFESTYLE CORP.	Chicago, IL	William B. Kaplan	9,424	9,646	60	62
6	6	HEALTH CARE REIT, INC.	Toledo, OH	George L. Chapman	8,345	8,066	132	128
7	11	SUNRISE ASSISTED LIVING, INC.	Fairfax, VA	Paul J. Klaassen	6,775	7,966	111	120
8	8	CRESTLINE CAPITAL CORP.	Bethesda, MD	Bruce D. Wardinski	7,468	7,497	31	31
9	9	HEALTH CARE PROPERTY INVESTORS, INC.	Newport Beach, CA	Kenneth B. Roath	7,021	7,297	85	92
10	21	AMERICAN RETIREMENT CORPORATION	Brentwood, TN	William E. Sheriff	4,457	7,217	19	41
11	10	ASSISTED LIVING CONCEPTS, INC.	Portland, OR	Keren Brown Wilson	6,942	7,148	178	185
12	7	GRAND COURT LIFESTYLES, INC.	Boca Raton, FL	John W. Luciani, III	7,640	6,942	56	52
13	18	CLASSIC RESIDENCE BY HYATT/ENCORE SENIOR LIVING	Chicago, IL	Penny S. Pritzker	4,938	6,354	45	53
14	14	ACTS RETIREMENT-LIFE COMMUNITIES, INC.	West Point, PA	George R. Gunn, Jr.	5,654	6,095	15	16
15	12	MEDTRUST CORP.	Needham Heights, MA	Michael F. Bushee	6,160	5,868	126	105
16	17	MARRIOTT SENIOR LIVING SERVICES	Washington, DC	Jeff Ferguson	5,214	5,400	43	43
17	---	MERRILL GARDENS LLC	Seattle, WA	Charles B. Wright III	---	5,195	---	52
18	16	FIRST CENTRAL LLC	Sterling, VA	Mark L. Westhinsky	5,268	5,079	85	84
19	23	LEISURE CARE, INC.	Bellevue, WA	Dan B. Madsen	3,995	4,807	27	33
20	19	THE FOUNTAINS	Tucson, AZ	David J. Freshwater	4,719	4,719	17	17
21	22	COVENANT RETIREMENT COMMUNITIES	Chicago, IL	David A. Dwight	4,075	4,137	14	14
22	15	SENIOR HOUSING PROPERTIES TRUST (FORMERLY KNOWN AS HPIPT PROPERTIES TRUST)	Newton, MA	David J. Hegarty	5,416	4,040	27	15
23	24	NATIONAL BENEVOLENT ASSOCIATION	St. Louis, MO	Cynthia R. Dougherty	3,880	3,955	14	14
24	---	SUNRISE HOUSING SOLUTIONS, LLC	Long Beach, CA	Michael A. Costa	---	3,761	---	40
25	25	RETIREMENT HOUSING FOUNDATION	Long Beach, CA	Laverne R. Joseph	3,510	3,510	19	19

2000 American Seniors Housing Association 25 MANAGERS

(25 LARGEST U.S. SENIORS HOUSING MANAGERS AS OF JUNE 1, 2000)

2000 RANK	1999 RANK	COMPANY	HEADQUARTERS	CEO	1999 UNITS MANAGED	2000 UNITS MANAGED	1999 PROPERTIES MANAGED	2000 PROPERTIES MANAGED
1	1	COLSON & COLSON/HOLIDAY RETIREMENT CORP.	Salem, OR	William E. Colson	26,400	27,852	220	233
2	2	MARRIOTT SENIOR LIVING SERVICES	Washington, DC	Jeff Ferguson	22,683	25,100	128	149
3	3	PROFESSIONAL COMMUNITY MANAGEMENT	Lake Forest, CA	Jeffrey B. Olsen	22,680	22,864	9	9
4	5	ALTEIRA HEALTHCARE CORP.	Brookfield, WI	William F. Lasky	16,951	21,719	389	470
5	4	LIFE CARE SERVICES CORP.	Des Moines, IA	Stan Thurston	17,572	20,513	64	87
6	7	AMERICAN RETIREMENT CORP.	Brentwood, TN	William E. Sheriff	11,328	12,163	30	57
7	8	EMERTUS CORP.	Seattle, WA	Daniel R. Baly	10,919	11,800	123	128
8	9	SENIOR LIFESTYLE CORP.	Chicago, IL	William B. Kaplan	10,103	10,762	64	69
9	10	SUNRISE ASSISTED LIVING INC.	Fairfax, VA	Paul J. Klaassen	8,229	9,989	130	152
10	6	ATRIA, INC.	New York, NY	Mark Ticotin	12,114	9,794	126	101
11	13	ASSISTED LIVING CONCEPTS, INC.	Portland, OR	Keren Brown Wilson	6,942	7,148	178	185
12	19	CLASSIC RESIDENCE BY HYATT/ENCORE SENIOR LIVING	Chicago, IL	Penny S. Pritzker	5,414	6,960	48	58
13	11	GRAND COURT LIFESTYLES, INC.	Boca Raton, FL	John W. Luciani, III	7,640	6,924	127	52
14	16	ERICKSON RETIREMENT COMMUNITIES, LLC (FORMERLY KNOWN AS SENIOR CAMPUS LIVING, LLC)	Baltimore, MD	John C. Erickson	5,873	6,120	5	7
15	17	ACTS RETIREMENT-LIFE COMMUNITIES, INC.	West Point, PA	George R. Gunn, Jr.	5,654	6,095	15	16
16	14	GREYSTONE COMMUNITIES, INC.	Irving, TX	Michael Lavanhan	5,981	5,883	29	20
17	---	MERRILL GARDENS LLC	Seattle, WA	Charles B. Wright III	NA	5,657	NA	58
18	18	CO-OPERATIVE RETIREMENT SERVICES OF AMERICA, INC. (CRSA)	Memphis, TN	Earl Wade	5,500	5,612	25	19
19	15	CAREMATRIX CORP.	Needham, MA	Abraham Gosman	5,891	5,669	47	47
20	21	BROOKDALE LIVING COMMUNITIES, INC.	Chicago, IL	Mark J. Schulle	4,600	5,314	21	24
21	25	LEISURE CARE, INC.	Bellevue, WA	Dan B. Madsen	4,172	4,977	28	34
22	23	CAPITAL SENIOR LIVING, INC.	Dallas, TX	Lawrence A. Cohen	4,545	4,808	31	34
23	20	THE FOUNTAINS	Tucson, AZ	David J. Freshwater	4,719	4,719	17	17
24	24	BALANCED CARE CORP.	Mechanicsburg, PA	Brad E. Hollinger	4,411	4,677	63	69
25	---	AMERICAN LIFESTYLES, INC.	Cleveland, TN	Barry Ray	9,394	4,343	30	36

Holiday Retirement Corp.

Facility Name	Units	Phone Number	Street	City, State
UNITED STATES				
ALABAMA (4)				
EASTDALE ESTATES	107	(334) 260-8911	5801 EASTDALE DRIVE	MONTGOMERY, AL 36117
MONARCH ESTATES	114	(334) 502-0977	1550 E. UNIVERSITY DRIVE	AUBURN, AL 36830
ROCKY RIDGE	115	(205) 989-6500	3517 LORNA ROAD	HOOVER, AL 35216
UNIVERSITY OAKS	110	(251) 661-7733	650 UNIVERSITY BOULEVARD SOUTH	MOBILE, AL 36609
ARIZONA (5)				
DESERT ROSE	113	(928) 343-0807	1545 S. 14TH AVENUE	YUMA, AZ 85364
MADISON, The	193	(623) 584-1999	18626 SPANISH GARDEN DRIVE	SUN CITY WEST, AZ 85375
MANOR at MIDVALE, The	112	(520) 294-3200	6250 S. COMMERCE COURT	TUCSON, AZ 85746
VISTA de la MONTANA	113	(623) 975-4250	18510 N. PARKVIEW PLACE	SURPRISE, AZ 85374
VISTA del RIO	118	(623) 977-7007	13619 N. 94TH DRIVE	PEORIA, AZ 85381
ARKANSAS (6)				
ANDOVER PLACE	111	(501) 224-0441	2601 ANDOVER COURT	LITTLE ROCK, AR 72227
APPLE BLOSSOM	117	(479) 636-7739	2501 N. 22ND STREET	ROGERS, AR 72756
BUTTERFIELD PLACE	115	(479) 484-5200	8420 PHOENIX AVENUE	FORT SMITH, AR 72903
COUNTRY CLUB VILLAGE	165	(501) 624-6435	1925 MALVERN AVENUE	HOT SPRINGS, AR 71901
GARDENS at ARKANSHIRE, The	130	(501) 750-1131	5000 ARKANSHIRE CIRCLE	SPRINGDALE, AR 72764
SOUTH WIND HEIGHTS	114	(870) 932-9288	2305 BERNARD STREET	JONESBORO, AR 72401
CALIFORNIA (37)				
ARCADIA PLACE	114	(760) 945-5555	1080 ARCADIA AVENUE	VISTA, CA 92084
BAY PARK	96	(510) 223-7977	2621 APPIAN WAY	PINOLE, CA 94564
BRIDGECREEK	108	(626) 332-1135	3601 HOLT AVENUE	WEST COVINA, CA 91791
CAMELOT, The	134	(909) 929-0145	800 WEST OAKLAND	HEMET, CA 92543
CANTERBURY COURT	205	(619) 585-8585	336 C STREET	CHULA VISTA, CA 91910
CARRIAGE HOUSE ESTATES	124	(661) 663-8393	8200 WESTWOLD DRIVE	BAKERSFIELD, CA 93311
COLUMBUS ESTATES	124	(661) 872-5855	3201 COLUMBUS	BAKERSFIELD, CA 93306
CREEKSIDE OAKS	109	(916) 983-3397	1715 CREEKSIDE DRIVE	FOLSOM, CA 95630
DEER PARK	84	(415) 897-0054	646 CANYON ROAD	NOVATO, CA 94947
FEATHER CANYON	126	(530) 877-2207	5900 CANYON VIEW DRIVE	PARADISE, CA 95969
FIG GARDEN	101	(559) 432-6213	6035 N. MARKS AVENUE	FRESNO, CA 93711
HAMPSHIRE, THE	113	(209) 383-3500	3460 R STREET	MERCED, CA 95348
HILLTOP ESTATES	95	(530) 241-4444	451 HILLTOP DRIVE	REDDING, CA 96003
LAS BRISAS	100	(805) 543-0144	1299 BRIARWOOD DRIVE	SAN LUIS OBISPO, CA 93401
LEISURE POINTE	131	(909) 888-9991	1371 PARKSIDE DRIVE	SAN BERNARDINO, CA 92404
MAGNOLIA	96	(909) 354-0230	8537 MAGNOLIA AVENUE	RIVERSIDE, CA 92504
MISSION COMMONS	141	(909) 793-8691	10 TERRACINA BLVD	REDLANDS, CA 92373
MISTYWOOD	115	(916) 771-8606	1275 PLEASANT GROVE BOULEVARD	ROSEVILLE, CA 95747
OAKMONT, The	91	(530) 895-0123	2801 COHASSET	CHICO, CA 95973
OAKS of AUBURN, The	107	(530) 888-1144	3250 BLUE OAKS DRIVE	AUBURN, CA 95602
PALMS, The	162	(562) 944-1800	13001 LA MIRADA BLVD	LA MIRADA, CA 90638
QUAIL LODGE	123	(925) 778-7453	4850 DEER VALLEY ROAD	ANTIOCH, CA 94509
REDWOOD	97	(707) 257-0333	2350 REDWOOD ROAD	NAPA, CA 94558
REMINGTON, The	116	(559) 587-9999	2727 NORTH 11th AVENUE	HANFORD, CA 93230
SIERRA HILLS	110	(559) 788-0311	2500 W. HENDERSON AVENUE	PORTERVILLE, CA 93257
SPRINGS of EL CAJON	100	(619) 444-9470	444 PRESCOTT AVENUE	EI CAJON, CA 92020
SPRINGS of ESCONDIDO	103	(760) 743-4200	1261 E. WASHINGTON AVENUE	ESCONDIDO, CA 92027
SPRINGS of NAPA, The	100	(707) 224-7855	3460 VILLA LANE	NAPA, CA 94558
STANDIFORD PLACE	118	(209) 521-7000	3420 SHAWNEE DRIVE	MODESTO, CA 95350
VALENCIA COMMONS	113	(909) 481-5440	6729 HERMOSA AVENUE	RANCHO CUCAMONGA, CA 91701
VILLA SERENA	108	(408) 261-8350	1340 POMEROY AVENUE	SANTA CLARA, CA 95051
VINEYARD COMMONS	114	(707) 578-8400	3585 ROUND BARN BLVD	SANTA ROSA, CA 95403
VINTAGE, The	117	(209) 339-1500	2145 WEST KETTLEMAN LANE	LODI, CA 95242
WALNUT PARK	101	(559) 739-1339	4119 W. WALNUT	VISALIA, CA 93277
WATERFORD TERRACE	90	(619) 463-2111	5580 AZTEC DRIVE	LA MESA, CA 91942
WESTMONT, The	136	(408) 984-0605	1675 SCOTT BOULEVARD	SANTA CLARA, CA 95050
name pending	115	(800) 322-0999		VENTURA, CA
COLORADO (10)				
ATRIUM of GRAND VALLEY, The	142	(970) 256-0006	3260 N. 12th STREET	GRAND JUNCTION, CO 81506
COURTYARD at LAKEWOOD	121	(303) 239-0740	7100 W. 13th AVENUE	LAKEWOOD, CO 80215
GREELEY PLACE	102	(970) 351-0683	1051 6th STREET	GREELEY, CO 80631
LAKEWOOD ESTATES	90	(303) 987-3888	8585 W. DAKOTA AVENUE	LAKEWOOD, CO 80226
LONGMONT REGENT	96	(303) 651-7022	2210 MAIN STREET	LONGMONT, CO 80501
MESA VIEW	102	(970) 241-0772	601 HORIZON PLACE	GRAND JUNCTION, CO 81506

Holiday Retirement Corp.

Facility Name	Units	Phone Number	Street	City, State
KANSAS (3)				
GREENWOOD TERRACE	115	^~ (913) 345-9969	11150 S. GREENWOOD STREET	LENEXA, KS 66215
GRASSLANDS ESTATES	115	~ (316) 722-4817	10665 W. 13TH STREET N.	WICHITA, KS 67212
THORNTON PLACE	119	+~ (785) 228-0555	2901 SW ARMSTRONG	TOPEKA, KS 66614
KENTUCKY (5)				
ASHWOOD PLACE	103	+ (502) 223-5551	102 LEONARDWOOD	FRANKFORT, KY 40601
HARTLAND HILLS	117	~ (859) 273-1212	1005 TANBARK ROAD	LEXINGTON, KY 40515
JACKSON OAKS	115	^~ (270) 554-8122	2500 MARSHALL AVENUE	PADUCAH, KY 42003
OXMOOR LODGE	118	+~ (502) 425-2402	8021 CHRISTIAN COURT	LOUISVILLE, KY 40222
PONDER CREEK ESTATES	118	~ (502) 995-4010	620 VALLEY COLLEGE DRIVE	LOUISVILLE, KY 40272
LOUISIANA (4)				
LANDING at BEHRMAN PLACE	106	(504) 361-1088	3601 BEHRMAN PLACE	NEW ORLEANS, LA 70114
NOUVEAU MARC	111	~ (504) 469-7988	1101 SUNSET BLVD	KENNER, LA 70065
SUMMERFIELD ESTATES	101	~ (318) 688-9525	9133 BAIRD ROAD	SHREVEPORT, LA 71118
WHEALDON ESTATES	98	(225) 927-7557	8680 JEFFERSON HWY	BATON ROUGE, LA 70809
MAINE (2)				
SUNBURY VILLAGE	115	~ (207) 262-9600	922 OHIO STREET	BANGOR, ME 04401
WOODS AT CANCO, THE	115	+~ (207) 772-4777	257 CANCO ROAD	PORTLAND, ME 04103
MASSACHUSETTS (3)				
DEVONSHIRE ESTATES	128	+~ (413) 637-1700	329 PITTSFIELD ROAD	LENOX, MA 01240
QUAIL RUN ESTATES	121	+~ (413) 786-9688	50 CARDINAL DRIVE	AGAWAM, MA 01001
SUMMER PLACE	110	~ (978) 256-9977	20 SUMMER STREET	CHELMSFORD, MA 01824
MICHIGAN (8)				
AURORA POND	132	+~ (616) 530-2511	2380 AURORA POND DRIVE	WYOMING, MI 49509
BLUE WATER LODGE	119	+~ (810) 385-4131	2840 KEEWAHDIN ROAD	FORT GRATIOT, MI 48059
GENESEE GARDENS	117	~ (810) 720-4159	4495 CALKINS ROAD	FLINT TOWNSHIP, MI 48532
GLEN EAGLE	119	+~ (231) 935-4553	3950 SUMAC DRIVE	TRAVERSE CITY, MI 49684
INN AT CASS LAKE	110	~ (248) 681-8229	900 N. CASS LAKE ROAD	WATERFORD, MI 48328
LINCOLN SQUARE	115	^~ (616) 791-7460	3121 LAKE MICHIGAN DRIVE NW	GRAND RAPIDS, MI 49504
MARQUETTE, THE	115	(517) 339-1532	5968 PARK LAKE ROAD	EAST LANSING, MI 48823
WESCOURT	118	+~ (989) 797-3600	4141 McCARTY ROAD	SAGINAW, MI 48603
MINNESOTA (1)				
LODGE AT WHITE BEAR, THE	115	~ (651) 779-9255	3666 E. COUNTY LINE N.	WHITE BEAR LAKE, MN 55110
MISSISSIPPI (1)				
CHATEAU RIDGELAND	105	*~ (601) 956-1331	745 S. PEAR ORCHARD ROAD	RIDGELAND, MS 39157
MISSOURI (7)				
BRIARCREST ESTATES	90	(636) 391-5300	14525 CLAYTON ROAD	BALLWIN, MO 63011
CAMBRIDGE, The	113	~ (417) 882-2223	2900 S. JEFFERSON	SPRINGFIELD, MO 65807
CARLYLE, The		^~ (800) 322-0999	1098 NE INDEPENDENCE AVENUE	LEE'S SUMMIT, MO 64086
COUNTRY SQUIRE	109	(816) 233-4200	1602 BUCKINGHAM STREET	ST. JOSEPH, MO 64506
GARDEN VILLAGE	182	+~ (816) 436-5555	8550 N. GRANBY AVENUE	KANSAS CITY, MO 64154
LAKEVIEW PARK	112	~ (636) 326-9606	1393 BOWLES AVE	FENTON, MO 63026
name pending		^~ (800) 322-0999		COLUMBIA, MO
MONTANA (3)				
ASPEN VIEW	125	+~ (406) 652-7788	3075 AVENUE C	BILLINGS, MT 59102
GRIZZLY PEAK	113	~ (406) 721-2292	3600 AMERICAN WAY	MISSOULA, MT 59802
HUNTERS POINTE	115	+~ (406) 443-4222	2801 COLONIAL DRIVE	HELENA, MT 59601
NEBRASKA (1)				
BRENTWOOD ESTATES	103	(402) 489-1112	1111 SOUTH 70th	LINCOLN, NE 68510
NEVADA (3)				
CARSON PLAZA	96	(775) 883-1221	2120 EAST LONG	CARSON CITY, NV 89706
MONTARA MEADOWS	172	~ (702) 435-3150	3150 EAST TROPICANA AVENUE	LAS VEGAS, NV 89121
SKY PEAKS	119	~ (775) 747-9555	1520 SKY VALLEY DRIVE	RENO, NV 89503
NEW MEXICO (2)				
BEAR CANYON ESTATES	124	+~ (505) 292-9191	4440 MORRIS STREET NE	ALBUQUERQUE, NM 87111
GOLDEN MESA	129	+~ (505) 522-4219	151 N. ROADRUNNER PKWY	LAS CRUCES, NM 88011

Holiday Retirement Corp.

Facility Name	Units	Phone Number	Street	City, State
SOUTH DAKOTA (1)				
HOLIDAY HILLS ESTATES	113	~ (605) 348-4999	2620 HOLIDAY LANE	RAPID CITY, SD 57702
TENNESSEE (10)				
CREEKSIDE @ SHALLOWFORD	118	+ ~ (423) 485-9933	7511 SHALLOWFORD ROAD	CHATTANOOGA, TN 37421
ECHO RIDGE	109	~ (865) 769-0111	8458 GLEASON DRIVE	KNOXVILLE, TN 37919
FRANKLIN PARK	128	~ (901) 366-6665	3393 KIRBY ROAD	MEMPHIS, TN 38115
HERITAGE PLACE	157	~ (901) 794-8857	2990 HICKORY HILL ROAD	MEMPHIS, TN 38115
JACKSON MEADOW	113	~ (901) 661-0095	25 MAX LANE DRIVE	JACKSON, TN 38305
KENNINGTON POINTE	153	~ * (901) 366-6200	6301 VILLAGE GROVE DRIVE	MEMPHIS, TN 38115
MANOR AT STEEPLECHASE, The	118	~ (615) 778-9011	314 COOL SPRINGS BLVD.	FRANKLIN, TN 37067
UFFELMAN ESTATES	108	+ (931) 645/7850	215 UFFELMAN DRIVE	CLARKSVILLE, TN 37043
WINDLANDS EAST	179	* ~ (615) 860-2189	200 EAST WEBSTER	MADISON, TN 37115
WINDLANDS SOUTH	180	* ~ (615) 834-1951	3800 SAM BONEY DRIVE	NASHVILLE, TN 37211
TEXAS (24)				
ARLINGTON PLAZA	96	~ (817) 478-7591	6801 W. POLY WEBB ROAD	ARLINGTON, TX 76016
BENTLEY, The	117	+ ~ (972) 481-1484	3362 FOREST LANE	DALLAS, TX 75234
BROOK RIDGE	106	~ (956) 787-3933	1001 W. RIDGE ROAD	PHARR, TX 78577
CLAIRMONT, The	96	(806) 353-0052	4707 BELL STREET	AMARILLO, TX 79109
CLAIRMONT, The	148	~ (512) 331-7195	12463 LOS INDIOS DRIVE	AUSTIN, TX 78729
CONTINENTAL, The	128	~ (512) 892-5995	4604 S. LAMAR	AUSTIN, TX 78745
COTTONWOOD ESTATES	113	(972) 517-1977	1940 W. SPRINGCREEK PKWY	PLANO, TX 75023
COWHORN CREEK ESTATES	112	~ (903) 223-6666	5415 COWHORN CREEK ROAD	TEXARKANA, TX 75503
EL DORADO	102	~ (972) 783-8600	714 W. ARAPAHO ROAD	RICHARDSON, TX 75080
ENGLEWOOD ESTATES	128	+ (512) 892-7226	2603 JONES ROAD	AUSTIN, TX 78745
FOX RUN ESTATES	102	~ (817) 492-8600	2315 LITTLE ROAD	ARLINGTON, TX 76016
HERITAGE PLAZA	89	+ (512) 836-7213	9121 NORTH PLAZA	AUSTIN, TX 78753
LAKESHORE ESTATES	115	+ ~ (254) 399-0109	3209 VILLAGE GREEN DRIVE	WACO, TX 76710
LINCOLN TOWER	110	(915) 333-1106	311 WEST 4th STREET	ODESSA, TX 79761
MADISON ESTATES	157	~ (210) 694-7000	8645 FREDERICKSBURG ROAD	SAN ANTONIO, TX 78240
POLO PARK ESTATES	116	+ (432) 682-5772	2100 CASTLEFORD ROAD	MIDLAND, TX 79705
RENAISSANCE - AUSTIN	157	* ~ (512) 338-0995	11279 TAYLOR DRAPER LANE	AUSTIN, TX 78759
RENAISSANCE - SHERMAN	167	* ~ (903) 868-2200	3701 LOY LAKE ROAD	SHERMAN, TX 75090
RIO NORTE	119	+ ~ (915) 856-6655	1941 SAUL KLEINFELD DRIVE	EL PASO, TX 79936
ROSEWOOD ESTATES	110	~ (903) 509-9010	506 RICE ROAD	TYLER, TX 75703
TARRYTOWNE ESTATES	183	* ~ (281) 531-1905	1815 ENCLAVE PARKWAY	HOUSTON, TX 77077
VENTURA PLACE	136	+ ~ (806) 785-5565	3026 54TH STREET	LUBBOCK, TX 79413
WESTBRAE COURT	178	* ~ (713) 541-9991	10680 WESTBRAE PKWY	HOUSTON, TX 77031
WHITEROCK COURT	115	~ (214) 503-7223	9215 WHITEROCK TRAIL	DALLAS, TX 75238
UTAH (4)				
HARRISON REGENT	90	(801) 479-1653	4481 HARRISON BLVD	OGDEN, UT 84403
PIONEER VALLEY LODGE	115	~ (435) 792-0353	2351 N 400 E	NORTH LOGAN, UT 84341
SEVILLE, The	97	(801) 224-8044	325 WEST CENTER	OREM, UT 84057
SOUTH TOWNE RANCH	115	~ (801) 944-0082	310 E 10600 S	SANDY, UT 84070
VIRGINIA (4)				
ELM PARK ESTATES	110	(540) 989-2010	4230 ELM VIEW ROAD	ROANOKE, VA 24014
FAIRMONT, The	99	~ (703) 257-7111	9852 FAIRMONT AVENUE	MANASSAS, VA 20109
VIRGINIAN, The	117	+ ~ (804) 330-4252	300 TWINRIDGE LANE	RICHMOND, VA 23235
name pending		(800) 322-0999		CHESAPEAKE, VA
WASHINGTON (14)				
BEDFORD, The		~ (360) 891-6898	13303 SE MCGILLIVRAY	VANCOUVER, WA 98683
CAPITAL PLACE	111	~ + (360) 357-9922	700 BLACK LAKE BOULEVARD	OLYMPIA, WA 98502
CASCADIAN PLACE	102	(425) 339-2225	3915 COLBY AVENUE N	EVERETT, WA 98201
CHARBONNEAU	118	^ ~ (509) 734-4331	8264 W GRANDRIDGE BOULEVARD	KENNEWICK, WA 99336
EVERGREEN PLACE	110	+ (425) 226-3312	1414 MONROE AVENUE NE	RENTON, WA 98056
FERNWOOD at the PARK	107	(206) 242-1455	17623 FIRST AVENUE SOUTH	NORMANDY PARK, WA 98148
GARDEN CLUB, The	103	~ (425) 643-7111	13350 SE 26th STREET	BELLEVUE, WA 98005
HARVARD PARK	105	(509) 747-2703	1616 E. 30th AVENUE	SPOKANE, WA 99203
KAMLU-VANCOUVER	84	(360) 695-9281	1000 NE 82nd AVENUE	VANCOUVER, WA 98664
ORCHARD PARK	99	~ (509) 575-0095	620 N. 34th AVENUE	YAKIMA, WA 98902
PARK PLAZA	98	+ ~ (509) 525-6513	1400 DALLES MILITARY ROAD	WALLA WALLA, WA 99362
PARKWAY CHATEAU	109	(360) 671-6060	2818 OLD FAIRHAVEN PARKWAY	BELLINGHAM, WA 98225
POINT DEFIANCE VILLAGE	165	+ ~ (253) 759-8908	6414 N. PARK WAY	TACOMA, WA 98407
WILLOW GARDENS	144	+ (253) 848-4430	4502 6TH STREET SE	PUYALLUP, WA 98374

Holiday Retirement Corp.

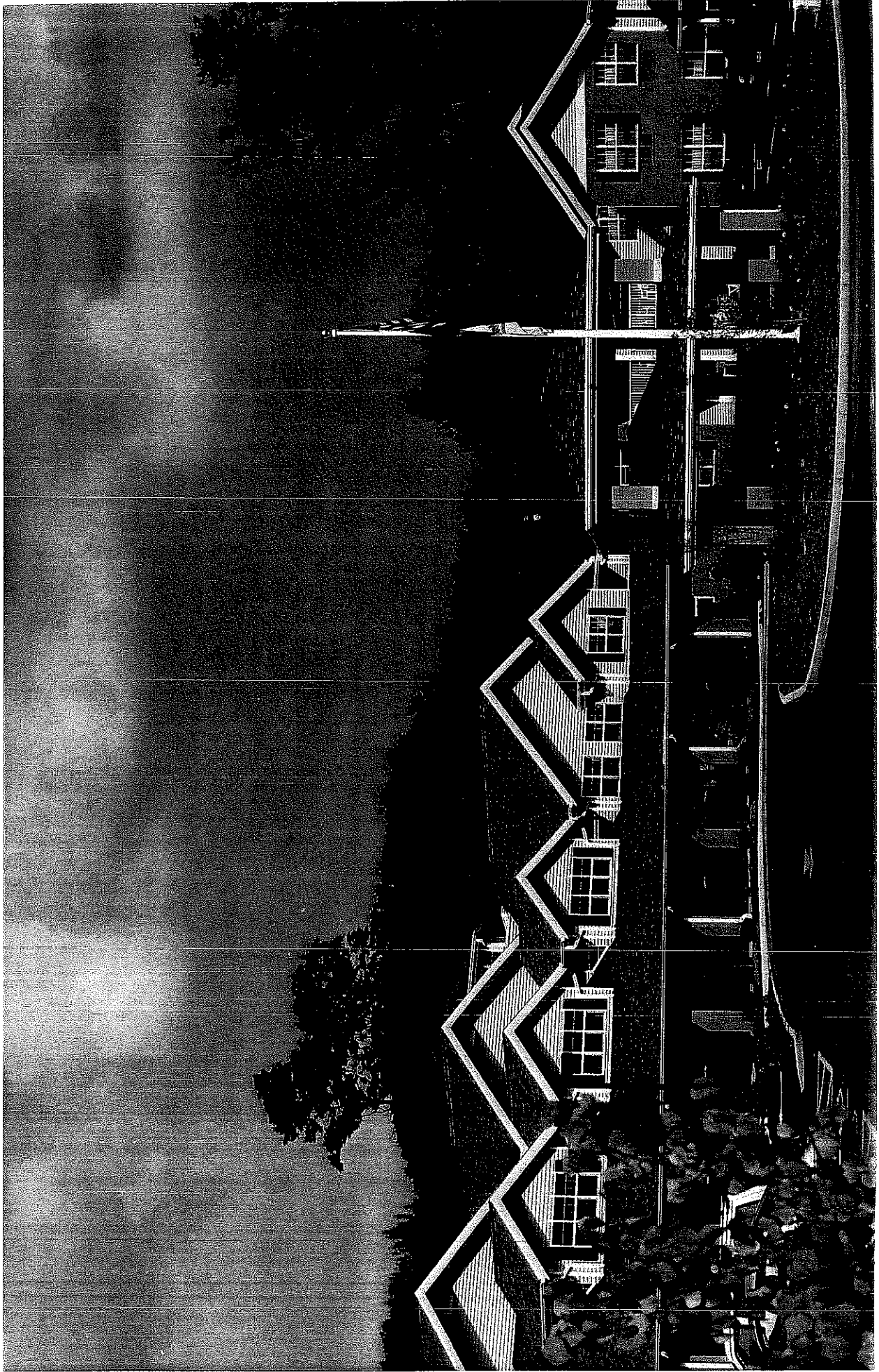
Facility Name	Units	Phone Number	Street	City, State
EUROPE				
ENGLAND (2)				
HAWTHORNS, The	109 ~	127/579-0060 (011) (44)	18-19 ELTON ROAD	CLEVEDON, N. SOMERSET BS21 7EH
HAWTHORNS-EASTBOURNE, The	102 ~	132/364-4111 (011) (44)	4 CAREW ROAD	EASTBOURNE, E. SUSSEX BN21 2BF
FRANCE (34)				
GROUPE SERIENCE				
HOTELIA (21 TOTAL)				
HOTELIA BORDEAUX		05 56 99 43 43	1, RUE J.R. DANDICOLLE	33000 BORDEAUX
HOTELIA CANNES MOUGINS		04 92 92 29 28	886, AV. DE TOURNAMY	06250 MOUGINS
HOTELIA EAUBONNE		01 34 06 13 13	2, RUE HENRI BARBUSSE	95600 EAUBONNE
HOTELIA FREJUS ST RAPHAEL		04 94 51 72 20	301, AVENUE ANDREI SAKHAROV	83600 FREJUS
HOTELIA HYERES		04 94 38 49 49	AVENUE JEAN MOULIN	83400 HYERES LAS PALMIERS
HOTELIA LYON		04 78 60 23 23	PARC GAMBETTA RUE DU DIAPASON	69003 LYON
HOTELIA MARCQ EN BAROEUL		03 20 74 12 13	68, RUE NATIONALE	59700 MARCQ EN BAROEUL
HOTELIA MARSEILLE VITROLLES		04 42 89 93 79	"LES ALPILLES" CENTRE URBAIN	13127 VITROLLES
HOTELIA MEUDON		01 46 23 27 00	"RESIDENCE LES TYBILLES" 1, RUE DES TYBILLES	92190 MEUDON BELLEVUE
HOTELIA MONTPELLIER		04 67 65 50 24	"LA POMPIGNANE" 662, AVENUE DE LA POMPIGNANE	34000 MONTPELLIER
HOTELIA NANCY		03 83 96 46 02	"LA SAONE" 8, RUE DE LA SAONE	54520 LAXOU
HOTELIA NOISY LE GRAND		01 48 15 54 00	LE CLOS SAINT VINCENT RUE DU DOCTEUR JEAN VAQUIER	93160 NOISY LE GRAND
HOTELIA PARIS MAINE ALESIA		01 53 90 28 28	187 BIS, AVENUE DU MAINE	75014 PARIS
HOTELIA PARIS CHAMP DE MARS		01 56 58 33 33	64, RUE DE LA FEDERATION	75015 PARIS
HOTELIA PARIS PARC MONCEAU		01 42 12 95 95	26, RUE MEDERIC	75017 PARIS
HOTELIA PAU		05 59 30 66 55	45, AVENUE FEDERICO GARCIA LORCA	64000 PAU
HOTELIA PERPIGNAN		04 68 35 15 00	18, COURS LAZARE ESCARGUEL	66000 PERPIGNAN
HOTELIA REIMS		03 26 88 79 79	10-12, RUE CERES	51100 REIMS
HOTELIA ROUBAIX		03 20 45 06 06	7, GRAND RUE	59100 ROUBAIX
HOTELIA ROUEN		02 35 03 20 02	21, PLACE DE L'EGLISE SAINT SEVER	76100 ROUEN
HOTELIA SURESNES		01 41 38 15 00	36, RUE CARNOT	92150 SURESNES
HOTELIA VERSAILLES LE CHESNAY		01 39 23 34 34	14-16, BD SAINT ANTOINE	78150 LE CHESNAY
LES VILLANDIERES (11 TOTAL)				
LES VILLANDIERES AMIENS		03 22 22 26 00	30, RUE SAINT GERMAIN	80000 AMIENS
LES VILLANDIERES BREST		02 98 03 96 00	12, RUE JEAN BON SAINT ANDRE	29200 BREST
LES VILLANDIERES BRETEUIL SUR ITON		02 32 24 83 00	175, RUE NEUVE DE BEMECOURT	27160 BRETEUIL SUR ITON
LES VILLANDIERES CHALON		03 85 41 77 00	12, IMPASSE DU CARLOUP	71331 CHALON SUR SAONE CEDEX
LES VILLANDIERES GRENOBLE		04 76 63 63 00	50, RUE DE MORTILLET	38000 GRENOBLE
LES VILLANDIERES MAISONS-LAFFITTE		01 34 93 50 00	5, AVENUE FAVART	78600 MAISONS LAFFITTE
LES VILLANDIERES OUISTREHAM		02 31 36 42 00	40, BOULEVARD BOIVIN CHAMPEAUX	14150 OUISTREHAM
LES VILLANDIERES VALENCE		04 75 82 38 00	9, RUE JULES MASSENET	26000 VALENCE
CENTRES DE SOINS DE SUITE ET DE READAPTATION				
LA BOISSIERE		02 37 33 49 00	22, RUE DE LA BOISSIERE	28630 NOGENT LE PHAYE
CHATEAU DE SAINT PIERE OURSIN		02 31 20 19 00		14370 VIMONT
RESIDENCES AVEC SERVICES				
LES FLORIALES NARBONNE	*	04 68 90 35 35	10-11, QUAI D'ALSACE	11100 NARBONNE
LES FLORIALES SETE	*	04 67 46 22 22	16, RUE VOLTAIRE	34200 SETE



Devonshire Estates Retirement Residence
Lenox, Massachusetts



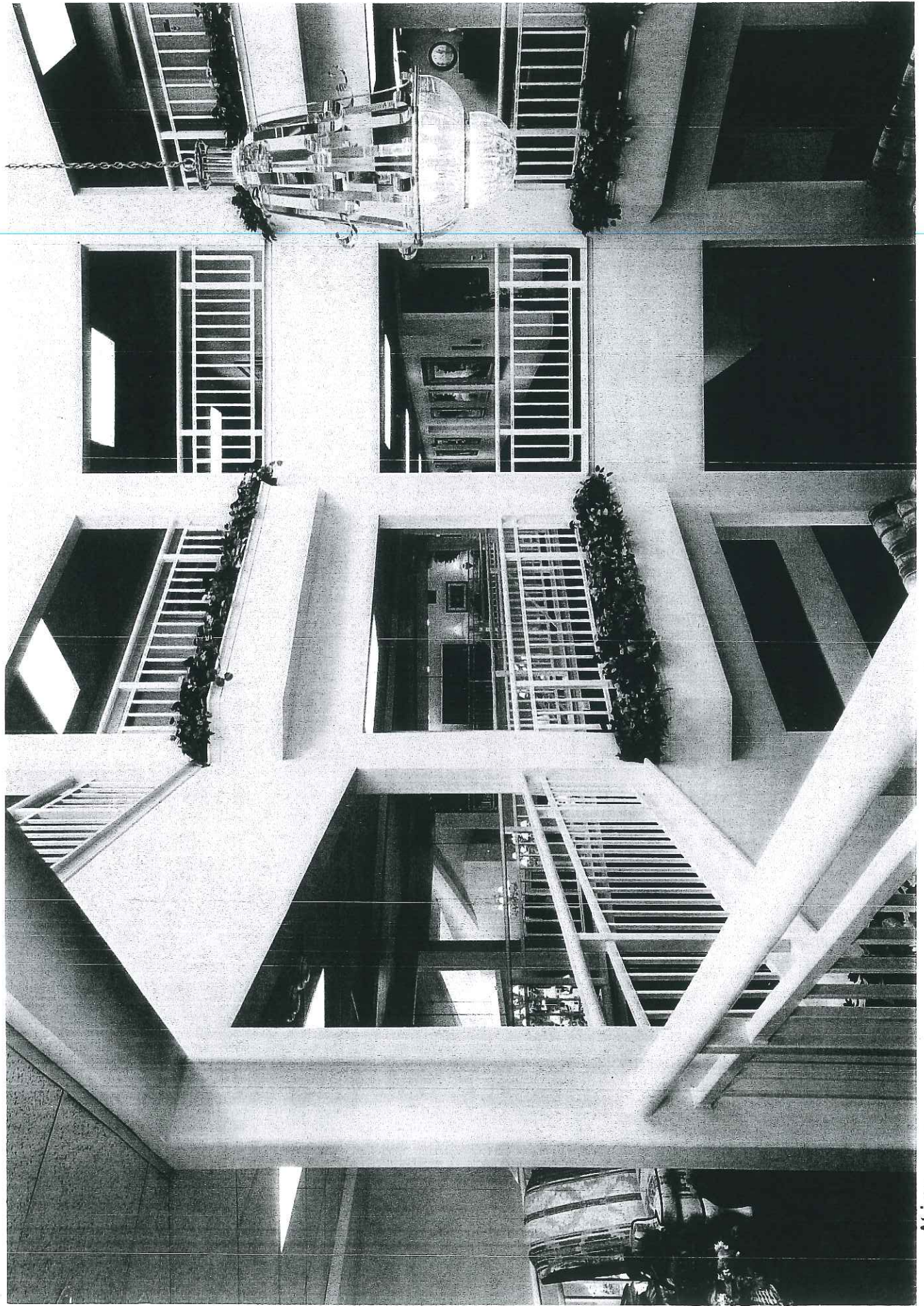
Devonshire Estates Retirement Residence
Lenox, Massachusetts



Maplewood Estates Retirement Residence
Fairport, New York



Dining Room
Westminster Retirement Residence
Greenville, South Carolina



Atrium
Westminster Retirement Residence
Clemsonville, South Carolina



Private Suite
Westminster Retirement Residence
Greenville, South Carolina

PROPERTY DEVELOPED AND MANAGED BY HOLIDAY RETIREMENT CORP.

FACILITY NAME	ADDRESS	SUITES	GARDEN SUITES	COTTAGES	ALZ UNITS	TOTAL SUITES	PARKING SPACES	PER SUITE
Canyon Meadows	12 Deerview Terrace SE, Calgary, Alberta T2J 7E6	100	0	0	0	100	60	0.6
Churchill Manor	5615 - 34th Avenue, Edmonton, Alberta T5L 1B5							
Victoria Park	#9 Avery Street, Red Deer, Alberta T4R 2S6	112	0	0	0	112	70	0.625
Ironwood Estates	40 Ironwood Point, St. Albert, Alberta T8N 5G7	109	0	0	0	109	57	0.5229
Okanagan Chateau	2100 Bernoullin, Kelowna, BC V1W3A4	106	0	0	0	106	63	0.59
Longlake Chateau	3033 Ross Rd., Nanaimo, BC V9T 5S8	111	0	0	0	111	60	0.54
Imperial Place	13853 102nd Ave., Surrey, BC V3T 1P2	102	0	0	0	102	73	0.72
Victoria, The	1773 Feltham Rd., Victoria, BC V8N 2A4	91	0	0	0	91	43	0.47
Riverheights Terrace	4525 Victoria Ave., Brandon, Manitoba R7B 4A6	117	0	0	0	117	70	0.60
Arbutus Meadow	329 Pipeline Rd., Winnipeg, Manitoba R2P 2X5	114	0	0	0	114	72	0.63
Saint Anne's Court	81 Duncan Lane, Fredericton, NB E3B 4S2	114	0	0	0	114	72	0.63
Chateau de Champlain	300 Boats Head Rd., St. John, New Brunswick E2L 3W2	114	0	0	0	114	70	0.61
Kingsdale Chateau	520 Kingsdale Ave., Kingston, ONT K7M 9B6	114	0	0	0	114	72	0.50
Masonville Manor	350 North Centre Rd., London, ONT N6X 3N1	112	0	0	0	112	66	0.5893
Crystal View Lodge	#6 Meridian Place, Nepean, ONT K2G 6L9	114	2	3	0	119	70	0.6196
Sherbrooke Heights	1434 Sherbrooke St. West, Peterborough, ONT	114	0	0	0	114	70	0.614
Fairwinds Lodge	1218 Michigan Ave., Sarnia, ONT N7S 6J4	111	0	0	0	111	61	0.5495
Anchor Pointe	540 Ontario St., St. Catharines, ONT L2N 5J7	123	2	0	0	125	109	0.872
The Cr. @ Pringle Creek	3975 Anderson St., Whitby, ONT L1N 5R5	114	5	0	0	119	70	0.5882
Kensington Court	1853 Cabana Rd. West, Windsor, Ontario	114	0	0	0	114	57	0.5877
Queen Victoria Estates	2026 Heselbine Road, Regina Sask SK S4N 7L2	114	0	0	0	114	67	0.5877
Primrose Chateau	310 Cree Crescent, Saskatoon, Sask S7K 8C	114	0	0	0	114	72	0.63
Hawthorns, The	18-21 Eilon Road, Clevedon, N. Somerset BS21	109	0	0	0	109		
The Hawthornes - Eastbou	Gateway Road, Eastbourne BN21 2AX	102	0	0	0	102	45	0.45
Monarch Estates	E. University Drive Auburn, AL	114	0	0	0	114	87	0.76
University Oaks	550 University Blvd S, Mobile, AL 36609	110	0	0	0	110	64	0.45
Eastdale Estates	5801 Eastdale Dr., Montgomery, AL 36117	107	0	0	0	107	52	0.49
Andover Plaza	2501 Andover Ct., Little Rock, AR 72207	111	0	0	0	111	56	0.50
Gardens at Arkansasire	5000 Arkansasire Circle, Springdale, AR 72674	111	20	0	0	131	98	0.75
Vista Del Rio	13619 N. 94th Dr., Peoria, AZ 85381	112	5	0	0	117	66	0.55
Vista de la Montana	18510 N. Parkview Place, Surprise, AZ 85374	110	3	0	0	113	72	0.64
Desert Rose	1545 S. 14th Ave., Yuma, AZ 85354	113	0	0	0	113	56	0.50
Quail Lodge	4840 Deer Valley Road, Antioch, CA 94509	121	2	0	0	123	76	0.62
Oaks of Auburn, The	3250 Blue Oaks Dr., Auburn, CA 95602	110	0	0	0	110	53	0.67
Carriage House Estates	8200 Westwood Dr., Bakersfield, CA 93311	112	6	5	0	124	88	0.79

PROPERTY DEVELOPED AND MANAGED BY HOLIDAY RETIREMENT CORP.

FACILITY NAME	ADDRESS	SUITES	GARDEN SUITES	COTTAGES	ALZ UNITS	TOTAL SUITES	PARKING SPACES	PER SUITE
Columbus Estates	3201 Columbus, Bakersfield, CA 93306	126	0	0	0	126	75	0.60
Oakmont	2801 Cohasset, Chico, CA 95926	91	0	0	0	91	51	0.56
Creekside Oaks	1715 Creekside Rd., Folsom, CA 95630	109	0	0	0	109	72	0.66
Fig Garden	6035 N. Marks Ave., Fresno, CA 93711	101	0	0	0	101	46	0.46
Wildshire, The	2727 N. 11th Ave., Hanford, CA 93230	112	0	4	0	116	67	0.62
Waterford Terrace	5580 Aztec Dr., La Mesa, CA 91942	90	0	0	0	90	42	0.47
Palms, The	13001 La Mirada Blvd., La Mirada, CA 90638	162	0	0	0	162	80	0.49
Vintage, The	2145 W. Kettleman Dr., Lodi, CA 95240	108	9	0	0	117	62	0.53
Hampshire, The	3460 R St., Merced, CA 95348	109	4	0	0	113	67	0.59
Standford Place	3420 Shawnee Dr., Modesto, CA 95350	102	0	0	0	102	65	0.64
Redwood	2350 Redwood Rd., Napa, CA 94558	97	0	0	0	97	52	0.54
Deer Park	646 Canyon Rd., Novato, CA 94947	85	0	0	0	85	43	0.51
Feather Canyon	5900 Canyon View Drive, Paradise, CA 95669	115	5	5	0	125	84	0.74
Bay Park	2621 Appian Wy., Pinole, CA 94564	96	0	0	0	96	51	0.53
Sierra Hills	2500 W. Henderson Ave., Porterville, CA 93257	112	7	0	0	119	76	0.64
Valencia Commons	6729 Hermosa, Rancho Cucamonga, CA	114	0	0	0	114	72	0.63
Hilltop	451 Hilltop Dr., Redding, CA 96003	95	0	0	0	95	41	0.43
Mission Commons	10 Terracina Blvd., Redlands, CA 92373	139	0	0	0	139	104	0.75
Magnolia	8537 Magnolia, Riverside, CA 92373	95	0	0	0	95	35	0.36
Las Brisas	1299 Briarwood Dr., San Luis Obispo, CA 93401	100	0	0	0	100	45	0.45
Westmont	1675 Scott Blvd., Santa Clara, CA 95050	136	0	0	0	136	90	0.66
Walnut Park	4119 W. Walnut, Visalia, CA 93277	101	0	0	0	101	53	0.52
Arcadia Place	1088 Arcadia Ave., Vista, CA 92084	114	0	0	0	114	58	0.51
Bridgocreek	3601 Holt Ave., West Covina, CA 91791	108	0	0	0	108	54	0.50
Sunnidge	5820 Filtridge Dr., Colorado Springs, CO 80918	90	0	0	0	90	45	0.50
Quincy Place	7200 Quincy Ave. East, Denver, CO 80202	113	4	0	0	117	74	0.63
Parkwoods Estates	2201 S. Leimay, Ft. Collins, CO 80525	110	0	0	0	110	168	1.53
Atrium of Grand Valley, The	3260 N. 12th, Grand Junction, CO 81506	126	0	0	0	126	79	0.63
Mesa View	501 Horizon Place, Grand Junction, CO 81506	101	0	0	0	101	39	0.39
Greeley Place	1051 6th St., Greeley, CO 80631	102	0	0	0	102	46	0.45
Courtyard at Lakewood	7100 West 13th Ave., Lakewood, CO 80216	121	0	0	0	121	41	0.34
Lakewood Estates	8585 W. Dakota Ave., Lakewood, CO 80226	90	0	0	0	90	52	0.58
Longmont Regent	2210 Main St., Longmont, CO 80501	95	0	0	0	95	67	0.70
Pueblo Regent	100 San Carlos, Pueblo, CO 81005	97	0	0	0	97	41	0.42
Augustine Landing	10141 Old St. Augustine Rd., Jacksonville, FL 32257	109	0	0	0	109	65	0.60

PROPERTY DEVELOPED AND MANAGED BY HOLIDAY RETIREMENT CORP.

FACILITY NAME	ADDRESS	SUITES	GARDEN SUITES	COTTAGES	ALZ UNITS	TOTAL SUITES	PARKING SPACES	PER SUITE
Azalea Park	1325 Grasslands Blvd, Lakeland, FL 33813	115	0	0	0	115	79	0.69
University Pines	8991 University Parkway, Pensacola, FL 32514	110	3	0	0	113	64	0.48
Cherry Laurel	1009 Concord Dr., Tallahassee, FL	115	0	0	0	115	67	5.60
Iris Place	755 Epps Bridge Rd., Athens, GA	118	5	15	0	140	138	1.25
Washington Commons	4100 Washington Road, Augusta, GA 30909	115	0	10	0	125	74	0.70
Riverplace	6850 River Rd., Columbus, GA 31904	112	0	0	0	112	63	0.56
The Regency House	341 Winn Wy., Decatur, GA 30030	102	0	0	0	102	60	0.59
Smoky Springs	940 South Enota Drive, Gainesville, GA 30601	115	0	0	0	115	70	0.61
Pinegate	4207 Forsythe Rd., Macon, GA	115	0	0	0	115	82	0.71
River's Edge	5205 Waters Ave, Savannah, GA 31405	115	0	4	0	119	74	0.67
Hawaii Kai - Phase I	428 Kawaihae Dr., Honolulu, HI 96825	139	0	13	43	195	173	1.02
Hawaii Kai - Phase II	428 Kawaihae St., Honolulu, HI 96825	135	0	2 DPLX	38	175	145	0.87
Palmer Hills	2617 Maplecrest Rd., Bettendorf, IA 52722	104	0	0	0	104	63	0.61
Beaverdale Estates	4510 Douglas Ave., Des Moines, IA 50310	102	0	0	0	102	58	0.57
Walden Place	2423 Walden Rd., Iowa City, IA 52246	102	0	0	0	102	60	0.59
Illiana Hills	8308 Colby Parkway, Urbandale, IA 50322	104	3	0	0	107	76	0.71
Chateau de Boise	7250 Poplar St., Boise, ID 83704	98	0	0	0	98	42	0.43
Essington Estates	901 Essington Rd., Joliet, IL 60435	110	0	0	0	110	66	0.61
Blair House	1200 East College, Normal, IL 61761	109	0	0	0	109	66	0.61
Montvale Estates	2601 Montvale Dr., Springfield, IL 62704	109	10	0	0	119	64	0.54
Redbud Hills	333 E. Moores Pike, Bloomington, IN 47401	112	0	0	0	112	64	0.57
Parkside Court	3660 Central Ave., Columbus, IN 47203	38/80	0	0	0	118	75	0.64
Willow Park	5050 Lincoln Ave., Evansville, IN 47715	98	0	0	0	98	49	0.50
Arbor Glen	5202 St. Joe Rd., FL Wayne, IN 46335	110	8	0	0	118	59	0.50
Thornton Place	2901 SW Armstrong, Topeka, KS 66614-5632	112	7	0	0	119	70	0.59
Grasslands Estates	W of SWC OF 13th St. W. & Maize	115	0	0	0	115	72	0.63
Ashwood Place	102 Leonardwood, Frankfort, KY 40601	99	0	0	0	99	71	0.72
Hartland Hills	4470 Tates Creek Rd., Lexington, KY 40515	117	0	0	0	117	59	0.59
Oxmoor Lodge	8021 Christian Way, Louisville, KY 40222	112	4	2	0	118	80	0.70
Ponder Creek Estates	520 Vailly College Drive, Louisville, KY 40272	118	0	0	0	118	84	0.71
Whealdon Estates	8680 Jefferson Hwy., Baton Rouge, LA 70809	98	0	0	0	98	48	0.49
Nouveau Marc	1161 Sunset Blvd., Kenner, LA 70065	108	0	0	0	108	33	0.31
Landing at Behrman Place	3601 Behrman Place, New Orleans, LA 70114	107	0	0	0	107	38	0.36
Summerfield Estates	9133 Baird Rd., Shreveport, LA 71118	101	0	0	0	101	52	0.51
Quail Run Estates	50 Cardinal Drive Agawam, MA 01001	107	5	9	0	121	75	0.73

PROPERTY DEVELOPED AND MANAGED BY HOLIDAY RETIREMENT CORP.

FACILITY NAME	ADDRESS	SUITES	GARDEN SUITES	COTTAGES	ALZ UNITS	TOTAL SUITES	PARKING SPACES	PER SUITE
Summer Place	20 Summer St., Chelmsford, MA 01824	110	0	0	0	110	62	0.56
Devonshire Estates	329 Pittsfield Rd., Lenox, MA 01240	108	10	10	0	128	110	0.70
Sunbury Village	922 Ohio St. Bangor, ME 04401	115	0	0	0	115	78	0.68
The Woods at Canco	219 Canco Rd. Portland, ME 04103	115	5	8	0	128	91	0.81
Genesee Gardens	4505 of Galkins Rd. Flint, MI	117	0	0	0	117	78	0.67
The Marquette	5968 Park Lake Rd. Meridian, MI 48823	115	0	0	0	115	69	0.60
Blue Water Lodge	2840 Keewahdin Road, Port Huron, MI 48059	115	0	4	0	119	78	0.70
Wescourt	4141 McCarty Rd., Saginaw, MI 48603	109	5	4	0	118	73	0.66
Olen Eagle	Silver Lake @ South Airport Rd., Traverse City, MI	115	0	4	0	119	78	0.70
The Inn at Cass Lake	900 N. Cass Lake Rd., Waterford, MI 48328	110	0	0	0	110	64	0.58
Aurora Pond	5515 Byron Center Ave. S.W., Wyoming, MI 49509	115	7	10	0	132	120	0.97
Lodge at White Bear	3666 East County Line Rd. White Bear Lake, MN 55110	115	0	0	0	115	69	0.60
Briarcrest Estates	14525 Clayton Rd., Ballwin, MO 63011	90	0	0	0	90	53	0.59
Cambridge, The	2900 S. Jefferson, Springfield, MO 65807	113	0	0	0	113	0	0.00
Country Square	1602 Buckingham St., St. Joseph, MO 64506	110	0	0	0	110	64	0.58
Lakeview Park	1391 Bowles Ave., St. Louis, MO	112	0	0	0	112	72	0.64
Aspen View	3075 Avenue C, Billings, MT 59102	109	12	4	0	125	97	0.83
Hunter's Pointe	2801 Colonial Dr., Helena, MT 59601	109	0	6	0	115	90	0.87
Durham Regent	3007 Pickett Rd., Durham, NC 27705	122	0	0	0	122	39	0.32
Emerald Pond	205 Emerald Pond Lane, Durham NC 27705	112	0	6	0	118	74	0.70
Lakeshore Commons	1462 Hospital Plaza Dr., Wilmington, NC 28401	118	0	0	0	118	67	0.57
The Woods at Holly Tree	4610 Holly Tree Rd., Wilmington, NC 28403	115	0	0	0	115	59	0.51
Creekside Terrace	N. side of Old Vineyard Rd. Winston-Salem, NC	115	0	0	0	115	87	0.76
Brentwood Estates	1111 So. 70th, Lincoln, NE 68510	103	0	0	0	103	62	0.60
Bear Canyon Estates	4440 Morris St. NE, Albuquerque, NM 87111	110	14	0	0	124	77	0.62
Golden Mesa	150 N. Roadrunner Parkway Las Cruces, NM 88001	110	10	9	0	129	104	0.94
Carson Plaza	2120 E. Long, Carson City, NV 89706	96	0	0	0	96	58	0.60
Maplewood Estates	55 Ayrault Rd., Fairport, NY 14450	111	0	8	0	119	91	0.88
Tallgrass Estates	Camelot Dr. Bartlesville, OK 74005	113	0	0	0	113	55	0.55
Silver Arrow Estates	S. Elm Place, Broken Arrow, OK 74012	115	0	5	0	120	81	0.74
Mountain View	548 North Main, Ashland, OR 97520	110	0	0	0	110	58	0.53
Edgewoods Downs	7799 SW Scholls Ferry Rd., Beaverton, OR 97005	124	0	0	0	124	46	0.37
Edgewood Down ALF	7733 S.W. Scholls Ferry Rd. Beaverton, OR 97008	46 ALF	0	4	16	56	49	0.84
Stone Lodge	1460 N.E. 27th St. Bend, OR 97701	112	0	0	0	112	66	0.59
The Regent	440 Elks Dr., Corvallis, OR 97330	92	0	0	0	92	63	0.77

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FACILITY NAME	ADDRESS	SUITES	GARDEN SUITES	COTTAGES	ALZ UNITS	TOTAL SUITES	PARKING SPACES	PER SUITE
Stoneybrook Lodge	49th St. & S.W. Country Club Dr., Corvallis, OR 97333	115	0	5	0	120	80	0.73
Sheldon Oaks	2525 Cal Young Rd., Eugene, OR 97402	110	0	0	0	110	71	0.65
Somerset Lodge	8330 Cason Rd, Gladstone, OR 97027	115	7	0	0	122	80	0.66
Rogue Valley	1001 A St. NE, Grants Pass, OR 97626	90	0	0	0	90	40	0.44
Gresham Manor	2895 E. Powell Blvd., Gresham, OR 97080	102	0	0	0	102	46	0.45
Rock Creek	19295 NW Cornwell Rd., Hillsboro, OR 97124	108	0	0	0	108	56	0.52
Royal Oak	2180 Poplar Dr., Medford, OR 97501	90	0	0	0	90	45	0.50
Parkrose Chateau	3141 NE 148th Ave, Portland, OR 97230	107	0	0	0	107	76	0.71
Garden Valley	1800 Hughwood, Roseburg, OR 97470	92	0	0	0	92	45	0.49
Hidden Lakes	400 Madrona Ave. SE, Salem, OR 97302	123	0	0	0	123	60	0.55
Bethel Park	2999 Bethel Church Rd., Bethel Park, PA 15102	116	0	0	0	116	70	0.60
The Manor @ Oakridge	4500 Oakhurst Blvd., Susquehanna Township, PA 17111	113	0	0	0	113	74	0.65
Pocasset Lodge	12 Old Pocasset Lane, Johnston, RI 02919	172	0	0	0	172	102	0.59
Forest Pines	1720 Devonshire Dr., Columbia, SC 29204	115	0	0	0	115	69	0.60
Haywood Estates	1180 Haywood Rd., Greenville, SC 29615	110	0	0	0	110	53	0.48
Westminster	11 E Augusta Pl., Greenville, SC 29605	115	0	0	0	115	70	0.61
Indigo Pines	110 Gardner Drive, Hilton Head Is., SC 29926	113	5	0	0	118	68	0.58
Deepwood Estates	203 Old Chapin Rd., Lexington, SC 29072	115	0	0	0	115	72	0.63
Holiday Hills Estates	2620 Holiday Lane, Rapid City, SD 57702	113	0	0	0	113	69	0.61
Rosewood Estates	505 Rice Rd., Tyler, TX 75703	110	0	0	0	110	54	0.49
Creekside @ Shallowford	7511 Shallowford Rd., Chattanooga, TN 37421	114	0	4	0	118	65	0.59
Uffelman Estates	125 Uffelman Dr., Clarksville, TN 37043	104	3	0	0	107	61	0.57
Manor at Steeplechase	314 Cool Springs Blvd., Franklin, TN 37067	118	0	0	0	118	71	0.60
Jackson Meadow	25 Max Lane Dr., Jackson, TN 38305	113	0	0	0	113	78	0.69
Echo Ridge	8458 Gleason Dr., Knoxville, TN 37919	109	0	0	0	109	63	0.58
Franklin Park	3393 Kirby Rd., Memphis, TN 38115	129	0	0	0	129	67	0.52
Clairmont	4707 Bell St., Amarillo, TX 79109	96	0	0	0	96	47	0.49
Arlington Plaza	6801 W. Poly Webb Rd., Arlington, TX 76015	96	0	0	0	96	63	0.71
Fox Run	2315 Little Rd., Arlington, TX 76016	102	0	0	0	102	54	0.53
Englewood Estates	2603 Jones Rd., Austin, TX 78745	110	0	0	0	110	64	0.58
Bentley, The	3362 Forest Lane, Dallas, TX 75234	109	8	0	0	117	81	0.69
Whitlock Court	9900 Block of Whitlock Trail, Dallas, TX 75204	115	0	0	0	115	73	0.63
Rio Norte	1941 Saul Kleinfield Dr., El Paso TX 79936	110	5	4	0	119	63	0.57
Ventura Place	3026 54th St., Lubbock, TX 79413	112	18	5	0	135	96	0.71
Polo Park	2100 Castleford Rd., Midland, TX 79706	107	0	0	0	107	65	0.61

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FACILITY NAME	ADDRESS	SUITES	GARDEN SUITES	COTTAGES	ALZ UNITS	TOTAL SUITES	PARKING SPACES	PER SUITE
Brook Ridge	1001 W. Ridge Rd., Pharr, TX 78577	107	0	0	0	107	67	0.63
Cottonwood Estates	1940 West Spring Creek Parkway, Plano, TX 75086	113	0	0	0	113	68	0.60
El Dorado	714 W. Atapaho Rd., Richardson, TX 75080	102	0	0	0	102	63	0.62
Cowhorn Creek Estates	5353 Cowhorn Creek Rd., Texarkana, TX 75503	112	0	0	0	112	67	0.60
Rosewood Estates	505 Rice Rd., Tyler, TX 75703	110	0	0	0	110	54	0.49
Lakeshore Estates	3209 Village Green Dr., Waco, TX 76710	110	5	0	0	115	70	0.61
Pioneer Valley Lodge	400 East St. & 2350 North St.	115	0	0	0	115	72	0.63
Harrison Regent	481 Harrison Blvd., Ogden, UT 84403	90	0	0	0	90	39	0.43
Seville, The	325 W. Center, Orem, UT 84058	97	0	0	0	97	54	0.56
Fairmont, The	9852 Fairmont Ave., Manassas, VA 22110	100	0	0	0	100	32	0.32
Virginian, The	300 Twinridge Lane, Richmond, VA 23235	117	0	0	0	117	72	0.62
Elm Park	4230 Elm View Rd., Roanoke, VA 24014	110	0	0	0	110	63	0.57
Garden Club, Bellevue	13350 SE 26th, Bellevue, WA 98005	103	0	0	0	103	43	0.42
Parkway Chateau	2818 Old Fairhaven Pwy., Bellingham, WA 98225	109	0	0	0	109	60	0.56
Cascadian	3515 Colby Ave., Everett, WA 98201	102	0	0	0	102	52	0.51
Capitol Place	700 Black Lake Blvd., Olympia, WA 98502	104	0	0	0	104	56	0.54
Evergreen Place	1416 Monroe Ave. NE, Renton, WA 98055	110	0	0	0	110	65	0.59
Harvard Park	1616 E. 30th Ave., Spokane, WA 99203	105	0	0	0	105	39	0.37
Pt. Defiance	5414 N. Park Way, Tacoma, WA 98407	135	0	0	0	135	71	0.52
Park Plaza	1400 Dalles Military Rd., Walla Walla, WA 99362	99	0	0	0	99	55	0.56
The Inn at Cass Lake	900 N. Cass Lake Rd., Waterford, MI 48328	110	0	0	0	110	64	0.58

Exhibit 6

Financial Capacity Letter

Exhibit 7

Sanitary Sewer Capacity Letter

Exhibit 8

Water Capacity Letter

Exhibit 9

Stormwater Management Report

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- Stormwater Quality Calculations
- Maintenance Plan of Stormwater Management Facilities
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- Soil Map

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- Peak Rates of Runoff: Pre-Developed Condition

Section 3

- Peak Rates of Runoff: Developed Condition

Section 4

- Watershed Maps (Pre and Post-Development)

Section 1

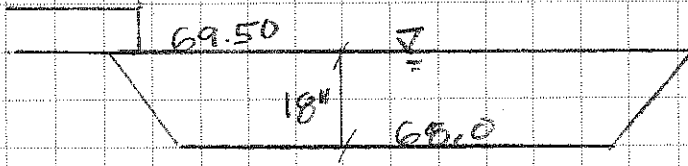
-
- **Stormwater Runoff Evaluation**
 - **Stormwater Quality Calculations**
 - **Maintenance Plan of Stormwater Management Facilities**
 - **U.S.G.S. Map**
 - **Soil Map**

SEBAGO TECHNICS, INC.

1 Shabot Street
P.O. Box 1339
WESTBROOK, MAINE 04098
(207) 856-0277 FAX (207) 856-2206

JOB Panther Pond Retention L. 96592
SHEET NO. 1 OF _____
CALCULATED BY SKA DATE _____
CHECKED BY _____ DATE _____
SCALE _____

Dry Swale Sizing (see pond 1)



○

$VOL = 7,772 \text{ cu ft}$

Impervious Treatment Area 0.97 ac
Subcatchment 1A

Storage Sizing for WQV $1.25'' \text{ Vol Storage} = 90755$

$= 0.97 \text{ ac} \left(\frac{43560 \text{ ft}^2}{\text{ac}} \right) (1.25'') \frac{1'}{12''} = 4401 \text{ cu ft}$

$7,772 > 4401 \text{ cu ft}$

Portland Retirement

Canco Road

1/28/04

Subarea ID	Imperious Area (Ac)	Percent of Imp. surface
1a	0.97	41
1b	0.03	1.2
2a	0.28	12
2b	0.76	32
10	0.24	10
1	0	0
2	0.09	3.8
	2.37	100

Vegetated Swale	Dry Swale w/ pond	Wooded Buffer 1
0.25	0.9	
		0.62
		0.62
		0.62
		0.62

% TSS REMOVAL
0.925
0
0.62
0
0.62
0
0.62

NET BMP % TSS REMOVAL
37.93
0.00
7.44
0.00
6.20
0.00
2.36
53.92

BMP Notes:

Wooded Buffer #1

Vegetated Swale

Dry Swale

see sizing calc.

Length	Slope	Hyd Soil Group	T.S.S Removal
150	3% - 8%	D	62%
100	2%	D	25%
140	0		90%

54% TSS > 40%(required for sliding scale)

FIGURE 2



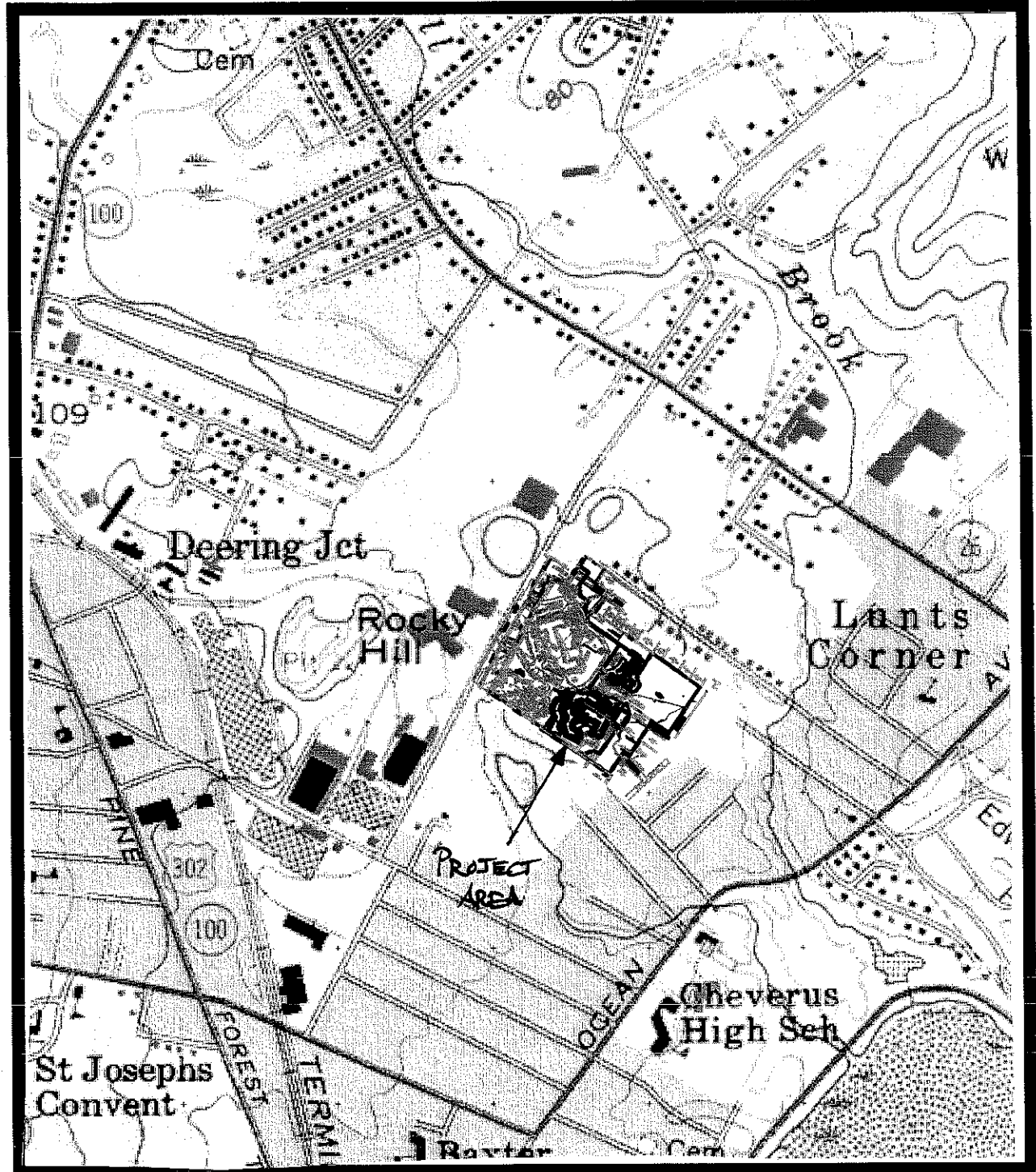
MEDIUM INTENSITY SOIL SURVEY MAP
 PORTLAND ASSISTED LIVING FACILITY
 PORTLAND, MAINE

SCALE 1:20,000



Sebago Technics
 Engineering & Planning for the Future

FIGURE 1



SITE LOCATION MAP

PORTLAND ASSISTED LIVING FACILITY

CANCO ROAD

PORTLAND, MAINE

SCALE 1" = 1000'



Sebago Technics
Engineering & Planning for the Future

MAINTENANCE PLAN OF STORMWATER MANAGEMENT FACILITIES

The owner or operator of the proposed project will be responsible for the maintenance of all stormwater management structures, the establishment of any contract services required to implement the program, and the keeping of records and maintenance log book. Records of all inspections and maintenance work accomplished must be kept on file and retained for a minimum 5-year time span. The maintenance logbook will be made available to the DEP upon request. At a minimum, the appropriate and relevant activities for each of the stormwater management systems will be performed on the prescribed schedule.

Sweeping

1. Paved surfaces shall be swept or vacuumed at least twice annually in the Spring to remove all Winter sand, and periodically during the year on an as-needed basis to minimize transportation of sediment during rainfall events.

Catch Basins

1. All catch basins, and any other field inlets throughout the collection system, need to be inspected on a monthly basis to assure that the inlet entry point is clear of debris and will allow the intended water entry. At that time, these will be cleared, if necessary on a yearly basis or when sediment reaches two thirds of total volume. Catch basins need to be vacuumed and cleaned of all accumulated sediment. A vacuum truck under contract must do this work. The removed material must be disposed of in accordance with the Maine Solid Waste Disposal Rules.

Ditches, Swales and Culverts

1. Open swales and ditches need to be inspected on a monthly basis or after a major rainfall event to assure that debris or sediments do not reduce the effectiveness of the system. Debris needs to be removed at that time. Any sign of erosion or blockage shall be immediately repaired to assure a vigorous growth of vegetation for the stability of the structure and proper functioning.
2. Vegetated ditches should be mowed at least monthly during the growing season. Larger brush or trees must not be allowed to become established in the channel. Any areas where the vegetation fails will be subject to erosion and should be repaired and revegetated.
3. Riprap ditches where stone is displaced should be replaced and chinked to assure stability. With time, riprap may need to be added. Vegetation growing through riprap should be removed on a yearly schedule.
4. If sediment in culverts or piped drainage systems exceeds 20% of the diameter of the pipe, it should be removed. Hydraulic flushing or any mechanical means may accomplish this; however, care should be taken to not flush the sediments into the

retention/detention pond as it will reduce the pond's capacity and hasten the time when it must be cleaned. All pipes should be inspected on an annual basis.

Dry Swale

1. After each significant rainfall event, or at least monthly, the dry-swale will be visually inspected to assure that the outlet structure is not blocked and that no sign of erosion is apparent.
2. **Pretreatment:** The vegetated swale leading to the dry-swale shall be inspected twice a year for debris and sediment build-up. Sediment and debris shall be removed as needed to prevent sediment from reaching the dry-swale.
3. **Soil Bed:** The surface of the filter may clog with fine sediments over time. Maintenance of good grass cover should minimize this, but if runoff ponded in the swale does not drain within 48 hours rototilling of the top of the soil bed may be required to reestablish the soil's filtration capacity.
4. **Vegetation:** Grass should be mowed on a regular basis so that grass height does not exceed 6 inches. Any bare areas should be reseeded, or sodded as necessary. The grasses for the swale should be selected for the anticipated intermittently hydric conditions. Reed canary grass is the preferred species.

Level Lip Spreader and Ditch Turnout

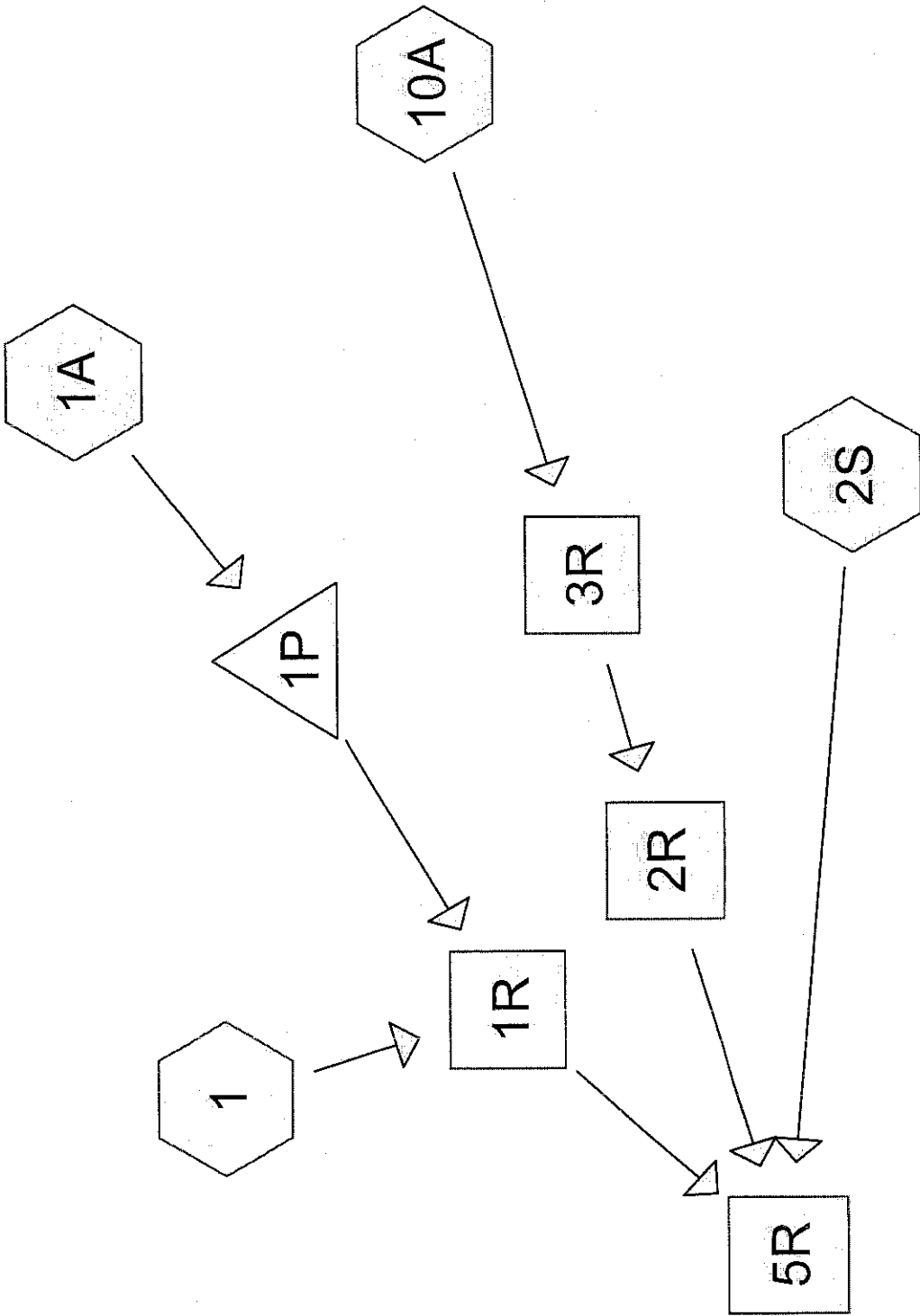
1. Inspect and remove debris in level spreader, record weir elevation, and adjust if necessary. Inspect for bypass or undermining, repair as needed any channelization as it is occurring and remove sediment buildup to assure sheet flow conditions. Perform inspection on a semi-annual basis at a minimum.

Buffers

1. Inspect and remove dead wood and debris with minimal disturbance. Inspect for bypass and channelization; repair as it is occurring and remove sediment build-up to assure sheet flow conditions. Replant trees and bushes if needed. Perform inspection on a semi-annual basis.

Section 2

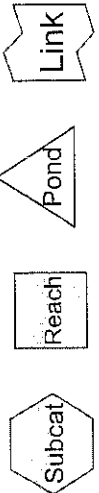
Peak Rates of Runoff: Pre-Developed Condition



Drainage Diagram for 96592 Pre Development

Prepared by SEBAGO TECHNICS INC 2/18/04

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96592 Pre Development

Type III 24-hr Rainfall=3.00"

Prepared by SEBAGO TECHNICS INC

Page 1

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2/18/04

Time span=5.00-20.00 hrs, dt=0.05 hrs, 301 points

Runoff by SCS TR-20 method, UH=SCS, Type III 24-hr Rainfall=3.00"

Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment 1: (new node)

Tc=18.1 min CN=77 Area=1.760 ac Runoff= 1.48 cfs 0.143 af

Subcatchment 1A: (new node)

Tc=13.3 min CN=70 Area=2.930 ac Runoff= 1.66 cfs 0.156 af

Subcatchment 2S: (new node)

Tc=20.0 min CN=73 Area=4.650 ac Runoff= 2.87 cfs 0.299 af

Subcatchment 10A: Pre-Dev prior to 1996

Tc=15.7 min CN=79 Area=1.710 ac Runoff= 1.71 cfs 0.155 af

Reach 1R: (new node)Length= 580.0' Max Vel= 1.7 fps Capacity= 7.91 cfs Inflow= 2.92 cfs 0.297 af
Outflow= 2.73 cfs 0.294 af**Reach 2R: (new node)**Length= 330.0' Max Vel= 2.0 fps Capacity= 30.21 cfs Inflow= 1.69 cfs 0.155 af
Outflow= 1.65 cfs 0.154 af**Reach 3R: (new node)**Length= 170.0' Max Vel= 1.9 fps Capacity= 11.70 cfs Inflow= 1.71 cfs 0.155 af
Outflow= 1.69 cfs 0.155 af**Reach 5R: (new node)**Inflow= 6.82 cfs 0.747 af
Outflow= 6.82 cfs 0.747 af**Pond 1P: wetland**Peak Storage= 631 cf Inflow= 1.66 cfs 0.156 af
Primary= 1.46 cfs 0.154 af Outflow= 1.46 cfs 0.154 af**Runoff Area = 11.050 ac Volume = 0.754 af Average Depth = 0.82"**

96592 Pre Development

Type III 24-hr Rainfall=3.00"

Prepared by SEBAGO TECHNICS INC

Page 2

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2/18/04

Subcatchment 1: (new node)

Runoff = 1.48 cfs @ 12.27 hrs, Volume= 0.143 af

Runoff by SCS TR-20 method, UH=SCS, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type III 24-hr Rainfall=3.00"

Area (ac)	CN	Description
1.725	77	Woods, Good, HSG D
0.035	98	existing access rd.
1.760	77	Weighted Average

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
14.3	100	0.0600	0.1		Sheet Flow, Woods: Light underbrush n= 0.400 P2= 3.00"
2.8	170	0.0410	1.0		Shallow Concentrated Flow, Woodland Kv= 5.0 fps
1.0	290	0.0240	5.0	19.84	Channel Flow, Area= 4.0 sf Perim= 5.0' r= 0.80' n= 0.040
18.1	560	Total			

Subcatchment 1A: (new node)

Runoff = 1.66 cfs @ 12.21 hrs, Volume= 0.156 af

Runoff by SCS TR-20 method, UH=SCS, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type III 24-hr Rainfall=3.00"

Area (ac)	CN	Description
2.930	70	Woods, Good, HSG C

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
7.0	100	0.0500	0.2		Sheet Flow, lawn Grass: Short n= 0.150 P2= 3.00"
3.1	200	0.0450	1.1		Shallow Concentrated Flow, woods Woodland Kv= 5.0 fps
3.2	200	0.0140	1.1	10.56	Parabolic Channel, wetland W=30.00' D=0.50' Area=10.0 sf Perim=30.0' n= 0.080
13.3	500	Total			

Subcatchment 2S: (new node)

Runoff = 2.87 cfs @ 12.31 hrs, Volume= 0.299 af

Runoff by SCS TR-20 method, UH=SCS, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type III 24-hr Rainfall=3.00"

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Type III 24-hr Rainfall=3.00"

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Area (ac)	CN	Description
1.530	77	Woods, Good, HSG D
3.000	70	Woods, Good, HSG C
0.120	98	Exist Access Rd
4.650	73	Weighted Average

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
11.7	100	0.1000	0.1		Sheet Flow, Woods: Light underbrush n= 0.400 P2= 3.00"
3.9	320	0.0750	1.4		Shallow Concentrated Flow, Woodland Kv= 5.0 fps
4.4	260	0.0380	1.0		Shallow Concentrated Flow, Woodland Kv= 5.0 fps
20.0	680	Total			

Subcatchment 10A: Pre-Dev prior to 1996

Runoff = 1.71 cfs @ 12.23 hrs, Volume= 0.155 af

Runoff by SCS TR-20 method, UH=SCS, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type III 24-hr Rainfall=3.00"

Area (ac)	CN	Description
1.710	79	Woods, Fair, HSG D

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
14.3	100	0.0600	0.1		Sheet Flow, Woods: Light underbrush n= 0.400 P2= 3.00"
1.4	120	0.0800	1.4		Shallow Concentrated Flow, Woodland Kv= 5.0 fps
15.7	220	Total			

Reach 1R: (new node)

[79] Warning: Submerged Pond 1P Primary device # 1 INLET by 0.20'

Inflow = 2.92 cfs @ 12.29 hrs, Volume= 0.297 af
Outflow = 2.73 cfs @ 12.47 hrs, Volume= 0.294 af, Atten= 7%, Lag= 10.6 minRouting by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Max. Velocity= 1.7 fps, Min. Travel Time= 5.7 min
Avg. Velocity = 0.8 fps, Avg. Travel Time= 12.1 min

Peak Depth= 0.31'

Capacity at bank full= 7.91 cfs

Inlet Invert= 66.12', Outlet Invert= 50.00'

10.00' x 0.50' deep Parabolic Channel, n= 0.050 Length= 580.0' Slope= 0.0278 1'

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Type III 24-hr Rainfall=3.00"

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Reach 2R: (new node)

[61] Hint: Submerged 1% of Reach 3R bottom

Inflow = 1.69 cfs @ 12.27 hrs, Volume= 0.155 af
Outflow = 1.65 cfs @ 12.36 hrs, Volume= 0.154 af, Atten= 2%, Lag= 5.0 min

Routing by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Max. Velocity= 2.0 fps, Min. Travel Time= 2.8 min
Avg. Velocity = 0.7 fps, Avg. Travel Time= 7.4 min

Peak Depth= 0.19'
Capacity at bank full= 30.21 cfs
Inlet Invert= 66.00', Outlet Invert= 51.00'
4.00' x 1.00' deep channel, n= 0.050 Length= 330.0' Slope= 0.0455 '/'
Side Slope Z-value= 2.0 '/'

Reach 3R: (new node)

Inflow = 1.71 cfs @ 12.23 hrs, Volume= 0.155 af
Outflow = 1.69 cfs @ 12.27 hrs, Volume= 0.155 af, Atten= 1%, Lag= 2.7 min

Routing by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Max. Velocity= 1.9 fps, Min. Travel Time= 1.5 min
Avg. Velocity = 0.8 fps, Avg. Travel Time= 3.3 min

Peak Depth= 0.21'
Capacity at bank full= 11.70 cfs
Inlet Invert= 80.90', Outlet Invert= 66.00'
10.00' x 0.50' deep Parabolic Channel, n= 0.060 Length= 170.0' Slope= 0.0876 '/'

Reach 5R: (new node)

[40] Hint: Not Described (Outflow=Inflow)

Inflow = 6.82 cfs @ 12.40 hrs, Volume= 0.747 af
Outflow = 6.82 cfs @ 12.40 hrs, Volume= 0.747 af, Atten= 0%, Lag= 0.0 min

Routing by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

Pond 1P: wetland

Inflow = 1.66 cfs @ 12.21 hrs, Volume= 0.156 af
Outflow = 1.46 cfs @ 12.31 hrs, Volume= 0.154 af, Atten= 12%, Lag= 5.9 min
Primary = 1.46 cfs @ 12.31 hrs, Volume= 0.154 af

Routing by Stor-Ind method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

Peak Elev= 67.01' Storage= 631 cf
Plug-Flow detention time= 14.0 min calculated for 0.154 af (98% of inflow)
Storage and wetted areas determined by Prismatic sections

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Type III 24-hr Rainfall=3.00"

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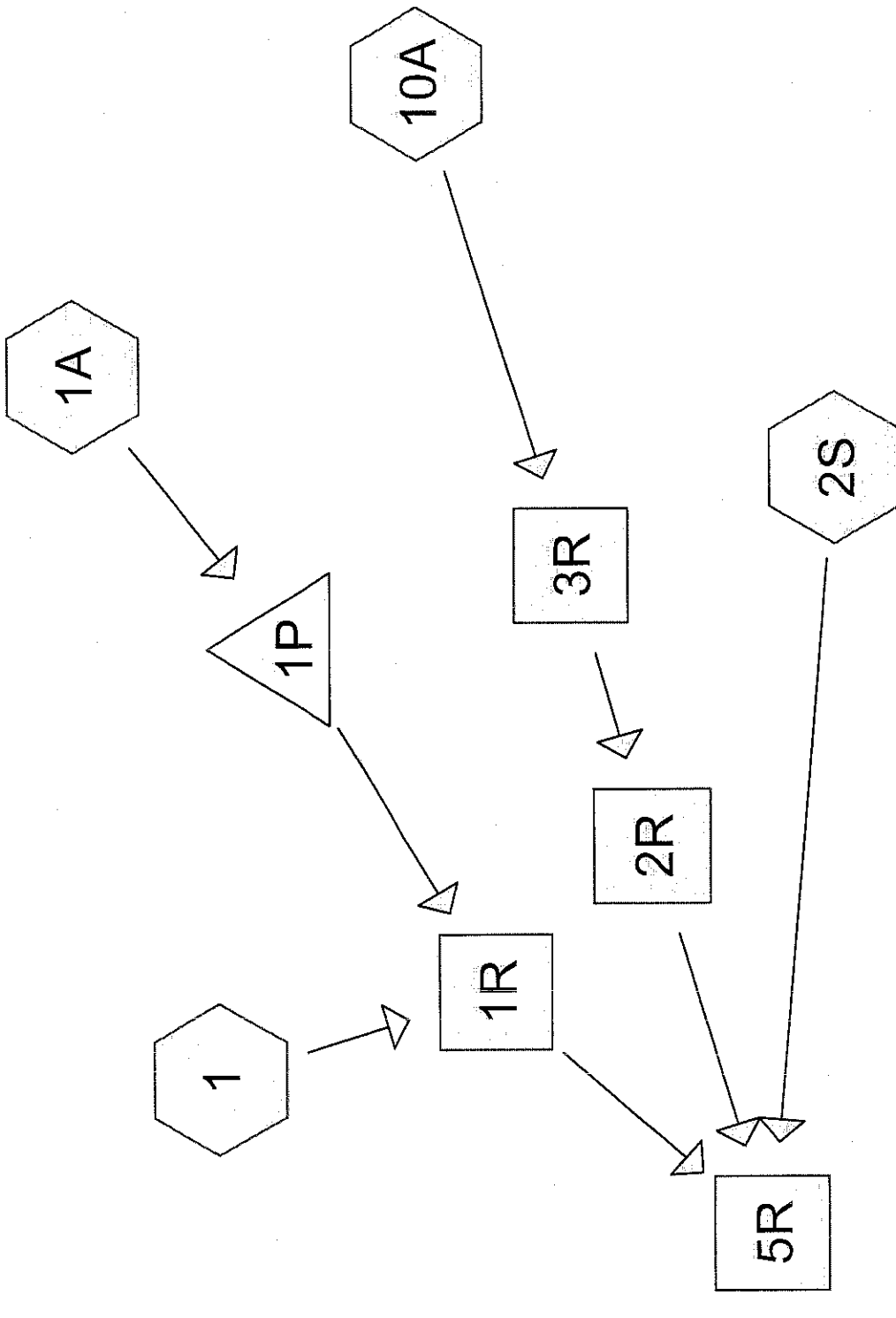
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Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
66.23	0	0	0
68.00	1,618	1,432	1,432
69.00	4,017	2,818	4,249

Primary OutFlow (Free Discharge)

- 1=Culvert
- 2=Broad-Crested Rectangular Weir

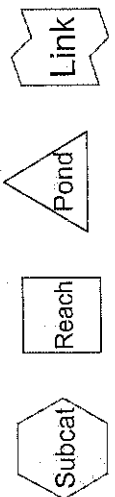
#	Routing	Invert	Outlet Devices
1	Primary	66.23'	12.0" x 12.0' long Culvert Ke= 0.900 Outlet Invert= 66.12' S= 0.0092 '/' n= 0.010 Cc= 0.900
2	Primary	68.00'	4.0' long x 4.0' breadth Broad-Crested Rectangular Weir Head (feet) 0.20 0.40 0.60 0.80 1.00 1.20 1.40 1.60 1.80 2.00 2.50 3.00 3.50 4 Coef. (English) 2.38 2.54 2.69 2.68 2.67 2.67 2.65 2.66 2.66 2.68 2.72 2.73 2.7



Drainage Diagram for 96592 Pre Development

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96592 Pre Development

Type III 24-hr Rainfall=4.70"

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Time span=5.00-20.00 hrs, dt=0.05 hrs, 301 points
Runoff by SCS TR-20 method, UH=SCS, Type III 24-hr Rainfall=4.70"
Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment 1: (new node)

Tc=18.1 min CN=77 Area=1.760 ac Runoff= 3.42 cfs 0.322 af

Subcatchment 1A: (new node)

Tc=13.3 min CN=70 Area=2.930 ac Runoff= 4.76 cfs 0.406 af

Subcatchment 2S: (new node)

Tc=20.0 min CN=73 Area=4.650 ac Runoff= 7.39 cfs 0.729 af

Subcatchment 10A: Pre-Dev prior to 1996

Tc=15.7 min CN=79 Area=1.710 ac Runoff= 3.78 cfs 0.337 af

Reach 1R: (new node)

Inflow= 7.12 cfs 0.725 af
Length= 580.0' Max Vel= 2.3 fps Capacity= 7.91 cfs Outflow= 6.88 cfs 0.720 af

Reach 2R: (new node)

Inflow= 3.71 cfs 0.336 af
Length= 330.0' Max Vel= 2.6 fps Capacity= 30.21 cfs Outflow= 3.64 cfs 0.335 af

Reach 3R: (new node)

Inflow= 3.78 cfs 0.337 af
Length= 170.0' Max Vel= 2.5 fps Capacity= 11.70 cfs Outflow= 3.71 cfs 0.336 af

Reach 5R: (new node)

Inflow= 17.26 cfs 1.783 af
Outflow= 17.26 cfs 1.783 af

Pond 1P: wetland

Peak Storage= 1,713 cf Inflow= 4.76 cfs 0.406 af
Primary= 3.79 cfs 0.403 af Outflow= 3.79 cfs 0.403 af

Runoff Area = 11.050 ac Volume = 1.794 af Average Depth = 1.95"

96592 Pre Development

Type III 24-hr Rainfall=4.70"

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Subcatchment 1: (new node)

Runoff = 3.42 cfs @ 12.26 hrs, Volume= 0.322 af

Runoff by SCS TR-20 method, UH=SCS, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 Type III 24-hr Rainfall=4.70"

Area (ac)	CN	Description
1.725	77	Woods, Good, HSG D
0.035	98	existing access rd.
1.760	77	Weighted Average

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
14.3	100	0.0600	0.1		Sheet Flow, Woods: Light underbrush n= 0.400 P2= 3.00"
2.8	170	0.0410	1.0		Shallow Concentrated Flow, Woodland Kv= 5.0 fps
1.0	290	0.0240	5.0	19.84	Channel Flow, Area= 4.0 sf Perim= 5.0' r= 0.80' n= 0.040
18.1	560	Total			

Subcatchment 1A: (new node)

Runoff = 4.76 cfs @ 12.20 hrs, Volume= 0.406 af

Runoff by SCS TR-20 method, UH=SCS, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 Type III 24-hr Rainfall=4.70"

Area (ac)	CN	Description
2.930	70	Woods, Good, HSG C

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
7.0	100	0.0500	0.2		Sheet Flow, lawn Grass: Short n= 0.150 P2= 3.00"
3.1	200	0.0450	1.1		Shallow Concentrated Flow, woods Woodland Kv= 5.0 fps
3.2	200	0.0140	1.1	10.56	Parabolic Channel, wetland W=30.00' D=0.50' Area=10.0 sf Perim=30.0' n= 0.080
13.3	500	Total			

Subcatchment 2S: (new node)

Runoff = 7.39 cfs @ 12.29 hrs, Volume= 0.729 af

Runoff by SCS TR-20 method, UH=SCS, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 Type III 24-hr Rainfall=4.70"

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Type III 24-hr Rainfall=4.70"

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Area (ac)	CN	Description
1.530	77	Woods, Good, HSG D
3.000	70	Woods, Good, HSG C
0.120	98	Exist Access Rd
4.650	73	Weighted Average

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
11.7	100	0.1000	0.1		Sheet Flow, Woods: Light underbrush n= 0.400 P2= 3.00"
3.9	320	0.0750	1.4		Shallow Concentrated Flow, Woodland Kv= 5.0 fps
4.4	260	0.0380	1.0		Shallow Concentrated Flow, Woodland Kv= 5.0 fps
20.0	680	Total			

Subcatchment 10A: Pre-Dev prior to 1996

Runoff = 3.78 cfs @ 12.22 hrs, Volume= 0.337 af

Runoff by SCS TR-20 method, UH=SCS, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type III 24-hr Rainfall=4.70"

Area (ac)	CN	Description
1.710	79	Woods, Fair, HSG D

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
14.3	100	0.0600	0.1		Sheet Flow, Woods: Light underbrush n= 0.400 P2= 3.00"
1.4	120	0.0800	1.4		Shallow Concentrated Flow, Woodland Kv= 5.0 fps
15.7	220	Total			

Reach 1R: (new node)

[79] Warning: Submerged Pond 1P Primary device # 1 INLET by 0.36'

Inflow = 7.12 cfs @ 12.28 hrs, Volume= 0.725 af
Outflow = 6.88 cfs @ 12.41 hrs, Volume= 0.720 af, Atten= 3%, Lag= 7.7 min

Routing by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Max. Velocity= 2.3 fps, Min. Travel Time= 4.2 min
Avg. Velocity = 1.0 fps, Avg. Travel Time= 10.1 min

Peak Depth= 0.47'
Capacity at bank full= 7.91 cfs
Inlet Invert= 66.12', Outlet Invert= 50.00'
10.00' x 0.50' deep Parabolic Channel, n= 0.050 Length= 580.0' Slope= 0.0278 '/'

Reach 2R: (new node)

[61] Hint: Submerged 2% of Reach 3R bottom

Inflow = 3.71 cfs @ 12.26 hrs, Volume= 0.336 af
 Outflow = 3.64 cfs @ 12.32 hrs, Volume= 0.335 af, Atten= 2%, Lag= 3.7 min

Routing by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 Max. Velocity= 2.6 fps, Min. Travel Time= 2.1 min
 Avg. Velocity = 0.9 fps, Avg. Travel Time= 6.0 min

Peak Depth= 0.31'

Capacity at bank full= 30.21 cfs

Inlet Invert= 66.00', Outlet Invert= 51.00'

4.00' x 1.00' deep channel, n= 0.050 Length= 330.0' Slope= 0.0455 '/'

Side Slope Z-value= 2.0 '/'

Reach 3R: (new node)

Inflow = 3.78 cfs @ 12.22 hrs, Volume= 0.337 af
 Outflow = 3.71 cfs @ 12.26 hrs, Volume= 0.336 af, Atten= 2%, Lag= 2.2 min

Routing by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 Max. Velocity= 2.5 fps, Min. Travel Time= 1.1 min
 Avg. Velocity = 1.0 fps, Avg. Travel Time= 2.8 min

Peak Depth= 0.30'

Capacity at bank full= 11.70 cfs

Inlet Invert= 80.90', Outlet Invert= 66.00'

10.00' x 0.50' deep Parabolic Channel, n= 0.060 Length= 170.0' Slope= 0.0876 '/'

Reach 5R: (new node)

[40] Hint: Not Described (Outflow=Inflow)

Inflow = 17.26 cfs @ 12.34 hrs, Volume= 1.783 af
 Outflow = 17.26 cfs @ 12.34 hrs, Volume= 1.783 af, Atten= 0%, Lag= 0.0 min

Routing by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

Pond 1P: wetland

Inflow = 4.76 cfs @ 12.20 hrs, Volume= 0.406 af
 Outflow = 3.79 cfs @ 12.32 hrs, Volume= 0.403 af, Atten= 20%, Lag= 7.2 min
 Primary = 3.79 cfs @ 12.32 hrs, Volume= 0.403 af

Routing by Stor-Ind method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

Peak Elev= 68.10' Storage= 1,713 cf

Plug-Flow detention time= 10.2 min calculated for 0.403 af (99% of inflow)

Storage and wetted areas determined by Prismatic sections

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Type III 24-hr Rainfall=4.70"

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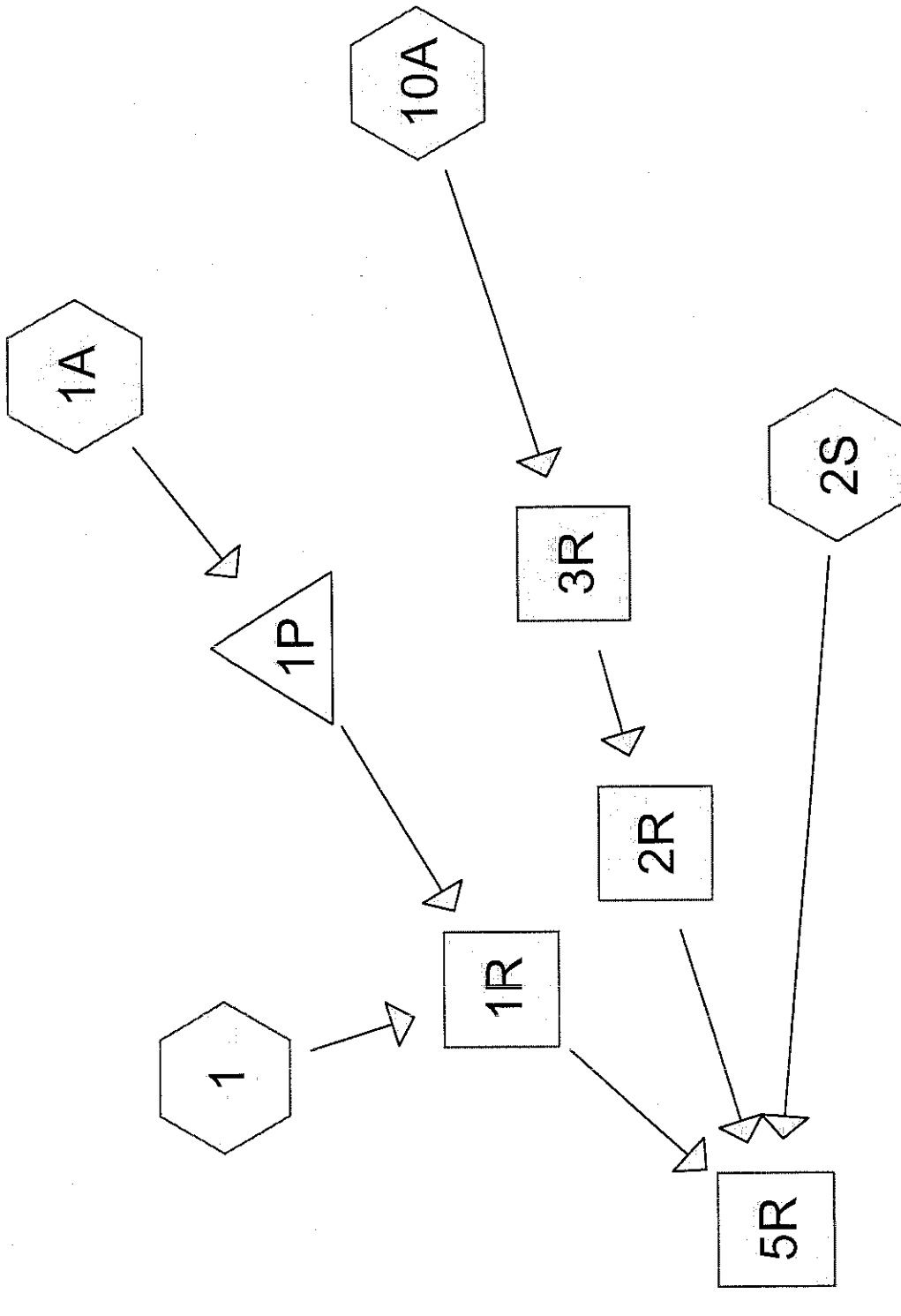
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Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
66.23	0	0	0
68.00	1,618	1,432	1,432
69.00	4,017	2,818	4,249

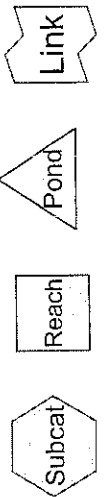
Primary OutFlow (Free Discharge)

- └1=Culvert
- └2=Broad-Crested Rectangular Weir

#	Routing	Invert	Outlet Devices
1	Primary	66.23'	12.0" x 12.0' long Culvert Ke= 0.900 Outlet Invert= 66.12' S= 0.0092 '/ n= 0.010 Cc= 0.900
2	Primary	68.00'	4.0' long x 4.0' breadth Broad-Crested Rectangular Weir Head (feet) 0.20 0.40 0.60 0.80 1.00 1.20 1.40 1.60 1.80 2.00 2.50 3.00 3.50 4 Coef. (English) 2.38 2.54 2.69 2.68 2.67 2.67 2.65 2.66 2.66 2.68 2.72 2.73 2.7



Drainage Diagram for 96592 Pre Development
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Type III 24-hr Rainfall=5.50"

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Time span=5.00-20.00 hrs, dt=0.05 hrs, 301 points

Runoff by SCS TR-20 method, UH=SCS, Type III 24-hr Rainfall=5.50"

Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment 1: (new node)

Tc=18.1 min CN=77 Area=1.760 ac Runoff= 4.40 cfs 0.415 af

Subcatchment 1A: (new node)

Tc=13.3 min CN=70 Area=2.930 ac Runoff= 6.43 cfs 0.543 af

Subcatchment 2S: (new node)

Tc=20.0 min CN=73 Area=4.650 ac Runoff= 9.75 cfs 0.958 af

Subcatchment 10A: Pre-Dev prior to 1996

Tc=15.7 min CN=79 Area=1.710 ac Runoff= 4.81 cfs 0.430 af

Reach 1R: (new node)

Inflow= 9.75 cfs 0.954 af
Length= 580.0' Max Vel= 2.5 fps Capacity= 7.91 cfs Outflow= 9.32 cfs 0.948 af

Reach 2R: (new node)

Inflow= 4.73 cfs 0.429 af
Length= 330.0' Max Vel= 2.8 fps Capacity= 30.21 cfs Outflow= 4.63 cfs 0.428 af

Reach 3R: (new node)

Inflow= 4.81 cfs 0.430 af
Length= 170.0' Max Vel= 2.7 fps Capacity= 11.70 cfs Outflow= 4.73 cfs 0.429 af

Reach 5R: (new node)

Inflow= 22.86 cfs 2.334 af
Outflow= 22.86 cfs 2.334 af

Pond 1P: wetland

Peak Storage= 2,286 cf Inflow= 6.43 cfs 0.543 af
Primary= 5.39 cfs 0.539 af Outflow= 5.39 cfs 0.539 af

Runoff Area = 11.050 ac Volume = 2.346 af Average Depth = 2.55"

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Type III 24-hr Rainfall=5.50"

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Subcatchment 1: (new node)

Runoff = 4.40 cfs @ 12.25 hrs, Volume= 0.415 af

Runoff by SCS TR-20 method, UH=SCS, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type III 24-hr Rainfall=5.50"

Area (ac)	CN	Description
1.725	77	Woods, Good, HSG D
0.035	98	existing access rd.
1.760	77	Weighted Average

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
14.3	100	0.0600	0.1		Sheet Flow, Woods: Light underbrush n= 0.400 P2= 3.00"
2.8	170	0.0410	1.0		Shallow Concentrated Flow, Woodland Kv= 5.0 fps
1.0	290	0.0240	5.0	19.84	Channel Flow, Area= 4.0 sf Perim= 5.0' r= 0.80' n= 0.040
18.1	560	Total			

Subcatchment 1A: (new node)

Runoff = 6.43 cfs @ 12.19 hrs, Volume= 0.543 af

Runoff by SCS TR-20 method, UH=SCS, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type III 24-hr Rainfall=5.50"

Area (ac)	CN	Description
2.930	70	Woods, Good, HSG C

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
7.0	100	0.0500	0.2		Sheet Flow, lawn Grass: Short n= 0.150 P2= 3.00"
3.1	200	0.0450	1.1		Shallow Concentrated Flow, woods Woodland Kv= 5.0 fps
3.2	200	0.0140	1.1	10.56	Parabolic Channel, wetland W=30.00' D=0.50' Area=10.0 sf Perim=30.0' n= 0.080
13.3	500	Total			

Subcatchment 2S: (new node)

Runoff = 9.75 cfs @ 12.28 hrs, Volume= 0.958 af

Runoff by SCS TR-20 method, UH=SCS, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type III 24-hr Rainfall=5.50"

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Type III 24-hr Rainfall=5.50"

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Area (ac)	CN	Description
1.530	77	Woods, Good, HSG D
3.000	70	Woods, Good, HSG C
0.120	98	Exist Access Rd
4.650	73	Weighted Average

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
11.7	100	0.1000	0.1		Sheet Flow, Woods: Light underbrush n= 0.400 P2= 3.00"
3.9	320	0.0750	1.4		Shallow Concentrated Flow, Woodland Kv= 5.0 fps
4.4	260	0.0380	1.0		Shallow Concentrated Flow, Woodland Kv= 5.0 fps
20.0	680	Total			

Subcatchment 10A: Pre-Dev prior to 1996

Runoff = 4.81 cfs @ 12.22 hrs, Volume= 0.430 af

Runoff by SCS TR-20 method, UH=SCS, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type III 24-hr Rainfall=5.50"

Area (ac)	CN	Description
1.710	79	Woods, Fair, HSG D

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
14.3	100	0.0600	0.1		Sheet Flow, Woods: Light underbrush n= 0.400 P2= 3.00"
1.4	120	0.0800	1.4		Shallow Concentrated Flow, Woodland Kv= 5.0 fps
15.7	220	Total			

Reach 1R: (new node)

[91] Warning: Storage range exceeded by 0.04'

[55] Hint: Peak inflow is 123% of Manning's capacity

[79] Warning: Submerged Pond 1P Primary device # 1 INLET by 0.43'

Inflow = 9.75 cfs @ 12.27 hrs, Volume= 0.954 af
Outflow = 9.32 cfs @ 12.40 hrs, Volume= 0.948 af, Atten= 4%, Lag= 7.2 minRouting by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Max. Velocity= 2.5 fps, Min. Travel Time= 3.9 min
Avg. Velocity = 1.0 fps, Avg. Travel Time= 9.5 min

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Type III 24-hr Rainfall=5.50"

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Peak Depth= 0.54'

Capacity at bank full= 7.91 cfs

Inlet Invert= 66.12', Outlet Invert= 50.00'

10.00' x 0.50' deep Parabolic Channel, n= 0.050 Length= 580.0' Slope= 0.0278 '/'

Reach 2R: (new node)

[61] Hint: Submerged 2% of Reach 3R bottom

Inflow	=	4.73 cfs @ 12.25 hrs,	Volume=	0.429 af
Outflow	=	4.63 cfs @ 12.31 hrs,	Volume=	0.428 af, Atten= 2%, Lag= 3.5 min

Routing by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

Max. Velocity= 2.8 fps, Min. Travel Time= 2.0 min

Avg. Velocity = 1.0 fps, Avg. Travel Time= 5.7 min

Peak Depth= 0.35'

Capacity at bank full= 30.21 cfs

Inlet Invert= 66.00', Outlet Invert= 51.00'

4.00' x 1.00' deep channel, n= 0.050 Length= 330.0' Slope= 0.0455 '/'

Side Slope Z-value= 2.0 '/'

Reach 3R: (new node)

Inflow	=	4.81 cfs @ 12.22 hrs,	Volume=	0.430 af
Outflow	=	4.73 cfs @ 12.25 hrs,	Volume=	0.429 af, Atten= 2%, Lag= 2.1 min

Routing by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

Max. Velocity= 2.7 fps, Min. Travel Time= 1.1 min

Avg. Velocity = 1.1 fps, Avg. Travel Time= 2.7 min

Peak Depth= 0.33'

Capacity at bank full= 11.70 cfs

Inlet Invert= 80.90', Outlet Invert= 66.00'

10.00' x 0.50' deep Parabolic Channel, n= 0.060 Length= 170.0' Slope= 0.0876 '/'

Reach 5R: (new node)

[40] Hint: Not Described (Outflow=Inflow)

Inflow	=	22.86 cfs @ 12.34 hrs,	Volume=	2.334 af
Outflow	=	22.86 cfs @ 12.34 hrs,	Volume=	2.334 af, Atten= 0%, Lag= 0.0 min

Routing by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

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Type III 24-hr Rainfall=5.50"

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Pond 1P: wetland

Inflow = 6.43 cfs @ 12.19 hrs, Volume= 0.543 af
 Outflow = 5.39 cfs @ 12.29 hrs, Volume= 0.539 af, Atten= 16%, Lag= 6.1 min
 Primary = 5.39 cfs @ 12.29 hrs, Volume= 0.539 af

Routing by Stor-Ind method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

Peak Elev= 68.30' Storage= 2,286 cf

Plug-Flow detention time= 9.5 min calculated for 0.539 af (99% of inflow)

Storage and wetted areas determined by Prismatic sections

Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
66.23	0	0	0
68.00	1,618	1,432	1,432
69.00	4,017	2,818	4,249

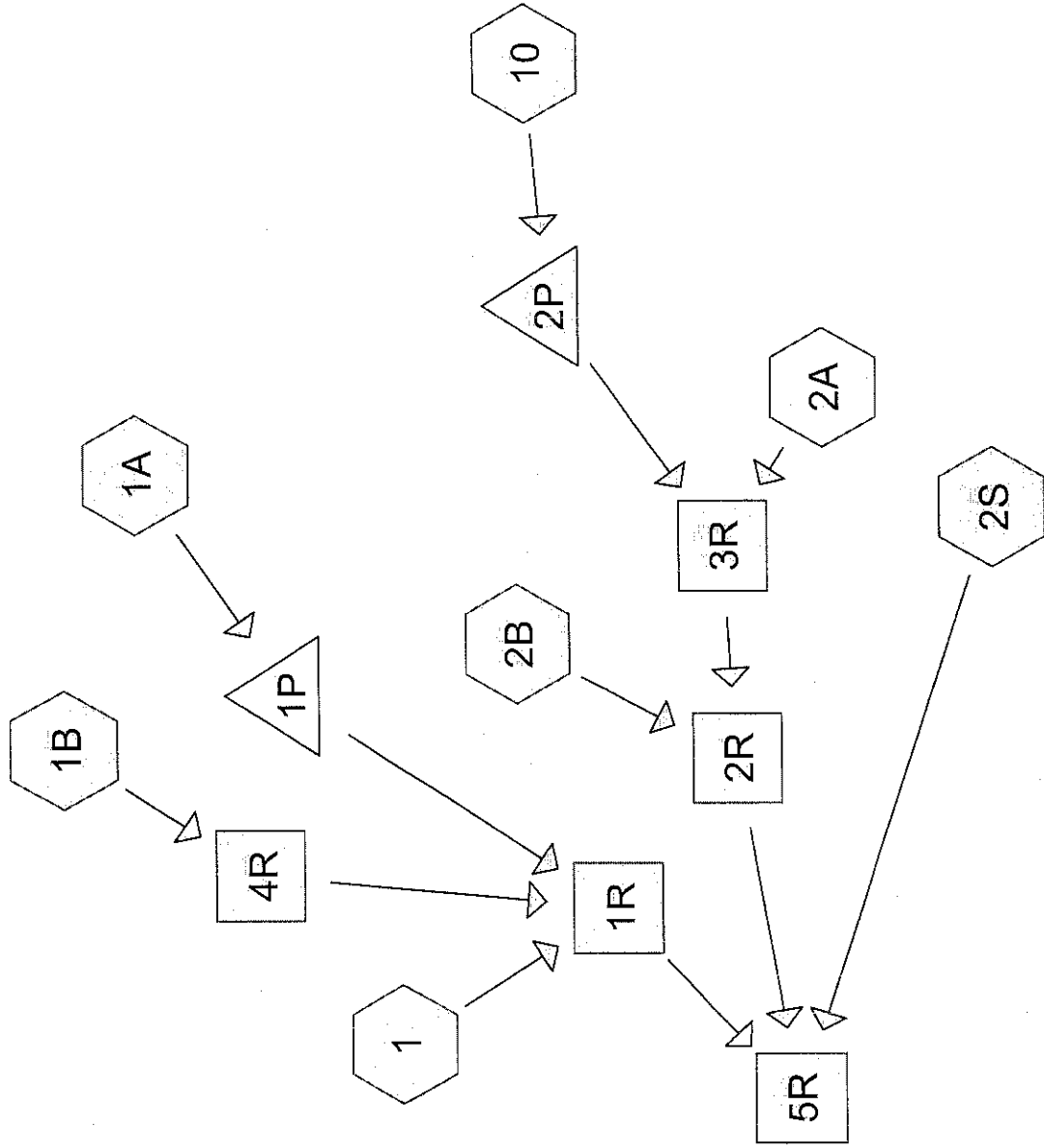
Primary OutFlow (Free Discharge)

- 1=Culvert
- 2=Broad-Crested Rectangular Weir

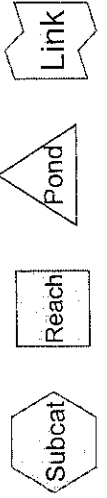
#	Routing	Invert	Outlet Devices
1	Primary	66.23'	12.0" x 12.0' long Culvert Ke= 0.900 Outlet Invert= 66.12' S= 0.0092 '/' n= 0.010 Cc= 0.900
2	Primary	68.00'	4.0' long x 4.0' breadth Broad-Crested Rectangular Weir Head (feet) 0.20 0.40 0.60 0.80 1.00 1.20 1.40 1.60 1.80 2.00 2.50 3.00 3.50 4 Coef. (English) 2.38 2.54 2.69 2.68 2.67 2.67 2.65 2.66 2.66 2.68 2.72 2.73 2.7

Section 3

Peak Rates of Runoff: Developed Condition



Drainage Diagram for 96592 Post Development
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96592 Post Development

Type III 24-hr Rainfall=3.00"

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Time span=5.00-20.00 hrs, dt=0.05 hrs, 301 points
Runoff by SCS TR-20 method, UH=SCS, Type III 24-hr Rainfall=3.00"
Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment 1: (new node)

Tc=17.2 min CN=77 Area=1.340 ac Runoff= 1.15 cfs 0.109 af

Subcatchment 1A: (new node)

Tc=7.3 min CN=87 Area=1.790 ac Runoff= 3.45 cfs 0.242 af

Subcatchment 1B: (new node)

Tc=14.3 min CN=73 Area=0.540 ac Runoff= 0.38 cfs 0.035 af

Subcatchment 2A: Cottage & parking area

Tc=10.0 min CN=84 Area=0.700 ac Runoff= 1.07 cfs 0.082 af

Subcatchment 2B: (new node)

Tc=7.9 min CN=89 Area=1.280 ac Runoff= 2.63 cfs 0.190 af

Subcatchment 2S: (new node)

Tc=20.0 min CN=74 Area=3.690 ac Runoff= 2.45 cfs 0.252 af

Subcatchment 10: Off-site from Phase 1

Tc=12.5 min CN=83 Area=1.280 ac Runoff= 1.73 cfs 0.143 af

Reach 1R: (new node)

Inflow= 1.52 cfs 0.186 af
Length= 455.0' Max Vel= 1.4 fps Capacity= 7.70 cfs Outflow= 1.41 cfs 0.183 af

Reach 2R: (new node)

Inflow= 4.61 cfs 0.413 af
Length= 230.0' Max Vel= 2.7 fps Capacity= 28.03 cfs Outflow= 4.53 cfs 0.412 af

Reach 3R: From Level Spreader Outlet

Inflow= 2.65 cfs 0.224 af
Length= 150.0' Max Vel= 1.7 fps Capacity= 7.79 cfs Outflow= 2.59 cfs 0.223 af

Reach 4R: (new node)

Inflow= 0.38 cfs 0.035 af
Length= 12.0' Max Vel= 3.5 fps Capacity= 4.63 cfs Outflow= 0.38 cfs 0.035 af

Reach 5R: (new node)

Inflow= 7.66 cfs 0.847 af
Outflow= 7.66 cfs 0.847 af

Pond 1P: Detention Pond

Peak Storage= 8,901 cf Inflow= 3.45 cfs 0.242 af
Primary= 0.11 cfs 0.042 af Outflow= 0.11 cfs 0.042 af

Pond 2P: 15"culvert from Phase 1

Peak Storage= 308 cf Inflow= 1.73 cfs 0.143 af
Primary= 1.69 cfs 0.142 af Outflow= 1.69 cfs 0.142 af

Runoff Area = 10.620 ac Volume = 1.053 af Average Depth = 1.19"

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Type III 24-hr Rainfall=3.00"

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Subcatchment 1: (new node)

Runoff = 1.15 cfs @ 12.26 hrs, Volume= 0.109 af

Runoff by SCS TR-20 method, UH=SCS, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type III 24-hr Rainfall=3.00"

Area (ac)	CN	Description
1.340	77	Woods, Good, HSG D

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
14.3	100	0.0600	0.1		Sheet Flow, Segment A-B Woods: Light underbrush n= 0.400 P2= 3.00"
2.0	120	0.0410	1.0		Shallow Concentrated Flow, Segment B-C Woodland Kv= 5.0 fps
0.9	260	0.0240	5.0	19.84	Channel Flow, Segment C-D Area= 4.0 sf Perim= 5.0' r= 0.80' n= 0.040
17.2	480	Total			

Subcatchment 1A: (new node)

Runoff = 3.45 cfs @ 12.11 hrs, Volume= 0.242 af

Runoff by SCS TR-20 method, UH=SCS, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type III 24-hr Rainfall=3.00"

Area (ac)	CN	Description
0.240	98	parking lot
0.670	98	roof
0.060	98	walks
0.820	74	>75% Grass cover, Good, HSG C
1.790	87	Weighted Average

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
7.3	70	0.0220	0.2		Sheet Flow, Segment A-B Grass: Short n= 0.150 P2= 3.00"

Subcatchment 1B: (new node)

Runoff = 0.38 cfs @ 12.22 hrs, Volume= 0.035 af

Runoff by SCS TR-20 method, UH=SCS, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type III 24-hr Rainfall=3.00"

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Type III 24-hr Rainfall=3.00"

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Area (ac)	CN	Description
0.030	98	sidewalk
0.210	74	>75% Grass cover, Good, HSG C
0.300	70	Woods, Good, HSG C
0.540	73	Weighted Average

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
14.3	100	0.0600	0.1		Sheet Flow, Segment A-B Woods: Light underbrush n= 0.400 P2= 3.00"

Subcatchment 2A: Cottage & parking area

Runoff = 1.07 cfs @ 12.15 hrs, Volume= 0.082 af

Runoff by SCS TR-20 method, UH=SCS, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type III 24-hr Rainfall=3.00"

Area (ac)	CN	Description
0.280	98	cottage/parking
0.050	98	existing road
0.270	70	Woods, Good, HSG C
0.100	74	>75% Grass cover, Good, HSG C
0.700	84	Weighted Average

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
9.7	80	0.1000	0.1		Sheet Flow, Woods: Light underbrush n= 0.400 P2= 3.00"
0.3	80	0.0050	4.2	3.28	Circular Channel (pipe), Diam= 12.0" Area= 0.8 sf Perim= 3.1' r= 0.25' n= 0.010
10.0	160	Total			

Subcatchment 2B: (new node)

Runoff = 2.63 cfs @ 12.11 hrs, Volume= 0.190 af

Runoff by SCS TR-20 method, UH=SCS, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type III 24-hr Rainfall=3.00"

Area (ac)	CN	Description
0.420	98	parking lot
0.280	98	roof
0.060	98	sidewalk
0.035	98	existing access rd
0.485	74	>75% Grass cover, Good, HSG C
1.280	89	Weighted Average

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Type III 24-hr Rainfall=3.00"

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Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.6	70	0.0280	0.2		Sheet Flow, Segment A-B Grass: Short n= 0.150 P2= 3.00"
0.2	70	0.0600	5.0		Shallow Concentrated Flow, Segment B-C Paved Kv= 20.3 fps
1.1	280	0.0050	4.2	3.28	Circular Channel (pipe), Segment C-D Diam= 12.0" Area= 0.8 sf Perim= 3.1' r= 0.25' n= 0.010
7.9	420	Total			

Subcatchment 2S: (new node)

Runoff = 2.45 cfs @ 12.31 hrs, Volume= 0.252 af

Runoff by SCS TR-20 method, UH=SCS, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type III 24-hr Rainfall=3.00"

Area (ac)	CN	Description
1.460	77	Woods, Good, HSG D
2.070	70	Woods, Good, HSG C
0.090	98	cottages
0.070	98	Existing access Rd
3.690	74	Weighted Average

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
11.7	100	0.1000	0.1		Sheet Flow, Segment A-B Woods: Light underbrush n= 0.400 P2= 3.00"
3.9	320	0.0750	1.4		Shallow Concentrated Flow, Segment B-C Woodland Kv= 5.0 fps
4.4	260	0.0380	1.0		Shallow Concentrated Flow, Segment C-D Woodland Kv= 5.0 fps
20.0	680	Total			

Subcatchment 10: Off-site from Phase 1

Runoff = 1.73 cfs @ 12.18 hrs, Volume= 0.143 af

Runoff by SCS TR-20 method, UH=SCS, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type III 24-hr Rainfall=3.00"

Area (ac)	CN	Description
0.240	98	Impervious
1.040	79	Woods, Fair, HSG D
1.280	83	Weighted Average

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Type III 24-hr Rainfall=3.00"

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Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
2.2	40	0.1500	0.3		Sheet Flow, Grass: Short n= 0.150 P2= 3.00"
9.1	60	0.0670	0.1		Sheet Flow, Woods: Light underbrush n= 0.400 P2= 3.00"
1.2	100	0.0800	1.4		Shallow Concentrated Flow, Woodland Kv= 5.0 fps
12.5	200	Total			

Reach 1R: (new node)

Inflow = 1.52 cfs @ 12.25 hrs, Volume= 0.186 af
 Outflow = 1.41 cfs @ 12.41 hrs, Volume= 0.183 af, Atten= 7%, Lag= 10.0 min

Routing by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 Max. Velocity= 1.4 fps, Min. Travel Time= 5.5 min
 Avg. Velocity = 0.7 fps, Avg. Travel Time= 10.6 min

Peak Depth= 0.23'
 Capacity at bank full= 7.70 cfs
 Inlet Invert= 63.00', Outlet Invert= 51.00'
 10.00' x 0.50' deep Parabolic Channel, n= 0.050 Length= 455.0' Slope= 0.0264 1'

Reach 2R: (new node)

[61] Hint: Submerged 6% of Reach 3R bottom

Inflow = 4.61 cfs @ 12.16 hrs, Volume= 0.413 af
 Outflow = 4.53 cfs @ 12.21 hrs, Volume= 0.412 af, Atten= 2%, Lag= 2.8 min

Routing by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 Max. Velocity= 2.7 fps, Min. Travel Time= 1.4 min
 Avg. Velocity = 0.9 fps, Avg. Travel Time= 4.4 min

Peak Depth= 0.36'
 Capacity at bank full= 28.03 cfs
 Inlet Invert= 60.00', Outlet Invert= 51.00'
 4.00' x 1.00' deep channel, n= 0.050 Length= 230.0' Slope= 0.0391 1'
 Side Slope Z-value= 2.0 1'

Reach 3R: From Level Spreader Outlet

Inflow = 2.65 cfs @ 12.19 hrs, Volume= 0.224 af
 Outflow = 2.59 cfs @ 12.23 hrs, Volume= 0.223 af, Atten= 2%, Lag= 2.8 min

Routing by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 Max. Velocity= 1.7 fps, Min. Travel Time= 1.5 min
 Avg. Velocity = 0.7 fps, Avg. Travel Time= 3.7 min

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Type III 24-hr Rainfall=3.00"

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Peak Depth= 0.30'

Capacity at bank full= 7.79 cfs

Inlet Invert= 65.83', Outlet Invert= 60.00'

10.00' x 0.50' deep Parabolic Channel, n= 0.060 Length= 150.0' Slope= 0.0389 '/'

Reach 4R: (new node)

[52] Hint: Inlet conditions not evaluated

[65] Warning: Inlet elevation not specified

Inflow = 0.38 cfs @ 12.22 hrs, Volume= 0.035 af
Outflow = 0.38 cfs @ 12.22 hrs, Volume= 0.035 af, Atten= 0%, Lag= 0.1 min

Routing by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

Max. Velocity= 3.5 fps, Min. Travel Time= 0.1 min

Avg. Velocity = 1.7 fps, Avg. Travel Time= 0.1 min

Peak Depth= 0.19'

Capacity at bank full= 4.63 cfs

12.0" Diameter Pipe n= 0.010 Length= 12.0' Slope= 0.0100 '/'

Reach 5R: (new node)

[40] Hint: Not Described (Outflow=Inflow)

Inflow = 7.66 cfs @ 12.28 hrs, Volume= 0.847 af
Outflow = 7.66 cfs @ 12.28 hrs, Volume= 0.847 af, Atten= 0%, Lag= 0.0 min

Routing by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

Pond 1P: Detention Pond

Inflow = 3.45 cfs @ 12.11 hrs, Volume= 0.242 af
Outflow = 0.11 cfs @ 16.68 hrs, Volume= 0.042 af, Atten= 97%, Lag= 274.1 min
Primary = 0.11 cfs @ 16.68 hrs, Volume= 0.042 af

Routing by Stor-Ind method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

Peak Elev= 69.68' Storage= 8,901 cf

Plug-Flow detention time= 368.2 min calculated for 0.042 af (17% of inflow)

Storage and wetted areas determined by Prismatic sections

Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
68.00	4,296	0	0
69.50	6,066	7,772	7,772
70.00	6,657	3,181	10,952
72.00	9,630	16,287	27,239

Primary OutFlow (Free Discharge)

↑-1=Culvert

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Type III 24-hr Rainfall=3.00"

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#	Routing	Invert	Outlet Devices
1	Primary	69.50'	12.0" x 140.0' long Culvert Ke= 0.900 Outlet Invert= 67.54' S= 0.0140 '/' n= 0.010 Cc= 0.900

Pond 2P: 15"culvert from Phase 1

Inflow	=	1.73 cfs @	12.18 hrs,	Volume=	0.143 af
Outflow	=	1.69 cfs @	12.21 hrs,	Volume=	0.142 af, Atten= 2%, Lag= 2.1 min
Primary	=	1.69 cfs @	12.21 hrs,	Volume=	0.142 af

Routing by Stor-Ind method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

Peak Elev= 82.03' Storage= 308 cf

Plug-Flow detention time= 7.5 min calculated for 0.142 af (99% of inflow)

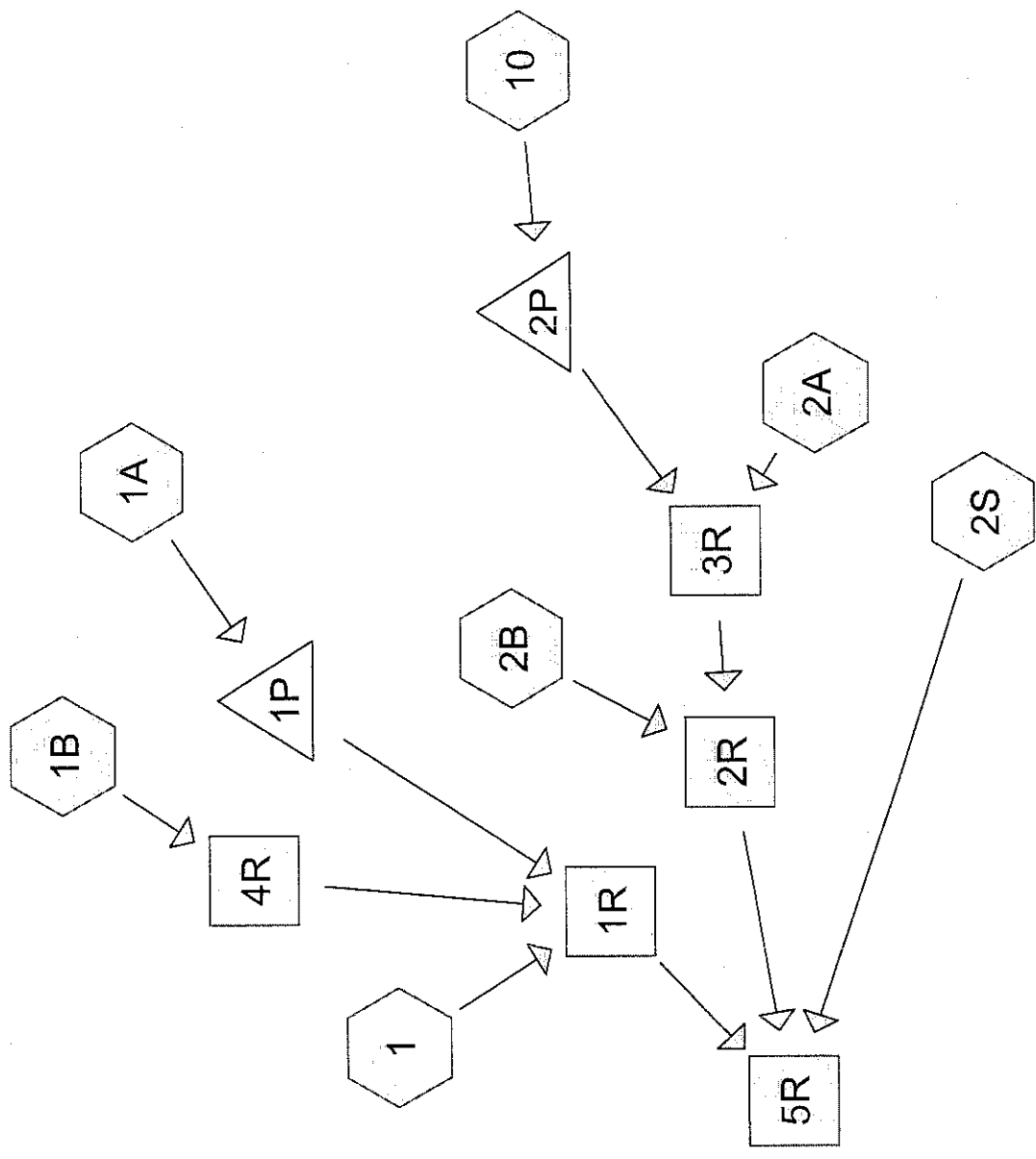
Storage and wetted areas determined by Prismatic sections

Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
81.30	50	0	0
84.00	800	1,148	1,148
86.00	2,700	3,500	4,648

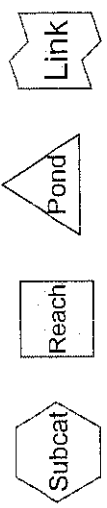
Primary OutFlow (Free Discharge)

↑1=Culvert

#	Routing	Invert	Outlet Devices
1	Primary	81.30'	15.0" x 50.0' long Culvert Ke= 0.900 Outlet Invert= 80.90' S= 0.0080 '/' n= 0.010 Cc= 0.900



Drainage Diagram for 96592 Post Development
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96592 Post Development

Type III 24-hr Rainfall=4.70"

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Time span=5.00-20.00 hrs, dt=0.05 hrs, 301 points

Runoff by SCS TR-20 method, UH=SCS, Type III 24-hr Rainfall=4.70"

Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment 1: (new node)

Tc=17.2 min CN=77 Area=1.340 ac Runoff= 2.65 cfs 0.245 af

Subcatchment 1A: (new node)

Tc=7.3 min CN=87 Area=1.790 ac Runoff= 6.41 cfs 0.461 af

Subcatchment 1B: (new node)

Tc=14.3 min CN=73 Area=0.540 ac Runoff= 0.98 cfs 0.085 af

Subcatchment 2A: Cottage & parking area

Tc=10.0 min CN=84 Area=0.700 ac Runoff= 2.11 cfs 0.164 af

Subcatchment 2B: (new node)

Tc=7.9 min CN=89 Area=1.280 ac Runoff= 4.72 cfs 0.351 af

Subcatchment 2S: (new node)

Tc=20.0 min CN=74 Area=3.690 ac Runoff= 6.11 cfs 0.602 af

Subcatchment 10: Off-site from Phase 1

Tc=12.5 min CN=83 Area=1.280 ac Runoff= 3.50 cfs 0.290 af

Reach 1R: (new node)Length= 455.0' Max Vel= 1.9 fps Capacity= 7.70 cfs Inflow= 4.03 cfs 0.585 af
Outflow= 3.87 cfs 0.580 af**Reach 2R: (new node)**Length= 230.0' Max Vel= 3.3 fps Capacity= 28.03 cfs Inflow= 9.03 cfs 0.802 af
Outflow= 8.85 cfs 0.800 af**Reach 3R: From Level Spreader Outlet**Length= 150.0' Max Vel= 2.1 fps Capacity= 7.79 cfs Inflow= 5.30 cfs 0.452 af
Outflow= 5.23 cfs 0.451 af**Reach 4R: (new node)**Length= 12.0' Max Vel= 4.7 fps Capacity= 4.63 cfs Inflow= 0.98 cfs 0.085 af
Outflow= 0.98 cfs 0.085 af**Reach 5R: (new node)**Inflow= 17.25 cfs 1.983 af
Outflow= 17.25 cfs 1.983 af**Pond 1P: Detention Pond**Peak Storage= 11,786 cf Inflow= 6.41 cfs 0.461 af
Primary= 1.03 cfs 0.255 af Outflow= 1.03 cfs 0.255 af**Pond 2P: 15"culvert from Phase 1**Peak Storage= 488 cf Inflow= 3.50 cfs 0.290 af
Primary= 3.40 cfs 0.288 af Outflow= 3.40 cfs 0.288 af**Runoff Area = 10.620 ac Volume = 2.197 af Average Depth = 2.48"**

96592 Post Development

Type III 24-hr Rainfall=4.70"

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Subcatchment 1: (new node)

Runoff = 2.65 cfs @ 12.24 hrs, Volume= 0.245 af

Runoff by SCS TR-20 method, UH=SCS, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 Type III 24-hr Rainfall=4.70"

Area (ac)	CN	Description
1.340	77	Woods, Good, HSG D

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
14.3	100	0.0600	0.1		Sheet Flow, Segment A-B Woods: Light underbrush n= 0.400 P2= 3.00"
2.0	120	0.0410	1.0		Shallow Concentrated Flow, Segment B-C Woodland Kv= 5.0 fps
0.9	260	0.0240	5.0	19.84	Channel Flow, Segment C-D Area= 4.0 sf Perim= 5.0' r= 0.80' n= 0.040
17.2	480	Total			

Subcatchment 1A: (new node)

Runoff = 6.41 cfs @ 12.10 hrs, Volume= 0.461 af

Runoff by SCS TR-20 method, UH=SCS, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 Type III 24-hr Rainfall=4.70"

Area (ac)	CN	Description
0.240	98	parking lot
0.670	98	roof
0.060	98	walks
0.820	74	>75% Grass cover, Good, HSG C
1.790	87	Weighted Average

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
7.3	70	0.0220	0.2		Sheet Flow, Segment A-B Grass: Short n= 0.150 P2= 3.00"

Subcatchment 1B: (new node)

Runoff = 0.98 cfs @ 12.21 hrs, Volume= 0.085 af

Runoff by SCS TR-20 method, UH=SCS, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 Type III 24-hr Rainfall=4.70"

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Type III 24-hr Rainfall=4.70"

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Area (ac)	CN	Description
0.030	98	sidewalk
0.210	74	>75% Grass cover, Good, HSG C
0.300	70	Woods, Good, HSG C
0.540	73	Weighted Average

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
14.3	100	0.0600	0.1		Sheet Flow, Segment A-B Woods: Light underbrush n= 0.400 P2= 3.00"

Subcatchment 2A: Cottage & parking area

Runoff = 2.11 cfs @ 12.14 hrs, Volume= 0.164 af

Runoff by SCS TR-20 method, UH=SCS, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type III 24-hr Rainfall=4.70"

Area (ac)	CN	Description
0.280	98	cottage/parking
0.050	98	existing road
0.270	70	Woods, Good, HSG C
0.100	74	>75% Grass cover, Good, HSG C
0.700	84	Weighted Average

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
9.7	80	0.1000	0.1		Sheet Flow, Woods: Light underbrush n= 0.400 P2= 3.00"
0.3	80	0.0050	4.2	3.28	Circular Channel (pipe), Diam= 12.0" Area= 0.8 sf Perim= 3.1' r= 0.25' n= 0.010
10.0	160	Total			

Subcatchment 2B: (new node)

Runoff = 4.72 cfs @ 12.11 hrs, Volume= 0.351 af

Runoff by SCS TR-20 method, UH=SCS, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type III 24-hr Rainfall=4.70"

Area (ac)	CN	Description
0.420	98	parking lot
0.280	98	roof
0.060	98	sidewalk
0.035	98	existing access rd
0.485	74	>75% Grass cover, Good, HSG C
1.280	89	Weighted Average

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Type III 24-hr Rainfall=4.70"

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Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.6	70	0.0280	0.2		Sheet Flow, Segment A-B Grass: Short n= 0.150 P2= 3.00"
0.2	70	0.0600	5.0		Shallow Concentrated Flow, Segment B-C Paved Kv= 20.3 fps
1.1	280	0.0050	4.2	3.28	Circular Channel (pipe), Segment C-D Diam= 12.0" Area= 0.8 sf Perim= 3.1' r= 0.25' n= 0.010
7.9	420	Total			

Subcatchment 2S: (new node)

Runoff = 6.11 cfs @ 12.29 hrs, Volume= 0.602 af

Runoff by SCS TR-20 method, UH=SCS, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type III 24-hr Rainfall=4.70"

Area (ac)	CN	Description
1.460	77	Woods, Good, HSG D
2.070	70	Woods, Good, HSG C
0.090	98	cottages
0.070	98	Existing access Rd
3.690	74	Weighted Average

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
11.7	100	0.1000	0.1		Sheet Flow, Segment A-B Woods: Light underbrush n= 0.400 P2= 3.00"
3.9	320	0.0750	1.4		Shallow Concentrated Flow, Segment B-C Woodland Kv= 5.0 fps
4.4	260	0.0380	1.0		Shallow Concentrated Flow, Segment C-D Woodland Kv= 5.0 fps
20.0	680	Total			

Subcatchment 10: Off-site from Phase 1

Runoff = 3.50 cfs @ 12.17 hrs, Volume= 0.290 af

Runoff by SCS TR-20 method, UH=SCS, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type III 24-hr Rainfall=4.70"

Area (ac)	CN	Description
0.240	98	Impervious
1.040	79	Woods, Fair, HSG D
1.280	83	Weighted Average

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Type III 24-hr Rainfall=4.70"

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Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
2.2	40	0.1500	0.3		Sheet Flow, Grass: Short n= 0.150 P2= 3.00"
9.1	60	0.0670	0.1		Sheet Flow, Woods: Light underbrush n= 0.400 P2= 3.00"
1.2	100	0.0800	1.4		Shallow Concentrated Flow, Woodland Kv= 5.0 fps
12.5	200	Total			

Reach 1R: (new node)

Inflow = 4.03 cfs @ 12.27 hrs, Volume= 0.585 af
 Outflow = 3.87 cfs @ 12.40 hrs, Volume= 0.580 af, Atten= 4%, Lag= 7.9 min

Routing by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 Max. Velocity= 1.9 fps, Min. Travel Time= 4.0 min
 Avg. Velocity = 0.9 fps, Avg. Travel Time= 8.3 min

Peak Depth= 0.37'
 Capacity at bank full= 7.70 cfs
 Inlet Invert= 63.00', Outlet Invert= 51.00'
 10.00' x 0.50' deep Parabolic Channel, n= 0.050 Length= 455.0' Slope= 0.0264 1'

Reach 2R: (new node)

[61] Hint: Submerged 9% of Reach 3R bottom

Inflow = 9.03 cfs @ 12.16 hrs, Volume= 0.802 af
 Outflow = 8.85 cfs @ 12.19 hrs, Volume= 0.800 af, Atten= 2%, Lag= 2.3 min

Routing by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 Max. Velocity= 3.3 fps, Min. Travel Time= 1.2 min
 Avg. Velocity = 1.0 fps, Avg. Travel Time= 3.7 min

Peak Depth= 0.54'
 Capacity at bank full= 28.03 cfs
 Inlet Invert= 60.00', Outlet Invert= 51.00'
 4.00' x 1.00' deep channel, n= 0.050 Length= 230.0' Slope= 0.0391 1'
 Side Slope Z-value= 2.0 1'

Reach 3R: From Level Spreader Outlet

Inflow = 5.30 cfs @ 12.18 hrs, Volume= 0.452 af
 Outflow = 5.23 cfs @ 12.22 hrs, Volume= 0.451 af, Atten= 1%, Lag= 2.4 min

Routing by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 Max. Velocity= 2.1 fps, Min. Travel Time= 1.2 min
 Avg. Velocity = 0.8 fps, Avg. Travel Time= 3.2 min

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Type III 24-hr Rainfall=4.70"

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Peak Depth= 0.42'

Capacity at bank full= 7.79 cfs

Inlet Invert= 65.83', Outlet Invert= 60.00'

10.00' x 0.50' deep Parabolic Channel, n= 0.060 Length= 150.0' Slope= 0.0389 '/'

Reach 4R: (new node)

[52] Hint: Inlet conditions not evaluated

[65] Warning: Inlet elevation not specified

Inflow = 0.98 cfs @ 12.21 hrs, Volume= 0.085 af
Outflow = 0.98 cfs @ 12.21 hrs, Volume= 0.085 af, Atten= 0%, Lag= 0.1 min

Routing by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

Max. Velocity= 4.7 fps, Min. Travel Time= 0.0 min

Avg. Velocity = 2.0 fps, Avg. Travel Time= 0.1 min

Peak Depth= 0.31'

Capacity at bank full= 4.63 cfs

12.0" Diameter Pipe n= 0.010 Length= 12.0' Slope= 0.0100 '/'

Reach 5R: (new node)

[40] Hint: Not Described (Outflow=Inflow)

Inflow = 17.25 cfs @ 12.27 hrs, Volume= 1.983 af
Outflow = 17.25 cfs @ 12.27 hrs, Volume= 1.983 af, Atten= 0%, Lag= 0.0 min

Routing by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

Pond 1P: Detention Pond

Inflow = 6.41 cfs @ 12.10 hrs, Volume= 0.461 af
Outflow = 1.03 cfs @ 12.62 hrs, Volume= 0.255 af, Atten= 84%, Lag= 30.8 min
Primary = 1.03 cfs @ 12.62 hrs, Volume= 0.255 af

Routing by Stor-Ind method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

Peak Elev= 70.10' Storage= 11,786 cf

Plug-Flow detention time= 188.1 min calculated for 0.254 af (55% of inflow)

Storage and wetted areas determined by Prismatic sections

Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
68.00	4,296	0	0
69.50	6,066	7,772	7,772
70.00	6,657	3,181	10,952
72.00	9,630	16,287	27,239

Primary OutFlow (Free Discharge)

↑ 1=Culvert

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Type III 24-hr Rainfall=4.70"

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#	Routing	Invert	Outlet Devices
1	Primary	69.50'	12.0" x 140.0' long Culvert Ke= 0.900 Outlet Invert= 67.54' S= 0.0140 '/' n= 0.010 Cc= 0.900

Pond 2P: 15"culvert from Phase 1

Inflow = 3.50 cfs @ 12.17 hrs, Volume= 0.290 af
 Outflow = 3.40 cfs @ 12.21 hrs, Volume= 0.288 af, Atten= 3%, Lag= 2.0 min
 Primary = 3.40 cfs @ 12.21 hrs, Volume= 0.288 af

Routing by Stor-Ind method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

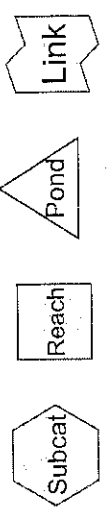
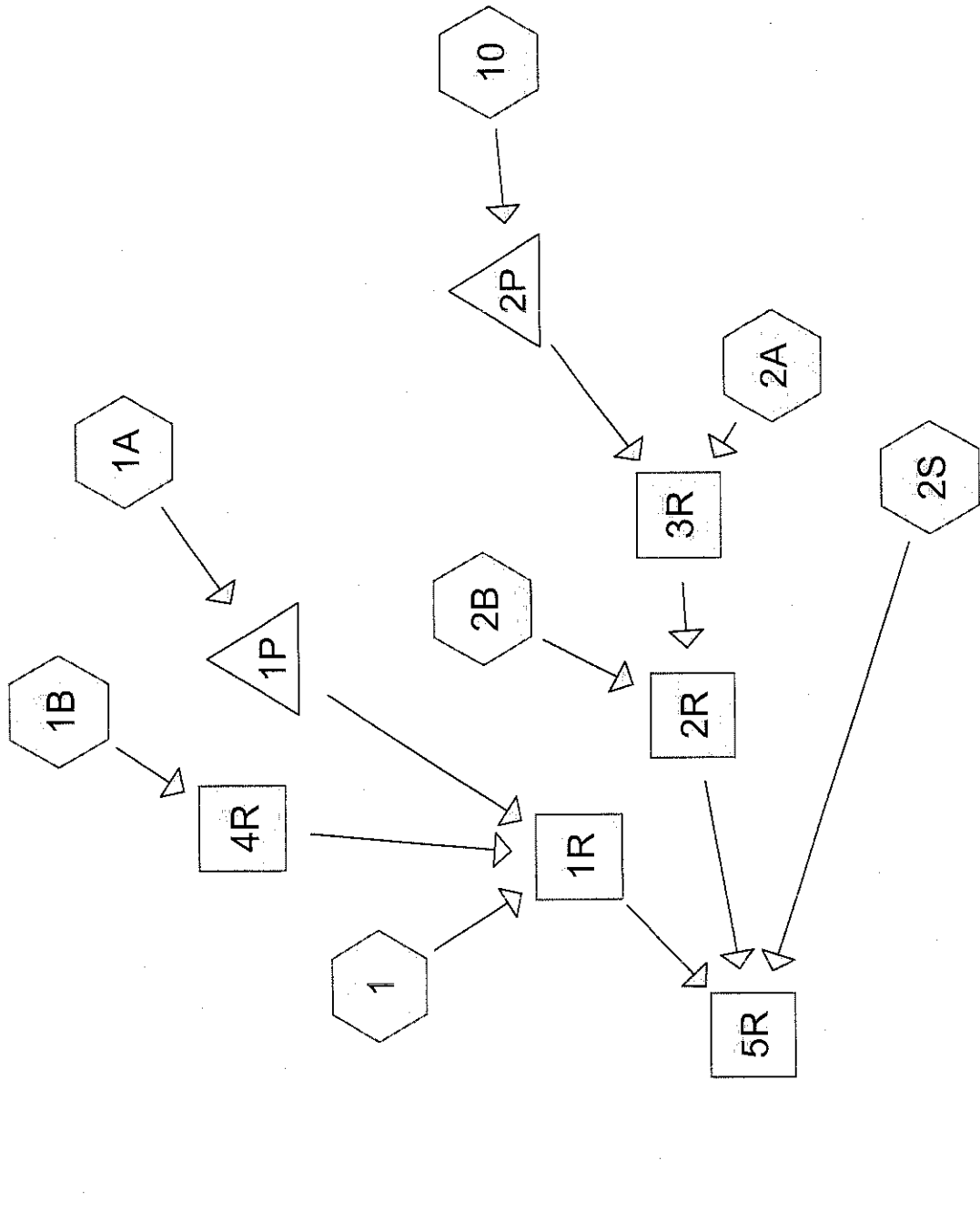
Peak Elev= 82.45' Storage= 488 cf
 Plug-Flow detention time= 5.7 min calculated for 0.287 af (99% of inflow)
 Storage and wetted areas determined by Prismatic sections

Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
81.30	50	0	0
84.00	800	1,148	1,148
86.00	2,700	3,500	4,648

Primary OutFlow (Free Discharge)

↑1=Culvert

#	Routing	Invert	Outlet Devices
1	Primary	81.30'	15.0" x 50.0' long Culvert Ke= 0.900 Outlet Invert= 80.90' S= 0.0080 '/' n= 0.010 Cc= 0.900



Drainage Diagram for 96592 Post Development
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Type III 24-hr Rainfall=5.50"

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Time span=5.00-20.00 hrs, dt=0.05 hrs, 301 points
Runoff by SCS TR-20 method, UH=SCS, Type III 24-hr Rainfall=5.50"
Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment 1: (new node)

Tc=17.2 min CN=77 Area=1.340 ac Runoff= 3.41 cfs 0.316 af

Subcatchment 1A: (new node)

Tc=7.3 min CN=87 Area=1.790 ac Runoff= 7.82 cfs 0.568 af

Subcatchment 1B: (new node)

Tc=14.3 min CN=73 Area=0.540 ac Runoff= 1.29 cfs 0.111 af

Subcatchment 2A: Cottage & parking area

Tc=10.0 min CN=84 Area=0.700 ac Runoff= 2.62 cfs 0.204 af

Subcatchment 2B: (new node)

Tc=7.9 min CN=89 Area=1.280 ac Runoff= 5.71 cfs 0.428 af

Subcatchment 2S: (new node)

Tc=20.0 min CN=74 Area=3.690 ac Runoff= 8.02 cfs 0.787 af

Subcatchment 10: Off-site from Phase 1

Tc=12.5 min CN=83 Area=1.280 ac Runoff= 4.36 cfs 0.363 af

Reach 1R: (new node)

Inflow= 5.91 cfs 0.787 af
Length= 455.0' Max Vel= 2.1 fps Capacity= 7.70 cfs Outflow= 5.73 cfs 0.782 af

Reach 2R: (new node)

Inflow= 11.08 cfs 0.993 af
Length= 230.0' Max Vel= 3.5 fps Capacity= 28.03 cfs Outflow= 10.85 cfs 0.992 af

Reach 3R: From Level Spreader Outlet

Inflow= 6.49 cfs 0.566 af
Length= 150.0' Max Vel= 2.2 fps Capacity= 7.79 cfs Outflow= 6.41 cfs 0.565 af

Reach 4R: (new node)

Inflow= 1.29 cfs 0.111 af
Length= 12.0' Max Vel= 5.1 fps Capacity= 4.63 cfs Outflow= 1.29 cfs 0.111 af

Reach 5R: (new node)

Inflow= 22.66 cfs 2.561 af
Outflow= 22.66 cfs 2.561 af

Pond 1P: Detention Pond

Peak Storage= 13,748 cf Inflow= 7.82 cfs 0.568 af
Primary= 1.74 cfs 0.359 af Outflow= 1.74 cfs 0.359 af

Pond 2P: 15"culvert from Phase 1

Peak Storage= 603 cf Inflow= 4.36 cfs 0.363 af
Primary= 4.16 cfs 0.361 af Outflow= 4.16 cfs 0.361 af

Runoff Area = 10.620 ac Volume = 2.779 af Average Depth = 3.14"

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Type III 24-hr Rainfall=5.50"

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Subcatchment 1: (new node)

Runoff = 3.41 cfs @ 12.24 hrs, Volume= 0.316 af

Runoff by SCS TR-20 method, UH=SCS, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type III 24-hr Rainfall=5.50"

Area (ac)	CN	Description
1.340	77	Woods, Good, HSG D

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
14.3	100	0.0600	0.1		Sheet Flow, Segment A-B Woods: Light underbrush n= 0.400 P2= 3.00"
2.0	120	0.0410	1.0		Shallow Concentrated Flow, Segment B-C Woodland Kv= 5.0 fps
0.9	260	0.0240	5.0	19.84	Channel Flow, Segment C-D Area= 4.0 sf Perim= 5.0' r= 0.80' n= 0.040
17.2	480	Total			

Subcatchment 1A: (new node)

Runoff = 7.82 cfs @ 12.10 hrs, Volume= 0.568 af

Runoff by SCS TR-20 method, UH=SCS, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type III 24-hr Rainfall=5.50"

Area (ac)	CN	Description
0.240	98	parking lot
0.670	98	roof
0.060	98	walks
0.820	74	>75% Grass cover, Good, HSG C
1.790	87	Weighted Average

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
7.3	70	0.0220	0.2		Sheet Flow, Segment A-B Grass: Short n= 0.150 P2= 3.00"

Subcatchment 1B: (new node)

Runoff = 1.29 cfs @ 12.20 hrs, Volume= 0.111 af

Runoff by SCS TR-20 method, UH=SCS, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type III 24-hr Rainfall=5.50"

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Type III 24-hr Rainfall=5.50"

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Area (ac)	CN	Description
0.030	98	sidewalk
0.210	74	>75% Grass cover, Good, HSG C
0.300	70	Woods, Good, HSG C
0.540	73	Weighted Average

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
14.3	100	0.0600	0.1		Sheet Flow, Segment A-B Woods: Light underbrush n= 0.400 P2= 3.00"

Subcatchment 2A: Cottage & parking area

Runoff = 2.62 cfs @ 12.14 hrs, Volume= 0.204 af

Runoff by SCS TR-20 method, UH=SCS, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type III 24-hr Rainfall=5.50"

Area (ac)	CN	Description
0.280	98	cottage/parking
0.050	98	existing road
0.270	70	Woods, Good, HSG C
0.100	74	>75% Grass cover, Good, HSG C
0.700	84	Weighted Average

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
9.7	80	0.1000	0.1		Sheet Flow, Woods: Light underbrush n= 0.400 P2= 3.00"
0.3	80	0.0050	4.2	3.28	Circular Channel (pipe), Diam= 12.0" Area= 0.8 sf Perim= 3.1' r= 0.25' n= 0.010
10.0	160	Total			

Subcatchment 2B: (new node)

Runoff = 5.71 cfs @ 12.11 hrs, Volume= 0.428 af

Runoff by SCS TR-20 method, UH=SCS, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type III 24-hr Rainfall=5.50"

Area (ac)	CN	Description
0.420	98	parking lot
0.280	98	roof
0.060	98	sidewalk
0.035	98	existing access rd
0.485	74	>75% Grass cover, Good, HSG C
1.280	89	Weighted Average

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Type III 24-hr Rainfall=5.50"

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Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.6	70	0.0280	0.2		Sheet Flow, Segment A-B Grass: Short n= 0.150 P2= 3.00"
0.2	70	0.0600	5.0		Shallow Concentrated Flow, Segment B-C Paved Kv= 20.3 fps
1.1	280	0.0050	4.2	3.28	Circular Channel (pipe), Segment C-D Diam= 12.0" Area= 0.8 sf Perim= 3.1' r= 0.25' n= 0.010
7.9	420	Total			

Subcatchment 2S: (new node)

Runoff = 8.02 cfs @ 12.28 hrs, Volume= 0.787 af

Runoff by SCS TR-20 method, UH=SCS, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type III 24-hr Rainfall=5.50"

Area (ac)	CN	Description
1.460	77	Woods, Good, HSG D
2.070	70	Woods, Good, HSG C
0.090	98	cottages
0.070	98	Existing access Rd
3.690	74	Weighted Average

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
11.7	100	0.1000	0.1		Sheet Flow, Segment A-B Woods: Light underbrush n= 0.400 P2= 3.00"
3.9	320	0.0750	1.4		Shallow Concentrated Flow, Segment B-C Woodland Kv= 5.0 fps
4.4	260	0.0380	1.0		Shallow Concentrated Flow, Segment C-D Woodland Kv= 5.0 fps
20.0	680	Total			

Subcatchment 10: Off-site from Phase 1

Runoff = 4.36 cfs @ 12.17 hrs, Volume= 0.363 af

Runoff by SCS TR-20 method, UH=SCS, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type III 24-hr Rainfall=5.50"

Area (ac)	CN	Description
0.240	98	Impervious
1.040	79	Woods, Fair, HSG D
1.280	83	Weighted Average

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Type III 24-hr Rainfall=5.50"

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Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
2.2	40	0.1500	0.3		Sheet Flow, Grass: Short n= 0.150 P2= 3.00"
9.1	60	0.0670	0.1		Sheet Flow, Woods: Light underbrush n= 0.400 P2= 3.00"
1.2	100	0.0800	1.4		Shallow Concentrated Flow, Woodland Kv= 5.0 fps
12.5	200	Total			

Reach 1R: (new node)

Inflow = 5.91 cfs @ 12.26 hrs, Volume= 0.787 af
 Outflow = 5.73 cfs @ 12.37 hrs, Volume= 0.782 af, Atten= 3%, Lag= 6.8 min

Routing by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 Max. Velocity= 2.1 fps, Min. Travel Time= 3.6 min
 Avg. Velocity = 1.0 fps, Avg. Travel Time= 7.9 min

Peak Depth= 0.44'
 Capacity at bank full= 7.70 cfs
 Inlet Invert= 63.00', Outlet Invert= 51.00'
 10.00' x 0.50' deep Parabolic Channel, n= 0.050 Length= 455.0' Slope= 0.0264 1'

Reach 2R: (new node)

[61] Hint: Submerged 10% of Reach 3R bottom

Inflow = 11.08 cfs @ 12.15 hrs, Volume= 0.993 af
 Outflow = 10.85 cfs @ 12.19 hrs, Volume= 0.992 af, Atten= 2%, Lag= 2.1 min

Routing by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 Max. Velocity= 3.5 fps, Min. Travel Time= 1.1 min
 Avg. Velocity = 1.1 fps, Avg. Travel Time= 3.3 min

Peak Depth= 0.60'
 Capacity at bank full= 28.03 cfs
 Inlet Invert= 60.00', Outlet Invert= 51.00'
 4.00' x 1.00' deep channel, n= 0.050 Length= 230.0' Slope= 0.0391 1'
 Side Slope Z-value= 2.0 1'

Reach 3R: From Level Spreader Outlet

Inflow = 6.49 cfs @ 12.18 hrs, Volume= 0.566 af
 Outflow = 6.41 cfs @ 12.21 hrs, Volume= 0.565 af, Atten= 1%, Lag= 2.2 min

Routing by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 Max. Velocity= 2.2 fps, Min. Travel Time= 1.1 min
 Avg. Velocity = 0.8 fps, Avg. Travel Time= 3.1 min

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Type III 24-hr Rainfall=5.50"

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Peak Depth= 0.46'

Capacity at bank full= 7.79 cfs

Inlet Invert= 65.83', Outlet Invert= 60.00'

10.00' x 0.50' deep Parabolic Channel, n= 0.060 Length= 150.0' Slope= 0.0389 1'

Reach 4R: (new node)

[52] Hint: Inlet conditions not evaluated

[65] Warning: Inlet elevation not specified

Inflow = 1.29 cfs @ 12.20 hrs, Volume= 0.111 af
Outflow = 1.29 cfs @ 12.20 hrs, Volume= 0.111 af, Atten= 0%, Lag= 0.1 min

Routing by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

Max. Velocity= 5.1 fps, Min. Travel Time= 0.0 min

Avg. Velocity = 2.2 fps, Avg. Travel Time= 0.1 min

Peak Depth= 0.36'

Capacity at bank full= 4.63 cfs

12.0" Diameter Pipe n= 0.010 Length= 12.0' Slope= 0.0100 1'

Reach 5R: (new node)

[40] Hint: Not Described (Outflow=Inflow)

Inflow = 22.66 cfs @ 12.27 hrs, Volume= 2.561 af
Outflow = 22.66 cfs @ 12.27 hrs, Volume= 2.561 af, Atten= 0%, Lag= 0.0 min

Routing by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

Pond 1P: Detention Pond

Inflow = 7.82 cfs @ 12.10 hrs, Volume= 0.568 af
Outflow = 1.74 cfs @ 12.53 hrs, Volume= 0.359 af, Atten= 78%, Lag= 25.6 min
Primary = 1.74 cfs @ 12.53 hrs, Volume= 0.359 af

Routing by Stor-Ind method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

Peak Elev= 70.34' Storage= 13,748 cf

Plug-Flow detention time= 169.0 min calculated for 0.359 af (63% of inflow)

Storage and wetted areas determined by Prismatic sections

Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
68.00	4,296	0	0
69.50	6,066	7,772	7,772
70.00	6,657	3,181	10,952
72.00	9,630	16,287	27,239

Primary OutFlow (Free Discharge)

↑1=Culvert

96592 Post Development

Type III 24-hr Rainfall=5.50"

Prepared by SEBAGO TECHNICS INC

Page 7

HydroCAD® 6.00 s/n 000643 © 1986-2001 Applied Microcomputer Systems

2/18/04

#	Routing	Invert	Outlet Devices
1	Primary	69.50'	12.0" x 140.0' long Culvert Ke= 0.900 Outlet Invert= 67.54' S= 0.0140 '/' n= 0.010 Cc= 0.900

Pond 2P: 15" culvert from Phase 1

Inflow = 4.36 cfs @ 12.17 hrs, Volume= 0.363 af
 Outflow = 4.16 cfs @ 12.21 hrs, Volume= 0.361 af, Atten= 5%, Lag= 2.5 min
 Primary = 4.16 cfs @ 12.21 hrs, Volume= 0.361 af

Routing by Stor-Ind method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

Peak Elev= 82.72' Storage= 603 cf

Plug-Flow detention time= 5.2 min calculated for 0.361 af (100% of inflow)

Storage and wetted areas determined by Prismatic sections

Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
81.30	50	0	0
84.00	800	1,148	1,148
86.00	2,700	3,500	4,648

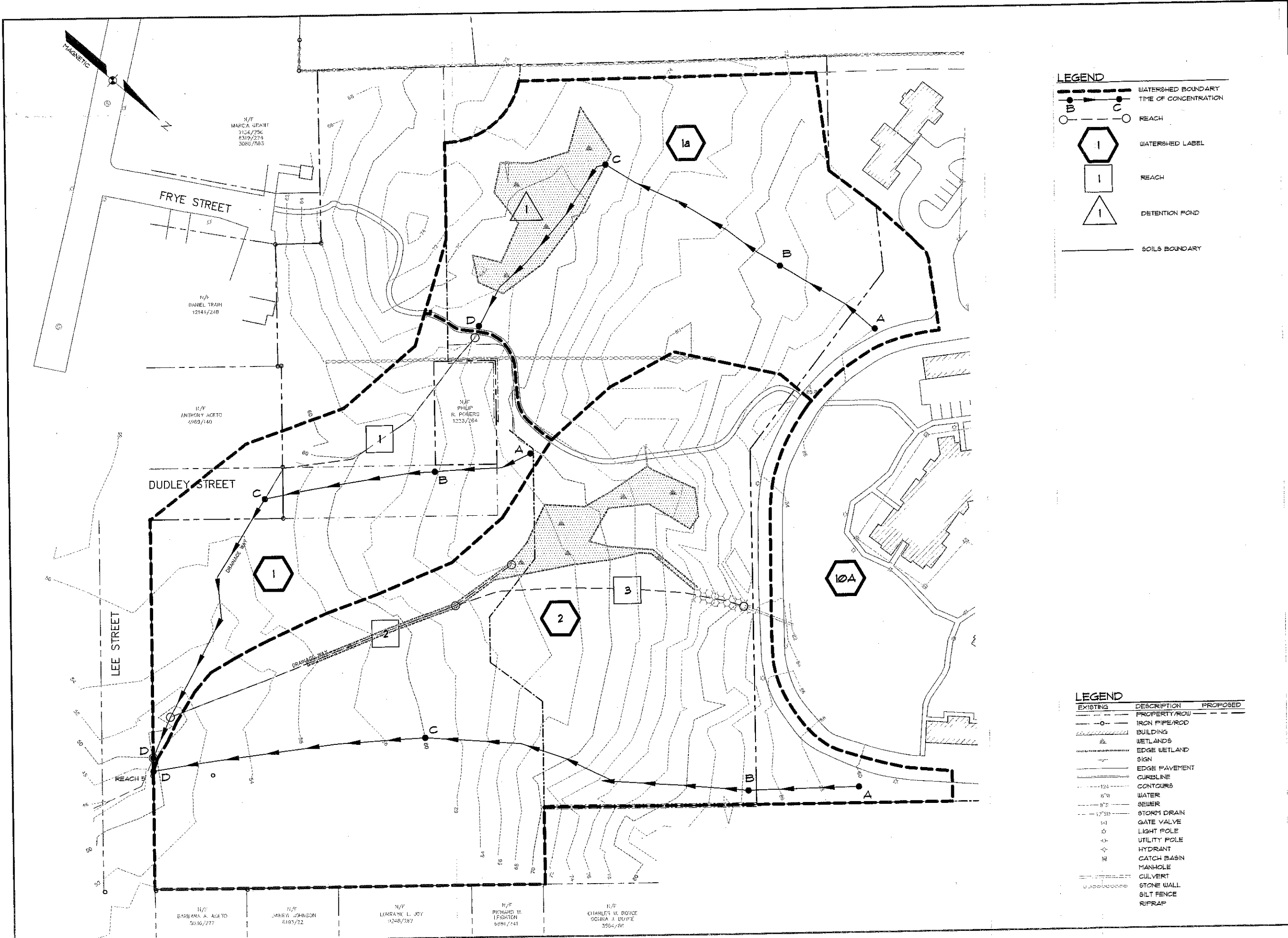
Primary OutFlow (Free Discharge)

↑1=Culvert

#	Routing	Invert	Outlet Devices
1	Primary	81.30'	15.0" x 50.0' long Culvert Ke= 0.900 Outlet Invert= 80.90' S= 0.0080 '/' n= 0.010 Cc= 0.900

Section 4

Watershed Maps (Pre and Post-Development)



LEGEND

- WATERSHED BOUNDARY
- TIME OF CONCENTRATION
- REACH
- WATERSHED LABEL
- REACH
- DETENTION POND
- SOILS BOUNDARY

LEGEND

EXISTING	DESCRIPTION	PROPOSED
	PROPERTY/ROW	
	IRON PIPE/ROD	
	BUILDING	
	WETLANDS	
	EDGE WETLAND	
	SIGN	
	EDGE PAVEMENT	
	CURBLINE	
	CONTOURS	
	12" W WATER	
	8" S SEWER	
	12" S10 STORM DRAIN	
	GATE VALVE	
	LIGHT POLE	
	UTILITY POLE	
	HYDRANT	
	CATCH BASIN	
	MANHOLE	
	CULVERT	
	STONE WALL	
	SILT FENCE	
	RIPRAP	

REV.	BY:	DATE:	ISSUED FOR CITY REVIEW	STATUS:
A	OAM	03-05-04		

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.

Sebago Technics
 Engineering Expertise You Can Build On
 One Church Street
 Westbrook, Me 04098-1339
 Tel (207) 896-2277

PROJECT NO.	FIELD BOOK	DESIGN	CHKD	DRAWN
95592		SDS	OAM	BRF

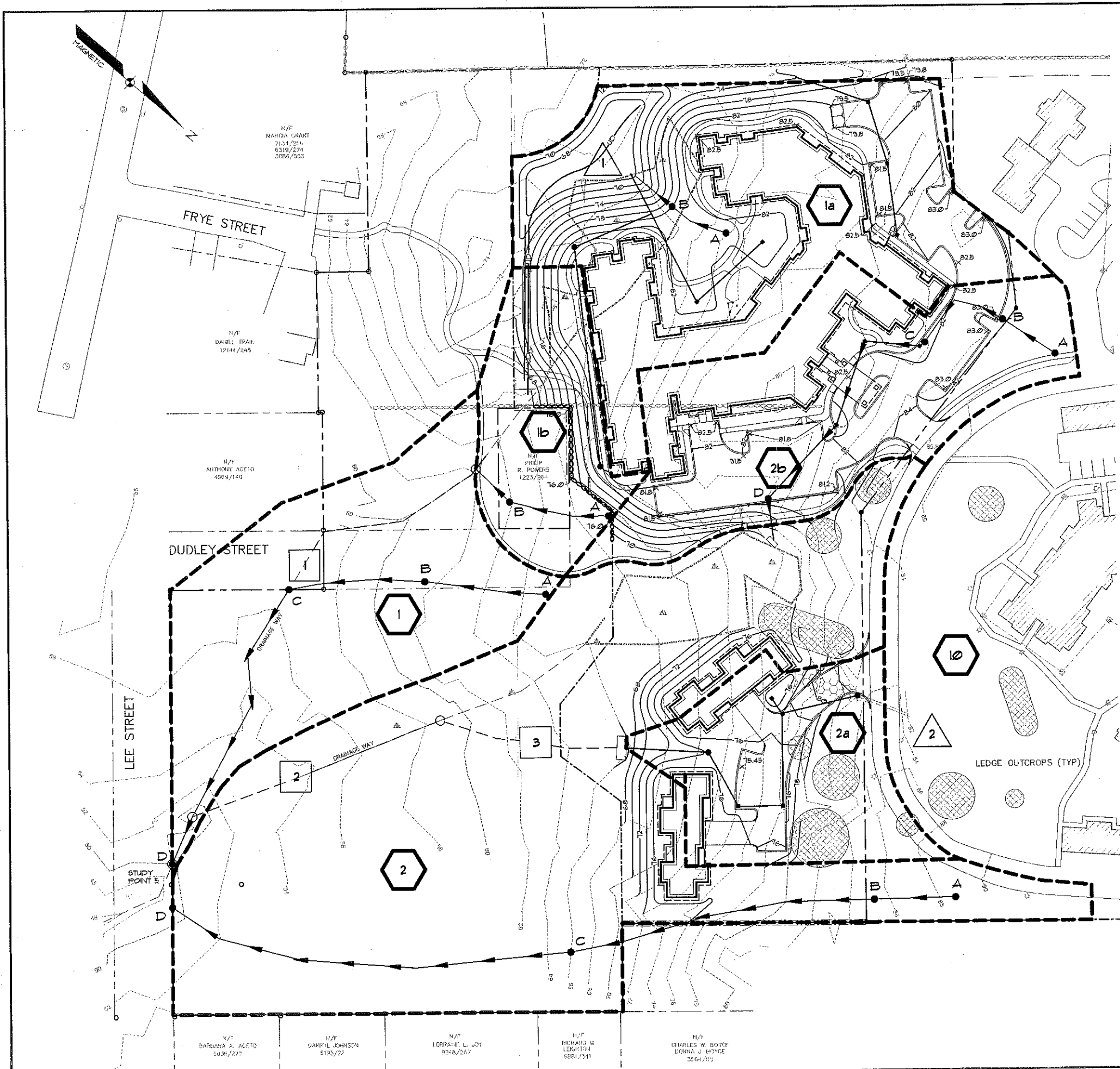
PRE-DEVELOPMENT STORM WATER PLAN
 OF: **PORTLAND RETIREMENT RESIDENCE L.L.C.**
 257 CANCO ROAD
 PORTLAND, MAINE
 FOR: **PORTLAND RETIREMENT RESIDENCE L.L.C.**
 2250 MCGILCHRIST ST., SUITE 200
 SALEM, OREGON 97302

DATE: 11-25-03 SCALE: 1" = 40'

SHEET 1 OF 2

- N/F BARBARA A. ACKTO 5016/277
- N/F JAMES R. JOHNSON 6187/22
- N/F LORRAINE L. JOY 1248/287
- N/F RICHARD W. LEIGHTON 6891/241
- N/F CHARLES W. BOYCE 3364/82

95592.SWP.TAB: PRE



LEGEND

	WATERSHED BOUNDARY
	TIME OF CONCENTRATION
	REACH
	WATERSHED LABEL
	REACH
	DETENTION POND
	SOILS BOUNDARY

LEGEND

EXISTING	DESCRIPTION	PROPOSED
	PROPERTY ROW	
	MONUMENT	
	IRON PIPE/ROD	
	BUILDING	
	WETLANDS	
	EDGE WETLAND SIGN	
	ROCK OUTCROP	
	EDGE PAVEMENT	
	GRAVEL ROAD	
	CURBLINE	
	TEST PIT	
	CONTOURS	
	WATER	
	SEWER	
	STORM DRAIN	
	OVERHEAD ELEC. & TEL.	
	UNDERGROUND ELEC. & TEL.	
	GATE VALVE	
	LIGHT POLE	
	UTILITY POLE	
	HYDRANT	
	CATCH BASIN	
	MANHOLE	
	SPOT GRADE	
	STONE WALL	
	DECIDUOUS TREE	
	CONIFEROUS TREE	
	SILT FENCE	
	RIPRAP	

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 Westbrook, ME 04092-1339
 Tel: (207) 656-0277

PROJECT NO: FIELD BOOK DESIGN CHKD DRAWN
 96592 500 04M BRF

POST-DEVELOPMENT STORM WATER PLAN
 OF:
PORTLAND RETIREMENT RESIDENCE L.L.C.
 257 CANCO ROAD
 PORTLAND, MAINE
 FOR:
PORTLAND RETIREMENT RESIDENCE L.L.C.
 2250 MABEL CHRIST ST., SUITE 200
 SALEM, OREGON 97302

DATE: 11-25-03 SCALE: 1"=40'
 SHEET 2 OF 2

96592/SWP TAB: POST

Exhibit 11

**Foundation Investigation
(Geotechnical Report)**

Appendix A

Logs of Test Pits



HALEY & ALDRICH, INC.
SOUTH PORTLAND,
MAINE

TEST PIT REPORT

TEST PIT NO. TP29

PROJECT PROPOSED PORTLAND RETIREMENT COMMUNITY
 LOCATION CANCO ROAD, PORTLAND, MAINE
 CLIENT CURRY BRANDAW ARCHITECTS
 CONTRACTOR W.H. LAVIGNE, INC.
 EQUIPMENT USED FORD 555B RUBBER TIRE BACKHOE

FILE No. B0635000
 LOCATION SEE PLAN
 ELEVATION 83.6
 DATE 17 September 1997
 H & A REP K. RECKER

DEPTH (FT)	SAMPLE NUMBER	SAMPLE DEPTH RANGE	ELEV./DEPTH (FT)	VISUAL DESCRIPTION	REMARKS
0			83.4 0.2	-FOREST MAT- Dark brown, loamy SILT with roots	
			82.6 1.0	-TOPSOIL- Brown silty fine SAND with fractured rock fragments	
2			81.1 2.5	-MARINE DEPOSIT- Refusal on bedrock at 2.5 ft. Bottom of exploration at 2.5 ft.	

WATER LEVEL FROM GROUND SURFACE			APPROXIMATE PIT DIMENSIONS AT SURFACE		SUMMARY
DATE	TIME* (hours)	DEPTH (feet)	LENGTH: 9.0 FEET	WIDTH: 3.0 FEET	DEPTH (ft) 2.5
			BOULDERS		JAR SAMPLES
			8" TO 18" DIAMETER: =	VOLUME:	BAG SAMPLES
			OVER 18" DIAMETER: =	VOLUME:	WATER LEVEL (ft) NE
* AFTER COMPLETED			(number)	(cu.ft.)	



HALEY & ALDRICH, INC.
SOUTH PORTLAND,
MAINE

TEST PIT REPORT

TEST PIT NO. TP31

PROJECT PROPOSED PORTLAND RETIREMENT COMMUNITY
 LOCATION CANCO ROAD, PORTLAND, MAINE
 CLIENT CURRY BRANDAW ARCHITECTS
 CONTRACTOR W.H. LAVIGNE, INC.
 EQUIPMENT USED FORD 555B RUBBER TIRE BACKHOE

FILE No. 80635000
 LOCATION SEE PLAN
 ELEVATION 82.4
 DATE 17 September 1997
 H & A REP K. RECKER

DEPTH (FT)	SAMPLE NUMBER	SAMPLE DEPTH RANGE	ELEV./DEPTH (FT)	VISUAL DESCRIPTION	REMARKS
0			82.1	-FOREST MAT-	
			0.3	Brown, loamy SAND with roots -TOPSOIL-	
			81.1		
			1.3	Gray-brown sandy SILT	
2			80.4		
			2.0	Brown medium to fine SAND, trace coarse sand and fractured rock fragments -MARINE DEPOSIT-	
4			78.4		
			4.0	Refusal on weathered rock at 4.0 ft. Bottom of exploration at 4.0 ft.	

WATER LEVEL FROM GROUND SURFACE			APPROXIMATE PIT DIMENSIONS AT SURFACE		SUMMARY	
DATE	TIME* (hours)	DEPTH (feet)	LENGTH: 9.0 FEET	WIDTH: 3.0 FEET	DEPTH (ft)	4.0
			BOULDERS		JAR SAMPLES	
			8" TO 18" DIAMETER: =	VOLUME:	BAG SAMPLES	
			OVER 18" DIAMETER: =	VOLUME:	WATER LEVEL (ft) NE	
			(number)	(cu. ft.)		

* AFTER COMPLETED



HALEY & ALDRICH, INC.
SOUTH PORTLAND,
MAINE

TEST PIT REPORT

TEST PIT NO. TP32

PROJECT PROPOSED PORTLAND RETIREMENT COMMUNITY
 LOCATION CANCO ROAD, PORTLAND, MAINE
 CLIENT CURRY BRANDAW ARCHITECTS
 CONTRACTOR W.H. LAVIGNE, INC.
 EQUIPMENT USED FORD 555B RUBBER TIRE BACKHOE

FILE No. 80635000
 LOCATION SEE PLAN
 ELEVATION 76.1
 DATE 17 September 1997
 H & A REP K. RECKER

DEPTH (FT)	SAMPLE NUMBER	SAMPLE DEPTH RANGE	ELEV./DEPTH (FT)	VISUAL DESCRIPTION	REMARKS
0			75.8	-FOREST MAT-	
			0.3	Brown loamy SILT with roots	
			74.9	-TOPSOIL-	
			1.2	Brown silty medium to fine SAND with fractured rock fragments	
2			74.1	-GLACIAL TILL-	
			2.0	Refusal on bedrock at 2.0 ft. Bottom of exploration at 2.0 ft.	

WATER LEVEL FROM GROUND SURFACE			APPROXIMATE PIT DIMENSIONS AT SURFACE		SUMMARY
DATE	TIME* (hours)	DEPTH (feet)	LENGTH: 6.0 FEET	WIDTH: 3.0 FEET	DEPTH (ft) 2.0
			BOULDERS		JAR SAMPLES
			8" TO 18" DIAMETER: = VOLUME:		BAG SAMPLES
			OVER 18" DIAMETER: = VOLUME:		WATER LEVEL (ft) NE
* AFTER COMPLETED			(number)	(cu.ft.)	



HALEY & ALDRICH, INC.
SOUTH PORTLAND,
MAINE

TEST PIT REPORT

TEST PIT NO. **TP33**

PROJECT PROPOSED PORTLAND RETIREMENT COMMUNITY
 LOCATION CANCO ROAD, PORTLAND, MAINE
 CLIENT CURRY BRANDAW ARCHITECTS
 CONTRACTOR W.H. LAVIGNE, INC.
 EQUIPMENT USED FORD 555B RUBBER TIRE BACKHOE

FILE No. 80635000
 LOCATION SEE PLAN
 ELEVATION 75.0
 DATE 17 September 1997
 H & A REP K. RECKER

DEPTH (FT)	SAMPLE NUMBER	SAMPLE DEPTH RANGE	ELEV./ DEPTH (FT)	VISUAL DESCRIPTION	REMARKS
0			74.5	-FOREST MAT-	
			0.5	Refusal on bedrock at 0.5 ft. Bottom of exploration at 0.5 ft.	

WATER LEVEL FROM GROUND SURFACE			APPROXIMATE PIT DIMENSIONS AT SURFACE		SUMMARY	
DATE	TIME* (hours)	DEPTH (feet)	LENGTH: 6.0 FEET	WIDTH: 3.0 FEET	DEPTH (ft)	0.5
			BOULDERS		JAR SAMPLES	
			8" TO 18" DIAMETER: =	VOLUME:	BAG SAMPLES	
			OVER 18" DIAMETER: =	VOLUME:	WATER LEVEL (ft)	NE
* AFTER COMPLETED			(number)	(cu.ft.)		



HALEY & ALDRICH, INC.
SOUTH PORTLAND,
MAINE

TEST PIT REPORT

TEST PIT NO. TP34

PROJECT PROPOSED PORTLAND RETIREMENT COMMUNITY

FILE No. 80635000

LOCATION CANCO ROAD, PORTLAND, MAINE

LOCATION SEE PLAN

CLIENT CURRY BRANDAW ARCHITECTS

ELEVATION 73.1

CONTRACTOR W.H. LAVIGNE, INC.

DATE 17 September 1997

EQUIPMENT USED FORD 555B RUBBER TIRE BACKHOE

H & A REP K. RECKER

DEPTH (FT)	SAMPLE NUMBER	SAMPLE DEPTH RANGE	ELEV./ DEPTH (FT)	VISUAL DESCRIPTION	REMARKS
0			72.8	-FOREST MAT-	
			0.3	Brown loamy SILT with roots	
			72.0	-TOPSOIL-	
			1.1	Gray-brown mottled sandy SILT	
2				-MARINE DEPOSIT-	
			70.1		
			3.0	Brown silty coarse to fine SAND with fractured rock fragments	
			69.6		
			3.5	-GLACIAL TILL-	
				Refusal on weathered bedrock at 3.5 ft. Bottom of exploration at 3.5 ft.	

WATER LEVEL FROM GROUND SURFACE			APPROXIMATE PIT DIMENSIONS AT SURFACE		SUMMARY	
DATE	TIME* (hours)	DEPTH (feet)	LENGTH: 9.0 FEET	WIDTH: 3.0 FEET	DEPTH (ft)	3.5
			BOULDERS		JAR SAMPLES	
			8" TO 18" DIAMETER: =	VOLUME:	BAG SAMPLES	
			OVER 18" DIAMETER: =	VOLUME:	WATER LEVEL (ft)	NE
* AFTER COMPLETED			(number)	(cu.ft.)		



HALEY & ALDRICH, INC.
SOUTH PORTLAND,
MAINE

TEST PIT REPORT

TEST PIT NO. TP35

PROJECT PROPOSED PORTLAND RETIREMENT COMMUNITY
 LOCATION CANCO ROAD, PORTLAND, MAINE
 CLIENT CURRY BRANDAW ARCHITECTS
 CONTRACTOR W.H. LAVIGNE, INC.
 EQUIPMENT USED FORD 555B RUBBER TIRE BACKHOE

FILE No. 80635000
 LOCATION SEE PLAN
 ELEVATION 70.8
 DATE 17 September 1997
 H & A REP K. RECKER

DEPTH (FT)	SAMPLE NUMBER	SAMPLE DEPTH RANGE	ELEV./DEPTH (FT)	VISUAL DESCRIPTION	REMARKS
0			70.6	-FOREST MAT-	
			0.2	Gray-brown loamy SILT with roots	
			70.2	-TOPSOIL-	
			0.6	Gray-brown mottled clayey SILT	
				-MARINE DEPOSIT-	
2			68.3	Gray-brown silty CLAY	
			2.5		
4			65.8	Brown silty fine SAND	
			5.0		
				-MARINE DEPOSIT-	
6			64.8	Bottom of exploration at 6.0 ft.	
			6.0	No refusal	

WATER LEVEL FROM GROUND SURFACE			APPROXIMATE PIT DIMENSIONS AT SURFACE		SUMMARY
DATE	TIME* (hours)	DEPTH (feet)	LENGTH: 9.0 FEET	WIDTH: 3.0 FEET	DEPTH (ft) 6.0
			BOULDERS		JAR SAMPLES
			8" TO 18" DIAMETER: = VOLUME:		BAG SAMPLES
			OVER 18" DIAMETER: = VOLUME:		WATER LEVEL (ft) NE
* AFTER COMPLETED			(number)	(cu.ft.)	



HALEY & ALDRICH, INC.
SOUTH PORTLAND,
MAINE

TEST PIT REPORT

TEST PIT NO. TP36

PROJECT PROPOSED PORTLAND RETIREMENT COMMUNITY
 LOCATION CANCO ROAD, PORTLAND, MAINE
 CLIENT CURRY BRANDAW ARCHITECTS
 CONTRACTOR W.H. LAVIGNE, INC.
 EQUIPMENT USED FORD 555B RUBBER TIRE BACKHOE

FILE No. 80635000
 LOCATION SEE PLAN
 ELEVATION 74.7
 DATE 17 September 1997
 H & A REP K. RECKER

DEPTH (FT)	SAMPLE NUMBER	SAMPLE DEPTH RANGE	ELEV./DEPTH (FT)	VISUAL DESCRIPTION	REMARKS
0			74.5	-FOREST MAT-	
			0.2	Dark brown loamy SILT with roots	
				-TOPSOIL-	
2			73.1	Rust-brown silty fine SAND with fractured rock fragments and cobbles	
			1.6	-MARINE DEPOSIT-	
			72.2	Refusal on bedrock at 2.5 ft.	
			2.5	Bottom of exploration at 2.5 ft.	

WATER LEVEL FROM GROUND SURFACE			APPROXIMATE PIT DIMENSIONS AT SURFACE		SUMMARY
DATE	TIME* (hours)	DEPTH (feet)	LENGTH: 9.0 FEET	WIDTH: 3.0 FEET	DEPTH (ft) 2.5
			BOULDERS		JAR SAMPLES
			8" TO 18" DIAMETER: =	VOLUME:	BAG SAMPLES
			OVER 18" DIAMETER: =	VOLUME:	WATER LEVEL (ft) NE
* AFTER COMPLETED			(number)	(cu.ft.)	



HALEY & ALDRICH, INC.
SOUTH PORTLAND,
MAINE

TEST PIT REPORT

TEST PIT NO. TP37

PROJECT PROPOSED PORTLAND RETIREMENT COMMUNITY
LOCATION CANCO ROAD, PORTLAND, MAINE
CLIENT CURRY BRANDAW ARCHITECTS
CONTRACTOR W.H. LAVIGNE, INC.
EQUIPMENT USED FORD 555B RUBBER TIRE BACKHOE

FILE No. 80635000
LOCATION SEE PLAN
ELEVATION 81.6
DATE 17 September 1997
H & A REP K. RECKER

DEPTH (FT)	SAMPLE NUMBER	SAMPLE DEPTH RANGE	ELEV./DEPTH (FT)	VISUAL DESCRIPTION	REMARKS
0			81.4	-FOREST MAT-	
			0.2	Dark brown, loamy SILT with roots	
			80.8	-TOPSOIL-	
			0.8	Brown sandy SILT	
			80.1	-MARINE DEPOSIT-	
			1.5	Refusal on bedrock at 1.5 ft. Bottom of exploration at 1.5 ft.	

WATER LEVEL FROM GROUND SURFACE			APPROXIMATE PIT DIMENSIONS AT SURFACE		SUMMARY
DATE	TIME* (hours)	DEPTH (feet)	LENGTH: 9.0 FEET	WIDTH: 3.0 FEET	DEPTH (ft) 1.5
			BOULDERS		JAR SAMPLES
			8" TO 18" DIAMETER: =	VOLUME:	BAG SAMPLES
			OVER 18" DIAMETER: =	VOLUME:	WATER LEVEL (ft) NE
* AFTER COMPLETED			(number)	(cu.ft.)	



HALEY & ALDRICH, INC.
SOUTH PORTLAND,
MAINE

TEST PIT REPORT

TEST PIT NO. **TP38**

PROJECT PROPOSED PORTLAND RETIREMENT COMMUNITY
LOCATION CANCO ROAD, PORTLAND, MAINE
CLIENT CURRY BRANDAW ARCHITECTS
CONTRACTOR W.H. LAVIGNE, INC.
EQUIPMENT USED FORD 555B RUBBER TIRE BACKHOE

FILE No. 80635000
LOCATION SEE PLAN
ELEVATION 79.6
DATE 17 September 1997
H & A REP K. RECKER

DEPTH (FT)	SAMPLE NUMBER	SAMPLE DEPTH RANGE	ELEV./DEPTH (FT)	VISUAL DESCRIPTION	REMARKS
0			79.3	-FOREST MAT-	
			0.3	Dark brown loamy SILT with roots -TOPSOIL-	
			78.4		
			1.2	Brown silty fine SAND	
2			77.6		
			2.0	Gray-brown sandy SILT -MARINE DEPOSIT-	
4			75.6		
			4.0	Refusal on bedrock at 4.0 ft. Bottom of exploration at 4.0 ft.	

WATER LEVEL FROM GROUND SURFACE			APPROXIMATE PIT DIMENSIONS AT SURFACE		SUMMARY
DATE	TIME* (hours)	DEPTH (feet)	LENGTH: 8.0 FEET	WIDTH: 3.0 FEET	DEPTH (ft) 4.0
			BOULDERS		JAR SAMPLES
			8" TO 18" DIAMETER: =	VOLUME:	BAG SAMPLES
			OVER 18" DIAMETER: =	VOLUME:	WATER LEVEL (ft) NE
* AFTER COMPLETED			(number)	(cu.ft.)	



HALEY & ALDRICH, INC.
SOUTH PORTLAND,
MAINE

TEST PIT REPORT

TEST PIT NO. TP39

PROJECT PROPOSED PORTLAND RETIREMENT COMMUNITY
 LOCATION CANCO ROAD, PORTLAND, MAINE
 CLIENT CURRY BRANDAW ARCHITECTS
 CONTRACTOR W.H. LAVIGNE, INC.
 EQUIPMENT USED FORD 555B RUBBER TIRE BACKHOE

FILE No. 80635000
 LOCATION SEE PLAN
 ELEVATION 69.7
 DATE 17 September 1997
 H & A REP K. RECKER

DEPTH (FT)	SAMPLE NUMBER	SAMPLE DEPTH RANGE	ELEV./DEPTH (FT)	VISUAL DESCRIPTION	REMARKS
0			69.5	-FOREST MAT-	
			0.2	Brown loamy SILT with roots -TOPSOIL-	
2			68.2	Gray-brown mottled clayey SILT	
			1.5		
4				-MARINE DEPOSIT-	
			64.7		
			5.0	Bottom of exploration at 5.0 ft. No refusal	

WATER LEVEL FROM GROUND SURFACE			APPROXIMATE PIT DIMENSIONS AT SURFACE		SUMMARY
DATE	TIME* (hours)	DEPTH (feet)	LENGTH: 8.0 FEET	WIDTH: 3.0 FEET	DEPTH (ft) 5.0
			BOULDERS		JAR SAMPLES
			8" TO 18" DIAMETER: = VOLUME:		BAG SAMPLES
			OVER 18" DIAMETER: = VOLUME:		WATER LEVEL (ft) NE
* AFTER COMPLETED			(number)	(cu.ft.)	



HALEY & ALDRICH, INC.
SOUTH PORTLAND,
MAINE

TEST PIT REPORT

TEST PIT NO. TP40

PROJECT PROPOSED PORTLAND RETIREMENT COMMUNITY
 LOCATION CANCO ROAD, PORTLAND, MAINE
 CLIENT CURRY BRANDAW ARCHITECTS
 CONTRACTOR W.H. LAVIGNE, INC.
 EQUIPMENT USED FORD 555B RUBBER TIRE BACKHOE

FILE No. 80635000
 LOCATION SEE PLAN
 ELEVATION 67.6
 DATE 17 September 1997
 H & A REP K. RECKER

DEPTH (FT)	SAMPLE NUMBER	SAMPLE DEPTH RANGE	ELEV./DEPTH (FT)	VISUAL DESCRIPTION	REMARKS
0			67.4	-FOREST MAT-	
			0.2	Brown loamy SILT with roots	
			67.0	-TOPSOIL-	
			0.6	Brown silty fine SAND	
			66.6	-MARINE DEPOSIT-	
			1.0	Refusal on bedrock at 1.0 ft. Bottom of exploration at 1.0 ft.	

WATER LEVEL FROM GROUND SURFACE			APPROXIMATE PIT DIMENSIONS AT SURFACE		SUMMARY
DATE	TIME* (hours)	DEPTH (feet)	LENGTH: 6.0 FEET	WIDTH: 3.0 FEET	DEPTH (ft) 1.0
			BOULDERS		JAR SAMPLES
			8" TO 18" DIAMETER: =	VOLUME:	BAG SAMPLES
			OVER 18" DIAMETER: =	VOLUME:	WATER LEVEL (ft) NE
* AFTER COMPLETED			(number)	(cu. ft.)	

TEST PIT REPORT

TEST PIT NO. **TP41**

PROJECT PROPOSED PORTLAND RETIREMENT COMMUNITY
 LOCATION CANCO ROAD, PORTLAND, MAINE
 CLIENT CURRY BRANDAW ARCHITECTS
 CONTRACTOR W.H. LAVIGNE, INC.
 EQUIPMENT USED FORD 555B RUBBER TIRE BACKHOE

FILE No. 80635000
 LOCATION SEE PLAN
 ELEVATION 78.0
 DATE 17 September 1997
 H & A REP K. RECKER

DEPTH (FT)	SAMPLE NUMBER	SAMPLE DEPTH RANGE	ELEV./DEPTH (FT)	VISUAL DESCRIPTION	REMARKS
0			77.8	-FOREST MAT-	
			0.2	Dark brown loamy SILT with roots	
			77.0	-TOPSOIL-	
			1.0	Brown silty fine SAND with fractured rock	
			76.6	-GLACIAL TILL-	
			1.4	Refusal on bedrock at 1.4 ft. Bottom of exploration at 1.4 ft.	

WATER LEVEL FROM GROUND SURFACE			APPROXIMATE PIT DIMENSIONS AT SURFACE		SUMMARY	
DATE	TIME* (hours)	DEPTH (feet)	LENGTH: 6.0 FEET	WIDTH: 3.0 FEET	DEPTH (ft)	1.4
			BOULDERS		JAR SAMPLES	
			8" TO 18" DIAMETER: =	VOLUME:	BAG SAMPLES	
			OVER 18" DIAMETER: =	VOLUME:	WATER LEVEL (ft)	NE
* AFTER COMPLETED			(number)	(cu.ft.)		



HALEY & ALDRICH, INC.
SOUTH PORTLAND,
MAINE

TEST PIT REPORT

TEST PIT NO. TP42

PROJECT PROPOSED PORTLAND RETIREMENT COMMUNITY
 LOCATION CANCO ROAD, PORTLAND, MAINE
 CLIENT CURRY BRANDAW ARCHITECTS
 CONTRACTOR W.H. LAVIGNE, INC.
 EQUIPMENT USED FORD 555B RUBBER TIRE BACKHOE

FILE No. 80635000
 LOCATION SEE PLAN
 ELEVATION 86.9
 DATE 18 September 1997
 H & A REP M. SNOW

DEPTH (FT)	SAMPLE NUMBER	SAMPLE DEPTH RANGE	ELEV./ DEPTH (FT)	VISUAL DESCRIPTION	REMARKS
0			86.6 0.3	-FOREST MAT- Dark brown loamy SILT, roots -TOPSOIL-	
			85.7 1.2	Rust brown loamy fine SAND, little gravel, roots	
2			84.6 2.3	Light brown medium to fine SAND, little silt, little gravel, occasional cobbles -MARINE DEPOSIT-	
			83.2 3.7	Refusal on bedrock at 3.7 ft. Bottom of exploration at 3.7 ft.	

WATER LEVEL FROM GROUND SURFACE			APPROXIMATE PIT DIMENSIONS AT SURFACE		SUMMARY	
DATE	TIME* (hours)	DEPTH (feet)	LENGTH: 11.0 FEET	WIDTH: 3.0 FEET	DEPTH (ft)	3.7
			BOULDERS		JAR SAMPLES	
			8" TO 18" DIAMETER: = VOLUME:		BAG SAMPLES	
			OVER 18" DIAMETER: = VOLUME:		WATER LEVEL (ft)	NE
* AFTER COMPLETED			(number)	(cu.ft.)		



HALEY & ALDRICH, INC.
SOUTH PORTLAND,
MAINE

TEST PIT REPORT

TEST PIT NO. TP43

PROJECT PROPOSED PORTLAND RETIREMENT COMMUNITY
 LOCATION CANCO ROAD, PORTLAND, MAINE
 CLIENT CURRY BRANDAW ARCHITECTS
 CONTRACTOR W.H. LAVIGNE, INC.
 EQUIPMENT USED FORD 555B RUBBER TIRE BACKHOE

FILE No. 80635000
 LOCATION SEE PLAN
 ELEVATION 77.5
 DATE 18 September 1997
 H & A REP M. SNOW

DEPTH (FT)	SAMPLE NUMBER	SAMPLE DEPTH RANGE	ELEV./DEPTH (FT)	VISUAL DESCRIPTION	REMARKS
0			77.2	-FOREST MAT-	
			0.3	Dark brown loamy SILT, roots	
			76.9	Rust brown fine SAND, little silt, little gravel, roots	
			0.6	-MARINE DEPOSIT-	
2			75.3	Light brown fine SAND, little silt, little coarse to medium sand and gravel, few cobbles	
			2.2	-MARINE DEPOSIT-	
4			74.0	Stiff olive-brown to gray-brown mottled clayey SILT, little fine sand	
			3.5	-MARINE DEPOSIT-	
6			70.0		
			7.5	Refusal on bedrock at 7.5 ft. Bottom of exploration at 7.5 ft.	

WATER LEVEL FROM GROUND SURFACE			APPROXIMATE PIT DIMENSIONS AT SURFACE		SUMMARY
DATE	TIME* (hours)	DEPTH (feet)	LENGTH: 13.0 FEET	WIDTH: 3.0 FEET	DEPTH (ft) 7.5
			BOULDERS		JAR SAMPLES
			8" TO 18" DIAMETER: = VOLUME:		BAG SAMPLES
			OVER 18" DIAMETER: = VOLUME:		WATER LEVEL (ft) NE
* AFTER COMPLETED			(number)	(cu.ft.)	



HALEY & ALDRICH, INC.
SOUTH PORTLAND,
MAINE

TEST PIT REPORT

TEST PIT NO. **TP45**

PROJECT PROPOSED PORTLAND RETIREMENT COMMUNITY
LOCATION CANCO ROAD, PORTLAND, MAINE
CLIENT CURRY BRANDAW ARCHITECTS
CONTRACTOR W.R. LAVIGNE, INC.
EQUIPMENT USED FORD 555B RUBBER TIRE BACKHOE

FILE No. 80635000
LOCATION SEE PLAN
ELEVATION 69.7
DATE 17 September 1997
H & A REP K. RECKER

DEPTH (FT)	SAMPLE NUMBER	SAMPLE DEPTH RANGE	ELEV./DEPTH (FT)	VISUAL DESCRIPTION	REMARKS
0			69.2	-FOREST MAT-	
			0.5	Dark brown loamy SILT with roots	
				-TOPSOIL-	
			68.2	Gray-brown sandy SILT	
			1.5	-MARINE DEPOSIT-	
2			67.2	Interbedded brown, silty fine SAND and gray-brown sandy SILT	
			2.5	-MARINE DEPOSIT-	
4					
			64.2	Refusal on bedrock at 5.5 ft. Bottom of exploration at 5.5 ft.	
			5.5		

WATER LEVEL FROM GROUND SURFACE			APPROXIMATE PIT DIMENSIONS AT SURFACE		SUMMARY
DATE	TIME* (hours)	DEPTH (feet)	LENGTH: 9.0 FEET	WIDTH: 3.0 FEET	DEPTH (ft) 5.5
			BOULDERS		JAR SAMPLES
			8" TO 18" DIAMETER: =	VOLUME:	BAG SAMPLES
			OVER 18" DIAMETER: =	VOLUME:	WATER LEVEL (ft) NE
* AFTER COMPLETED			(number)	(cu.ft.)	



HALEY & ALDRICH, INC.
SOUTH PORTLAND,
MAINE

TEST PIT REPORT

TEST PIT NO. TP47

PROJECT PROPOSED PORTLAND RETIREMENT COMMUNITY
 LOCATION CANCO ROAD, PORTLAND, MAINE
 CLIENT CURRY BRANDAW ARCHITECTS
 CONTRACTOR W.H. LAVIGNE, INC.
 EQUIPMENT USED FORD 555B RUBBER TIRE BACKHOE

FILE No. 80635000
 LOCATION SEE PLAN
 ELEVATION 64.7
 DATE 17 September 1997
 H & A REP K. RECKER

DEPTH (FT)	SAMPLE NUMBER	SAMPLE DEPTH RANGE	ELEV./DEPTH (FT)	VISUAL DESCRIPTION	REMARKS
0				-FOREST MAT-	
			64.2		
			0.5	Dark brown loamy SILT with roots	
				-TOPSOIL-	
			63.6		
			1.1	Gray-brown sandy SILT to silty fine SAND	
2				-MARINE DEPOSIT-	
	B1	3.0			
		3.5			
4			60.7		
			4.0	Refusal on bedrock at 4.0 ft. Bottom of exploration at 4.0 ft.	

WATER LEVEL FROM GROUND SURFACE			APPROXIMATE PIT DIMENSIONS AT SURFACE		SUMMARY
DATE	TIME* (hours)	DEPTH (feet)	LENGTH: 8.0 FEET	WIDTH: 3.0 FEET	DEPTH (ft) 4.0
			BOULDERS		JAR SAMPLES
			8" TO 18" DIAMETER: =	VOLUME:	BAG SAMPLES
			OVER 18" DIAMETER: =	VOLUME:	WATER LEVEL (ft) NE
* AFTER COMPLETED			(number)	(cu. ft.)	



HALEY & ALDRICH, INC.
SOUTH PORTLAND,
MAINE

TEST PIT REPORT

TEST PIT NO. **TP48**

PROJECT PROPOSED PORTLAND RETIREMENT COMMUNITY
 LOCATION CANCO ROAD, PORTLAND, MAINE
 CLIENT CURRY BRANDAW ARCHITECTS
 CONTRACTOR W.H. LAVIGNE, INC.
 EQUIPMENT USED FORD 555B RUBBER TIRE BACKHOE

FILE No. 80635000
 LOCATION SEE PLAN
 ELEVATION 65.2
 DATE 17 September 1997
 H & A REP K. RECKER

DEPTH (FT)	SAMPLE NUMBER	SAMPLE DEPTH RANGE	ELEV./ DEPTH (FT)	VISUAL DESCRIPTION	REMARKS
0			64.9	-FOREST MAT-	
			0.3	Dark brown loamy SILT with roots	
			64.2	-TOPSOIL-	
			1.0	Gray-brown silty fine SAND with pieces of fractured rock	
2				-MARINE DEPOSIT-	
			62.2		
			3.0	Refusal on apparent bedrock at 3.0 ft. Bottom of exploration at 3.0 ft.	

WATER LEVEL FROM GROUND SURFACE			APPROXIMATE PIT DIMENSIONS AT SURFACE		SUMMARY
DATE	TIME* (hours)	DEPTH (feet)	LENGTH: 9.0 FEET	WIDTH: 3.0 FEET	DEPTH (ft) 3.0
			BOULDERS		JAR SAMPLES
			8" TO 18" DIAMETER: = VOLUME:		BAG SAMPLES
			OVER 18" DIAMETER: = VOLUME:		WATER LEVEL (ft) NE
* AFTER COMPLETED			(number)	(cu.ft.)	



HALEY & ALDRICH, INC.
SOUTH PORTLAND,
MAINE

TEST PIT REPORT

TEST PIT NO. **TP49**

PROJECT PROPOSED PORTLAND RETIREMENT COMMUNITY
 LOCATION CANCO ROAD, PORTLAND, MAINE
 CLIENT CURRY BRANDAW ARCHITECTS
 CONTRACTOR W.H. LAVIGNE, INC.
 EQUIPMENT USED FORD 555B RUBBER TIRE BACKHOE

FILE No. 80635000
 LOCATION SEE PLAN
 ELEVATION 85.2
 DATE 17 September 1997
 H & A REP K. RECKER

DEPTH (FT)	SAMPLE NUMBER	SAMPLE DEPTH RANGE	ELEV./ DEPTH (FT)	VISUAL DESCRIPTION	REMARKS
0			85.0	-FOREST MAT-	
			0.2	Brown loamy fine SAND with roots	
				-TOPSOIL-	
			83.7		
			1.5	Brown silty fine SAND, trace gravel	
2				-MARINE DEPOSIT-	
			82.7		
			2.5	Refusal on bedrock at 2.5 ft. Bottom of exploration at 2.5 ft.	

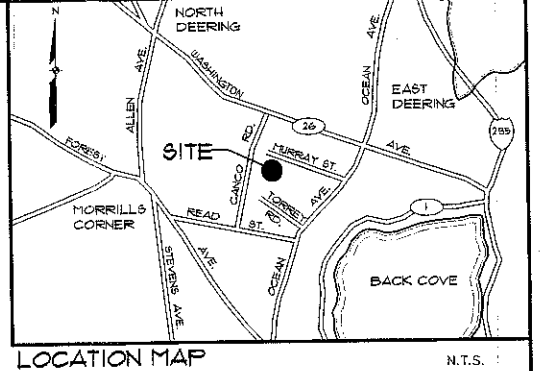
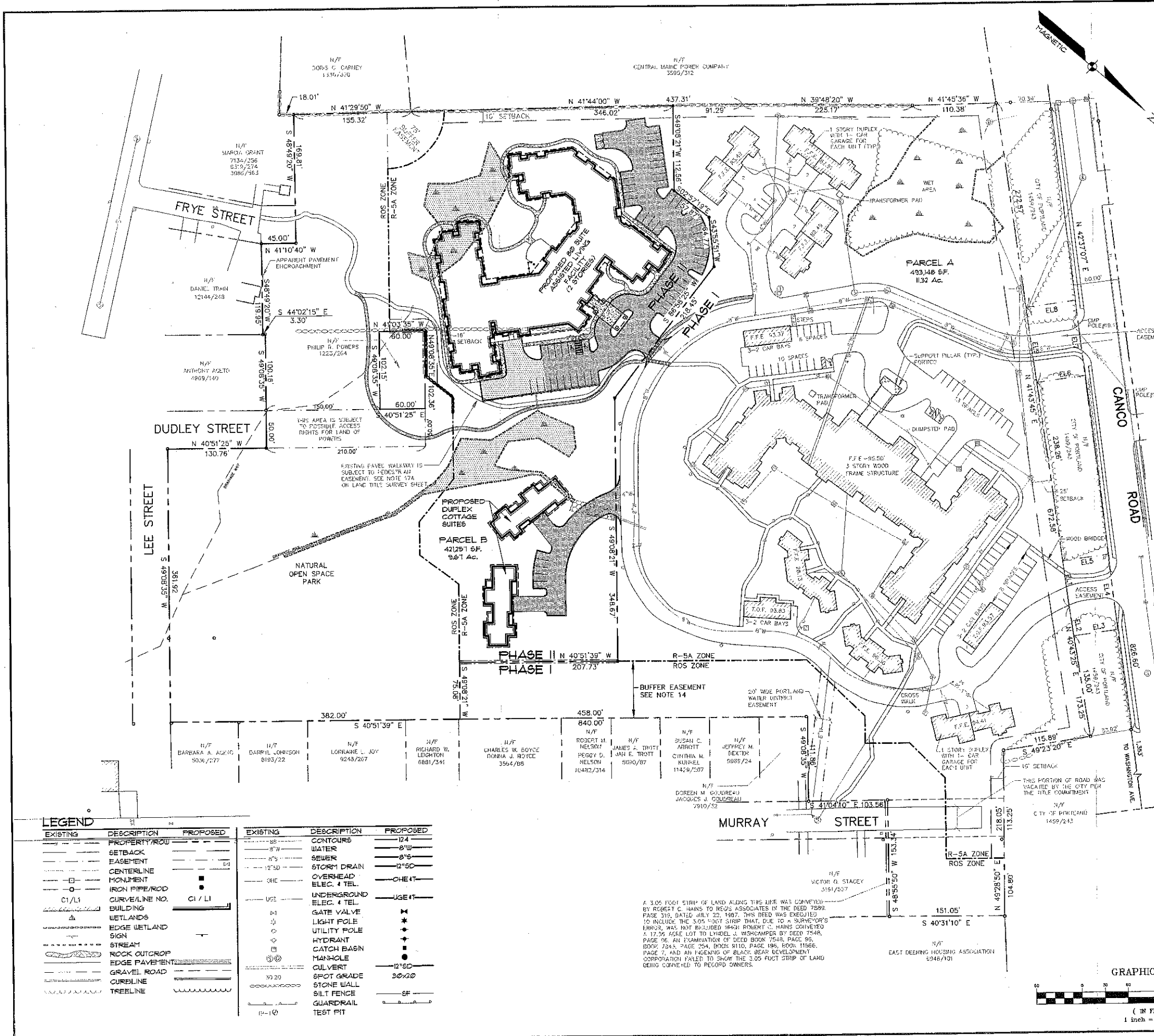
WATER LEVEL FROM GROUND SURFACE			APPROXIMATE PIT DIMENSIONS AT SURFACE		SUMMARY
DATE	TIME* (hours)	DEPTH (feet)	LENGTH: 8.0 FEET	WIDTH: 3.0 FEET	DEPTH (ft) 2.5
			BOULDERS		JAR SAMPLES
			8" TO 18" DIAMETER: =	VOLUME:	BAG SAMPLES
			OVER 18" DIAMETER: =	VOLUME:	WATER LEVEL (ft) NE
* AFTER COMPLETED			(number)	(cu.ft.)	

Exhibit 12

Evidence of Community Notification

Exhibit 13

**11" x 17" Reduction of Site Plan,
Overall Development Plan,
Grading & Utility Plan,
Floor Plan, Building Elevations,
and Color Renderings**



- ### GENERAL NOTES
- RECORD OWNER: PORTLAND RETIREMENT RESIDENCE, LLC AS RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 1448, PAGE 161.
 - ASSESSOR'S REFERENCE: TAX MAP NO. 143, LOT B-1 AND MAP NO. 162, LOT E-1.
 - PLAN REFERENCES:
 - STANDARD BOUNDARY SURVEY PLAN OF LAND ON MURRAY STREET FOR HOUSING RESOURCES CORP. PREPARED BY GLEN HASKELL, INC. DATED MARCH 25, 1986 AND REVISED NOVEMBER 14, 1986, RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 159, PAGE 66.
 - PLAN OF LAND MURRAY STREET MADE FOR EA. FLUMBER CO. INC. PREPARED BY LARRY C. LAUZIER LAND SURVEYING, DATED SEPT. 13, 1990, RECORDED IN SAID REGISTRY IN PLAN BOOK 122, PAGE 111.
 - OCEAN PARK HOMES INC. PORTLAND, MAINE. PREPARED BY H.J. JORDAN, DATED NOVEMBER 1941, RECORDED IN SAID REGISTRY IN PLAN BOOK 28, PAGE 18.
 - MONTCLAIR, THE OTIS H. PERRY LAND CO. OWNERS. PREPARED BY PERCY H. RICHARDSON, C.E., DATED JUNE 1924, RECORDED IN SAID REGISTRY IN PLAN BOOK 16, PAGE 13.
 - WELWOOD, THE OTIS H. PERRY LAND COMPANY. PREPARED BY PERCY H. RICHARDSON, C.E., DATED JUNE 1924, RECORDED IN SAID REGISTRY IN PLAN BOOK 16, PAGE 12.
 - FOREST HILLS PORTLAND MAINE OWNED BY AN. CHAPMAN LAND CO. PREPARED BY EN. SHEFFIELD, RECORDED IN SAID REGISTRY IN PLAN BOOK 15, PAGE 16.
 - FOREST HILLS PORTLAND MAINE OWNED BY AN. CHAPMAN LAND CO. PREPARED BY EN. SHEFFIELD, RECORDED IN SAID REGISTRY IN PLAN BOOK 15, PAGE 34.
 - FOREST HILLS PORTLAND MAINE OWNED BY AN. CHAPMAN LAND CO. PREPARED BY EN. SHEFFIELD, RECORDED IN SAID REGISTRY IN PLAN BOOK 15, PAGE 41.
 - PLAN MADE FOR CL. GOODRIDGE AND J.A. BUELDEG. PREPARED BY E.C. JORDAN AND CO., DATED MAY 1928, RECORDED IN SAID REGISTRY IN PLAN BOOK 6, PAGE 98.
 - ALTA/ACORN LAND TITLE URBAN SURVEY OF PORTLAND RETIREMENT RESIDENCE, LLC. PREPARED BY SEBAGO TECHNIQS, INC. DATED THROUGH 1-15-98.
 - TOTAL AREA OF PROPERTY:
 - PARCEL A: 421,271 SF, 9.61 AC.
 - PARCEL B: 493,148 SF, 11.32 AC.
 - WETLANDS DEPICTED ON THIS PLAN WERE DELINEATED BY GARY FULLERTON OF SEBAGO TECHNIQS, INC. IN ACCORDANCE WITH THE 1987 U.S. ARMY CORPS OF ENGINEERS WETLAND DELINEATION MANUAL.
 - ZONING DISTRICT: R-5A AND ROS CONDITIONAL ZONES.
 - USE: RETIREMENT RESIDENCE.
 - BUILDING SUMMARY: 211 RETIREMENT SUITES CONSTRUCTED IN TWO PHASES.

A. PHASE I		B. PHASE II	
14 RETIREMENT SUITES	8 COTTAGE SUITES	20 ASSISTED LIVING SUITES	1 COTTAGE SUITE
8 COTTAGE SUITES	3 GARDEN SUITES	12 COTTAGE SUITES	1 GARDEN SUITE
128 TOTAL SUITES		32 TOTAL SUITES	
 - PARKING SUMMARY:

PHASE I: 50 SPACES	PHASE II: 57 SPACES
TOTAL: 107 SPACES	
 - SITE BENCH MARK IS THE RIM ELEVATION OF MOST NORTHERLY SEWER MANHOLE LOCATED ON MURRAY STREET ELEVATION + 5.91'. ELEVATION IS SHOWN ON PLAN OF PORTLAND SEWER SYSTEM INFILTRATION-BELOW ANALYSIS BY HUNTER BALLEW ASSOCIATES.
 - THE ENTIRE SITE SHALL BE DEVELOPED AND OR MAINTAINED AS DEPICTED ON THE SITE PLAN. APPROVAL OF THE PLANNING AUTHORITY OR PLANNING BOARD SHALL BE REQUIRED FOR ANY ALTERATION TO OR DEVIATION FROM THE APPROVED SITE PLAN INCLUDING, WITHOUT LIMITATION, TOPOGRAPHY, DRAINAGE, LANDSCAPING, RETENTION OF WOODED OR LAWN AREAS, ACCESS, SIZE, LOCATION & SURFACING OF PARKING AREAS, AND LOCATION AND SIZE OF BUILDINGS.
 - REFERENCE ALLOWABLE USES AND RESTRICTIONS AS SPECIFIED IN THE ROS AND PEDESTRIAN EASEMENT DEED TO BE RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS.
 - REFERENCE ACCESS EASEMENT AGREEMENT BETWEEN CITY OF PORTLAND AND PORTLAND RETIREMENT RESIDENCE AS RECORDED IN CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 135-9, PAGE 318.
 - BUFFER EASEMENT AREAS SHALL REMAIN IN THEIR UNDEVELOPED STATE.
 - ALIGNMENT OF PEDESTRIAN WALKWAY SHALL BE COORDINATED WITH OWNER AT THE TIME OF CONSTRUCTION. IN GENERAL, WALKWAY SHALL BE CONSTRUCTED TO FOLLOW TOPOGRAPHIC CONDITIONS AND TO MINIMIZE TREE/VEGETATIVE DISTURBANCE. TRIM AND REMOVE BRANCHES/GROWTH AS DIRECTED BY OWNER.
 - THE PORTLAND WATER DISTRICT IS GRANTED A 30' WIDE EASEMENT, BY EITHER SIDE OF THE WATER MAIN AND SERVICES TO MAINTAIN AND/OR REPLACE MAIN OR SERVICES AS REQUIRED BY P.W.D.

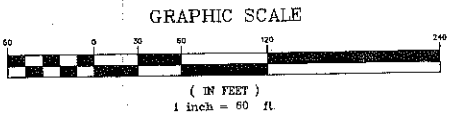
EASEMENT LINE DATA

LINE	BEARING	DISTANCE
EL1	S 41°43'45" W	61.75'
EL2	S 40°43'25" W	38.25'
EL3	S 48°16'15" E	58.35'
EL4	N 40°08'46" E	100.01'
EL5	N 48°16'15" E	60.58'
EL6	S 48°16'15" E	64.27'
EL7	N 40°08'48" E	100.01'
EL8	N 48°16'15" W	65.82'
EL9	S 41°43'45" W	100.00'

LEGEND

EXISTING	DESCRIPTION	PROPOSED	EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY ROW	---	---	CONTOURS	124
---	SETBACK	---	---	WATER	8" W
---	EASEMENT	---	---	SEWER	8" S
---	CENTERLINE	---	---	STORM DRAIN	12" S
---	MONUMENT	---	---	OVERHEAD ELEC. & TEL.	ONE FT
---	IRON PIPE/ROD	---	---	UNDERGROUND ELEC. & TEL.	ONE FT
---	CURVE/LINE NO.	---	---	GATE VALVE	---
---	BUILDING	---	---	LIGHT POLE	---
---	WETLANDS	---	---	UTILITY POLE	---
---	EDGE WETLAND	---	---	HYDRANT	---
---	SIGN	---	---	CATCH BASIN	---
---	STREAM	---	---	MANHOLE	---
---	ROCK OUTCROP	---	---	CULVERT	12" S
---	EDGE PAVEMENT	---	---	SPOT GRADE	30x20
---	GRAVEL ROAD	---	---	SILT FENCE	5F
---	CURBLINE	---	---	GUARDRAIL	---
---	TREELINE	---	---	TEST PIT	---

A 3.05 FOOT STRIP OF LAND ALONG THIS LINE WAS CONVEYED BY ROBERT C. HANS TO REGS ASSOCIATES IN THE DEED 7899, PAGE 319, DATED JULY 22, 1997. THIS DEED WAS EXECUTED TO INCLUDE THE 3.05 FOOT STRIP THAT, DUE TO A SURVEYOR'S ERROR, WAS NOT INCLUDED WITH ROBERT C. HANS CONVEYED S. 17.55 ACRE LOT TO LYNDAL J. WISCOMBER BY DEED 7548, PAGE 96, AN EXAMINATION OF DEED BOOK 7548, PAGE 96, BOOK 7345, PAGE 254, BOOK 9110, PAGE 198, BOOK 11866, PAGE 7, AND AN INQUIRY OF BLACK BEAR DEVELOPMENT CORPORATION FAILED TO SHOW THE 3.05 FOOT STRIP OF LAND BEING CONVEYED TO RECORD OWNERS.



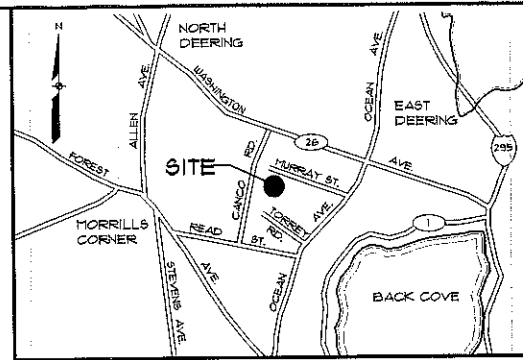
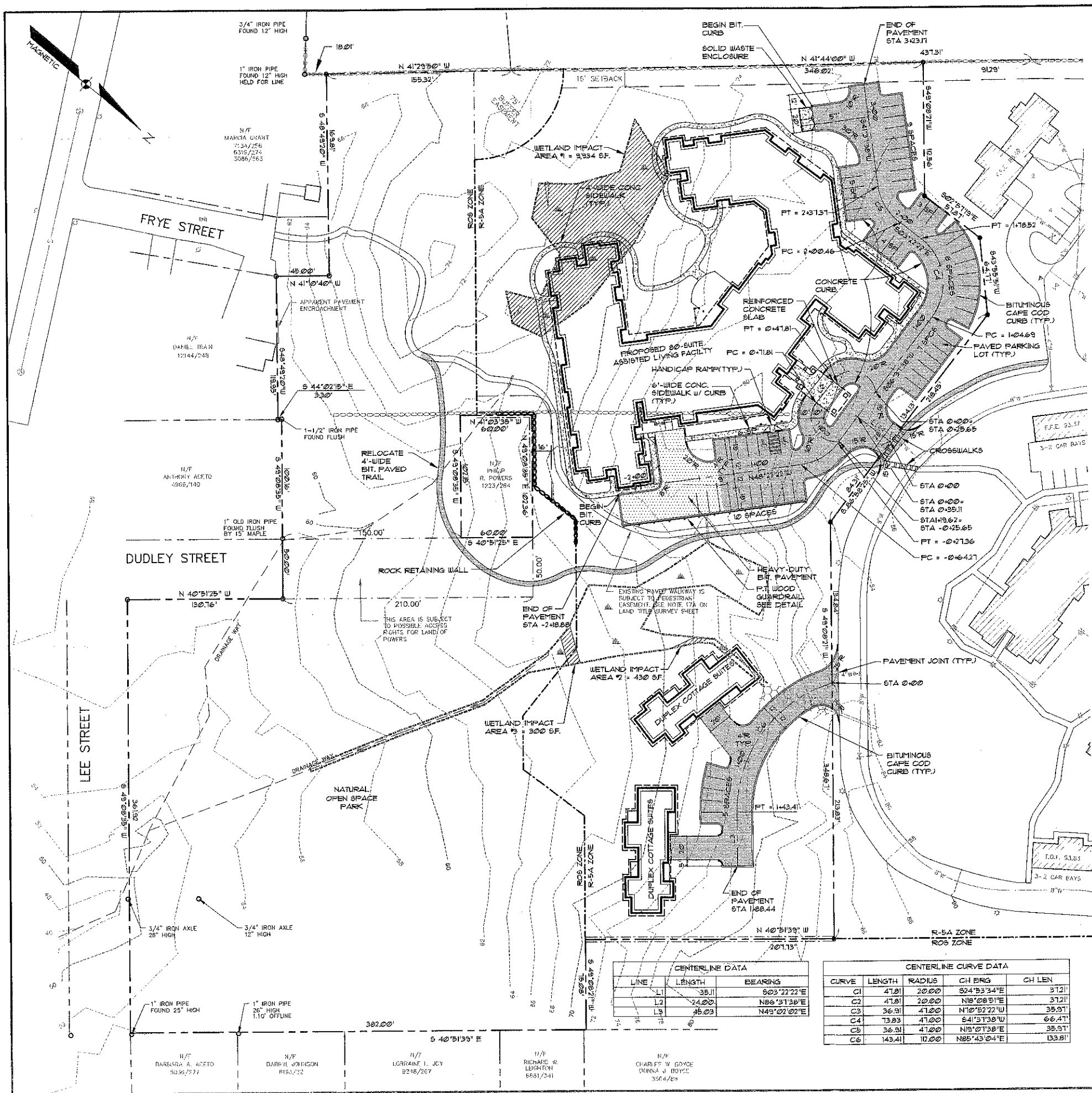
Sebago Technics
 Engineering Expertise You Can Build On
 One Chesnut Street
 Portland, ME 04101
 Tel: (207) 858-0277

OVERALL DEVELOPMENT & LOT DIVISION PLAN
OF PORTLAND ASSISTED LIVING FACILITY PHASE II
 FOR: **XL MANAGEMENTCO, LLC & HOLIDAY RETIREMENT CORP.**
 2255 MCGILCHRIST ST., SE. SUITE 200, SALEM, OREGON 97302

PROJECT NO.	FIELD BOOK	DESIGN	CHKD	DRAWN
86592-P2		SAG	OAM	BRF

DATE: 01-15-04 SCALE: 1"=60'

SHEET 2 OF 12



LOCATION MAP
N.T.S.

GENERAL NOTES

- RECORD OWNER: PORTLAND RETIREMENT RESIDENCE, LLC AS RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 13465, PAGE 161.
- ASSESSORS REFERENCE: TAX MAP NO. 149, LOT 13-1 AND MAP NO. 160, LOT E-1
- PLAN REFERENCES:
 - A STANDARD BOUNDARY SURVEY PLAN OF LAND ON MURRAY STREET FOR HOUSING RESOURCES CORP., PREPARED BY OWEN HASKELL, INC., DATED MARCH 28, 1986 AND REVISED NOVEMBER 14, 1986. RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 158, PAGE 66.
 - PLAN OF LAND MURRAY STREET MADE FOR F.S. PLUMMER CO. INC. PREPARED BY JAMES C. LAUZIER LAND SURVEYING, DATED SEPT. 13, 1982. RECORDED IN SAID REGISTRY IN PLAN BOOK 128, PAGE 177.
 - OCEAN PARK HOMES INC. PORTLAND, MAINE. PREPARED BY H.J. JORDAN, DATED NOVEMBER 1941. RECORDED IN SAID REGISTRY IN PLAN BOOK 28, PAGE 18.
 - MONTECLAIR, THE OTIS H. PERRY LAND CO. OWNERS. PREPARED BY PERCY H. RICHARDSON, C.E. DATED JUNE 1924. RECORDED IN SAID REGISTRY IN PLAN BOOK 16, PAGE 13.
 - BELLWOOD, THE OTIS H. PERRY LAND COMPANY. PREPARED BY PERCY H. RICHARDSON, C.E. DATED JUNE 1924. RECORDED IN SAID REGISTRY IN PLAN BOOK 16, PAGE 13.
 - FOREST HILLS PORTLAND MAINE OWNED BY A.H. CHAPMAN LAND CO. PREPARED BY EN. SHEPHERD, RECORDED IN SAID REGISTRY IN PLAN BOOK 15, PAGE 16.
 - FOREST HILLS PORTLAND MAINE OWNED BY A.H. CHAPMAN LAND CO. PREPARED BY EN. SHEPHERD, RECORDED IN SAID REGISTRY IN PLAN BOOK 15, PAGE 34.
 - FOREST HILLS PORTLAND MAINE OWNED BY A.H. CHAPMAN LAND CO. PREPARED BY EN. SHEPHERD, RECORDED IN SAID REGISTRY IN PLAN BOOK 15, PAGE 41.
 - PLAN MADE FOR G.L. GOODRIDGE AND J.A. BUILDING. PREPARED BY E.C. JORDAN AND CO. DATED MAY 1936. RECORDED IN SAID REGISTRY IN PLAN BOOK 8, PAGE 88.
 - ALTAJACSM LAND TITLE URBAN SURVEY OF PORTLAND RETIREMENT RESIDENCE, L.L.C. PREPARED BY SEBAGO TECHNICS, INC. DATED THROUGH 7-15-88.
- TOTAL AREA OF PROPERTY: PARCEL A: 42,271 SF, 9.67 AC. PARCEL B: 493,148 SF, 11.33 AC.
- WETLANDS DEPICTED ON THIS PLAN WERE DELINEATED BY GARY FULLERTON OF SEBAGO TECHNICS, INC. IN ACCORDANCE WITH THE 1987 U.S. ARMY CORPS OF ENGINEERS WETLAND DELINEATION MANUAL.
- ZONING DISTRICT: R-5A AND ROS CONDITIONAL ZONES.
- USE: RETIREMENT RESIDENCE
- BUILDING SUMMARY:
 - PHASE I: 80 RETIREMENT SUITES, 4 COTTAGE SUITES, 84 TOTAL SUITES
 - PHASE II: 50 SPACES, 57 SPACES, TOTAL: 107 SPACES
- SITE BENCHMARK IS THE RIM ELEVATION OF MOST NORTHERLY SEWER MANHOLE LOCATED ON MURRAY STREET ELEVATION = 91.57'. ELEVATION IS SHOWN ON PLAN OF PORTLAND SEWER SYSTEM INFILTRATION-INFLOW ANALYSIS BY HUNTER BALLEW ASSOCIATES.

LEGEND

EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY ROW	---
—○—	IRON PIPE/ROD	—○—
▒	BUILDING	▒
▒	WETLANDS	▒
▒	EDGE WETLAND SIGN	▒
▒	ROCK OUTCROP	▒
▒	EDGE PAVEMENT	▒
▒	GRAVEL ROAD CURBLINE	▒
TP-7	TEST PIT	TP-7
124	CONTOURS	124
8" W	WATER	8" W
8" S	SEWER	8" S
12" SD	STORM DRAIN	12" SD
UG-1	UNDERGROUND ELEC. 4 TEL	UG-1
GV	GATE VALVE	GV
LF	LIGHT POLE	LF
UF	UTILITY FOLE	UF
HD	HYDRANT	HD
CB	CATCH BASIN	CB
MH	MANHOLE	MH
SG	SPOT GRADE	SG
SW	STONE WALL	SW
RF	SILT FENCE	RF
RR	RIPRAP	RR

CENTERLINE DATA

LINE	LENGTH	BEARING
L1	35.11	S 03° 22' 22" E
L2	24.00	N 86° 31' 38" E
L3	35.03	N 49° 02' 02" E

CENTERLINE CURVE DATA

CURVE	LENGTH	RADIUS	CH BRG	CH LEN
C1	47.81	20.00	S 24° 53' 34" E	37.21
C2	47.81	20.00	N 18° 08' 51" E	37.21
C3	36.91	47.00	N 10° 32' 22" W	35.91
C4	73.83	47.00	S 41° 31' 38" W	66.41
C5	36.91	47.00	N 15° 07' 38" E	35.91
C6	143.41	17.00	N 85° 43' 04" E	133.81

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PROJECT NO. | FIELD BOOK | DESIGN | CHKD | DRAWN
96592-P2 | | | |

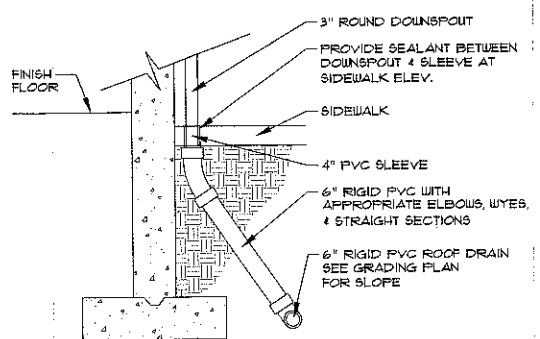
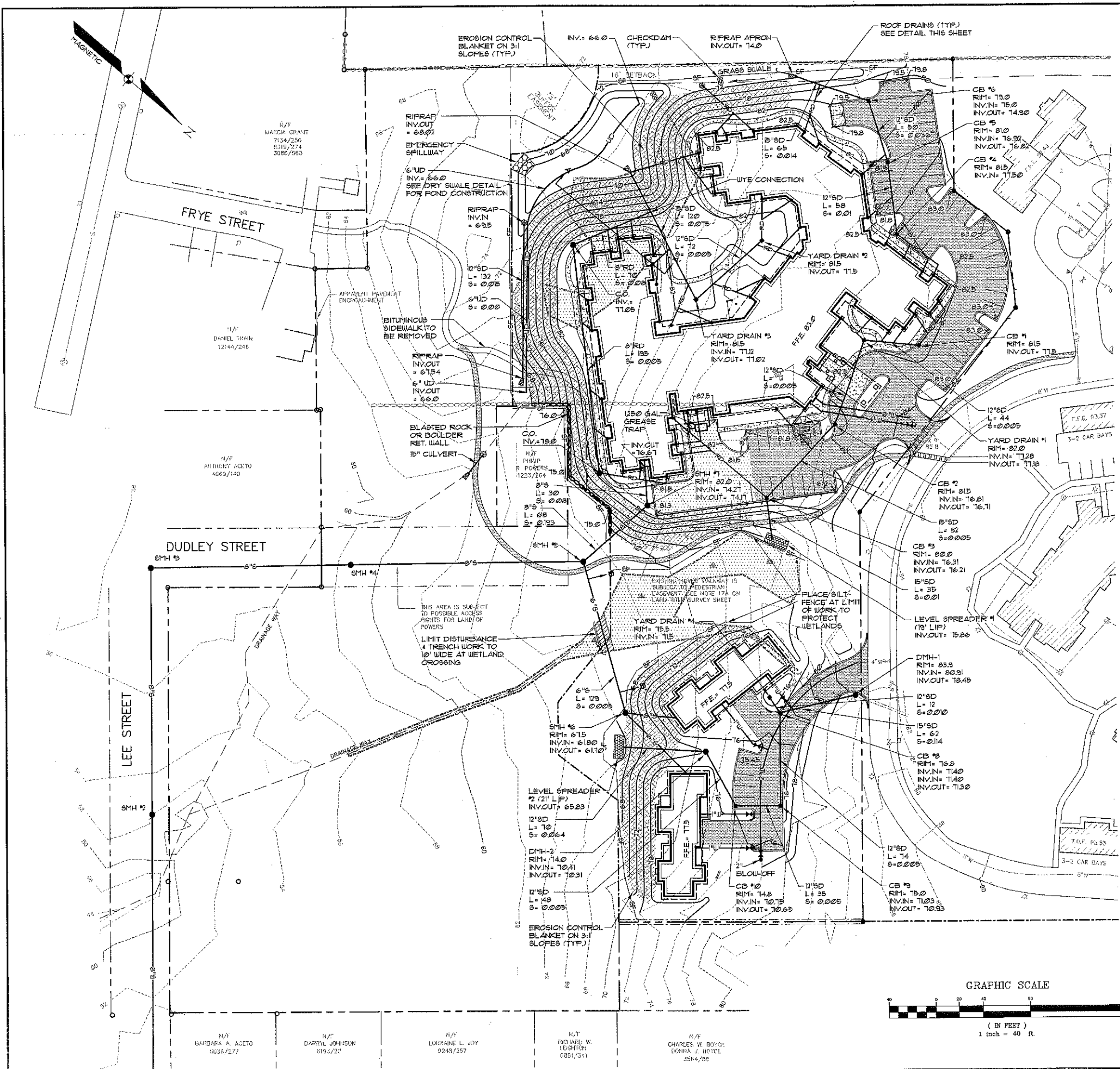
SITE PLAN
OF:
PORTLAND ASSISTED LIVING FACILITY PHASE II
COURT ROAD
PORTLAND, MAINE
XL MANAGEMENTCO, LLC & HOLIDAY RETIREMENT CORP.
SUITE 200, SALEM, OREGON 97302

DATE: 11-03-03
SCALE: 1"=40'

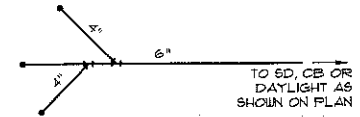
SHEET 3 OF 12

REV: BY: DATE: ISSUED FOR: CITY REVIEW
A: OAM: 03-05-04: STATUS: []
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.

96592-P12-S

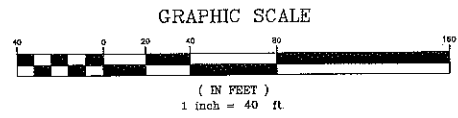


ROOF DRAIN CONNECTOR
NOT TO SCALE



TYPICAL ROOF DRAIN

EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY/ROW	---
---	IRON PIPE/ROD	---
---	BUILDING	---
---	WETLANDS	---
---	EDGE WETLAND SIGN	---
---	ROCK OUTCROP	---
---	EDGE PAVEMENT	---
---	GRAVEL ROAD	---
---	CURBLINE	---
TF-7	TEST FIT	TF-7
---	CONTOURS	---
---	WATER	---
---	SEWER	---
---	STORM DRAIN	---
---	UNDERGROUND ELEC. & TEL.	---
---	GATE VALVE	---
---	LIGHT POLE	---
---	UTILITY POLE	---
---	HYDRANT	---
---	CATCH BASIN	---
---	MANHOLE	---
---	SPOT GRADE	30x20
---	STONE WALL	---
---	SILT FENCE	---
---	RIPRAP	---



DATE	03-05-04	ISSUED FOR CITY REVIEW
BY	A	STATUS
REV		THIS PLAN SHALL NOT BE MODIFIED WITHOUT PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.

Sebago Technics
 Engineers/Architects/You Can Build On
 One Church Street
 Westbrook, ME 04090-1339
 Tel (207) 886-0277

PROJECT NO: FIELD BOOK DESIGN CHKD DRAWN
 96592-P2 SAG OAM BR

GRADING, DRAINAGE & UTILITY PLAN
 OF: **PORTLAND ASSISTED LIVING FACILITY - PHASE II**
 CANCO ROAD
 PORTLAND, MAINE

FOR: **XL MGMT. CO., LLC & HOLIDAY RETIREMENT CORP.**
 2250 McGLCHRIST ST. SE, SUITE 200
 SALEM, OREGON 97302

DATE: 11-30-03 SCALE: 1"=40'

SHEET 4 OF 12

96592-P12-03



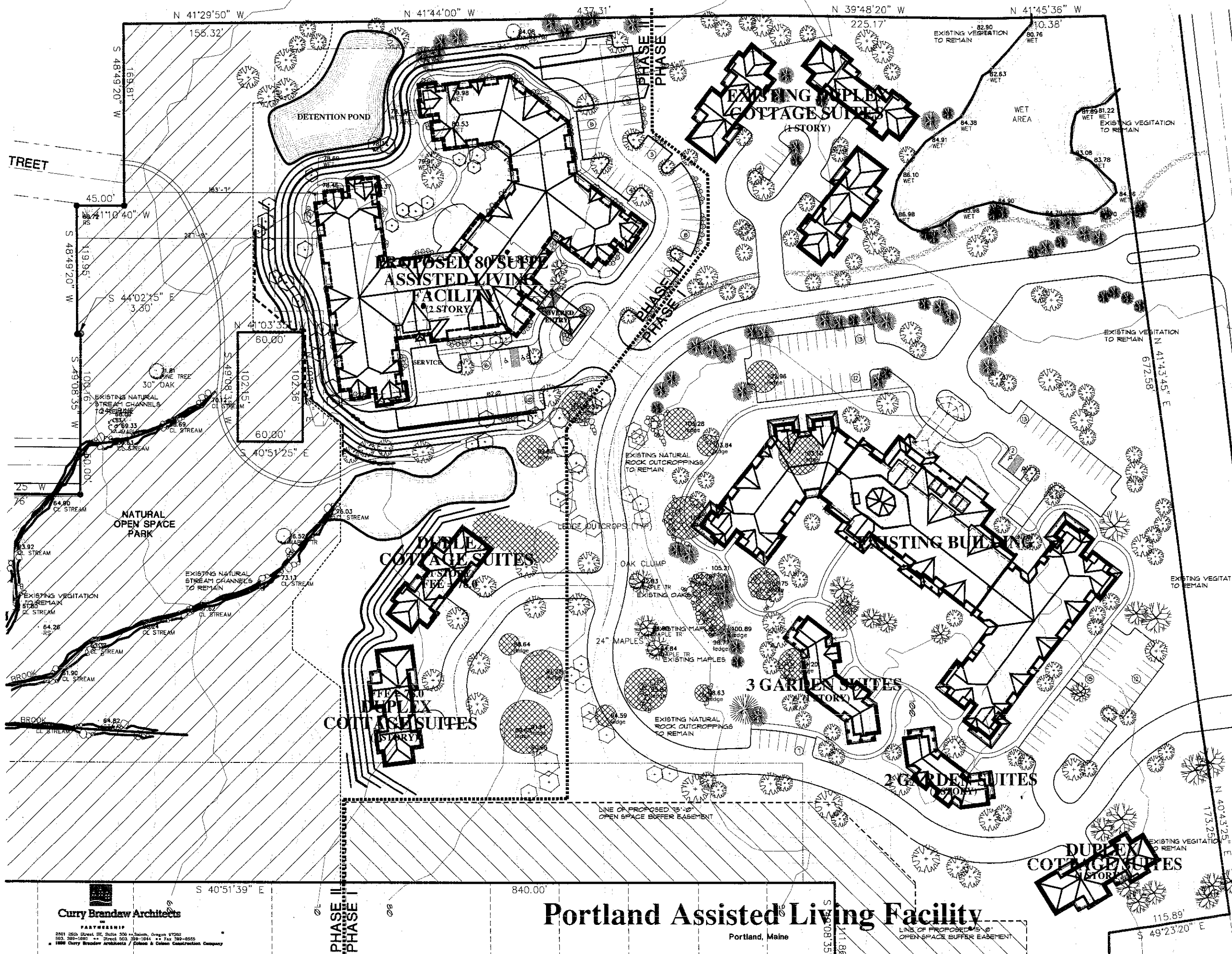
View of Dining Room



Portland Assisted Living Facility

Portland, Maine





PROJECT STATISTICS:

AREA CALCULATIONS:

20.97 ACRES GROSS	
913,394 SQ FT GROSS	
20% REDUCTION SETBACKS	172,401 SQ FT
WETLANDS/STREAMS	88,120 SQ FT
	34,613 SQ FT
	295,134 SQ FT
566,873 SQ FT NET AREA	
1,600 SQ FT PER DWELLING UNIT	
354 DWELLING UNITS ALLOWED	
EASEMENT	71,145.7 SQ FT
	1.63 ACRES
OPEN SPACE PARK	209,759.6 SQ FT
	4.81 ACRES

PHASE I (Completed)

- 114 RETIREMENT SUITES
- 8 COTTAGE SUITES
- 5 GARDEN SUITES
- 127 TOTAL SUITES

PARKING:

- 90 PARKING SPACES

PHASE II

- 80 ASSISTED LIVING SUITES
- 4 COTTAGE SUITES
- 84 TOTAL SUITES

PARKING:

- 65 PARKING SPACES

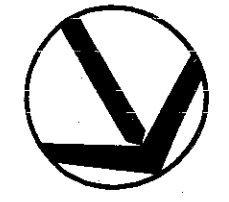
TOTAL ALL PHASES

- 211 RETIREMENT SUITES
- 155 PARKING SPACES

SITE PLAN

1" = 40'-0"

02/26/04 MCF



Curry Brandaw Architects

PARTNERSHIP

2601 26th Street, Suite 300 • Salem, Oregon 97303

503-586-1887 • Fax 503-586-1844 • Fax 503-8555

• 1820 Curry Brandaw Architects / Johnson & Colman Construction Company

Portland Assisted Living Facility

Portland, Maine

Holiday RETIREMENT CORP.

200 Middlesex St., Suite 200 • Salem, OR 97302

P.O. Box 14111 • Salem, OR 97309-3000

(503) 570-7070 Fax (503) 264-9716



LANDSCAPE LEGEND

	EXISTING VEGETATION TO REMAIN
	EXISTING NATURAL ROCK OUTCROPPINGS TO REMAIN
	EXISTING NATURAL STREAM CHANNELS TO REMAIN
	EXISTING BUILDING
	PROPOSED BUILDING
	PROPOSED GARDEN SUITE
	PROPOSED DUPLEX COTTAGE SUITE
	PROPOSED ASSISTED LIVING FACILITY
	PROPOSED PARKING
	PROPOSED EASEMENT
	PROPOSED 15'-0" OPEN SPACE BUFFER EASEMENT
	PROPOSED 15'-0" OPEN SPACE BUFFER EASEMENT

GENERAL NOTES

1. This landscape plan is based on the site plan and site survey data provided.
2. All proposed buildings shall be constructed in accordance with the approved building department plans.
3. All proposed landscaping shall be installed in accordance with the approved landscape plan.
4. The landscape plan shall be maintained in accordance with the approved landscape maintenance plan.
5. All existing natural features shall be preserved and protected.
6. All proposed landscaping shall be installed in accordance with the approved landscape plan.

LANDSCAPE NOTES

1. All proposed landscaping shall be installed in accordance with the approved landscape plan.
2. All proposed landscaping shall be installed in accordance with the approved landscape plan.
3. All proposed landscaping shall be installed in accordance with the approved landscape plan.
4. All proposed landscaping shall be installed in accordance with the approved landscape plan.
5. All proposed landscaping shall be installed in accordance with the approved landscape plan.
6. All proposed landscaping shall be installed in accordance with the approved landscape plan.
7. All proposed landscaping shall be installed in accordance with the approved landscape plan.
8. All proposed landscaping shall be installed in accordance with the approved landscape plan.
9. All proposed landscaping shall be installed in accordance with the approved landscape plan.
10. All proposed landscaping shall be installed in accordance with the approved landscape plan.

PRELIMINARY DRAWING FOR MARK UP ONLY

LANDSCAPE PLAN

PORTLAND RETIREMENT RESIDENCE
PORTLAND, ME.

COLSON AND COLSON
GENERAL CONTRACTOR, INC.
2250 MCGILCHRIST STREET SE, SUITE 200
SALEM, OREGON, 97302
PHONE (503) 370-7070

Curry Brandaw Architects
ARCHITECTS
1000 COMMERCIAL AVENUE, SUITE 1000
PORTLAND, OREGON 97204
PHONE (503) 253-0000

DATE: 01/01/00
REVISED DATE:
SHEET: A.1.3

15 JANUARY 2000
 15 JANUARY 2000
 15 JANUARY 2000

Detention Pond Model @ Elev. 69.5

96592 Post Development

Type III 24-hr Rainfall=5.50"

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Page 1

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4/7/04

Pond 1P: Detention Pond

Inflow = 8.64 cfs @ 12.10 hrs, Volume= 0.624 af
 Outflow = 2.70 cfs @ 12.44 hrs, Volume= 0.592 af, Atten= 69%, Lag= 20.2 min
 Primary = 2.70 cfs @ 12.44 hrs, Volume= 0.592 af

Routing by Stor-Ind method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

Peak Elev= 70.82' Storage= 9,865 cf

Plug-Flow detention time= 71.9 min calculated for 0.590 af (94% of inflow)

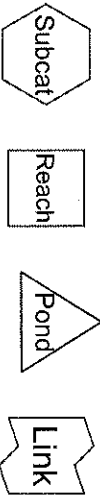
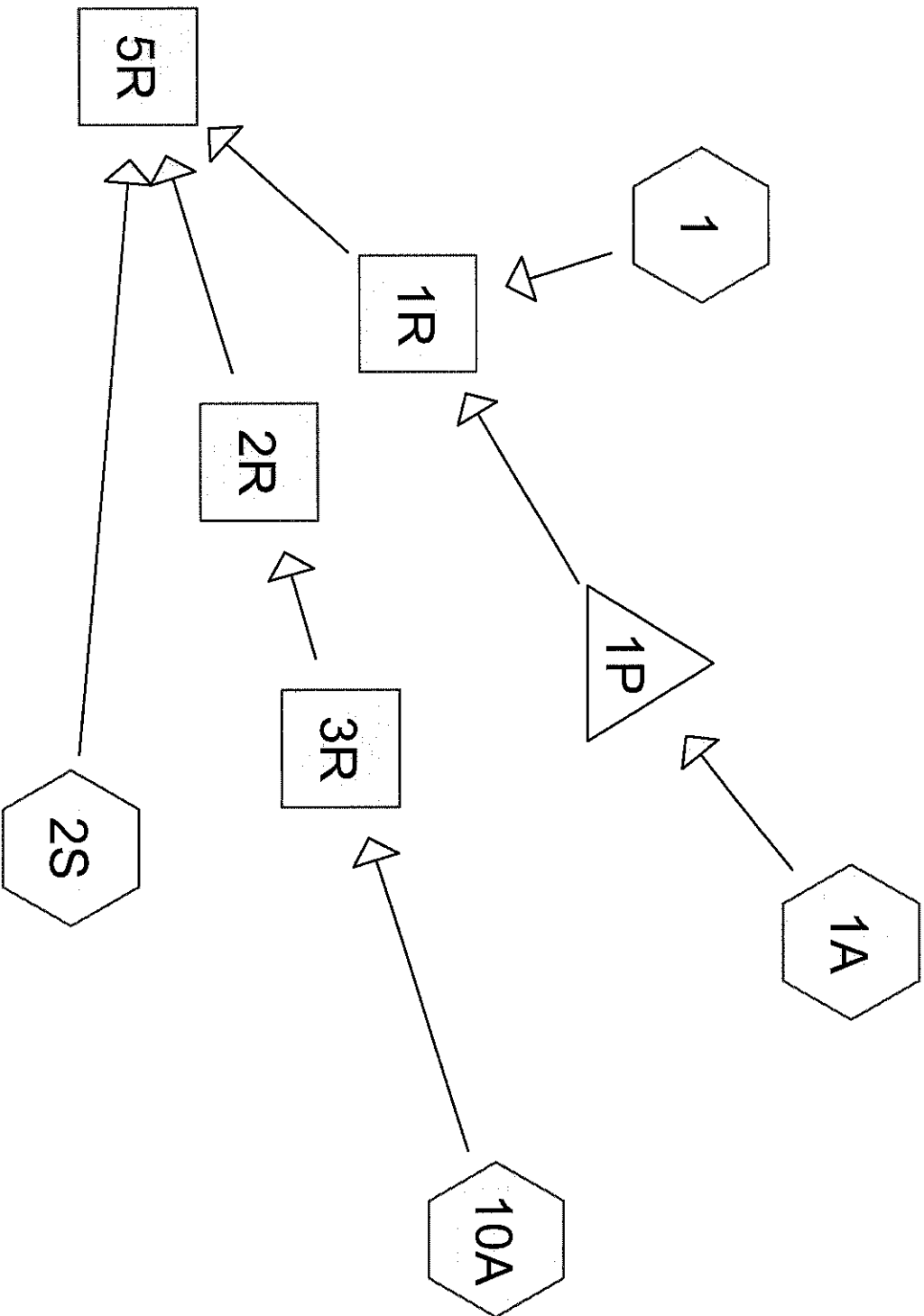
Storage and wetted areas determined by Prismatic sections

Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
69.50	6,066	0	0
70.00	6,657	3,181	3,181
72.00	9,630	16,287	19,468

Primary OutFlow (Free Discharge)

↑1=Culvert

#	Routing	Invert	Outlet Devices
1	Primary	69.50'	12.0" x 140.0' long Culvert Ke= 0.900 Outlet Invert= 67.54' S= 0.0140 '/' n= 0.010 Cc= 0.900



Drainage Diagram for 96592 Pre Development
 Prepared by SEBAGO TECHNICS INC 4/14/04
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96592 Pre Development

Type III 24-hr Rainfall=3.00"

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Time span=5.00-20.00 hrs, dt=0.05 hrs, 301 points
 Runoff by SCS TR-20 method, UH=SCS, Type III 24-hr Rainfall=3.00"
 Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment 1: (new node)

Tc=18.1 min CN=77 Area=1.760 ac Runoff= 1.48 cfs 0.143 af

Subcatchment 1A: (new node)

Tc=13.3 min CN=71 Area=3.200 ac Runoff= 1.98 cfs 0.182 af

Subcatchment 2S: (new node)

Tc=20.0 min CN=73 Area=4.650 ac Runoff= 2.87 cfs 0.299 af

Subcatchment 10A: Pre-Dev prior to 1996

Tc=15.7 min CN=79 Area=1.710 ac Runoff= 1.71 cfs 0.155 af

Reach 1R: (new node)

Inflow= 3.21 cfs 0.323 af
 Length= 580.0' Max Vel= 1.8 fps Capacity= 7.91 cfs Outflow= 3.01 cfs 0.319 af

Reach 2R: (new node)

Inflow= 1.69 cfs 0.155 af
 Length= 330.0' Max Vel= 2.3 fps Capacity= 37.76 cfs Outflow= 1.65 cfs 0.154 af

Reach 3R: (new node)

Inflow= 1.71 cfs 0.155 af
 Length= 170.0' Max Vel= 1.9 fps Capacity= 11.70 cfs Outflow= 1.69 cfs 0.155 af

Reach 5R: (new node)

Inflow= 7.12 cfs 0.772 af
 Outflow= 7.12 cfs 0.772 af

Pond 1P: wetland

Peak Storage= 710 cf Inflow= 1.98 cfs 0.182 af
 Primary= 1.75 cfs 0.180 af Outflow= 1.75 cfs 0.180 af

Runoff Area = 11.320 ac Volume = 0.780 af Average Depth = 0.83"

96592 Pre Development

Type III 24-hr Rainfall=3.00"

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4/14/04

Subcatchment 1: (new node)

Runoff = 1.48 cfs @ 12.27 hrs, Volume= 0.143 af

Runoff by SCS TR-20 method, UH=SCS, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type III 24-hr Rainfall=3.00"

Area (ac)	CN	Description
1.725	77	Woods, Good, HSG D
0.035	98	existing access rd.
1.760	77	Weighted Average

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
14.3	100	0.0600	0.1		Sheet Flow, Woods: Light underbrush n= 0.400 P2= 3.00"
2.8	170	0.0410	1.0		Shallow Concentrated Flow, Woodland Kv= 5.0 fps
1.0	290	0.0240	5.0	19.84	Channel Flow, Area= 4.0 sf Perim= 5.0' r= 0.80' n= 0.040
18.1	560	Total			

Subcatchment 1A: (new node)

Runoff = 1.98 cfs @ 12.21 hrs, Volume= 0.182 af

Runoff by SCS TR-20 method, UH=SCS, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type III 24-hr Rainfall=3.00"

Area (ac)	CN	Description
3.130	70	Woods, Good, HSG C
0.070	98	Paved parking & roofs
3.200	71	Weighted Average

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
7.0	100	0.0500	0.2		Sheet Flow, lawn Grass: Short n= 0.150 P2= 3.00"
3.1	200	0.0450	1.1		Shallow Concentrated Flow, woods Woodland Kv= 5.0 fps
3.2	200	0.0140	1.1	10.56	Parabolic Channel, wetland W=30.00' D=0.50' Area=10.0 sf Perim=30.0' n= 0.080
13.3	500	Total			

96592 Pre Development

Type III 24-hr Rainfall=3.00"

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Subcatchment 2S: (new node)

Runoff = 2.87 cfs @ 12.31 hrs, Volume= 0.299 af

Runoff by SCS TR-20 method, UH=SCS, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type III 24-hr Rainfall=3.00"

Area (ac)	CN	Description
1.530	77	Woods, Good, HSG D
3.000	70	Woods, Good, HSG C
0.120	98	Exist Access Rd
4.650	73	Weighted Average

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
11.7	100	0.1000	0.1		Sheet Flow, Woods: Light underbrush n= 0.400 P2= 3.00"
3.9	320	0.0750	1.4		Shallow Concentrated Flow, Woodland Kv= 5.0 fps
4.4	260	0.0380	1.0		Shallow Concentrated Flow, Woodland Kv= 5.0 fps
20.0	680	Total			

Subcatchment 10A: Pre-Dev prior to 1996

Runoff = 1.71 cfs @ 12.23 hrs, Volume= 0.155 af

Runoff by SCS TR-20 method, UH=SCS, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type III 24-hr Rainfall=3.00"

Area (ac)	CN	Description
1.710	79	Woods, Fair, HSG D

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
14.3	100	0.0600	0.1		Sheet Flow, Woods: Light underbrush n= 0.400 P2= 3.00"
1.4	120	0.0800	1.4		Shallow Concentrated Flow, Woodland Kv= 5.0 fps
15.7	220	Total			

Reach 1R: (new node)

[79] Warning: Submerged Pond 1P Primary device # 1 INLET by 0.21'

Inflow = 3.21 cfs @ 12.29 hrs, Volume= 0.323 af
Outflow = 3.01 cfs @ 12.46 hrs, Volume= 0.319 af, Atten= 6%, Lag= 10.4 min

96592 Pre Development

Type III 24-hr Rainfall=3.00"

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Routing by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

Max. Velocity= 1.8 fps, Min. Travel Time= 5.5 min

Avg. Velocity = 0.8 fps, Avg. Travel Time= 11.8 min

Peak Depth= 0.32'

Capacity at bank full= 7.91 cfs

Inlet Invert= 66.12', Outlet Invert= 50.00'

10.00' x 0.50' deep Parabolic Channel, n= 0.050 Length= 580.0' Slope= 0.0278 '/'

Reach 2R: (new node)

[61] Hint: Submerged 1% of Reach 3R bottom

Inflow = 1.69 cfs @ 12.27 hrs, Volume= 0.155 af

Outflow = 1.65 cfs @ 12.35 hrs, Volume= 0.154 af, Atten= 2%, Lag= 4.5 min

Routing by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

Max. Velocity= 2.3 fps, Min. Travel Time= 2.4 min

Avg. Velocity = 0.9 fps, Avg. Travel Time= 6.4 min

Peak Depth= 0.17'

Capacity at bank full= 37.76 cfs

Inlet Invert= 66.00', Outlet Invert= 51.00'

4.00' x 1.00' deep channel, n= 0.040 Length= 330.0' Slope= 0.0455 '/'

Side Slope Z-value= 2.0 '/'

Reach 3R: (new node)

Inflow = 1.71 cfs @ 12.23 hrs, Volume= 0.155 af

Outflow = 1.69 cfs @ 12.27 hrs, Volume= 0.155 af, Atten= 1%, Lag= 2.7 min

Routing by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

Max. Velocity= 1.9 fps, Min. Travel Time= 1.5 min

Avg. Velocity = 0.8 fps, Avg. Travel Time= 3.3 min

Peak Depth= 0.21'

Capacity at bank full= 11.70 cfs

Inlet Invert= 80.90', Outlet Invert= 66.00'

10.00' x 0.50' deep Parabolic Channel, n= 0.060 Length= 170.0' Slope= 0.0876 '/'

Reach 5R: (new node)

[40] Hint: Not Described (Outflow=Inflow)

Inflow = 7.12 cfs @ 12.39 hrs, Volume= 0.772 af

Outflow = 7.12 cfs @ 12.39 hrs, Volume= 0.772 af, Atten= 0%, Lag= 0.0 min

Routing by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

96592 Pre Development

Type III 24-hr Rainfall=3.00"

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Pond 1P: wetland

Inflow = 1.98 cfs @ 12.21 hrs, Volume= 0.182 af
 Outflow = 1.75 cfs @ 12.30 hrs, Volume= 0.180 af, Atten= 12%, Lag= 5.4 min
 Primary = 1.75 cfs @ 12.30 hrs, Volume= 0.180 af

Routing by Stor-Ind method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

Peak Elev= 67.11' Storage= 710 cf

Plug-Flow detention time= 13.0 min calculated for 0.179 af (98% of inflow)

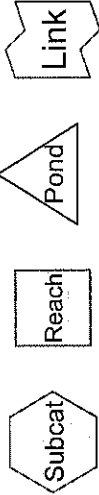
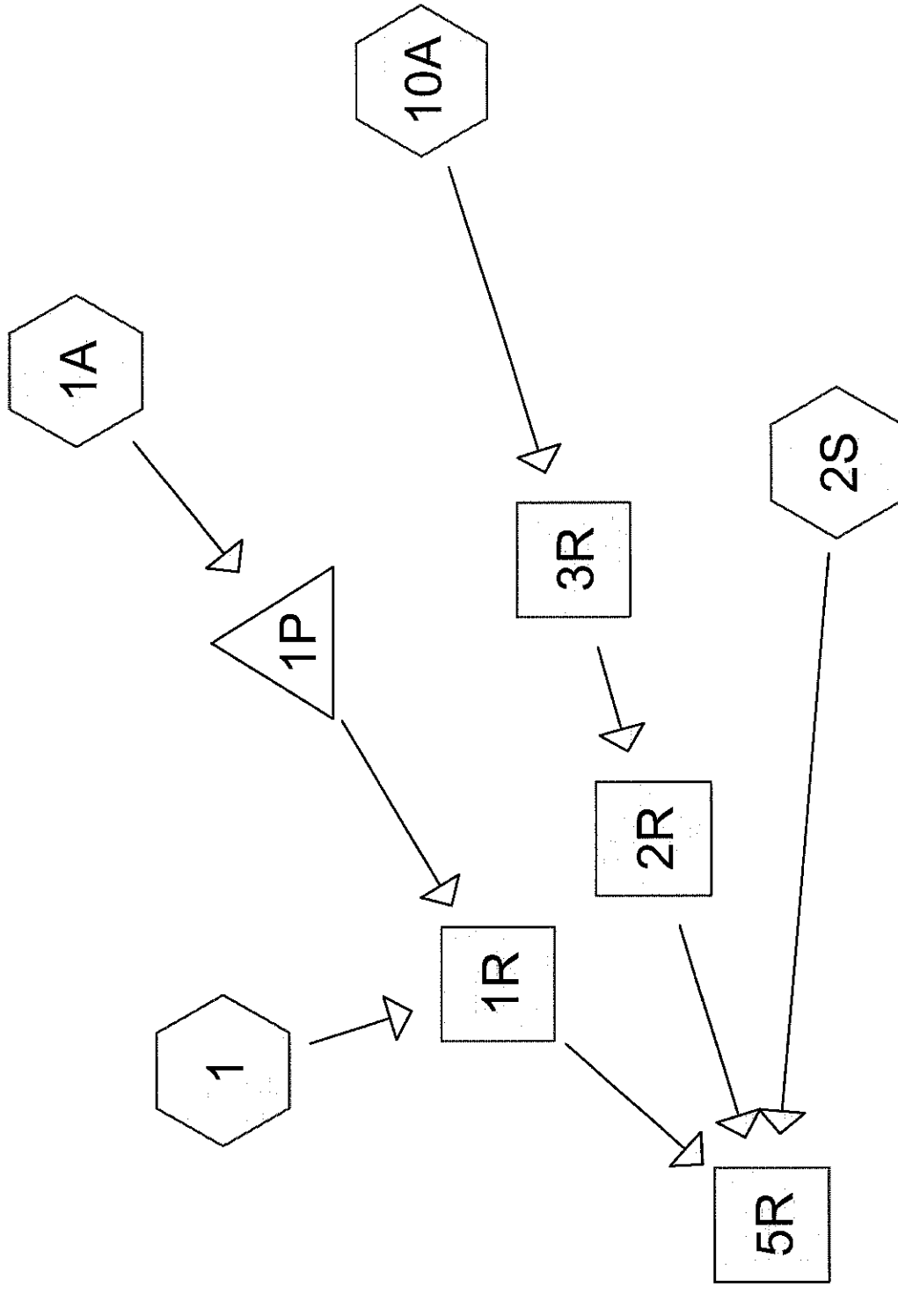
Storage and wetted areas determined by Prismatic sections

Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
66.23	0	0	0
68.00	1,618	1,432	1,432
69.00	4,017	2,818	4,249

Primary OutFlow (Free Discharge)

- 1=Culvert
- 2=Broad-Crested Rectangular Weir

#	Routing	Invert	Outlet Devices
1	Primary	66.23'	12.0" x 12.0' long Culvert Ke= 0.900 Outlet Invert= 66.12' S= 0.0092 '/' n= 0.010 Cc= 0.900
2	Primary	68.00'	4.0' long x 4.0' breadth Broad-Crested Rectangular Weir Head (feet) 0.20 0.40 0.60 0.80 1.00 1.20 1.40 1.60 1.80 2.00 2.50 3.00 3.50 4 Coef. (English) 2.38 2.54 2.69 2.68 2.67 2.67 2.65 2.66 2.66 2.68 2.72 2.73 2.7



Drainage Diagram for 96592 Pre Development
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96592 Pre Development

Type III 24-hr Rainfall=4.70"

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Time span=5.00-20.00 hrs, dt=0.05 hrs, 301 points

Runoff by SCS TR-20 method, UH=SCS, Type III 24-hr Rainfall=4.70"

Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment 1: (new node)

Tc=18.1 min CN=77 Area=1.760 ac Runoff= 3.42 cfs 0.322 af

Subcatchment 1A: (new node)

Tc=13.3 min CN=71 Area=3.200 ac Runoff= 5.45 cfs 0.463 af

Subcatchment 2S: (new node)

Tc=20.0 min CN=73 Area=4.650 ac Runoff= 7.39 cfs 0.729 af

Subcatchment 10A: Pre-Dev prior to 1996

Tc=15.7 min CN=79 Area=1.710 ac Runoff= 3.78 cfs 0.337 af

Reach 1R: (new node)Length= 580.0' Max Vel= 2.3 fps Capacity= 7.91 cfs Inflow= 7.74 cfs 0.781 af
Outflow= 7.46 cfs 0.776 af**Reach 2R: (new node)**Length= 330.0' Max Vel= 3.0 fps Capacity= 37.76 cfs Inflow= 3.71 cfs 0.336 af
Outflow= 3.64 cfs 0.335 af**Reach 3R: (new node)**Length= 170.0' Max Vel= 2.5 fps Capacity= 11.70 cfs Inflow= 3.78 cfs 0.337 af
Outflow= 3.71 cfs 0.336 af**Reach 5R: (new node)**Inflow= 17.75 cfs 1.840 af
Outflow= 17.75 cfs 1.840 af**Pond 1P: wetland**Peak Storage= 1,975 cf Inflow= 5.45 cfs 0.463 af
Primary= 4.42 cfs 0.459 af Outflow= 4.42 cfs 0.459 af**Runoff Area = 11.320 ac Volume = 1.851 af Average Depth = 1.96"**

96592 Pre Development

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Type III 24-hr Rainfall=4.70"

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4/14/04

Subcatchment 1: (new node)

Runoff = 3.42 cfs @ 12.26 hrs, Volume= 0.322 af

Runoff by SCS TR-20 method, UH=SCS, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

Type III 24-hr Rainfall=4.70"

Area (ac)	CN	Description
1.725	77	Woods, Good, HSG D
0.035	98	existing access rd.
1.760	77	Weighted Average

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
14.3	100	0.0600	0.1		Sheet Flow, Woods: Light underbrush n= 0.400 P2= 3.00"
2.8	170	0.0410	1.0		Shallow Concentrated Flow, Woodland Kv= 5.0 fps
1.0	290	0.0240	5.0	19.84	Channel Flow, Area= 4.0 sf Perim= 5.0' r= 0.80' n= 0.040
18.1	560	Total			

Subcatchment 1A: (new node)

Runoff = 5.45 cfs @ 12.20 hrs, Volume= 0.463 af

Runoff by SCS TR-20 method, UH=SCS, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

Type III 24-hr Rainfall=4.70"

Area (ac)	CN	Description
3.130	70	Woods, Good, HSG C
0.070	98	Paved parking & roofs
3.200	71	Weighted Average

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
7.0	100	0.0500	0.2		Sheet Flow, lawn Grass: Short n= 0.150 P2= 3.00"
3.1	200	0.0450	1.1		Shallow Concentrated Flow, woods Woodland Kv= 5.0 fps
3.2	200	0.0140	1.1	10.56	Parabolic Channel, wetland W=30.00' D=0.50' Area=10.0 sf Perim=30.0' n= 0.080
13.3	500	Total			

96592 Pre Development

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Type III 24-hr Rainfall=4.70"

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Subcatchment 2S: (new node)

Runoff = 7.39 cfs @ 12.29 hrs, Volume= 0.729 af

Runoff by SCS TR-20 method, UH=SCS, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

Type III 24-hr Rainfall=4.70"

Area (ac)	CN	Description
1.530	77	Woods, Good, HSG D
3.000	70	Woods, Good, HSG C
0.120	98	Exist Access Rd
4.650	73	Weighted Average

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
11.7	100	0.1000	0.1		Sheet Flow, Woods: Light underbrush n= 0.400 P2= 3.00"
3.9	320	0.0750	1.4		Shallow Concentrated Flow, Woodland Kv= 5.0 fps
4.4	260	0.0380	1.0		Shallow Concentrated Flow, Woodland Kv= 5.0 fps
20.0	680	Total			

Subcatchment 10A: Pre-Dev prior to 1996

Runoff = 3.78 cfs @ 12.22 hrs, Volume= 0.337 af

Runoff by SCS TR-20 method, UH=SCS, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

Type III 24-hr Rainfall=4.70"

Area (ac)	CN	Description
1.710	79	Woods, Fair, HSG D

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
14.3	100	0.0600	0.1		Sheet Flow, Woods: Light underbrush n= 0.400 P2= 3.00"
1.4	120	0.0800	1.4		Shallow Concentrated Flow, Woodland Kv= 5.0 fps
15.7	220	Total			

Reach 1R: (new node)

[79] Warning: Submerged Pond 1P Primary device # 1 INLET by 0.38'

Inflow = 7.74 cfs @ 12.29 hrs, Volume= 0.781 af
 Outflow = 7.46 cfs @ 12.41 hrs, Volume= 0.776 af, Atten= 4%, Lag= 7.5 min

96592 Pre Development

Type III 24-hr Rainfall=4.70"

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Routing by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Max. Velocity= 2.3 fps, Min. Travel Time= 4.1 min
Avg. Velocity = 1.0 fps, Avg. Travel Time= 9.8 min

Peak Depth= 0.49'
Capacity at bank full= 7.91 cfs
Inlet Invert= 66.12', Outlet Invert= 50.00'
10.00' x 0.50' deep Parabolic Channel, n= 0.050 Length= 580.0' Slope= 0.0278 '/'

Reach 2R: (new node)

[61] Hint: Submerged 2% of Reach 3R bottom

Inflow = 3.71 cfs @ 12.26 hrs, Volume= 0.336 af
Outflow = 3.64 cfs @ 12.31 hrs, Volume= 0.335 af, Atten= 2%, Lag= 3.3 min

Routing by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Max. Velocity= 3.0 fps, Min. Travel Time= 1.8 min
Avg. Velocity = 1.0 fps, Avg. Travel Time= 5.2 min

Peak Depth= 0.27'
Capacity at bank full= 37.76 cfs
Inlet Invert= 66.00', Outlet Invert= 51.00'
4.00' x 1.00' deep channel, n= 0.040 Length= 330.0' Slope= 0.0455 '/'
Side Slope Z-value= 2.0 '/'

Reach 3R: (new node)

Inflow = 3.78 cfs @ 12.22 hrs, Volume= 0.337 af
Outflow = 3.71 cfs @ 12.26 hrs, Volume= 0.336 af, Atten= 2%, Lag= 2.2 min

Routing by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Max. Velocity= 2.5 fps, Min. Travel Time= 1.1 min
Avg. Velocity = 1.0 fps, Avg. Travel Time= 2.8 min

Peak Depth= 0.30'
Capacity at bank full= 11.70 cfs
Inlet Invert= 80.90', Outlet Invert= 66.00'
10.00' x 0.50' deep Parabolic Channel, n= 0.060 Length= 170.0' Slope= 0.0876 '/'

Reach 5R: (new node)

[40] Hint: Not Described (Outflow=Inflow)

Inflow = 17.75 cfs @ 12.34 hrs, Volume= 1.840 af
Outflow = 17.75 cfs @ 12.34 hrs, Volume= 1.840 af, Atten= 0%, Lag= 0.0 min

Routing by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

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Type III 24-hr Rainfall=4.70"

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Pond 1P: wetland

Inflow = 5.45 cfs @ 12.20 hrs, Volume= 0.463 af
 Outflow = 4.42 cfs @ 12.31 hrs, Volume= 0.459 af, Atten= 19%, Lag= 6.9 min
 Primary = 4.42 cfs @ 12.31 hrs, Volume= 0.459 af

Routing by Stor-Ind method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

Peak Elev= 68.19' Storage= 1,975 cf

Plug-Flow detention time= 9.9 min calculated for 0.459 af (99% of inflow)

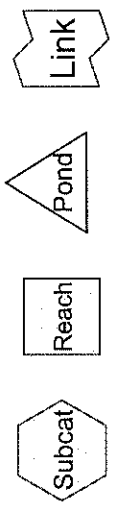
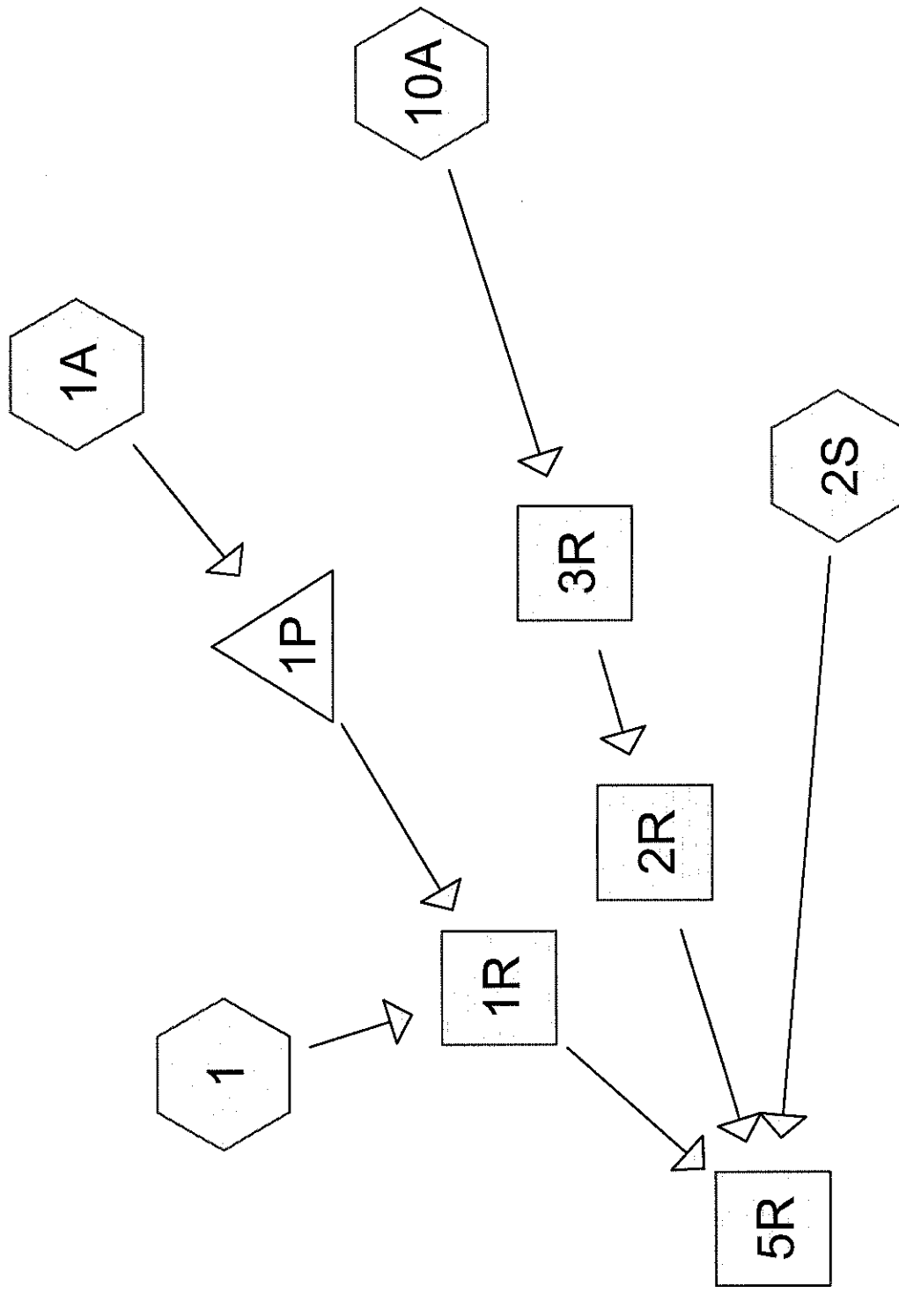
Storage and wetted areas determined by Prismatic sections

Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
66.23	0	0	0
68.00	1,618	1,432	1,432
69.00	4,017	2,818	4,249

Primary OutFlow (Free Discharge)

- 1=Culvert
- 2=Broad-Crested Rectangular Weir

#	Routing	Invert	Outlet Devices
1	Primary	66.23'	12.0" x 12.0' long Culvert Ke= 0.900 Outlet Invert= 66.12' S= 0.0092 '/' n= 0.010 Cc= 0.900
2	Primary	68.00'	4.0' long x 4.0' breadth Broad-Crested Rectangular Weir Head (feet) 0.20 0.40 0.60 0.80 1.00 1.20 1.40 1.60 1.80 2.00 2.50 3.00 3.50 4 Coef. (English) 2.38 2.54 2.69 2.68 2.67 2.67 2.65 2.66 2.66 2.66 2.68 2.72 2.73 2.7



Drainage Diagram for 96592 Pre Development
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Type III 24-hr Rainfall=5.50"

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Time span=5.00-20.00 hrs, dt=0.05 hrs, 301 points
 Runoff by SCS TR-20 method, UH=SCS, Type III 24-hr Rainfall=5.50"
 Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment 1: (new node)

Tc=18.1 min CN=77 Area=1.760 ac Runoff= 4.40 cfs 0.415 af

Subcatchment 1A: (new node)

Tc=13.3 min CN=71 Area=3.200 ac Runoff= 7.29 cfs 0.615 af

Subcatchment 2S: (new node)

Tc=20.0 min CN=73 Area=4.650 ac Runoff= 9.75 cfs 0.958 af

Subcatchment 10A: Pre-Dev prior to 1996

Tc=15.7 min CN=79 Area=1.710 ac Runoff= 4.81 cfs 0.430 af

Reach 1R: (new node)

Inflow= 10.68 cfs 1.026 af
 Length= 580.0' Max Vel= 2.5 fps Capacity= 7.91 cfs Outflow= 10.16 cfs 1.020 af

Reach 2R: (new node)

Inflow= 4.73 cfs 0.429 af
 Length= 330.0' Max Vel= 3.3 fps Capacity= 37.76 cfs Outflow= 4.64 cfs 0.428 af

Reach 3R: (new node)

Inflow= 4.81 cfs 0.430 af
 Length= 170.0' Max Vel= 2.7 fps Capacity= 11.70 cfs Outflow= 4.73 cfs 0.429 af

Reach 5R: (new node)

Inflow= 23.71 cfs 2.406 af
 Outflow= 23.71 cfs 2.406 af

Pond 1P: wetland

Peak Storage= 2,521 cf Inflow= 7.29 cfs 0.615 af
 Primary= 6.27 cfs 0.611 af Outflow= 6.27 cfs 0.611 af

Runoff Area = 11.320 ac Volume = 2.418 af Average Depth = 2.56"

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Type III 24-hr Rainfall=5.50"

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Subcatchment 1: (new node)

Runoff = 4.40 cfs @ 12.25 hrs, Volume= 0.415 af

Runoff by SCS TR-20 method, UH=SCS, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type III 24-hr Rainfall=5.50"

Area (ac)	CN	Description
1.725	77	Woods, Good, HSG D
0.035	98	existing access rd.
1.760	77	Weighted Average

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
14.3	100	0.0600	0.1		Sheet Flow, Woods: Light underbrush n= 0.400 P2= 3.00"
2.8	170	0.0410	1.0		Shallow Concentrated Flow, Woodland Kv= 5.0 fps
1.0	290	0.0240	5.0	19.84	Channel Flow, Area= 4.0 sf Perim= 5.0' r= 0.80' n= 0.040
18.1	560	Total			

Subcatchment 1A: (new node)

Runoff = 7.29 cfs @ 12.19 hrs, Volume= 0.615 af

Runoff by SCS TR-20 method, UH=SCS, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type III 24-hr Rainfall=5.50"

Area (ac)	CN	Description
3.130	70	Woods, Good, HSG C
0.070	98	Paved parking & roofs
3.200	71	Weighted Average

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
7.0	100	0.0500	0.2		Sheet Flow, lawn Grass: Short n= 0.150 P2= 3.00"
3.1	200	0.0450	1.1		Shallow Concentrated Flow, woods Woodland Kv= 5.0 fps
3.2	200	0.0140	1.1	10.56	Parabolic Channel, wetland W=30.00' D=0.50' Area=10.0 sf Perim=30.0' n= 0.080
13.3	500	Total			

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Type III 24-hr Rainfall=5.50"

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Subcatchment 2S: (new node)

Runoff = 9.75 cfs @ 12.28 hrs, Volume= 0.958 af

Runoff by SCS TR-20 method, UH=SCS, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type III 24-hr Rainfall=5.50"

Area (ac)	CN	Description
1.530	77	Woods, Good, HSG D
3.000	70	Woods, Good, HSG C
0.120	98	Exist Access Rd
4.650	73	Weighted Average

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
11.7	100	0.1000	0.1		Sheet Flow, Woods: Light underbrush n= 0.400 P2= 3.00"
3.9	320	0.0750	1.4		Shallow Concentrated Flow, Woodland Kv= 5.0 fps
4.4	260	0.0380	1.0		Shallow Concentrated Flow, Woodland Kv= 5.0 fps
20.0	680	Total			

Subcatchment 10A: Pre-Dev prior to 1996

Runoff = 4.81 cfs @ 12.22 hrs, Volume= 0.430 af

Runoff by SCS TR-20 method, UH=SCS, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type III 24-hr Rainfall=5.50"

Area (ac)	CN	Description
1.710	79	Woods, Fair, HSG D

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
14.3	100	0.0600	0.1		Sheet Flow, Woods: Light underbrush n= 0.400 P2= 3.00"
1.4	120	0.0800	1.4		Shallow Concentrated Flow, Woodland Kv= 5.0 fps
15.7	220	Total			

Reach 1R: (new node)

[91] Warning: Storage range exceeded by 0.07'

[55] Hint: Peak inflow is 135% of Manning's capacity

[79] Warning: Submerged Pond 1P Primary device # 1 INLET by 0.46'

Inflow = 10.68 cfs @ 12.27 hrs, Volume= 1.026 af
 Outflow = 10.16 cfs @ 12.39 hrs, Volume= 1.020 af, Atten= 5%, Lag= 7.1 min

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Type III 24-hr Rainfall=5.50"

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Routing by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 Max. Velocity= 2.5 fps, Min. Travel Time= 3.8 min
 Avg. Velocity = 1.0 fps, Avg. Travel Time= 9.3 min

Peak Depth= 0.57'
 Capacity at bank full= 7.91 cfs
 Inlet Invert= 66.12', Outlet Invert= 50.00'
 10.00' x 0.50' deep Parabolic Channel, n= 0.050 Length= 580.0' Slope= 0.0278 '/'

Reach 2R: (new node)

[61] Hint: Submerged 2% of Reach 3R bottom

Inflow	=	4.73 cfs @	12.25 hrs,	Volume=	0.429 af
Outflow	=	4.64 cfs @	12.30 hrs,	Volume=	0.428 af, Atten= 2%, Lag= 3.0 min

Routing by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 Max. Velocity= 3.3 fps, Min. Travel Time= 1.7 min
 Avg. Velocity = 1.1 fps, Avg. Travel Time= 4.9 min

Peak Depth= 0.31'
 Capacity at bank full= 37.76 cfs
 Inlet Invert= 66.00', Outlet Invert= 51.00'
 4.00' x 1.00' deep channel, n= 0.040 Length= 330.0' Slope= 0.0455 '/'
 Side Slope Z-value= 2.0 '/'

Reach 3R: (new node)

Inflow	=	4.81 cfs @	12.22 hrs,	Volume=	0.430 af
Outflow	=	4.73 cfs @	12.25 hrs,	Volume=	0.429 af, Atten= 2%, Lag= 2.1 min

Routing by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 Max. Velocity= 2.7 fps, Min. Travel Time= 1.1 min
 Avg. Velocity = 1.1 fps, Avg. Travel Time= 2.7 min

Peak Depth= 0.33'
 Capacity at bank full= 11.70 cfs
 Inlet Invert= 80.90', Outlet Invert= 66.00'
 10.00' x 0.50' deep Parabolic Channel, n= 0.060 Length= 170.0' Slope= 0.0876 '/'

Reach 5R: (new node)

[40] Hint: Not Described (Outflow=Inflow)

Inflow	=	23.71 cfs @	12.34 hrs,	Volume=	2.406 af
Outflow	=	23.71 cfs @	12.34 hrs,	Volume=	2.406 af, Atten= 0%, Lag= 0.0 min

Routing by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

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Type III 24-hr Rainfall=5.50"

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Pond 1P: wetland

Inflow = 7.29 cfs @ 12.19 hrs, Volume= 0.615 af
 Outflow = 6.27 cfs @ 12.28 hrs, Volume= 0.611 af, Atten= 14%, Lag= 5.3 min
 Primary = 6.27 cfs @ 12.28 hrs, Volume= 0.611 af

Routing by Stor-Ind method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

Peak Elev= 68.39' Storage= 2,521 cf

Plug-Flow detention time= 9.2 min calculated for 0.611 af (99% of inflow)

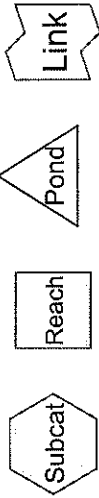
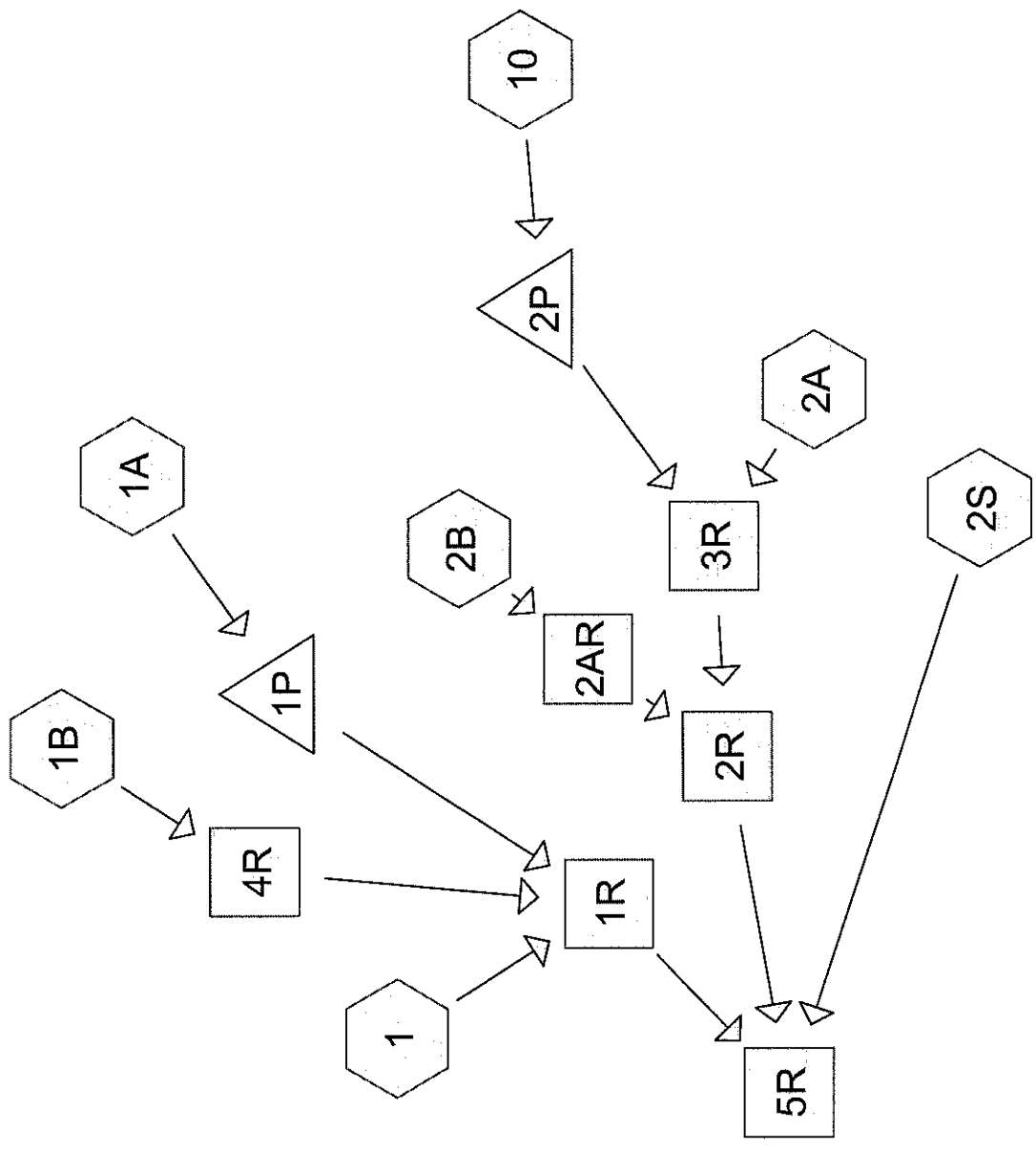
Storage and wetted areas determined by Prismatic sections

Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
66.23	0	0	0
68.00	1,618	1,432	1,432
69.00	4,017	2,818	4,249

Primary OutFlow (Free Discharge)

- 1=Culvert
- 2=Broad-Crested Rectangular Weir

#	Routing	Invert	Outlet Devices
1	Primary	66.23'	12.0" x 12.0' long Culvert Ke= 0.900 Outlet Invert= 66.12' S= 0.0092 '/' n= 0.010 Cc= 0.900
2	Primary	68.00'	4.0' long x 4.0' breadth Broad-Crested Rectangular Weir Head (feet) 0.20 0.40 0.60 0.80 1.00 1.20 1.40 1.60 1.80 2.00 2.50 3.00 3.50 4 Coef. (English) 2.38 2.54 2.69 2.68 2.67 2.67 2.65 2.66 2.66 2.68 2.72 2.73 2.7



Drainage Diagram for 96592 Post Development
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Type III 24-hr Rainfall=3.00"

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Time span=5.00-20.00 hrs, dt=0.05 hrs, 301 points
 Runoff by SCS TR-20 method, UH=SCS, Type III 24-hr Rainfall=3.00"
 Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment 1: (new node)

Tc=17.2 min CN=77 Area=1.340 ac Runoff= 1.15 cfs 0.109 af

Subcatchment 1A: (new node)

Tc=7.3 min CN=86 Area=2.020 ac Runoff= 3.72 cfs 0.261 af

Subcatchment 1B: (new node)

Tc=14.3 min CN=73 Area=0.570 ac Runoff= 0.40 cfs 0.037 af

Subcatchment 2A: Cottage & parking area

Tc=10.0 min CN=84 Area=0.700 ac Runoff= 1.07 cfs 0.082 af

Subcatchment 2B: (new node)

Tc=7.9 min CN=89 Area=1.280 ac Runoff= 2.63 cfs 0.190 af

Subcatchment 2S: (new node)

Tc=20.0 min CN=74 Area=3.690 ac Runoff= 2.45 cfs 0.252 af

Subcatchment 10: Off-site from Phase 1

Tc=12.5 min CN=82 Area=1.380 ac Runoff= 1.77 cfs 0.146 af

Reach 1R: (new node)

Inflow= 2.61 cfs 0.383 af
 Length= 455.0' Max Vel= 1.6 fps Capacity= 7.70 cfs Outflow= 2.51 cfs 0.380 af

Reach 2AR: (new node)

Inflow= 2.63 cfs 0.190 af
 Length= 320.0' Max Vel= 2.7 fps Capacity= 10.93 cfs Outflow= 2.48 cfs 0.189 af

Reach 2R: (new node)

Inflow= 4.97 cfs 0.416 af
 Length= 230.0' Max Vel= 3.2 fps Capacity= 35.03 cfs Outflow= 4.84 cfs 0.415 af

Reach 3R: From Level Spreader Outlet

Inflow= 2.69 cfs 0.227 af
 Length= 150.0' Max Vel= 1.7 fps Capacity= 7.79 cfs Outflow= 2.62 cfs 0.227 af

Reach 4R: (new node)

Inflow= 0.40 cfs 0.037 af
 Length= 12.0' Max Vel= 3.6 fps Capacity= 4.63 cfs Outflow= 0.40 cfs 0.037 af

Reach 5R: (new node)

Inflow= 9.02 cfs 1.048 af
 Outflow= 9.02 cfs 1.048 af

Pond 1P: Detention Pond

Peak Storage= 4,432 cf Inflow= 3.72 cfs 0.261 af
 Primary= 1.18 cfs 0.237 af Outflow= 1.18 cfs 0.237 af

Pond 2P: 15"culvert from Phase 1

Peak Storage= 313 cf Inflow= 1.77 cfs 0.146 af
 Primary= 1.73 cfs 0.145 af Outflow= 1.73 cfs 0.145 af

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Type III 24-hr Rainfall=3.00"

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Runoff Area = 10.980 ac Volume = 1.077 af Average Depth = 1.18"

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Type III 24-hr Rainfall=3.00"

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Subcatchment 1: (new node)

Runoff = 1.15 cfs @ 12.26 hrs, Volume= 0.109 af

Runoff by SCS TR-20 method, UH=SCS, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type III 24-hr Rainfall=3.00"

Area (ac)	CN	Description
1.340	77	Woods, Good, HSG D

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
14.3	100	0.0600	0.1		Sheet Flow, Segment A-B Woods: Light underbrush n= 0.400 P2= 3.00"
2.0	120	0.0410	1.0		Shallow Concentrated Flow, Segment B-C Woodland Kv= 5.0 fps
0.9	260	0.0240	5.0	19.84	Channel Flow, Segment C-D Area= 4.0 sf Perim= 5.0' r= 0.80' n= 0.040
17.2	480	Total			

Subcatchment 1A: (new node)

Runoff = 3.72 cfs @ 12.11 hrs, Volume= 0.261 af

Runoff by SCS TR-20 method, UH=SCS, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type III 24-hr Rainfall=3.00"

Area (ac)	CN	Description
0.240	98	parking lot
0.700	98	roof
0.060	98	walks
1.020	74	>75% Grass cover, Good, HSG C
2.020	86	Weighted Average

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
7.3	70	0.0220	0.2		Sheet Flow, Segment A-B Grass: Short n= 0.150 P2= 3.00"

Subcatchment 1B: (new node)

Runoff = 0.40 cfs @ 12.22 hrs, Volume= 0.037 af

Runoff by SCS TR-20 method, UH=SCS, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type III 24-hr Rainfall=3.00"

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Type III 24-hr Rainfall=3.00"

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Area (ac)	CN	Description
0.030	98	sidewalk
0.210	74	>75% Grass cover, Good, HSG C
0.330	70	Woods, Good, HSG C
0.570	73	Weighted Average

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
14.3	100	0.0600	0.1		Sheet Flow, Segment A-B Woods: Light underbrush n= 0.400 P2= 3.00"

Subcatchment 2A: Cottage & parking area

Runoff = 1.07 cfs @ 12.15 hrs, Volume= 0.082 af

Runoff by SCS TR-20 method, UH=SCS, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type III 24-hr Rainfall=3.00"

Area (ac)	CN	Description
0.280	98	cottage/parking
0.050	98	existing road
0.270	70	Woods, Good, HSG C
0.100	74	>75% Grass cover, Good, HSG C
0.700	84	Weighted Average

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
9.7	80	0.1000	0.1		Sheet Flow, Woods: Light underbrush n= 0.400 P2= 3.00"
0.3	80	0.0050	4.2	3.28	Circular Channel (pipe), Diam= 12.0" Area= 0.8 sf Perim= 3.1' r= 0.25' n= 0.010
10.0	160	Total			

Subcatchment 2B: (new node)

Runoff = 2.63 cfs @ 12.11 hrs, Volume= 0.190 af

Runoff by SCS TR-20 method, UH=SCS, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type III 24-hr Rainfall=3.00"

Area (ac)	CN	Description
0.420	98	parking lot
0.280	98	roof
0.060	98	sidewalk
0.035	98	existing access rd
0.485	74	>75% Grass cover, Good, HSG C
1.280	89	Weighted Average

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Type III 24-hr Rainfall=3.00"

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Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.6	70	0.0280	0.2		Sheet Flow, Segment A-B Grass: Short n= 0.150 P2= 3.00"
0.2	70	0.0600	5.0		Shallow Concentrated Flow, Segment B-C Paved Kv= 20.3 fps
1.1	280	0.0050	4.2	3.28	Circular Channel (pipe), Segment C-D Diam= 12.0" Area= 0.8 sf Perim= 3.1' r= 0.25' n= 0.010
7.9	420	Total			

Subcatchment 2S: (new node)

Runoff = 2.45 cfs @ 12.31 hrs, Volume= 0.252 af

Runoff by SCS TR-20 method, UH=SCS, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type III 24-hr Rainfall=3.00"

Area (ac)	CN	Description
1.460	77	Woods, Good, HSG D
2.070	70	Woods, Good, HSG C
0.090	98	cottages
0.070	98	Existing access Rd
3.690	74	Weighted Average

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
11.7	100	0.1000	0.1		Sheet Flow, Segment A-B Woods: Light underbrush n= 0.400 P2= 3.00"
3.9	320	0.0750	1.4		Shallow Concentrated Flow, Segment B-C Woodland Kv= 5.0 fps
4.4	260	0.0380	1.0		Shallow Concentrated Flow, Segment C-D Woodland Kv= 5.0 fps
20.0	680	Total			

Subcatchment 10: Off-site from Phase 1

Runoff = 1.77 cfs @ 12.18 hrs, Volume= 0.146 af

Runoff by SCS TR-20 method, UH=SCS, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type III 24-hr Rainfall=3.00"

Area (ac)	CN	Description
0.240	98	Impervious
1.140	79	Woods, Fair, HSG D
1.380	82	Weighted Average

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Type III 24-hr Rainfall=3.00"

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Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
2.2	40	0.1500	0.3		Sheet Flow, Grass: Short n= 0.150 P2= 3.00"
9.1	60	0.0670	0.1		Sheet Flow, Woods: Light underbrush n= 0.400 P2= 3.00"
1.2	100	0.0800	1.4		Shallow Concentrated Flow, Woodland Kv= 5.0 fps
12.5	200	Total			

Reach 1R: (new node)

Inflow = 2.61 cfs @ 12.27 hrs, Volume= 0.383 af
 Outflow = 2.51 cfs @ 12.42 hrs, Volume= 0.380 af, Atten= 4%, Lag= 9.2 min

Routing by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 Max. Velocity= 1.6 fps, Min. Travel Time= 4.6 min
 Avg. Velocity = 0.7 fps, Avg. Travel Time= 10.1 min

Peak Depth= 0.30'
 Capacity at bank full= 7.70 cfs
 Inlet Invert= 63.00', Outlet Invert= 51.00'
 10.00' x 0.50' deep Parabolic Channel, n= 0.050 Length= 455.0' Slope= 0.0264 '/'

Reach 2AR: (new node)

Inflow = 2.63 cfs @ 12.11 hrs, Volume= 0.190 af
 Outflow = 2.48 cfs @ 12.17 hrs, Volume= 0.189 af, Atten= 6%, Lag= 3.6 min

Routing by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 Max. Velocity= 2.7 fps, Min. Travel Time= 2.0 min
 Avg. Velocity = 0.8 fps, Avg. Travel Time= 6.7 min

Peak Depth= 0.21'
 Capacity at bank full= 10.93 cfs
 Inlet Invert= 74.00', Outlet Invert= 59.00'
 4.00' x 0.50' deep channel, n= 0.040 Length= 320.0' Slope= 0.0469 '/'
 Side Slope Z-value= 2.0 '/'

Reach 2R: (new node)

[61] Hint: Submerged 9% of Reach 2AR bottom
 [61] Hint: Submerged 6% of Reach 3R bottom

Inflow = 4.97 cfs @ 12.20 hrs, Volume= 0.416 af
 Outflow = 4.84 cfs @ 12.24 hrs, Volume= 0.415 af, Atten= 3%, Lag= 2.3 min

Routing by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 Max. Velocity= 3.2 fps, Min. Travel Time= 1.2 min
 Avg. Velocity = 1.0 fps, Avg. Travel Time= 3.8 min

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Type III 24-hr Rainfall=3.00"

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Peak Depth= 0.33'

Capacity at bank full= 35.03 cfs

Inlet Invert= 60.00', Outlet Invert= 51.00'

4.00' x 1.00' deep channel, n= 0.040 Length= 230.0' Slope= 0.0391 '/'

Side Slope Z-value= 2.0 '/'

Reach 3R: From Level Spreader Outlet

Inflow = 2.69 cfs @ 12.19 hrs, Volume= 0.227 af
Outflow = 2.62 cfs @ 12.23 hrs, Volume= 0.227 af, Atten= 2%, Lag= 2.8 min

Routing by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

Max. Velocity= 1.7 fps, Min. Travel Time= 1.5 min

Avg. Velocity = 0.7 fps, Avg. Travel Time= 3.7 min

Peak Depth= 0.31'

Capacity at bank full= 7.79 cfs

Inlet Invert= 65.83', Outlet Invert= 60.00'

10.00' x 0.50' deep Parabolic Channel, n= 0.060 Length= 150.0' Slope= 0.0389 '/'

Reach 4R: (new node)

[52] Hint: Inlet conditions not evaluated

[65] Warning: Inlet elevation not specified

Inflow = 0.40 cfs @ 12.22 hrs, Volume= 0.037 af
Outflow = 0.40 cfs @ 12.22 hrs, Volume= 0.037 af, Atten= 0%, Lag= 0.1 min

Routing by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

Max. Velocity= 3.6 fps, Min. Travel Time= 0.1 min

Avg. Velocity = 1.7 fps, Avg. Travel Time= 0.1 min

Peak Depth= 0.20'

Capacity at bank full= 4.63 cfs

12.0" Diameter Pipe n= 0.010 Length= 12.0' Slope= 0.0100 '/'

Reach 5R: (new node)

[40] Hint: Not Described (Outflow=Inflow)

Inflow = 9.02 cfs @ 12.29 hrs, Volume= 1.048 af
Outflow = 9.02 cfs @ 12.29 hrs, Volume= 1.048 af, Atten= 0%, Lag= 0.0 min

Routing by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

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Type III 24-hr Rainfall=3.00"

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Pond 1P: Detention Pond

Inflow = 3.72 cfs @ 12.11 hrs, Volume= 0.261 af
 Outflow = 1.18 cfs @ 12.46 hrs, Volume= 0.237 af, Atten= 68%, Lag= 21.1 min
 Primary = 1.18 cfs @ 12.46 hrs, Volume= 0.237 af

Routing by Stor-Ind method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

Peak Elev= 70.15' Storage= 4,432 cf

Plug-Flow detention time= 88.3 min calculated for 0.237 af (91% of inflow)

Storage and wetted areas determined by Prismatic sections

Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
69.50	6,066	0	0
70.00	6,657	3,181	3,181
72.00	9,630	16,287	19,468

Primary OutFlow (Free Discharge)

↑1=Culvert

#	Routing	Invert	Outlet Devices
1	Primary	69.50'	12.0" x 140.0' long Culvert Ke= 0.900 Outlet Invert= 67.54' S= 0.0140 '/' n= 0.010 Cc= 0.900

Pond 2P: 15"culvert from Phase 1

Inflow = 1.77 cfs @ 12.18 hrs, Volume= 0.146 af
 Outflow = 1.73 cfs @ 12.21 hrs, Volume= 0.145 af, Atten= 2%, Lag= 2.0 min
 Primary = 1.73 cfs @ 12.21 hrs, Volume= 0.145 af

Routing by Stor-Ind method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

Peak Elev= 82.04' Storage= 313 cf

Plug-Flow detention time= 7.3 min calculated for 0.145 af (99% of inflow)

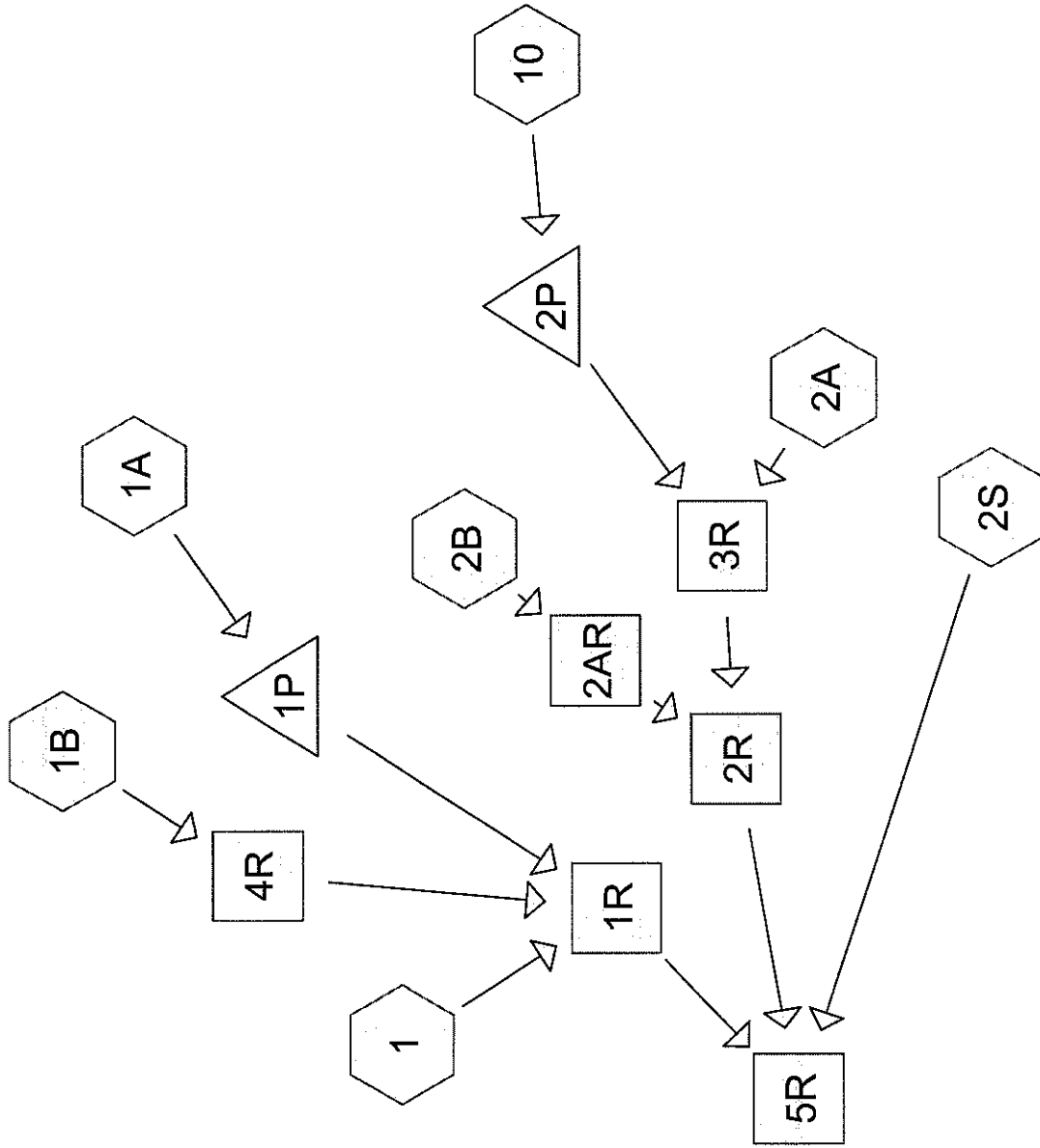
Storage and wetted areas determined by Prismatic sections

Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
81.30	50	0	0
84.00	800	1,148	1,148
86.00	2,700	3,500	4,648

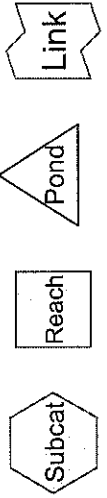
Primary OutFlow (Free Discharge)

↑1=Culvert

#	Routing	Invert	Outlet Devices
1	Primary	81.30'	15.0" x 50.0' long Culvert Ke= 0.900 Outlet Invert= 80.90' S= 0.0080 '/' n= 0.010 Cc= 0.900



Drainage Diagram for 96592 Post Development
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Type III 24-hr Rainfall=4.70"

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Time span=5.00-20.00 hrs, dt=0.05 hrs, 301 points

Runoff by SCS TR-20 method, UH=SCS, Type III 24-hr Rainfall=4.70"

Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment 1: (new node)

Tc=17.2 min CN=77 Area=1.340 ac Runoff= 2.65 cfs 0.245 af

Subcatchment 1A: (new node)

Tc=7.3 min CN=86 Area=2.020 ac Runoff= 7.05 cfs 0.504 af

Subcatchment 1B: (new node)

Tc=14.3 min CN=73 Area=0.570 ac Runoff= 1.03 cfs 0.090 af

Subcatchment 2A: Cottage & parking area

Tc=10.0 min CN=84 Area=0.700 ac Runoff= 2.11 cfs 0.164 af

Subcatchment 2B: (new node)

Tc=7.9 min CN=89 Area=1.280 ac Runoff= 4.72 cfs 0.351 af

Subcatchment 2S: (new node)

Tc=20.0 min CN=74 Area=3.690 ac Runoff= 6.11 cfs 0.602 af

Subcatchment 10: Off-site from Phase 1

Tc=12.5 min CN=82 Area=1.380 ac Runoff= 3.66 cfs 0.302 af

Reach 1R: (new node)Length= 455.0' Max Vel= 2.1 fps Capacity= 7.70 cfs Inflow= 5.82 cfs 0.809 af
Outflow= 5.67 cfs 0.805 af**Reach 2AR: (new node)**Length= 320.0' Max Vel= 3.3 fps Capacity= 10.93 cfs Inflow= 4.72 cfs 0.351 af
Outflow= 4.48 cfs 0.350 af**Reach 2R: (new node)**Length= 230.0' Max Vel= 3.9 fps Capacity= 35.03 cfs Inflow= 9.57 cfs 0.813 af
Outflow= 9.42 cfs 0.812 af**Reach 3R: From Level Spreader Outlet**Length= 150.0' Max Vel= 2.1 fps Capacity= 7.79 cfs Inflow= 5.44 cfs 0.464 af
Outflow= 5.37 cfs 0.463 af**Reach 4R: (new node)**Length= 12.0' Max Vel= 4.7 fps Capacity= 4.63 cfs Inflow= 1.03 cfs 0.090 af
Outflow= 1.03 cfs 0.090 af**Reach 5R: (new node)**Inflow= 20.07 cfs 2.219 af
Outflow= 20.07 cfs 2.219 af**Pond 1P: Detention Pond**Peak Storage= 8,040 cf Inflow= 7.05 cfs 0.504 af
Primary= 2.31 cfs 0.475 af Outflow= 2.31 cfs 0.475 af**Pond 2P: 15"culvert from Phase 1**Peak Storage= 506 cf Inflow= 3.66 cfs 0.302 af
Primary= 3.54 cfs 0.301 af Outflow= 3.54 cfs 0.301 af

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Type III 24-hr Rainfall=4.70"

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Runoff Area = 10.980 ac Volume = 2.257 af Average Depth = 2.47"

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Type III 24-hr Rainfall=4.70"

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Subcatchment 1: (new node)

Runoff = 2.65 cfs @ 12.24 hrs, Volume= 0.245 af

Runoff by SCS TR-20 method, UH=SCS, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type III 24-hr Rainfall=4.70"

Area (ac)	CN	Description
1.340	77	Woods, Good, HSG D

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
14.3	100	0.0600	0.1		Sheet Flow, Segment A-B Woods: Light underbrush n= 0.400 P2= 3.00"
2.0	120	0.0410	1.0		Shallow Concentrated Flow, Segment B-C Woodland Kv= 5.0 fps
0.9	260	0.0240	5.0	19.84	Channel Flow, Segment C-D Area= 4.0 sf Perim= 5.0' r= 0.80' n= 0.040
17.2	480	Total			

Subcatchment 1A: (new node)

Runoff = 7.05 cfs @ 12.11 hrs, Volume= 0.504 af

Runoff by SCS TR-20 method, UH=SCS, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type III 24-hr Rainfall=4.70"

Area (ac)	CN	Description
0.240	98	parking lot
0.700	98	roof
0.060	98	walks
1.020	74	>75% Grass cover, Good, HSG C
2.020	86	Weighted Average

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
7.3	70	0.0220	0.2		Sheet Flow, Segment A-B Grass: Short n= 0.150 P2= 3.00"

Subcatchment 1B: (new node)

Runoff = 1.03 cfs @ 12.21 hrs, Volume= 0.090 af

Runoff by SCS TR-20 method, UH=SCS, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type III 24-hr Rainfall=4.70"

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Type III 24-hr Rainfall=4.70"

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Area (ac)	CN	Description
0.030	98	sidewalk
0.210	74	>75% Grass cover, Good, HSG C
0.330	70	Woods, Good, HSG C
0.570	73	Weighted Average

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
14.3	100	0.0600	0.1		Sheet Flow, Segment A-B Woods: Light underbrush n= 0.400 P2= 3.00"

Subcatchment 2A: Cottage & parking area

Runoff = 2.11 cfs @ 12.14 hrs, Volume= 0.164 af

Runoff by SCS TR-20 method, UH=SCS, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type III 24-hr Rainfall=4.70"

Area (ac)	CN	Description
0.280	98	cottage/parking
0.050	98	existing road
0.270	70	Woods, Good, HSG C
0.100	74	>75% Grass cover, Good, HSG C
0.700	84	Weighted Average

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
9.7	80	0.1000	0.1		Sheet Flow, Woods: Light underbrush n= 0.400 P2= 3.00"
0.3	80	0.0050	4.2	3.28	Circular Channel (pipe), Diam= 12.0" Area= 0.8 sf Perim= 3.1' r= 0.25' n= 0.010
10.0	160	Total			

Subcatchment 2B: (new node)

Runoff = 4.72 cfs @ 12.11 hrs, Volume= 0.351 af

Runoff by SCS TR-20 method, UH=SCS, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type III 24-hr Rainfall=4.70"

Area (ac)	CN	Description
0.420	98	parking lot
0.280	98	roof
0.060	98	sidewalk
0.035	98	existing access rd
0.485	74	>75% Grass cover, Good, HSG C
1.280	89	Weighted Average

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Type III 24-hr Rainfall=4.70"

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Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.6	70	0.0280	0.2		Sheet Flow, Segment A-B Grass: Short n= 0.150 P2= 3.00"
0.2	70	0.0600	5.0		Shallow Concentrated Flow, Segment B-C Paved Kv= 20.3 fps
1.1	280	0.0050	4.2	3.28	Circular Channel (pipe), Segment C-D Diam= 12.0" Area= 0.8 sf Perim= 3.1' r= 0.25' n= 0.010
7.9	420	Total			

Subcatchment 2S: (new node)

Runoff = 6.11 cfs @ 12.29 hrs, Volume= 0.602 af

Runoff by SCS TR-20 method, UH=SCS, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type III 24-hr Rainfall=4.70"

Area (ac)	CN	Description
1.460	77	Woods, Good, HSG D
2.070	70	Woods, Good, HSG C
0.090	98	cottages
0.070	98	Existing access Rd
3.690	74	Weighted Average

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
11.7	100	0.1000	0.1		Sheet Flow, Segment A-B Woods: Light underbrush n= 0.400 P2= 3.00"
3.9	320	0.0750	1.4		Shallow Concentrated Flow, Segment B-C Woodland Kv= 5.0 fps
4.4	260	0.0380	1.0		Shallow Concentrated Flow, Segment C-D Woodland Kv= 5.0 fps
20.0	680	Total			

Subcatchment 10: Off-site from Phase 1

Runoff = 3.66 cfs @ 12.17 hrs, Volume= 0.302 af

Runoff by SCS TR-20 method, UH=SCS, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type III 24-hr Rainfall=4.70"

Area (ac)	CN	Description
0.240	98	Impervious
1.140	79	Woods, Fair, HSG D
1.380	82	Weighted Average

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Type III 24-hr Rainfall=4.70"

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Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
2.2	40	0.1500	0.3		Sheet Flow, Grass: Short n= 0.150 P2= 3.00"
9.1	60	0.0670	0.1		Sheet Flow, Woods: Light underbrush n= 0.400 P2= 3.00"
1.2	100	0.0800	1.4		Shallow Concentrated Flow, Woodland Kv= 5.0 fps
12.5	200	Total			

Reach 1R: (new node)

Inflow = 5.82 cfs @ 12.25 hrs, Volume= 0.809 af
 Outflow = 5.67 cfs @ 12.36 hrs, Volume= 0.805 af, Atten= 3%, Lag= 6.8 min

Routing by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 Max. Velocity= 2.1 fps, Min. Travel Time= 3.6 min
 Avg. Velocity = 0.9 fps, Avg. Travel Time= 8.7 min

Peak Depth= 0.43'
 Capacity at bank full= 7.70 cfs
 Inlet Invert= 63.00', Outlet Invert= 51.00'
 10.00' x 0.50' deep Parabolic Channel, n= 0.050 Length= 455.0' Slope= 0.0264 '/'

Reach 2AR: (new node)

Inflow = 4.72 cfs @ 12.11 hrs, Volume= 0.351 af
 Outflow = 4.48 cfs @ 12.16 hrs, Volume= 0.350 af, Atten= 5%, Lag= 3.0 min

Routing by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 Max. Velocity= 3.3 fps, Min. Travel Time= 1.6 min
 Avg. Velocity = 0.9 fps, Avg. Travel Time= 5.6 min

Peak Depth= 0.30'
 Capacity at bank full= 10.93 cfs
 Inlet Invert= 74.00', Outlet Invert= 59.00'
 4.00' x 0.50' deep channel, n= 0.040 Length= 320.0' Slope= 0.0469 '/'
 Side Slope Z-value= 2.0 '/'

Reach 2R: (new node)

[61] Hint: Submerged 10% of Reach 2AR bottom
 [61] Hint: Submerged 8% of Reach 3R bottom

Inflow = 9.57 cfs @ 12.19 hrs, Volume= 0.813 af
 Outflow = 9.42 cfs @ 12.22 hrs, Volume= 0.812 af, Atten= 2%, Lag= 1.7 min

Routing by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 Max. Velocity= 3.9 fps, Min. Travel Time= 1.0 min
 Avg. Velocity = 1.2 fps, Avg. Travel Time= 3.2 min

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Type III 24-hr Rainfall=4.70"

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Peak Depth= 0.49'

Capacity at bank full= 35.03 cfs

Inlet Invert= 60.00', Outlet Invert= 51.00'

4.00' x 1.00' deep channel, n= 0.040 Length= 230.0' Slope= 0.0391 '/'

Side Slope Z-value= 2.0 '/'

Reach 3R: From Level Spreader Outlet

Inflow = 5.44 cfs @ 12.18 hrs, Volume= 0.464 af

Outflow = 5.37 cfs @ 12.22 hrs, Volume= 0.463 af, Atten= 1%, Lag= 2.4 min

Routing by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

Max. Velocity= 2.1 fps, Min. Travel Time= 1.2 min

Avg. Velocity = 0.8 fps, Avg. Travel Time= 3.2 min

Peak Depth= 0.42'

Capacity at bank full= 7.79 cfs

Inlet Invert= 65.83', Outlet Invert= 60.00'

10.00' x 0.50' deep Parabolic Channel, n= 0.060 Length= 150.0' Slope= 0.0389 '/'

Reach 4R: (new node)

[52] Hint: Inlet conditions not evaluated

[65] Warning: Inlet elevation not specified

Inflow = 1.03 cfs @ 12.21 hrs, Volume= 0.090 af

Outflow = 1.03 cfs @ 12.21 hrs, Volume= 0.090 af, Atten= 0%, Lag= 0.1 min

Routing by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

Max. Velocity= 4.7 fps, Min. Travel Time= 0.0 min

Avg. Velocity = 2.1 fps, Avg. Travel Time= 0.1 min

Peak Depth= 0.32'

Capacity at bank full= 4.63 cfs

12.0" Diameter Pipe n= 0.010 Length= 12.0' Slope= 0.0100 '/'

Reach 5R: (new node)

[40] Hint: Not Described (Outflow=Inflow)

Inflow = 20.07 cfs @ 12.26 hrs, Volume= 2.219 af

Outflow = 20.07 cfs @ 12.26 hrs, Volume= 2.219 af, Atten= 0%, Lag= 0.0 min

Routing by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

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Type III 24-hr Rainfall=4.70"

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Pond 1P: Detention Pond

Inflow = 7.05 cfs @ 12.11 hrs, Volume= 0.504 af
 Outflow = 2.31 cfs @ 12.43 hrs, Volume= 0.475 af, Atten= 67%, Lag= 19.6 min
 Primary = 2.31 cfs @ 12.43 hrs, Volume= 0.475 af

Routing by Stor-Ind method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

Peak Elev= 70.60' Storage= 8,040 cf

Plug-Flow detention time= 74.5 min calculated for 0.475 af (94% of inflow)

Storage and wetted areas determined by Prismatic sections

Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
69.50	6,066	0	0
70.00	6,657	3,181	3,181
72.00	9,630	16,287	19,468

Primary OutFlow (Free Discharge)

↑1=Culvert

#	Routing	Invert	Outlet Devices
1	Primary	69.50'	12.0" x 140.0' long Culvert Ke= 0.900 Outlet Invert= 67.54' S= 0.0140 '/' n= 0.010 Cc= 0.900

Pond 2P: 15"culvert from Phase 1

Inflow = 3.66 cfs @ 12.17 hrs, Volume= 0.302 af
 Outflow = 3.54 cfs @ 12.21 hrs, Volume= 0.301 af, Atten= 3%, Lag= 2.1 min
 Primary = 3.54 cfs @ 12.21 hrs, Volume= 0.301 af

Routing by Stor-Ind method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

Peak Elev= 82.49' Storage= 506 cf

Plug-Flow detention time= 5.5 min calculated for 0.300 af (99% of inflow)

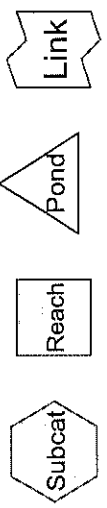
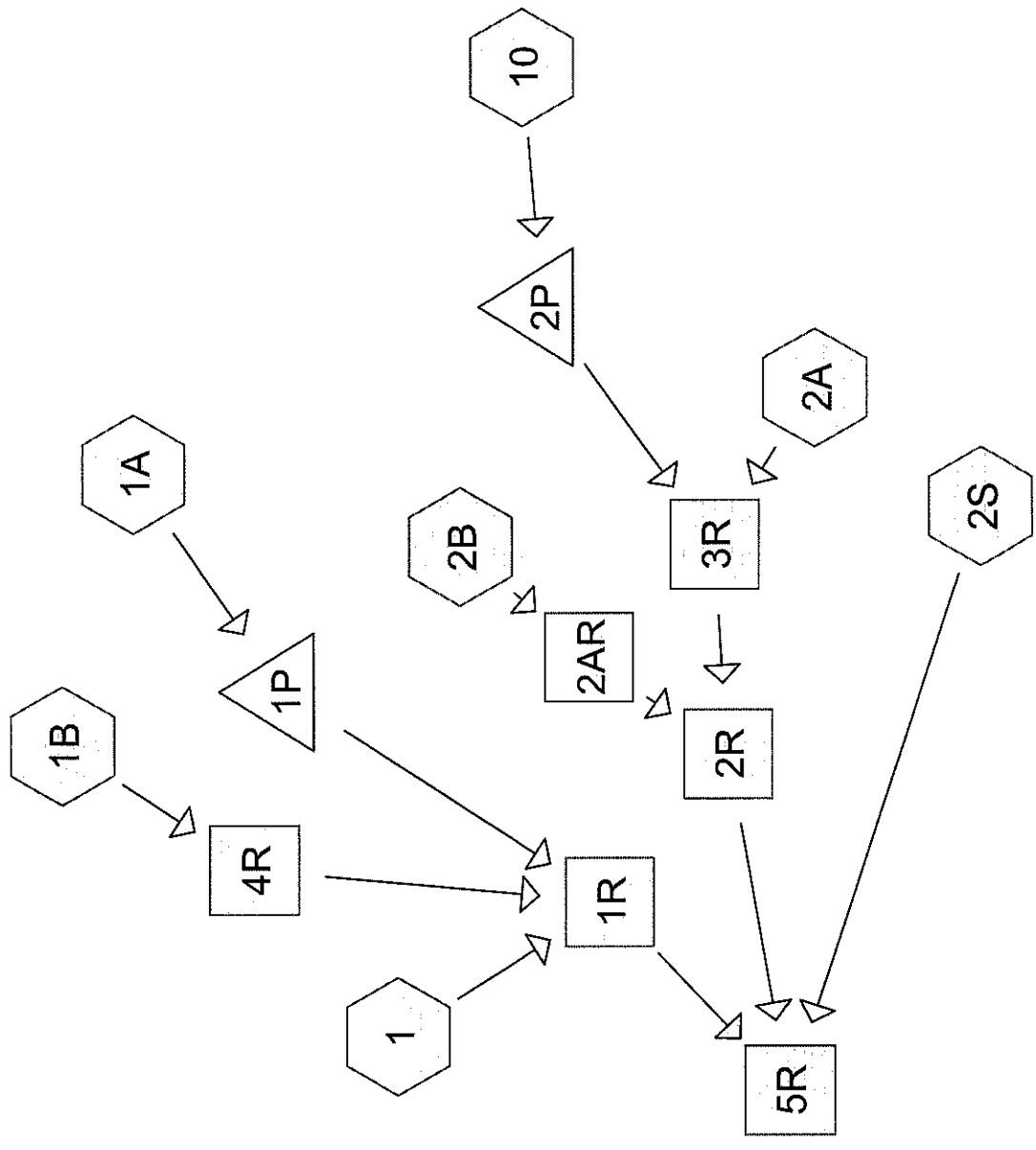
Storage and wetted areas determined by Prismatic sections

Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
81.30	50	0	0
84.00	800	1,148	1,148
86.00	2,700	3,500	4,648

Primary OutFlow (Free Discharge)

↑1=Culvert

#	Routing	Invert	Outlet Devices
1	Primary	81.30'	15.0" x 50.0' long Culvert Ke= 0.900 Outlet Invert= 80.90' S= 0.0080 '/' n= 0.010 Cc= 0.900



Drainage Diagram for 96592 Post Development
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Type III 24-hr Rainfall=5.50"

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Time span=5.00-20.00 hrs, dt=0.05 hrs, 301 points

Runoff by SCS TR-20 method, UH=SCS, Type III 24-hr Rainfall=5.50"

Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment 1: (new node)

Tc=17.2 min CN=77 Area=1.340 ac Runoff= 3.41 cfs 0.316 af

Subcatchment 1A: (new node)

Tc=7.3 min CN=86 Area=2.020 ac Runoff= 8.64 cfs 0.624 af

Subcatchment 1B: (new node)

Tc=14.3 min CN=73 Area=0.570 ac Runoff= 1.37 cfs 0.118 af

Subcatchment 2A: Cottage & parking area

Tc=10.0 min CN=84 Area=0.700 ac Runoff= 2.62 cfs 0.204 af

Subcatchment 2B: (new node)

Tc=7.9 min CN=89 Area=1.280 ac Runoff= 5.71 cfs 0.428 af

Subcatchment 2S: (new node)

Tc=20.0 min CN=74 Area=3.690 ac Runoff= 8.02 cfs 0.787 af

Subcatchment 10: Off-site from Phase 1

Tc=12.5 min CN=82 Area=1.380 ac Runoff= 4.58 cfs 0.380 af

Reach 1R: (new node)Length= 455.0' Max Vel= 2.3 fps Capacity= 7.70 cfs Inflow= 7.28 cfs 1.025 af
Outflow= 7.11 cfs 1.021 af**Reach 2AR: (new node)**Length= 320.0' Max Vel= 3.5 fps Capacity= 10.93 cfs Inflow= 5.71 cfs 0.428 af
Outflow= 5.42 cfs 0.427 af**Reach 2R: (new node)**Length= 230.0' Max Vel= 4.2 fps Capacity= 35.03 cfs Inflow= 11.66 cfs 1.009 af
Outflow= 11.51 cfs 1.008 af**Reach 3R: From Level Spreader Outlet**Length= 150.0' Max Vel= 2.2 fps Capacity= 7.79 cfs Inflow= 6.67 cfs 0.583 af
Outflow= 6.59 cfs 0.582 af**Reach 4R: (new node)**Length= 12.0' Max Vel= 5.1 fps Capacity= 4.63 cfs Inflow= 1.37 cfs 0.118 af
Outflow= 1.36 cfs 0.118 af**Reach 5R: (new node)**Inflow= 25.34 cfs 2.815 af
Outflow= 25.34 cfs 2.815 af**Pond 1P: Detention Pond**Peak Storage= 9,865 cf Inflow= 8.64 cfs 0.624 af
Primary= 2.70 cfs 0.592 af Outflow= 2.70 cfs 0.592 af**Pond 2P: 15"culvert from Phase 1**Peak Storage= 636 cf Inflow= 4.58 cfs 0.380 af
Primary= 4.36 cfs 0.379 af Outflow= 4.36 cfs 0.379 af

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Type III 24-hr Rainfall=5.50"

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Runoff Area = 10.980 ac Volume = 2.858 af Average Depth = 3.12"

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Type III 24-hr Rainfall=5.50"

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Subcatchment 1: (new node)

Runoff = 3.41 cfs @ 12.24 hrs, Volume= 0.316 af

Runoff by SCS TR-20 method, UH=SCS, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type III 24-hr Rainfall=5.50"

Area (ac)	CN	Description
1.340	77	Woods, Good, HSG D

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
14.3	100	0.0600	0.1		Sheet Flow, Segment A-B Woods: Light underbrush n= 0.400 P2= 3.00"
2.0	120	0.0410	1.0		Shallow Concentrated Flow, Segment B-C Woodland Kv= 5.0 fps
0.9	260	0.0240	5.0	19.84	Channel Flow, Segment C-D Area= 4.0 sf Perim= 5.0' r= 0.80' n= 0.040
17.2	480	Total			

Subcatchment 1A: (new node)

Runoff = 8.64 cfs @ 12.10 hrs, Volume= 0.624 af

Runoff by SCS TR-20 method, UH=SCS, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type III 24-hr Rainfall=5.50"

Area (ac)	CN	Description
0.240	98	parking lot
0.700	98	roof
0.060	98	walks
1.020	74	>75% Grass cover, Good, HSG C
2.020	86	Weighted Average

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
7.3	70	0.0220	0.2		Sheet Flow, Segment A-B Grass: Short n= 0.150 P2= 3.00"

Subcatchment 1B: (new node)

Runoff = 1.37 cfs @ 12.20 hrs, Volume= 0.118 af

Runoff by SCS TR-20 method, UH=SCS, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type III 24-hr Rainfall=5.50"

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Type III 24-hr Rainfall=5.50"

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Area (ac)	CN	Description
0.030	98	sidewalk
0.210	74	>75% Grass cover, Good, HSG C
0.330	70	Woods, Good, HSG C
0.570	73	Weighted Average

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
14.3	100	0.0600	0.1		Sheet Flow, Segment A-B Woods: Light underbrush n= 0.400 P2= 3.00"

Subcatchment 2A: Cottage & parking area

Runoff = 2.62 cfs @ 12.14 hrs, Volume= 0.204 af

Runoff by SCS TR-20 method, UH=SCS, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type III 24-hr Rainfall=5.50"

Area (ac)	CN	Description
0.280	98	cottage/parking
0.050	98	existing road
0.270	70	Woods, Good, HSG C
0.100	74	>75% Grass cover, Good, HSG C
0.700	84	Weighted Average

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
9.7	80	0.1000	0.1		Sheet Flow, Woods: Light underbrush n= 0.400 P2= 3.00"
0.3	80	0.0050	4.2	3.28	Circular Channel (pipe), Diam= 12.0" Area= 0.8 sf Perim= 3.1' r= 0.25' n= 0.010
10.0	160	Total			

Subcatchment 2B: (new node)

Runoff = 5.71 cfs @ 12.11 hrs, Volume= 0.428 af

Runoff by SCS TR-20 method, UH=SCS, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type III 24-hr Rainfall=5.50"

Area (ac)	CN	Description
0.420	98	parking lot
0.280	98	roof
0.060	98	sidewalk
0.035	98	existing access rd
0.485	74	>75% Grass cover, Good, HSG C
1.280	89	Weighted Average

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Type III 24-hr Rainfall=5.50"

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Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.6	70	0.0280	0.2		Sheet Flow, Segment A-B Grass: Short n= 0.150 P2= 3.00"
0.2	70	0.0600	5.0		Shallow Concentrated Flow, Segment B-C Paved Kv= 20.3 fps
1.1	280	0.0050	4.2	3.28	Circular Channel (pipe), Segment C-D Diam= 12.0" Area= 0.8 sf Perim= 3.1' r= 0.25' n= 0.010
7.9	420	Total			

Subcatchment 2S: (new node)

Runoff = 8.02 cfs @ 12.28 hrs, Volume= 0.787 af

Runoff by SCS TR-20 method, UH=SCS, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type III 24-hr Rainfall=5.50"

Area (ac)	CN	Description
1.460	77	Woods, Good, HSG D
2.070	70	Woods, Good, HSG C
0.090	98	cottages
0.070	98	Existing access Rd
3.690	74	Weighted Average

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
11.7	100	0.1000	0.1		Sheet Flow, Segment A-B Woods: Light underbrush n= 0.400 P2= 3.00"
3.9	320	0.0750	1.4		Shallow Concentrated Flow, Segment B-C Woodland Kv= 5.0 fps
4.4	260	0.0380	1.0		Shallow Concentrated Flow, Segment C-D Woodland Kv= 5.0 fps
20.0	680	Total			

Subcatchment 10: Off-site from Phase 1

Runoff = 4.58 cfs @ 12.17 hrs, Volume= 0.380 af

Runoff by SCS TR-20 method, UH=SCS, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type III 24-hr Rainfall=5.50"

Area (ac)	CN	Description
0.240	98	Impervious
1.140	79	Woods, Fair, HSG D
1.380	82	Weighted Average

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Type III 24-hr Rainfall=5.50"

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Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
2.2	40	0.1500	0.3		Sheet Flow, Grass: Short n= 0.150 P2= 3.00"
9.1	60	0.0670	0.1		Sheet Flow, Woods: Light underbrush n= 0.400 P2= 3.00"
1.2	100	0.0800	1.4		Shallow Concentrated Flow, Woodland Kv= 5.0 fps
12.5	200	Total			

Reach 1R: (new node)

Inflow = 7.28 cfs @ 12.24 hrs, Volume= 1.025 af
 Outflow = 7.11 cfs @ 12.34 hrs, Volume= 1.021 af, Atten= 2%, Lag= 6.2 min

Routing by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 Max. Velocity= 2.3 fps, Min. Travel Time= 3.4 min
 Avg. Velocity = 0.9 fps, Avg. Travel Time= 8.2 min

Peak Depth= 0.48'
 Capacity at bank full= 7.70 cfs
 Inlet Invert= 63.00', Outlet Invert= 51.00'
 10.00' x 0.50' deep Parabolic Channel, n= 0.050 Length= 455.0' Slope= 0.0264 '/'

Reach 2AR: (new node)

[82] Warning: Early inflow requires earlier time span

Inflow = 5.71 cfs @ 12.11 hrs, Volume= 0.428 af
 Outflow = 5.42 cfs @ 12.16 hrs, Volume= 0.427 af, Atten= 5%, Lag= 2.8 min

Routing by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 Max. Velocity= 3.5 fps, Min. Travel Time= 1.5 min
 Avg. Velocity = 1.0 fps, Avg. Travel Time= 5.1 min

Peak Depth= 0.34'
 Capacity at bank full= 10.93 cfs
 Inlet Invert= 74.00', Outlet Invert= 59.00'
 4.00' x 0.50' deep channel, n= 0.040 Length= 320.0' Slope= 0.0469 '/'
 Side Slope Z-value= 2.0 '/'

Reach 2R: (new node)

[61] Hint: Submerged 10% of Reach 2AR bottom

[61] Hint: Submerged 9% of Reach 3R bottom

Inflow = 11.66 cfs @ 12.18 hrs, Volume= 1.009 af
 Outflow = 11.51 cfs @ 12.21 hrs, Volume= 1.008 af, Atten= 1%, Lag= 1.7 min

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Type III 24-hr Rainfall=5.50"

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Routing by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 Max. Velocity= 4.2 fps, Min. Travel Time= 0.9 min
 Avg. Velocity = 1.3 fps, Avg. Travel Time= 2.9 min

Peak Depth= 0.55'
 Capacity at bank full= 35.03 cfs
 Inlet Invert= 60.00', Outlet Invert= 51.00'
 4.00' x 1.00' deep channel, n= 0.040 Length= 230.0' Slope= 0.0391 '/'
 Side Slope Z-value= 2.0 '/'

Reach 3R: From Level Spreader Outlet

Inflow = 6.67 cfs @ 12.18 hrs, Volume= 0.583 af
 Outflow = 6.59 cfs @ 12.21 hrs, Volume= 0.582 af, Atten= 1%, Lag= 2.1 min

Routing by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 Max. Velocity= 2.2 fps, Min. Travel Time= 1.1 min
 Avg. Velocity = 0.8 fps, Avg. Travel Time= 3.1 min

Peak Depth= 0.47'
 Capacity at bank full= 7.79 cfs
 Inlet Invert= 65.83', Outlet Invert= 60.00'
 10.00' x 0.50' deep Parabolic Channel, n= 0.060 Length= 150.0' Slope= 0.0389 '/'

Reach 4R: (new node)

[52] Hint: Inlet conditions not evaluated
 [65] Warning: Inlet elevation not specified

Inflow = 1.37 cfs @ 12.20 hrs, Volume= 0.118 af
 Outflow = 1.36 cfs @ 12.20 hrs, Volume= 0.118 af, Atten= 0%, Lag= 0.1 min

Routing by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 Max. Velocity= 5.1 fps, Min. Travel Time= 0.0 min
 Avg. Velocity = 2.2 fps, Avg. Travel Time= 0.1 min

Peak Depth= 0.37'
 Capacity at bank full= 4.63 cfs
 12.0" Diameter Pipe n= 0.010 Length= 12.0' Slope= 0.0100 '/'

Reach 5R: (new node)

[40] Hint: Not Described (Outflow=Inflow)

Inflow = 25.34 cfs @ 12.26 hrs, Volume= 2.815 af
 Outflow = 25.34 cfs @ 12.26 hrs, Volume= 2.815 af, Atten= 0%, Lag= 0.0 min

Routing by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

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Type III 24-hr Rainfall=5.50"

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4/14/04

Pond 1P: Detention Pond

Inflow = 8.64 cfs @ 12.10 hrs, Volume= 0.624 af
 Outflow = 2.70 cfs @ 12.44 hrs, Volume= 0.592 af, Atten= 69%, Lag= 20.2 min
 Primary = 2.70 cfs @ 12.44 hrs, Volume= 0.592 af

Routing by Stor-Ind method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

Peak Elev= 70.82' Storage= 9,865 cf
 Plug-Flow detention time= 71.9 min calculated for 0.590 af (94% of inflow)
 Storage and wetted areas determined by Prismatic sections

Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
69.50	6,066	0	0
70.00	6,657	3,181	3,181
72.00	9,630	16,287	19,468

Primary OutFlow (Free Discharge)

↑1=Culvert

#	Routing	Invert	Outlet Devices
1	Primary	69.50'	12.0" x 140.0' long Culvert Ke= 0.900 Outlet Invert= 67.54' S= 0.0140 '/' n= 0.010 Cc= 0.900

Pond 2P: 15"culvert from Phase 1

Inflow = 4.58 cfs @ 12.17 hrs, Volume= 0.380 af
 Outflow = 4.36 cfs @ 12.21 hrs, Volume= 0.379 af, Atten= 5%, Lag= 2.6 min
 Primary = 4.36 cfs @ 12.21 hrs, Volume= 0.379 af

Routing by Stor-Ind method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

Peak Elev= 82.80' Storage= 636 cf
 Plug-Flow detention time= 5.1 min calculated for 0.379 af (100% of inflow)
 Storage and wetted areas determined by Prismatic sections

Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
81.30	50	0	0
84.00	800	1,148	1,148
86.00	2,700	3,500	4,648

Primary OutFlow (Free Discharge)

↑1=Culvert

#	Routing	Invert	Outlet Devices
1	Primary	81.30'	15.0" x 50.0' long Culvert Ke= 0.900 Outlet Invert= 80.90' S= 0.0080 '/' n= 0.010 Cc= 0.900



**Permit Application
Tier 1 Natural Resources Protection Act
to
Maine Department of
Environmental Protection**

for

Portland Assisted Living Facility
Canco Road
Portland, Maine

on behalf of

XL Management Company, LLC/
Holiday Retirement Corp.
2601 25th Street, SE, Suite 310
Salem, Oregon 97302

March 2004

APPLICATION FOR A NATURAL RESOURCES PROTECTION ACT PERMIT

→ PLEASE TYPE OR PRINT IN **BLACK INK ONLY**

→ SEE DETACHABLE INSTRUCTIONS

1. Name of Applicant:	XL Management Company, LLC/ Holiday Retirement, Corp. Attn: Michael Fuller	4. Name of Agent: (if applicable)	Owens A. McCullough, P.E. Sebago Technics, Inc.
2. Applicant's Mailing Address:	2601 - 25 th St. SE, Suite 300 Salem, Oregon 97302	5. Agent's Mailing Address:	P.O. Box 1339 Westbrook, Maine 04098-1339
3. Applicant's Daytime Phone #:	1-503-399-1090	6. Agent's Daytime Phone #:	1-207-856-0277
7. Location of Project: (Nearest Road, Street, Rt.#)	257 Canco Road	8. Town:	Portland
		9. County:	Cumberland
10. Type of Resource: (Check all that apply)	<input type="checkbox"/> River, stream or brook <input type="checkbox"/> Great Pond <input type="checkbox"/> Coastal Wetland <input checked="" type="checkbox"/> Freshwater Wetland <input type="checkbox"/> Wetland Special Significance <input type="checkbox"/> Significant Wildlife Habitat <input type="checkbox"/> Fragile Mountain	11. Name of Resource:	Not Named
		12. Amount of Impact (Sq.Ft.):	Fill: 14,564 s.f. Dredging/Veg Removal/Other: S.f - utility crossing for sewer 300 s.f.
13. Type of Wetland: (Check all that apply)	<input checked="" type="checkbox"/> Forested <input type="checkbox"/> Scrub Shrub <input type="checkbox"/> Emergent <input type="checkbox"/> Wet Meadow <input type="checkbox"/> Peatland <input type="checkbox"/> Open Water <input type="checkbox"/> Other _____	FOR FRESHWATER WETLANDS/ NOT OF SPECIAL SIGNIFICANCE ONLY:	
		Tier 1	Tier 2/3
		<input type="checkbox"/> 0 - 4,999 sq. ft. <input type="checkbox"/> 5,000 - 9,999 sq. ft. <input checked="" type="checkbox"/> 10,000 - 14,999 sq. ft.	<input type="checkbox"/> 15,000 - 19,999 sq. ft. <input type="checkbox"/> 20,000 - 43,560 sq. ft. <input type="checkbox"/> > 43,560 sq. ft.
14. Brief Project Description:	80 - Unit assisted living facility with four cottage suites to be constructed as part of an existing retirement residence.		
15. Size of Lot or Parcel:	<input type="checkbox"/> square feet, or <input checked="" type="checkbox"/> acres 20.97		
16. Title, Right or Interest:	<input checked="" type="checkbox"/> own <input type="checkbox"/> lease <input type="checkbox"/> purchase option <input type="checkbox"/> written agreement		
17. Deed Reference Numbers:	Book#:13465 Pg:161-165	18. Map and Lot Numbers:	Map#149,160 Lot# B-1 & E-1
19. DEP Staff Previously Contacted:		20. Part of a larger project:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No After-the-Fact: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
21. Resubmission of Application?	<input type="checkbox"/> Yes → <input type="checkbox"/> No	If yes, previous application #:	Previous project manager:
22. Written Notice of Violation?	<input type="checkbox"/> Yes → <input type="checkbox"/> No	If yes, name of DEP enforcement staff involved:	23. Previous Wetland Alteration: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
24. Detailed Directions to the Project Site:	From the intersection of Washington Avenue and Canco Road, proceed south approximately ¼ miles. Site is on the east side of Canco Road across the MDEP Portland office. Enter site through access road for the "Woods at Canco Rd." Development area is located at the rear of the existing facility.		
25. TIER 1	TIER 2/3 AND INDIVIDUAL PERMITS		
<input checked="" type="checkbox"/> Fee <input checked="" type="checkbox"/> Topographic Map <input checked="" type="checkbox"/> Plan or Drawing (8 1/2" x 11") <input checked="" type="checkbox"/> Photos of Area <input checked="" type="checkbox"/> Statement of Avoidance & Minimization <input checked="" type="checkbox"/> Statement/Copy of cover letter to Maine Historic Preservation Commission	<input type="checkbox"/> Fee <input type="checkbox"/> Topographic Map <input type="checkbox"/> Photos of Area <input type="checkbox"/> Plan or Drawing (8 1/2" x 11") <input type="checkbox"/> Copy of Public Notice <input type="checkbox"/> Professional Certification/Delineation <input type="checkbox"/> Erosion Control Plan <input type="checkbox"/> Alternatives Analysis, if required <input type="checkbox"/> Description of Avoidance/Minimization <input type="checkbox"/> Compensation Plan (if required) <input type="checkbox"/> Description of Previously Mined Peatland (if required) <input type="checkbox"/> Statement/Copy of cover letter to Maine Historic Preservation Commission <input type="checkbox"/> Construction Plan, if required		
26. FEES, Amount Enclosed:	\$150.00		

FOR DEP USE	L- _____	ATs# _____	Total FEES _____	CK# _____	Date Rec'd _____
FOR CORPS USE	App#: _____	Office Code: _____	Date Rec'd: _____	Date Completed: _____	

SIGNATURE PAGE

By signing below the applicant (or authorized agent), certifies that he or she has:

- Completed all of the public notice requirements listed on the next page of this application.
- Read and understood the following:

PRIVACY ACT STATEMENT

Authority: 33 USC 401, Section 10; 1413, Section 404. Principal Purpose: These laws require permits authorizing activities in, or affecting navigable waters of the United States, the discharge of dredged or fill material into waters of the United States, and the transportation of dredged material for the purpose of dumping it into ocean waters. Routine Uses: Information provided on this form will be used in evaluating the application for a permit. Disclosure: Disclosure of requested information is voluntary. If information is not provided, however, the permit application can not be processed nor can a permit be issued.

CORPS SIGNATORY REQUIREMENT

USC Section 1001 provides that: Whoever, in any manner within the jurisdiction of any department or agency of the United States knowingly and willfully falsifies, conceals, or covers up any trick, scheme, or disguises a material fact or makes any false, fictitious or fraudulent statements or representations or makes or uses any false writing or document knowing same to contain any false, fictitious or fraudulent statements or entry shall be fined not more than \$10,000 or imprisoned not more than five years or both. I authorize the Corps to enter the property that is the subject of this application, at reasonable hours, including buildings, structures or conveyances on the property, to determine the accuracy of any information provided herein.

DEP SIGNATORY REQUIREMENT

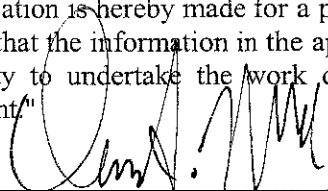
"I certify under penalty of law that I have personally examined the information submitted in this document and all attachments thereto and that, based on my inquiry of those individuals immediately responsible for obtaining the information, I believe the information is true, accurate, and complete. I authorize the Department to enter the property that is the subject of this application, at reasonable hours, including buildings, structures or conveyances on the property, to determine the accuracy of any information provided herein. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment."

"I hereby authorize the person named below to act in my behalf as my agent in the processing of this application and to furnish, upon request, supplemental information in support of this permit application."

Refer To agent authorization Letter
SIGNATURE OF APPLICANT, *if agent involved*

DATE

"Application is hereby made for a permit or permits to authorize the work described in this application. I certify that the information in the application is complete and accurate. I further certify that I possess the authority to undertake the work described herein or am acting as the duly authorized agent of the applicant."


SIGNATURE OF AGENT/APPLICANT

DATE 3/09/14

NOTE: Any changes in activity plans must be submitted to the DEP and the Corps in writing and must be approved by both agencies prior to implementation. Failure to do so may result in enforcement action and/or the removal of the activity changes.

Colson & Colson

CONSTRUCTION CO.

March 2, 2004

Maine Department of Environmental Protection
Southern Maine Regional Office
312 Canco Road
Portland, Maine 04103


Letter of Agent Authorization - Portland Assisted Living Facility, Canco Road, Portland, Maine

Dear MDEP Representative:

XL Management Company, LLC/Colson & Colson Construction Co., as applicant for the MDEP - NRPA permit application for the above named project, hereby authorizes Sebago Technics, Inc., One Chahot Street, Westbrook, Maine 04098, to act as our agent in preparing and submitting the NRPA application for this project.

Sincerely,

COLSON & COLSON CONSTRUCTION CO.



William E. Colson
Managing General Partner

INFORMATION CONCERNING THE FILING OF PUBLIC NOTICE

The Department of Environmental Protection requires that an applicant provide public notice in which he/she describes the activity and where it is located. Three notices all using the same form (see Notice of Intent to File) are required. The notice requirements are as follows:

1. Newspaper

You must publish the Notice of Intent to File in a newspaper circulated in the area where the activity is located. The notice must appear in the newspaper within 30 days prior to your filing the application with this Department.

2. Abutting Property Owners

You must send a copy of the Notice of Intent to File by certified mail to the owners of the property abutting the activity. Their names and addresses can be obtained from the town tax maps or local officials. They must receive notice within 30 days prior to your filing the application with this

In addition, Maine Public Law 761, enacted in 2000, requires that a public notice must be sent to the local water company, municipality, or water district if your activity is in the watershed of a public water supply.

List below the names and addresses of the owners of abutting property (attach an additional sheet if necessary)

NAME	ADDRESS
(Refer to Attached List of Abutters)	

3. Municipal Office

You must send a copy of the Notice of Intent to File and a **duplicate of the entire application** to the Municipal Office.

4. Water Company/District

If the river, stream, or brook is used by a water company, municipality, or water district as a source of water supply, you must also, at the time of filing the application, forward a copy of the application to the water company, municipality, or water district by certified mail.

NOTE: *The applicant shall use the Notice of Intent to File form on the next page or one containing identical information to notify abutters, municipal officials, and local newspapers.*

**PUBLIC NOTICE:
NOTICE OF INTENT TO FILE**

Please take notice that

XL Management Company, LLC/Holiday Retirement Corp., 2601 25th Street, SE, Suite 310, Salem, Oregon 97302, Tel. 1-503-399-1090

is intending to file a Natural Resources Protection Act permit application with the Maine Department of Environmental Protection pursuant to the provisions of 38 M.R.S.A. §§ 480-A through 480-Z on or about March 9, 2004

(anticipated filing date)

The application is for

A MDEP NRPA Tier 1 wetlands alteration permit application associated with site improvements for Phase II construction of an 80 suite Assisted Living Facility and 4 cottage units at the Woods and Canco Road.

at the following location:

257 Canco Road. Project site is Phase II of an Assisted Living Facility located at the Woods at Canco Road in Portland, Maine.

A request for a public hearing or a request that the Board of Environmental assume jurisdiction over this application must be received by the Department, in writing, no later than 20 days after the application is found by the Department to be complete and is accepted for processing. A public hearing may or may not be held at the discretion of the Commissioner or Board of Environmental Protection. Public comment on the application will be accepted throughout the processing of the application.

For Federally licensed, permitted, or funded activities in the Coastal Zone, review of this application shall also constitute the State's consistency review in accordance with the Maine Coastal Program pursuant to Section 307 of the federal Coastal Zone Management Act, 16 U.S.C. §1456. (Delete if not applicable.)

The application will be filed for public inspection at the Department of Environmental Protection's office in (Portland, Augusta or Bangor)(circle one) during normal working hours. A copy of the application may also be seen at the municipal offices in

Portland, Maine.

(town)

Written public comments may be sent to the Department of Environmental Protection, Bureau of Land and Water Quality, 17 State House Station, Augusta, Maine 04333-0017.

List of Abutters

Name and Address
Anthony J. & Diva Aceto 32 Kineo Street Portland, ME 04103
Beth Barbour 87 Torrey Street Portland, ME 04103
Paul F. & Michelle M. Birkel 104 Murray Street Portland, ME 04103
Charles W. & Donna J. Boyce 150 Murray Street Portland, ME 04103
Tanya K. Cadger John J. Thompson 135 Murray Street Portland, ME 04103
Lorraine Laforgia & Bruce R. Canterbury 138 Murray Street Portland, ME 04103
Barbara L. Carter 9 Frye Street Portland, ME 04103
Andrew J. Cloutier 176 Murray Street Portland, ME 04103
Jonathan F. Cook 10 Frye Street Portland, ME 04103
John R. Rose M. Cyr 55 Murray Street Portland, ME 04103
Joan B. Della Torre Lynne M. St. Peter 121 Murray Street Portland, ME 04103
Harold & Patricia V. Erickson, Sr. 92 Murray Street Portland, ME 04103

Name and Address
First Baptist Church in Portland, Maine 360 Canco Road Portland, ME 04103
Jacques J. & Doreen M. Goudreau 182 Murray Street Portland, ME 04103
Steven B. & Brenda L. Grindle 115 Murray Street Portland, ME 04103
Priscilla B. & Thomas Hennessey 83 Murray Street Portland, ME 04103
Darryl J. & Nancy J. Johnson 126 Murray Street Portland, ME 04103
Terri L. & David E. Jones 63 Murray Street Portland, ME 04103
Richard W. Leighton 146 Murray Street Portland, ME 04103
Arlene P. Lerch 131 Murray Street Portland, ME 04103
Stephen M. Lowell 125 Murray Street Portland, ME 04103
Scott F. & Shannon L. Lyons 141 Murray Street Portland, ME 04103
Carol A. MacVane 95 Murray Street Portland, ME 04103
Thomas E. Maiorano 89 Murray Street Portland, ME 04103
John F. & Mary C. McKenney 86 Murray Street Portland, ME 04103
Jacqueline Menchen 64 Murray Street Portland, ME 04103

Name and Address
Portland Congregation of Jehovah's Witnesses c/o C. Barnes 355 Canco Road Portland, ME 04103
Portland Retirement Residence Limited Liability Company 2250 McGilchrist St., SE, Suite 200 Salem, OR 97302
Liza M. Schiltz 167 Murray Street Portland, ME 04103
Adelberth H. & Janet D. Stinson 109 Murray Street Portland, ME 04103
Keith W. & Doreen A. Tompkins 151 Murray Street Portland, ME 04103
James A. & Jan E. Trott 166 Murray Street Portland, ME 04103
Jennifer A. Powers & Chad P. Turgeon 101 Murray Street Portland, ME 04103
Union Water Power Company 526 Western Avenue Augusta, ME 04330
Paul Voisine 147 Murray Street Portland, ME 04103
Marie B. Wilson 118 Murray Street Portland, ME 04103
Lawrence J. Youngless 181 Murray Street Portland, ME 04103
Edward Kearney Deering Highlands Neighborhood Assoc. 67 Highland Street Portland, ME 04103
Linda Kokemuller Department of Environmental Protection 312 Canco Road Portland, ME 04103

Block 16

Title, Right or Interest Documentation

BK13465PG161

071383

QUITCLAIM DEED
WITH COVENANT
(Maine Statutory Short Form)

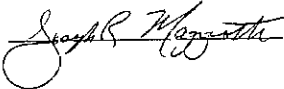
MAINE REAL ESTATE TAX PAID

KNOW ALL PERSONS BY THESE PRESENTS that BLACK BEAR DEVELOPMENT, INC., a corporation duly organized and existing under the laws of the State of Maine with a place of business at 30 LedgeWood Drive, Falmouth, Maine 04105, GRANTS with Quitclaim Covenants to:


PORTLAND RETIREMENT RESIDENCE LIMITED LIABILITY COMPANY, an Oregon limited liability company with a principal place of business located at 2250 McGilchrist Street, S.E., Suite 200, Salem, OR 97302

A certain lot or parcel of land situated in the City of Portland, County of Cumberland and State of Maine, more particularly described in Exhibit A attached hereto and made a part hereof.

IN WITNESS WHEREOF, BLACK BEAR DEVELOPMENT, INC. has caused this instrument to be signed this 26 day of November, 1997 by its President, Timothy P. O'Donovan, duly authorized.



BLACK BEAR DEVELOPMENT, INC.

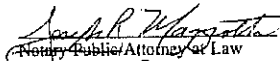
By: 
Timothy P. O'Donovan
Its President

STATE OF MAINE
CUMBERLAND, ss.

November 26, 1997

Personally appeared the above-named Timothy P. O'Donovan, President of Black Bear Development, Inc. and acknowledged the foregoing instrument to be his free act and deed in his said capacity and the free act and deed of the corporation.

Before me,


Joseph R. Mazziotto
Notary Public/Attorney at Law

BK 13465PG 162 ✓

EXHIBIT A

217-283 Canco Road
Portland, Maine

Parcel One

A certain lot or parcel of land situated on Murray Street in the City of Portland, Cumberland County, Maine, bounded and described as follows:

Being lots 414 and 415 on the Plan of Forest Hills Extension, revised September 1923 by E. N. Sheffield and recorded in said Registry in Plan Book 15, Page 41.

Also being that parcel marked "Peter Coyne, 4422/145" on Murray Street on the "Plan of Land on Murray Street for Housing Resources Corp." by Owen Haskell, Inc. dated March 25, 1986, and recorded in the Cumberland County Registry of Deeds in Plan Book 159, Pages 66 and 67.

Parcel Two

Also conveying a second certain parcel of land situated on Rosedale Street in the City of Portland, Cumberland County, Maine, bounded and described as follows:

Being lots 258 through 284 on the Plan of Forest Hills Extension, revised September 1923 by E. N. Sheffield and recorded in said Registry in Plan Book 15, Page 41.

Parcel Three

Also conveying a third certain parcel of land, being the fee interest in Dudley Street abutting lots 212 through 218 inclusive on the Plan of Forest Hills, revised July 1923 by E. N. Sheffield, and recorded in the Cumberland County Registry of Deeds in Plan Book 15, Page 34, and more particularly bounded and described as follows:

BEGINNING at a point on the westerly side of Dudley Street marked by a 1 1/4" iron pipe at an easterly corner of land conveyed by Lyndal J. Wishcamper to Regis Associates by deed dated June 24, 1987 and recorded in said Registry in Book 7843, Page 254;

Thence N 40° 51' 25" W along the westerly side of Dudley Street 210.00 feet, more or less, to a point;

Thence N 49° 08' 35" E across said Dudley Street and along said land of Regis Associates 50.00 feet to a corner in said land of Regis Associates;

BK13465PG163

Thence S 40° 51' 25" E along the easterly side of Dudley Street 210.00 feet, more or less, to a point;

Thence S 49° 08' 35" W across said Dudley Street 50.00 feet to the point of beginning.

Reference is made to the "Plan of land on Murray Street for Housing Resources Corp." by Owen Haskell, Inc., dated March 25, 1986, and recorded in the Cumberland County Registry of Deeds in Plan Book 159, Pages 66 and 67, from which the above three descriptions are derived.

Parcel Four

Also a certain parcel of land situated on Murray Street, Rosedale Street, Lee Street, Dudley Street, and Frye Street in the City of Portland, County of Cumberland and State of Maine, bounded and described as follows:

BEGINNING at the northerly terminus of the northeasterly sideline of Murray Street at the land of the City of Portland (see Book 1459, Page 2 and 3), which point is located S 49° 28' 50" W a distance of 104.80 feet from a 5/8" iron rod found;

Thence, S 49° 28' 50" W across the northerly terminus of Murray Street and by the land of the City of Portland 113.25 feet;

Thence, N 49° 23' 20" W by the land of the City of Portland 115.89 feet;

Thence, S 40° 43' 25" W by the land of the City of Portland 173.25 feet;

Thence, S 41° 43' 45" W by the land of the City of Portland 672.56 feet to the land of Central Maine Power Company ("CMP") (Book 3595, Page 312);

Thence, S 41° 45' 25" E by the land of CMP 110.39 feet to a 5/8" iron rod set;

Thence, S 39° 48' 20" E by a stone wall and by the land of CMP 225.17 feet;

Thence, S 41° 44' 00" E by a stone wall and by the land of CMP and by land of Doris C. Carney (Book 1336, Page 370) 417.31 feet to a drill hole set in the stone wall;

Thence, S 41° 29' 50" E by a stone wall and by the land of Doris C. Carney 155.32 feet to the land of Donald E. and Marcia E. Grant (Book 3086, Page 562, Book 6319, Page 274);

Thence, N 48° 49' 20" E by the land of Grant and across Frye Street 169.81 feet to the northeasterly side of Frye Street;

BK13465PG164

Thence, S 41° 10' 40" E by Frye Street 45.00 feet to an angle point in Frye Street and the land of Robert P. and Sharon K. Gieringer (Book 4574, Page 28);

Thence, N 48° 49' 20" E by the land of Gieringer 119.95 feet to the land of Anthony J. Acato (Book 4255, Page 8);

Thence, N 44° 02' 15" W by the land of Acato 3.30 feet to a 1 1/4" iron pipe found;

Thence N 49° 08' 35" E by the land of Acato 100.16 feet to a 1 1/4" iron pipe found at the southeasterly sideline of Dudley Street;

Thence, N 40° 51' 25" W by Dudley Street 150.00 feet to the land of Philip R. Powers (Book 1223, Page 264);

Thence, S 49° 08' 35" W by the land of Powers 102.15 feet to a stone wall;

Thence, N 41° 03' 35" W by a stone wall and the land of Powers 60.00 feet;

Thence, N 49° 08' 35" E by the land of Powers and across Dudley Street 152.36 feet to the northeasterly sideline of Dudley Street;

Thence, S 40° 51' 25" E by Dudley Street 340.76 feet to the northwesterly sideline of Lee Street;

Thence N 49° 08' 35" E by Lee Street 200.00 feet to the southwesterly sideline of Rosedale Street;

Thence, N 40° 51' 25" W by Rosedale Street 810.00 feet;

Thence, N 49° 08' 35" E across Rosedale Street and by the land of Peter Coyne (Book 4422, Page 145) 161.92 feet to the land of Jacques J. and Doreen M. Gaudreau;

Thence, N 40° 57' 50" W by the land of Gaudreau 30.00 feet;

Thence, N 49° 08' 35" E by the land of Gaudreau 111.86 feet to the southwesterly sideline of Murray Street;

Thence, N 41° 04' 10" W by Murray Street 30.00 feet to the land of Peter Coyne (Book 4422, Page 145) and Robert C. Hains (Book 6438, Page 231 and Book 6440, Page 123);

Thence, S 49° 08' 35" W by the land of Coyne and Hains 111.81 feet;

Thence, N 40° 57' 50" W by the land of Coyne and Hains 60.00 feet;

Thence, N 49° 08' 35" E by the land of Coyne and Hains 111.70 feet to the southwesterly sideline of Murray Street;

Thence, N 41° 04' 10" W by Murray Street 13.56 feet;

BK 13465 PG 165

Thence, N 48° 55' 50" E across Murray Street and by land of Victor O Stacy, Sr. (Book 3191, Page 537) 153.34 feet to the land of East Deering Housing Associates (Book 6948, Page 101);

Thence, N 40° 31' 10" W by the land of East Deering Housing Associates 151.05' to a 5/8" iron rod found at the land of the City of Portland (Book 1459, Page 243);

Thence, S 49° 28' 50" W by the land of the City of Portland 104.80 feet to the point of beginning.

Said parcel contains 766,056 square feet and is shown on "Plan of Land on Murray Street, Portland, Maine for Housing Resources Corporation, by Owen Haskell, Inc., March 25, 1986", recorded in the Cumberland County Registry of Deeds in Plan Book 159, Page 66.

RECEIVED
CUMBERLAND COUNTY REGISTRY OF DEEDS

1997 NOV 26 PM 3: 32

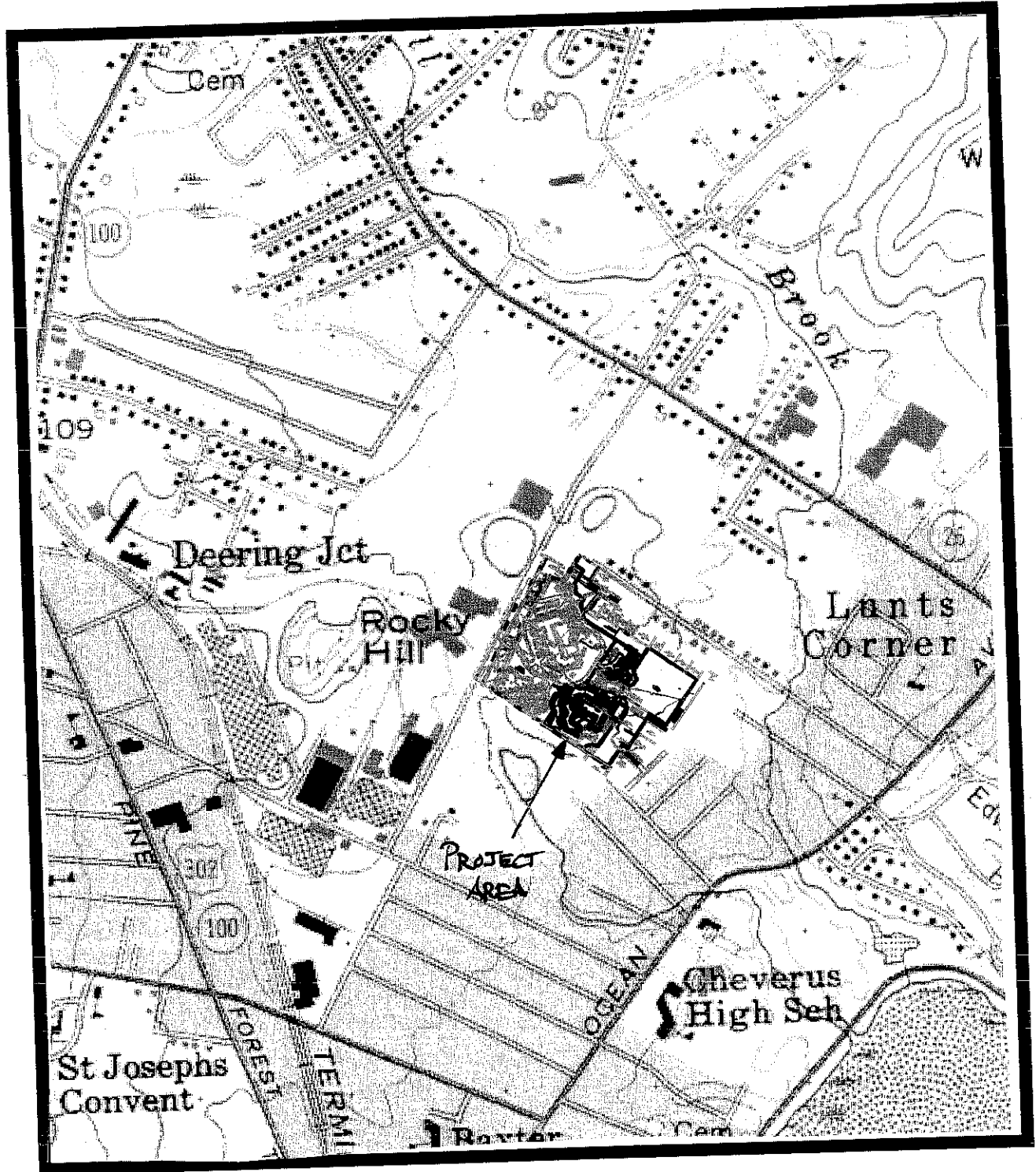
CUMBERLAND COUNTY

John B. O'Brien

Block 25 – Tier 1

USGS Topographic Map

FIGURE 1

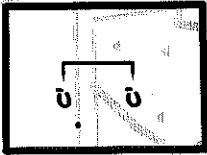


SITE LOCATION MAP
PORTLAND ASSISTED LIVING FACILITY
CANCO ROAD
PORTLAND, MAINE
SCALE 1" = 1000'

Block 25 – Tier 1

Project Plans

PLAN VIEW C



CANGO ROAD

OVERVIEW PLAN
SCALE: 1" = 160'

MURRAY STREET

PLAN VIEW A

PLAN VIEW B

MURRAY STREET

FRYE STREET

DUDLEY STREET

LEE STREET



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Tel (207) 856-0277

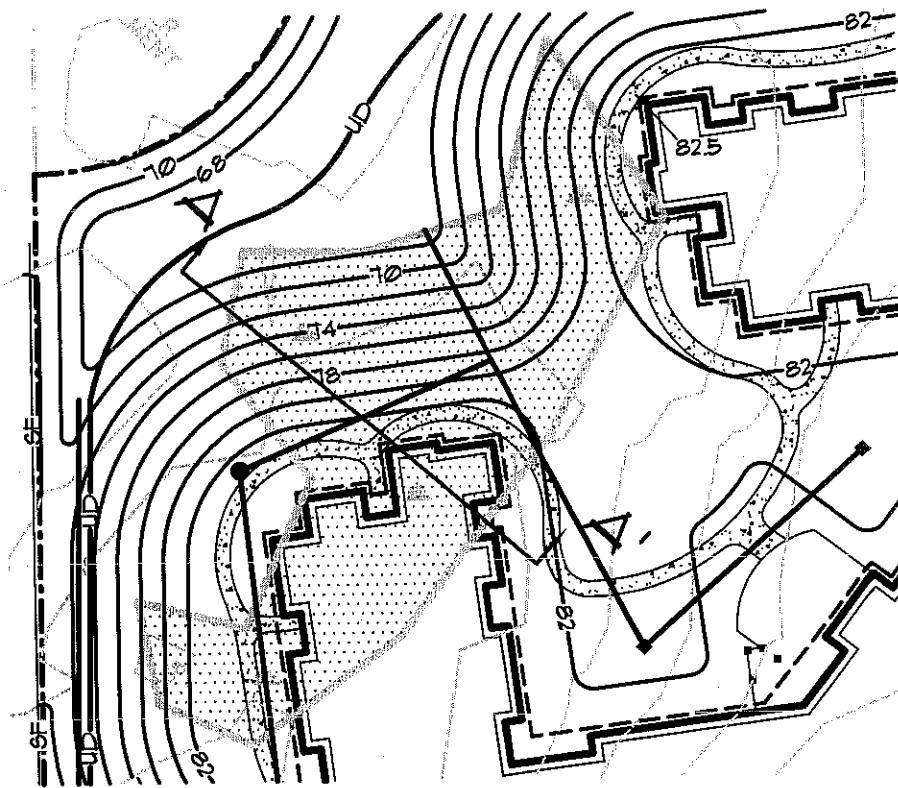


PORTLAND ASSISTED LIVING FACILITY-PHASE II WETLAND CROSSING OVERVIEW

LOCATION:
CANGO ROAD
PORTLAND, MAINE

FOR: XL MGMT. CO., LLC &
HOLIDAY RETIREMENT CORP.

SCALE: AS SHOWN
DATE: 02-27-04
SHEET:
1 OF 4

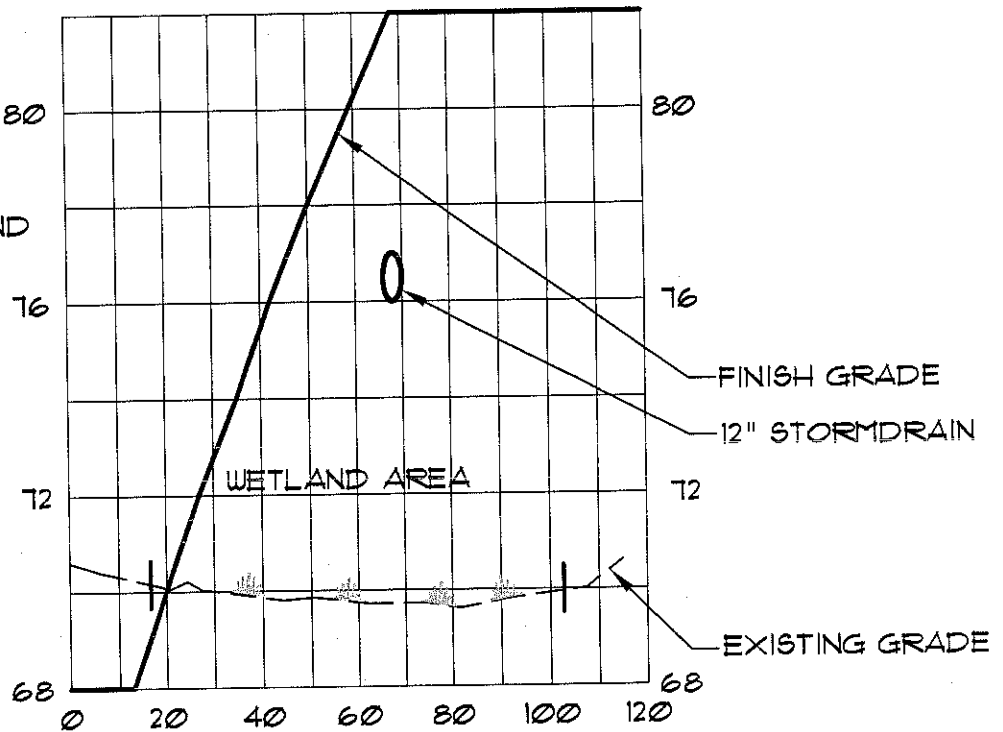


AREA OF WETLAND ALTERATION = 9,934 SF.

PLAN VIEW A
SCALE: 1"=50'

LEGEND

-  WETLANDS
-  EDGE WETLAND
-  WETLAND ALTERATION



CROSS SECTION A-A'

SCALE: HORIZ. 1"=40'
VERT. 1"=4'

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Westbrook, Me 04098-1339
Tel (207) 856-0277



PORTLAND ASSISTED LIVING FACILITY-PHASE II
WETLAND CROSSING 'A'

LOCATION:
CANCO ROAD
PORTLAND, MAINE

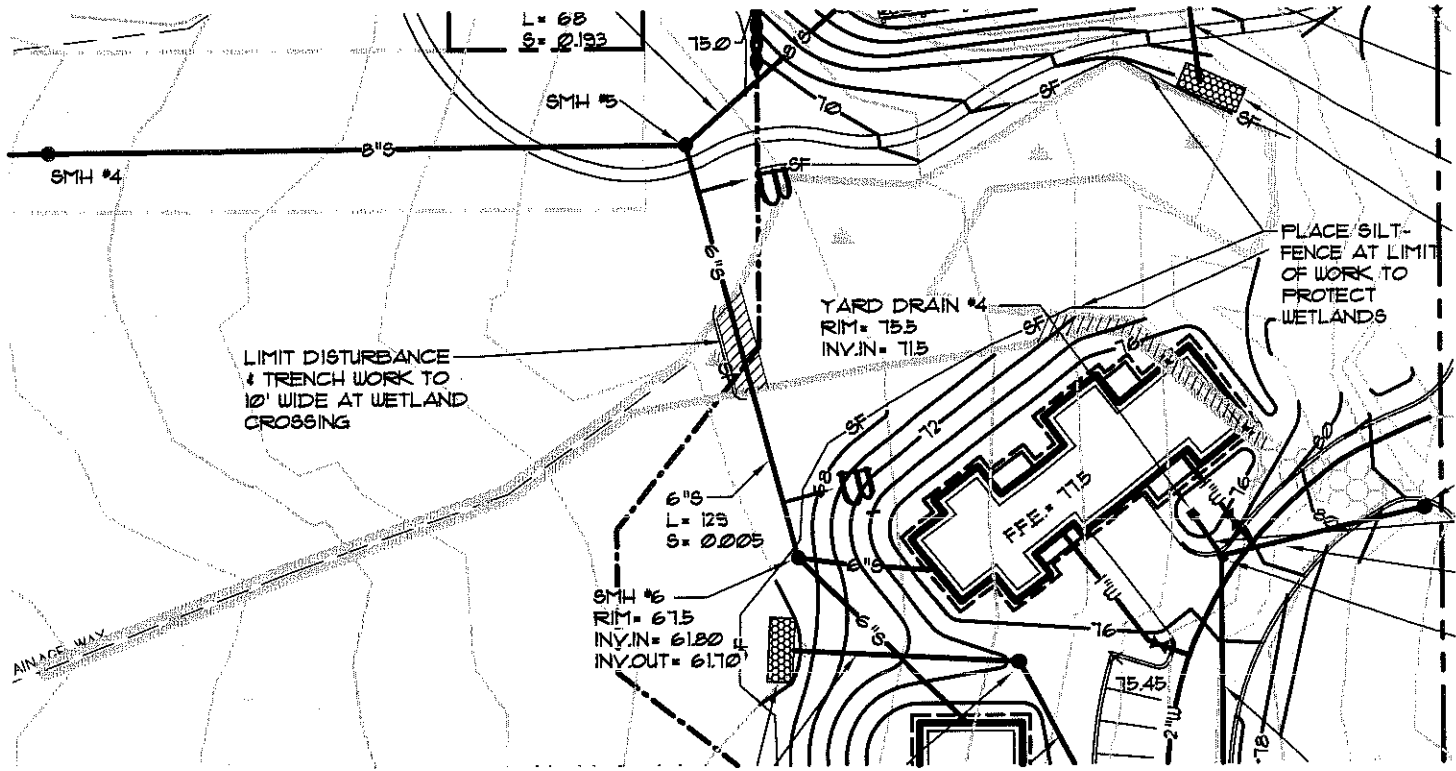
FOR: XL MGMT. CO., LLC &
HOLIDAY RETIREMENT CORP.

SCALE: AS SHOWN

DATE: 02-27-04

SHEET:

2 OF 4

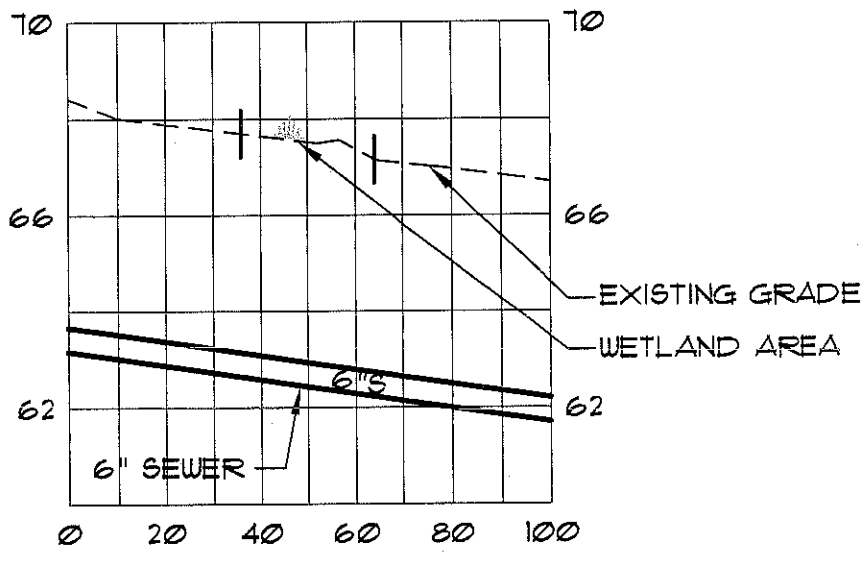


AREA OF WETLAND ALTERATION = 430 SF.

PLAN VIEW B
SCALE: 1"=60'

LEGEND

-  WETLANDS
-  EDGE WETLAND
-  WETLAND ALTERATION



CROSS SECTION B-B'
SCALE: HORIZ. 1"=40'
VERT. 1"=4'

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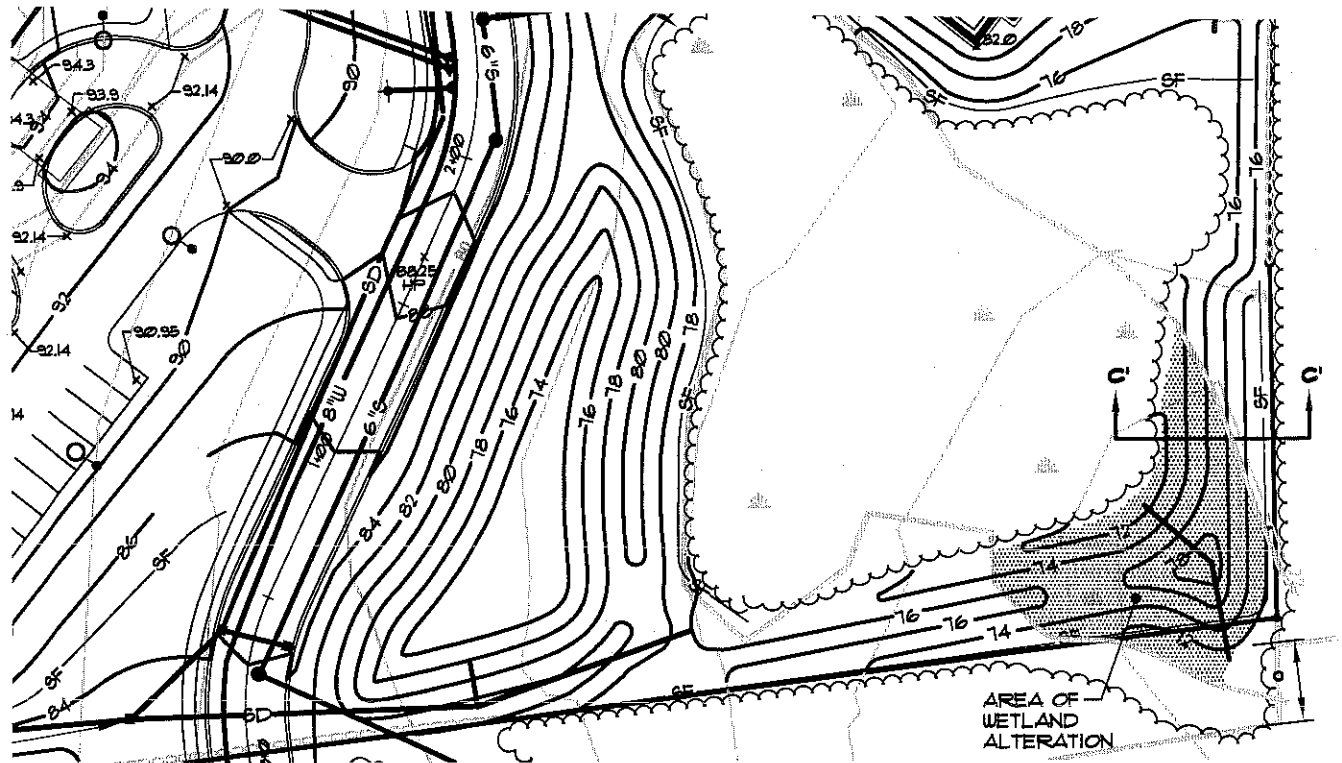


PORTLAND ASSISTED LIVING FACILITY-PHASE II
WETLAND CROSSING 'B'

LOCATION:
CANCO ROAD
PORTLAND, MAINE

FOR: XL MGMT. CO., LLC &
HOLIDAY RETIREMENT CORP.

SCALE: AS SHOWN
DATE: 02-27-04
SHEET:
3 OF 4

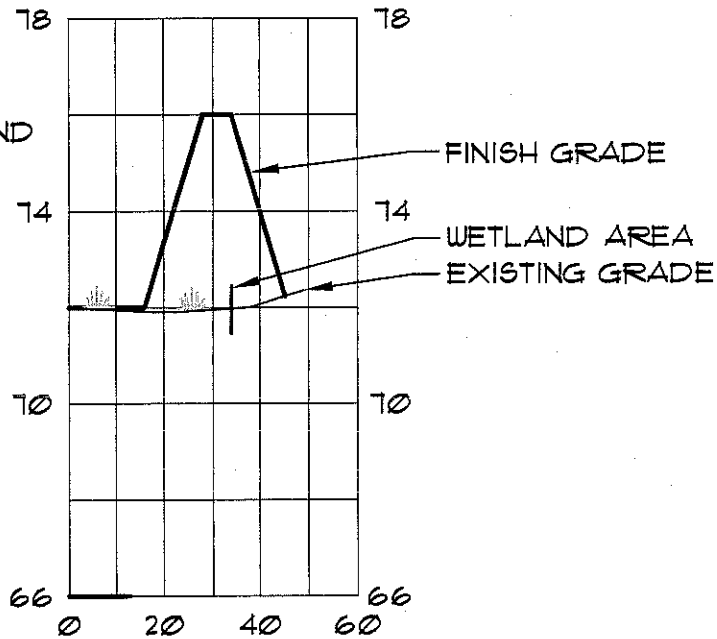


AREA OF WETLAND ALTERATION = 4,200 S.F.

PLAN VIEW C
SCALE: 1" = 60'

LEGEND

-  WETLANDS
-  EDGE WETLAND
-  WETLAND ALTERATION



CROSS SECTION C-C''
SCALE: HORIZ. 1" = 40'
VERT. 1" = 4'

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PORTLAND ASSISTED LIVING FACILITY-PHASE 1
WETLAND CROSSING 'C'

LOCATION:
CANCO ROAD
PORTLAND, MAINE

FOR: XL MGMT. CO., LLC &
HOLIDAY RETIREMENT CORP.

SCALE: AS SHOWN

DATE: 03-08-04

SHEET:
4 OF 4

Block 25 – Tier 1

Photographs



Wetland Area "B" looking westerly toward the existing Retirement Residence



Wetland area "B" looking northwesterly



Wetland area "A" looking southeasterly



Wetland area "A" looking south

Block 25 – Tier 1

Avoidance and Minimization

- **Project Narrative**
- **Wetlands Narrative**
- **Medium Intensity Soils Map**

Attachment to Tier 1 Application
for
NRPA Permit
Block 25 – Statement of Avoidance and Minimization

Project Purpose and Existing Site Conditions

XL Management Company, LLC/Holiday Retirement Corp. is proposing to develop an 80 suite assisted living facility with four cottage suites on the Phase 2 portion of the existing Woods at Canco Road Retirement Residence. Phase 2 development will include building and site improvements to facilitate the 80 suite assisted living facility and four cottage units. Associated site improvements will include parking, access drives and utilities. This portion of the development is compact in design and represents full build-out as allowed by the City of Portland's Contract Zoning for this parcel of land. This property is bordered by the existing retirement facility adjacent to Canco Road, residential development to the north, undeveloped property owned by Central Maine Power Company to the south, and a large natural open space area that has been zoned by the City of Portland as recreational open space.

The first phase of this project was completed in the late 1990s and was part of a site specific Contract Zone approved by the City Council and Planning Board. As part of the City's Contract Zone approval, a significant portion of the property was designated as recreational open space and cannot be developed. The area is intended as a natural vegetative buffer and retained open space.

The applicants have successfully marketed and developed several senior housing developments across the United States and began to look into the Portland, Maine market in the mid-1990s. The development program for senior housing is very specific in nature and has special building layout and construction requirements. This is for obvious reasons given the age of the residents within assisted living facilities. This includes the need for one finish floor elevation and access to specialized services to assist the residents in their daily routines. In particular is the need to recognize the limitations and special needs of the older residents who may have restricted mobility. As a result, the facilities are designed to be user friendly and have a level floor plan providing ease of access to all specialized care and assisted living activities for the residents. The selected site in Portland for the Phase 1 and Phase 2 development required a land area of approximately 20 acres. After a significant search involving several brokers and coordination with City Councilors/Planning staff, the Canco Road site was determined to be the most responsive to development needs. In addition, market research by the applicant in the mid-1990s identified the need for assisted living facilities to accommodate the aging population. The occupancy rate of the current facility attests to the market need since the facility is at full capacity with a waiting list to provide additional living area for elderly citizens. In this regard, the applicants would like to move forward with the Phase 2 development of the project to meet the facility needs. Attached to this narrative is a facility description provided by Curry Brandaw Architects who provides the architectural design services for these projects.

The project area is located in a forested area east of Phase 1 and is approximately 9.7 acres in size. Of the 9.7 acres, approximately half is dedicated as buffer and recreational open space. The topography on the site is moderate with a surface gradient ranging from 3% to 11%. Soils information obtained from the Cumberland County Medium Intensity Soil Survey suggests the predominate site soils are Hollis very rocky fine sandy loam and Scantic silt loam. Geotechnical investigations, combined with results of construction from Phase 1, indicate shallow to bedrock conditions. Wetland delineation was completed by Gary M. Fullerton, CSS, LSE of Sebago Technics, Inc. in October of 2003 in accordance with the 1987 U. S. Army Corps of Engineers Wetlands Delineation Manual. A wetlands narrative is appended to this application and describes the findings of his wetlands investigation. Two wetlands were identified on the project site in the Phase 2 development area. The larger of the two wetlands is a depressional wetland that appears to have shallow to bedrock soils resulting in a perched watertable. The smaller wetland appears to also be a depressional wetland and may, in part, have been created by surface drainage from the Phase 1 development. In both cases, healthy Red Oak trees which are generally not found in wetland environments were observed.

As part of the Phase 1 development, a wetland was identified near the northwest corner of the site. A small portion of this wetland was impacted (less than 4,300 square feet) during the Phase 1 development of the project, which did not require a permit application. This wetland is also a depressional forested wetland that appears to trap surface drainage during storm events. The following is a summary of the total wetlands impact for the project, including the Phase 1 portion:

<u>Phase 1 Development</u>	4,200 square feet
<u>Phase 2 Development</u>	
• Wetland Area A	9,934 square feet
• Wetland Area B	<u>730 square feet</u>
<u>Total Cumulative Wetland Impact</u>	14,864 square feet

The applicants are currently going through the site plan review process with the City of Portland. In addition, since the cumulative project (Phase 1 and Phase 2) exceeds three acres of non-revegetative surface, it is also going through a Site Location of Development review process by the City of Portland. We understand that the City of Portland has delegated review authority for these types of projects.

Avoidance and Minimization

The proposed Portland Assisted Living Facility will be situated on the 9.7 acre parcel of land that is encumbered by approximately five acres of land owned by the City of Portland as recreational open space. As a result, the development area is restricted to the parcel of land that is rectangular in configuration located adjacent to the existing retirement facility. Two isolated wetlands were identified and delineated within the development area. The first wetland area is strictly a depressional wetland with shallow to bedrock soil conditions. This wetland is forested and dominated by Aspen, Pine and Red Oak. The second wetland area is linear in shape and appears to be part of a drainage swale that has formed at the exit of a culvert associated with the first phase of the project.

The physical characteristics of the property (i.e., topography, wetlands orientation and property configuration) define the design parameters for project development. The proposed building program is specific to the intended use (assisted living) and requires a relatively level area to establish a uniform finish floor elevation for the slab-on-grade of the main building. This is necessary to provide a floor plan and functional design suitable for the elderly nature of the residents of the facility. The configuration of the building went through several alterations to develop a compact design that is both functional and consistent with the needs and services of an elderly housing facility. Site topography in the development area will require moderate cuts and fills to accommodate a uniform finish floor elevation. The finish floor elevation was based upon site grades necessary to provide safe access to the development area. The result is a finish floor elevation and grading activities around the building that will require alteration of the isolated wetland to accommodate a uniform finish floor elevation and grading around the building. A stormwater detention pond is proposed adjacent to the wetlands alteration since this is the collection point for surface drainage.

The second wetland area located between the proposed 80 unit assisted living facility and the cottage units will remain predominately undisturbed. The only impact to this wetland will be a small finger that appears to have been created from surface drainage and culvert outlet, along with a small utility crossing for a sanitary sewer. The remainder of the wetland will remain undisturbed.

In conjunction with this project, a site specific erosion and sedimentation control plan will be implemented to protect the adjacent areas and wetland areas to remain undisturbed. The results are a significant buffer area downgradient of the wetlands that has been zoned as open space and will remain undisturbed.

The applicants have strived to develop a site plan that is compact in nature and yet meets the functional requirements for an elderly housing facility. The result is an unavoidable wetland alteration associated with two small isolated wetlands. As part of the development, a stormwater collection and treatment system will be implemented to remove at least 50% of the total suspended solids before discharging into the downgradient buffer area. As indicated in the wetlands narrative prepared by Gary M. Fullerton, the wetland areas have a small contributing watershed, are isolated, and have limited function. As a result, we believe that the stormwater system to be installed as part of this project that includes treatment will more than offset the limited functions and values of the isolated wetlands that will be impacted.

OAM:jc

96592

WETLANDS NARRATIVE

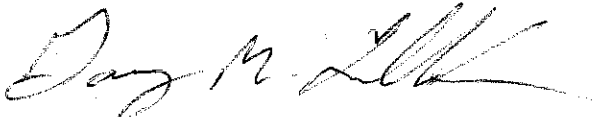
CLIENT: Portland Retirement Residence, LLC
PROJECT: 257 Canco Road, Portland
WETLAND DELINEATOR: Gary M. Fullerton
DATE: February 23, 2004

The project is located at 257 Canco Road in Portland. The current development consists of Phase I of the Portland Retirement Residence, a residential condominium complex. A wetland delineation was performed by Sebago Technics, Inc. in October, 2003 in accordance with the 1987 U.S. Army Corps of Engineers Wetlands Delineation Manual. These wetlands were marked with pink flagging and located by ground survey. These wetlands would be considered forested wetlands (PFO) and formed in low topographical areas. Wetland 'A' receives stormwater via a culvert discharging from the existing Phase I development. Wetland 'B' is strictly a depression with shallow to bedrock soils. During heavy storms, this wetland fills and drains through a small culvert under the walking trail in the eastern portion of the wetland. Both wetlands drain in a westerly direction via channelized and sheet flows over the shallow to bedrock soils.

Wetland 'A' is dominated by *Acer rubrum* (Red Maple), *Quercus rubra* (Red Oak), and *Pinus strobus* (White Pine) trees and saplings; and *Onoclea sensibilis* (Sensitive Fern), *Spiraea latifolia* (Meadowsweet), and *Typha latifolia* (Broad-leaf Cattail) herbs and shrubs. Wetland 'B' is dominated by *Populus tremuloides* (Quaking Aspen) and *Pinus strobus* trees and saplings; and *Onoclea sensibilis* and *Spiraea latifolia* herbs and shrubs. Both of these wetlands do have large, healthy Red Oak trees which are generally not found in wetland environments. This is probably a result of drought conditions during the summer. The wetlands are seasonally saturated and function as temporary stormwater detention and some sediment, toxicant, and nutrient removal due to the existing development. These wetlands have small watershed and, therefore, these functions are limited.

Prepared by:

SEBAGO TECHNICS, INC.



Gary M. Fullerton, CSS, LSE

GMF:gmf/jc



Curry Brandaw Architects

PARTNERSHIP

Portland Assisted Living Facility Portland, Maine Site Plan Approval Application

I. PROPOSAL

XL Management Company, L.L.C./Holiday Retirement Corp. proposes to develop an 80-suite assisted living facility with four cottage suites on the Phase II portion of the Woods at Canco Retirement Residence site along Canco Road.

II. REQUEST

The request is to obtain a Site Plan approval to allow the assisted living project to be developed on the site, which is zoned R-5A Residential.

III. OVERVIEW

Existing Zoning: R-5A
Land Area: 5.0 acres
Existing Use: Undeveloped Land
Proposed Use: 80-suite Assisted Living Facility
Proposed Parking: 48 total spaces consisting of 46 open, 2 handicap accessible

IV. CONCEPT

The Assisted Living Facility is an 80-suite facility for seniors who do not require the specialized services of a nursing home, yet are in need of some assistance with their daily routine. Services and activities at the facility are provided to maintain or improve the capabilities of each resident, with an emphasis on abilities rather than disabilities.

Services include three prepared meals daily, housekeeping, laundering, and private bus transportation. The monthly rent payment covers the private room, the afore-mentioned services and utilities. In addition to these services, a Service Plan detailing the services a resident requests or requires is determined. These services include assistance with medications, bathing, grooming, dressing and other areas of need. These services are offered 24 hours a day.

Private rooms afford the advantages of independent living while the services included provide support, security and friendship. The private suites include

studio, one and two bedroom versions. Each is similar to a dwelling unit except a kitchen is not included.

Typically our resident will be a single person in their late 70's or 80's. Approximately 10% of the rooms will be rented by couples making a total building population of 95. Fewer than 5% of the residents will be driving their own cars.

The site is ideally suited for our senior housing use. The site is in close proximity to services such as shopping, recreation and medical needs while still being part of an established residential area.

This proposal would offer several benefits to the area, which include:

- Large open spaces and generous setbacks. Over 60% of the site will be landscaped open space providing large open spaces and ample setbacks to create a park-like setting, and help buffer neighboring properties.
- Quiet Senior Residential Use - The proposed assisted living facility has 80 suites and four cottage units, which include studios, one bedroom, and two bedroom types. The suites do not have kitchens and are not considered full dwelling units. They are different from conventional senior apartment units with full kitchens, in that the density effect would be negligible. In addition, only about 10 percent of the suites will be occupied by couples, keeping the overall building population low. This project will not create the problems typically associated with higher density developments, such as traffic, noise or increased demand on public services.
- Low Traffic Generation - Residents, since they are in need of assistance, will seldom drive. We expect less than two trips per day per suite for visitor and staff purposes, but without the peak hour trip generation. This is based on the Institute of Transportation Engineers report and is far below equivalent trips per unit for a multi-family project.
- Increases Local Tax Base - This project is privately funded with no publicly funded assistance.
- Low Impact on Public Services - Including parks, schools, libraries, and transportation system.
- Fulfills Need for Assisted Living Housing - Our research has found that there is a strong need for the XL/Holiday program in this area.

V. STAFFING PLAN

The facility will employ approximately 32 full-time equivalent positions, which include administrative, food services, housekeeping and maintenance, and health care staff. The facility will maintain a health services staff on duty 24-hours a day.

VI. TRAFFIC/PARKING

Residents, since they are in need of assistance, typically do not drive. One parking space per two suites is sufficient for visitor and staff parking. Since residents do not drive, we expect less than two trips per day per suite for visitor and staff purposes. This is based on the Institute of Transportation Engineers informational report and is far below equivalent trips per unit for a multifamily project. Enclosed is a study of traffic and parking implications for Assisted Living Residences conducted by the American Seniors Housing Association. This study explains in detail the traffic and parking generation a project like ours will produce.

CONCLUSION

In conclusion, we feel that this site is ideally suited for our use and would be a nice addition to the Canco Road area and the existing Retirement Residence development

2000 American Seniors Housing Association 25 OWNERS

(25 LARGEST U.S. SENIORS HOUSING OWNERS AS OF JUNE 1, 2000)

2000 RANK	1999 RANK	COMPANY	HEADQUARTERS	CEO	1999 UNITS OWNED	2000 UNITS OWNED	PROPERTIES OWNED
1	1	COLSON & COLSON/HOLIDAY RETIREMENT CORP.	Salem, OR	William E. Colson	25,975	27,427	229
2	2	ALTERRA HEALTHCARE CORP.	Brookfield, WI	William F. Lasky	16,435	274	21,119
3	4	NATIONWIDE HEALTH PROPERTIES, INC.	Newport Beach, CA	R. Bruce Andrews	9,500	124	11,529
4	3	ATRIA, INC.	New York, NY	Mark Ticolin	11,010	114	9,704
5	5	SENIOR LIFESTYLE CORP.	Chicago, IL	William B. Kaplan	9,424	60	9,646
6	6	HEALTH CARE REIT, INC.	Toledo, OH	George L. Chapman	8,345	132	8,066
7	11	SUNRISE ASSISTED LIVING, INC.	Fairfax, VA	Paul J. Klaassen	6,776	111	7,986
8	8	CRESTONE CAPITAL CORP.	Bethesda, MD	Bruce D. Wardinski	7,468	31	7,497
9	9	HEALTH CARE PROPERTY INVESTORS, INC.	Newport Beach, CA	Kenneth B. Roath	7,021	85	7,297
10	21	AMERICAN RETIREMENT CORPORATION	Brentwood, TN	William E. Sheriff	4,457	19	7,217
11	10	ASSISTED LIVING CONCEPTS, INC.	Portland, OR	Keren Brown Wilson	6,942	178	7,148
12	7	GRAND COURT LIFESTYLES, INC.	Boca Raton, FL	John W. Luciani, III	7,640	56	6,942
13	18	CLASSIC RESIDENCE BY HYATT/ENCORE SENIOR LIVING	Chicago, IL	Penny S. Pritzker	4,938	45	6,354
14	14	ACTS RETIREMENT-LIFE COMMUNITIES, INC.	West Point, PA	George R. Gunn, Jr.	5,654	15	6,095
15	12	MEDITRUST CORP.	Needham Heights, MA	Michael F. Bushee	6,160	126	5,868
16	17	MARRIOTT SENIOR LIVING SERVICES	Washington, DC	Jeff Ferguson	5,214	43	5,400
17	—	MERRILL GARDENS LLC	Seattle, WA	Charles B. Wright III	—	—	5,195
18	16	FIRST CENTRAL, LLC	Sterling, VA	Mark L. Washinsky	5,268	85	5,079
19	23	LEISURE CARE, INC.	Bellevue, WA	Dan B. Madsen	3,995	27	4,807
20	19	THE FOUNTAINS	Tucson, AZ	David J. Freshwater	4,719	17	4,719
21	22	COVANT RETIREMENT COMMUNITIES	Chicago, IL	David A. Dwight	4,075	14	4,137
22	15	SENIOR HOUSING PROPERTIES TRUST (FORMERLY KNOWN AS HRPT PROPERTIES TRUST)	Newton, MA	David J. Hegarty	5,416	27	4,040
23	24	NATIONAL BENEVOLENT ASSOCIATION	St. Louis, MO	Cynthia R. Dougherty	3,880	14	3,955
24	—	SWINSON HOUSING SOLUTIONS, LLC	Long Beach, CA	Michael A. Costa	—	—	3,761
25	25	RETIREMENT HOUSING FOUNDATION	Long Beach, CA	Laverne R. Joseph	3,510	19	3,510

2000 American Seniors Housing Association 25 MANAGERS

(25 LARGEST U.S. SENIORS HOUSING MANAGERS AS OF JUNE 1, 2000)

2000 RANK	1999 RANK	COMPANY	HEADQUARTERS	CEO	1999 UNITS MANAGED	2000 UNITS MANAGED	PROPERTIES MANAGED
1	1	COLSON & COLSON/HOLIDAY RETIREMENT CORP.	Salem, OR	William E. Colson	26,400	27,852	233
2	2	MARRIOTT SENIOR LIVING SERVICES	Washington, DC	Jeff Ferguson	22,683	25,100	149
3	3	PROFESSIONAL COMMUNITY MANAGEMENT	Lake Forest, CA	Jeffrey B. Olsen	22,680	22,864	9
4	5	ALTERRA HEALTHCARE CORP.	Brookfield, WI	William F. Lasky	16,951	21,719	470
5	4	LIFE CARE SERVICES CORP.	Des Moines, IA	Stan Thurston	17,572	20,513	87
6	7	AMERICAN RETIREMENT CORP.	Brentwood, TN	William E. Sheriff	11,328	12,163	57
7	8	EMERTUS CORP.	Seattle, WA	Daniel R. Baly	10,919	11,800	69
8	9	SENIOR LIFESTYLE CORP.	Chicago, IL	William B. Kaplan	10,103	10,762	152
9	10	SUNRISE ASSISTED LIVING INC.	Fairfax, VA	Paul J. Klaassen	8,229	9,989	101
10	6	ATRIA, INC.	New York, NY	Mark Ticolin	12,114	9,794	101
11	13	ASSISTED LIVING CONCEPTS, INC.	Portland, OR	Keren Brown Wilson	6,942	7,148	185
12	19	CLASSIC RESIDENCE BY HYATT/ENCORE SENIOR LIVING	Chicago, IL	Penny S. Pritzker	5,414	6,960	58
13	11	GRAND COURT LIFESTYLES, INC.	Boca Raton, FL	John W. Luciani, III	7,640	6,924	52
14	16	ERICKSON RETIREMENT COMMUNITIES, LLC (FORMERLY KNOWN AS SENIOR CAMPUS LIVING, LLC)	Baltimore, MD	John C. Erickson	5,873	6,120	7
15	17	ACTS RETIREMENT-LIFE COMMUNITIES, INC.	West Point, PA	George R. Gunn, Jr.	5,654	6,095	16
16	14	GREYSTONE COMMUNITIES, INC.	Irving, TX	Michael Lanehan	5,981	5,663	20
17	—	MERRILL GARDENS LLC	Seattle, WA	Charles B. Wright III	NA	5,657	19
18	18	CO-OPERATIVE RETIREMENT SERVICES OF AMERICA, INC. (CRSA)	Memphis, TN	Earl Wade	5,500	5,612	47
19	15	CAREMATRIX CORP.	Needham, MA	Abraham Gosman	5,891	5,569	24
20	21	BROOKDALE LIVING COMMUNITIES, INC.	Chicago, IL	Mark J. Schulle	4,600	5,314	24
21	25	LEISURE CARE, INC.	Bellevue, WA	Dan B. Madsen	4,172	4,977	34
22	23	CAPITAL SENIOR LIVING, INC.	Dallas, TX	Lawrence A. Cohen	4,545	4,808	34
23	20	THE FOUNTAINS	Tucson, AZ	David J. Freshwater	4,719	4,719	17
24	24	BALANCED CARE CORP.	Mechanicsburg, PA	Brad E. Hollinger	4,411	4,677	69
25	—	AMERICAN LIFESTYLES, INC.	Cleveland, TN	Barry Ray	3,394	4,343	36

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Holiday Retirement Corp.

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Facility Name	Units	Phone Number	Street	City, State
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UNITED STATES

ALABAMA (4)

EASTDALE ESTATES	107	(334) 260-8911	5801 EASTDALE DRIVE	MONTGOMERY, AL 36117
MONARCH ESTATES	114 ~	(334) 502-0977	1550 E. UNIVERSITY DRIVE	AUBURN, AL 36830
ROCKY RIDGE	115 ^~	(205) 989-6500	3517 LORNA ROAD	HOOVER, AL 35216
UNIVERSITY OAKS	110	(251) 661-7733	650 UNIVERSITY BOULEVARD SOUTH	MOBILE, AL 36609

ARIZONA (5)

DESERT ROSE	113 ~	(928) 343-0807	1545 S. 14TH AVENUE	YUMA, AZ 85364
MADISON, The	193 ~	(623) 584-1999	18626 SPANISH GARDEN DRIVE	SUN CITY WEST, AZ 85375
MANOR at MIDVALE, The	112 ~	(520) 294-3200	6250 S. COMMERCE COURT	TUCSON, AZ 85746
VISTA de la MONTANA	113 +~	(623) 975-4250	18510 N. PARKVIEW PLACE	SURPRISE, AZ 85374
VISTA del RIO	118 +~	(623) 977-7007	13619 N. 94TH DRIVE	PEORIA, AZ 85381

ARKANSAS (6)

ANDOVER PLACE	111 ~	(501) 224-0441	2601 ANDOVER COURT	LITTLE ROCK, AR 72227
APPLE BLOSSOM	117 ~	(479) 636-7739	2501 N. 22ND STREET	ROGERS, AR 72756
BUTTERFIELD PLACE	115 ~	(479) 484-5200	8420 PHOENIX AVENUE	FORT SMITH, AR 72903
COUNTRY CLUB VILLAGE	165 +~	(501) 624-6435	1925 MALVERN AVENUE	HOT SPRINGS, AR 71901
GARDENS at ARKANSHIRE, The	130 +~	(501) 750-1131	5000 ARKANSHIRE CIRCLE	SPRINGDALE, AR 72764
SOUTH WIND HEIGHTS	114 ~	(870) 932-9288	2305 BERNARD STREET	JONESBORO, AR 72401

CALIFORNIA (37)

ARCADIA PLACE	114	(760) 945-5555	1080 ARCADIA AVENUE	VISTA, CA 92084
BAY PARK	96	(510) 223-7977	2621 APPIAN WAY	PINOLE, CA 94564
BRIDGECREEK	108	(626) 332-1135	3601 HOLT AVENUE	WEST COVINA, CA 91791
CAMELOT, The	134 ~	(909) 929-0145	800 WEST OAKLAND	HEMET, CA 92543
CANTERBURY COURT	205	(619) 585-8585	336 C STREET	CHULA VISTA, CA 91910
CARRIAGE HOUSE ESTATES	124 +~	(661) 663-8393	8200 WESTWOLD DRIVE	BAKERSFIELD, CA 93311
COLUMBUS ESTATES	124 +~	(661) 872-5855	3201 COLUMBUS	BAKERSFIELD, CA 93306
CREEKSIDE OAKS	109 ~	(916) 983-3397	1715 CREEKSIDE DRIVE	FOLSOM, CA 95630
DEER PARK	84	(415) 897-0054	648 CANYON ROAD	NOVATO, CA 94947
FEATHER CANYON	126 +~	(530) 877-2207	5900 CANYON VIEW DRIVE	PARADISE, CA 95969
FIG GARDEN	101 ~	(559) 432-6213	6035 N. MARKS AVENUE	FRESNO, CA 93711
HAMPSHIRE, THE	113 +~	(209) 383-3500	3460 R STREET	MERCED, CA 95348
HILLTOP ESTATES	95 +	(530) 241-4444	451 HILLTOP DRIVE	REDDING, CA 96003
LAS BRISAS	100 ~	(805) 543-0144	1299 BRIARWOOD DRIVE	SAN LUIS OBISPO, CA 93401
LEISURE POINTE	131	(909) 888-9991	1371 PARKSIDE DRIVE	SAN BERNARDINO, CA 92404
MAGNOLIA	96	(909) 354-0230	8537 MAGNOLIA AVENUE	RIVERSIDE, CA 92504
MISSION COMMONS	141 *	(909) 793-8691	10 TERRACINA BLVD	REDLANDS, CA 92373
MISTYWOOD	115 ^~	(916) 771-8606	1275 PLEASANT GROVE BOULEVARD	ROSEVILLE, CA 95747
OAKMONT, The	91	(530) 895-0123	2801 COHASSET	CHICO, CA 95973
OAKS of AUBURN, The	107	(530) 888-1144	3250 BLUE OAKS DRIVE	AUBURN, CA 95602
PALMS, The	162 ~	(562) 944-1800	13001 LA MIRADA BLVD	LA MIRADA, CA 90638
QUAIL LODGE	123 ~	(925) 778-7453	4850 DEER VALLEY ROAD	ANTIOCH, CA 94509
REDWOOD	97	(707) 257-0333	2350 REDWOOD ROAD	NAPA, CA 94558
REMINGTON, The	116 +~	(559) 587-9999	2727 NORTH 11th AVENUE	HANFORD, CA 93230
SIERRA HILLS	110 +~	(559) 788-0311	2500 W. HENDERSON AVENUE	PORTERVILLE, CA 93257
SPRINGS of EL CAJON	100 ~	(619) 444-9470	444 PRESCOTT AVENUE	EI CAJON, CA 92020
SPRINGS of ESCONDIDO	103	(760) 743-4200	1261 E. WASHINGTON AVENUE	ESCONDIDO, CA 92027
SPRINGS of NAPA, The	100	(707) 224-7855	3460 VILLA LANE	NAPA, CA 94558
STANDIFORD PLACE	118 ~+	(209) 521-7000	3420 SHAWNEE DRIVE	MODESTO, CA 95350
VALENCIA COMMONS	113	(909) 481-5440	6729 HERMOSA AVENUE	RANCHO CUCAMONGA, CA 91701
VILLA SERENA	108	(408) 261-8350	1340 POMEROY AVENUE	SANTA CLARA, CA 95051
VINEYARD COMMONS	114 ~	(707) 578-8400	3585 ROUND BARN BLVD	SANTA ROSA, CA 95403
VINTAGE, The	117 ~	(209) 339-1500	2145 WEST KETTLEMAN LANE	LODI, CA 95242
WALNUT PARK	101	(559) 739-1339	4119 W. WALNUT	VISALIA, CA 93277
WATERFORD TERRACE	90	(619) 463-2111	5580 AZTEC DRIVE	LA MESA, CA 91942
WESTMONT, The	136	(408) 984-0605	1675 SCOTT BOULEVARD	SANTA CLARA, CA 95050
name pending	115 ^~	(800) 322-0999		VENTURA, CA

COLORADO (10)

ATRIUM of GRAND VALLEY, The	142 ~	(970) 256-0006	3260 N. 12th STREET	GRAND JUNCTION, CO 81506
COURTYARD at LAKEWOOD	121 ~	(303) 239-0740	7100 W. 13th AVENUE	LAKEWOOD, CO 80215
GREELEY PLACE	102 ~	(970) 351-0683	1051 6th STREET	GREELEY, CO 80631
LAKEWOOD ESTATES	90	(303) 987-3888	8585 W. DAKOTA AVENUE	LAKEWOOD, CO 80226
LONGMONT REGENT	96	(303) 651-7022	2210 MAIN STREET	LONGMONT, CO 80501
MESA VIEW	102	(970) 241-0772	601 HORIZON PLACE	GRAND JUNCTION, CO 81506

Holiday Retirement Corp.

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Facility Name	Units	Phone Number	Street	City, State
PARKWOOD ESTATES	110	(970) 482-3924	2201 S. LEMAY	FT. COLLINS, CO 80525
PUEBLO REGENT	97	(719) 566-0111	100 SAN CARLOS ROAD	PUEBLO, CO 81005
QUINCY PLACE	117 + ~	(303) 770-7775	7200 EAST QUINCY AVENUE	DENVER, CO 80237
SUNRIDGE	90 ~	(719) 590-1247	5820 FLINTRIDGE DRIVE	COLORADO SPRINGS, CO 80918

CONNECTICUT (4)

CEDAR WOODSICREST	111	(203) 481-6028	80 CEDAR STREET	BRANFORD, CT 06405
GABLES AT GUILFORD, The	128 * ~	(203) 458-3337	201 GRANITE ROAD	GUILFORD, CT 06437
VILLAGE GATE OF FARMINGTON	162 * ~	(860) 676-8626	88 SCOTT SWAMP ROAD	FARMINGTON, CT 06032
WINDHAM FALLS ESTATES	160	(860) 446-2889	425 DROZDYK DRIVE	GROTON, CT 06340

FLORIDA (15)

ATRIUM at GAINESVILLE, The	241 ~	(352) 378-0773	2431 NW 41st STREET	GAINESVILLE, FL 32606
AUGUSTINE LANDING	109 ~	(904) 880-1116	10141 OLD ST. AUGUSTINE ROAD	JACKSONVILLE, FL 32257
AZALEA PARK	115 ~	(863) 413-0908	1325 GRASSLANDS BLVD	LAKELAND, FL 33803
BELLEAIR TOWERS	56	(727) 581-6540	1100 PONCE de LEON BLVD	CLEARWATER, FL 33756
BUENA VIDA	153 * ~	(239) 775-2233	8901 TAMIAMI TRAIL EAST	NAPLES, FL 34113
CHERRY LAUREL	115 ~	(850) 656-8758	1009 CONCORD ROAD	TALLAHASSEE, FL 32308
COURT at PALM-AIRE, The	235 * ~	(954) 975-8900	2701 N. COURSE DRIVE	POMPANO BEACH, FL 33069
ISLES of VERO BEACH	210 * ~	(561) 778-7888	1700 WATERFORD DRIVE	VERO BEACH, FL 32966
LAKE RIDGE VILLAGE	108 ~	(352) 589-2353	353 ARDICE AVENUE	EUSTIS, FL 32726
MARION WOODS	115 ^ ~	(352) 671-1700	1661 SE 31ST STREET	OCALA, FL 34471
ORMOND in the PINES	214 * ~	(386) 676-7463	101 CLYDE MORRIS BLVD	ORMOND BEACH, FL 32174
REGENCY RESIDENCE	133 ~	(727) 849-9335	6711 EMBASSY BLVD	PORT RICHEY, FL 34668
TREMONT, The	118 ~	(407) 359-5787	7015 RED BUG LAKE ROAD	OVIEDO, FL 32765
UNIVERSITY PINES	110 ~	(850) 476-6333	8991 UNIVERSITY PARKWAY	PENSACOLA, FL 32514
WOODLANDS VILLAGE	169 * ~	(941) 758-9590	1055 301 BOULEVARD EAST	BRADENTON, FL 34203

GEORGIA (9)

ATRIUM at GEORGETOWN PARK,	1197 ~	(770) 986-1100	4355 GEORGETOWN SQUARE RD	ATLANTA, GA 30338
IRIS PLACE	140 ~ +	(706) 425-0301	755 EPPS BRIDGE PARKWAY	ATHENS, GA 30606
PINEGATE	115 ~	(478) 757-0610	300 CHARTER BLVD	MACON, GA 31210
REGENCY HOUSE, The	102	(404) 296-1152	341 WINN WAY	DECATUR, GA 30030
RIVER'S EDGE	119 + ~	(912) 354-6146	6206 WATERS AVENUE	SAVANNAH, GA 31406
RIVERPLACE	112 ~	(706) 324-0100	6850 RIVER ROAD	COLUMBUS, GA 31904
SMOKY SPRINGS	115 ~	(770) 535-8349	940 SOUTH ENOTA DRIVE	GAINESVILLE, GA 30501
WASHINGTON COMMONS	115 + ~	(706) 860-0402	100 WASHINGTON COMMONS DRIVE	EVANS, GA 30809
name pending		^ ~ (800) 322-0999		ALPHARETTA, GA

HAWAII (3)

HAWAII KAI	193 * + ~	(808) 395-9599	428 KAWAIHAE DRIVE	HONOLULU, HI 96825
HAWAII KAI II	177 * + ~	(808) 396-0720	446 KAWAIHAE DRIVE	HONOLULU, HI 96825
KALAMA HEIGHTS	110 ~	(808) 879-1500	101 KANANI RD	KIHEI MAUI, HI 96753

IDAHO (1)

CHATEAU de BOISE	96 + ~	(208) 322-7277	7250 POPLAR STREET	BOISE, ID 83704
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ILLINOIS (6)

BLAIR HOUSE	109	(309) 454-8900	1200 EAST COLLEGE	NORMAL, IL 61761
BRENDEN GARDENS	110	(217) 529-4586	900 SOUTHWIND ROAD	SPRINGFIELD, IL 62703
ESSINGTON PLACE	112	(815) 744-4468	901 ESSINGTON ROAD	JOLIET, IL 60435
MONTVALE ESTATES	119 +	(217) 546-5577	2601 MONTVALE DRIVE	SPRINGFIELD, IL 62704
TAMARACK	133 ~	(847) 991-4700	55 S. GREELEY	PALATINE, IL 60067
name pending		^ ~ (800) 322-0999		QUINCY, IL

INDIANA (4)

ARBOR GLEN	118 + ~	(260) 492-2202	5202 SAINT JOE ROAD	FORT WAYNE, IN 46835
PARKSIDE COURT	118 ~ *	(812) 378-9795	3660 CENTRAL AVENUE	COLUMBUS, IN 47203
REDBUD HILLS	112 ~	(812) 335-0089	3211 EAST MOORES PIKE ROAD	BLOOMINGTON, IN 47401
WILLOW PARK	109 ~	(812) 473-5828	5050 LINCOLN AVENUE	EVANSVILLE, IN 47715

IOWA (5)

BEAVERDALE ESTATES	102 ~	(515) 278-1715	4610 DOUGLAS AVENUE	DES MOINES, IA 50310
ILLAHEE HILLS	107 +	(515) 251-4604	8308 COLBY PARKWAY	URBANDALE, IA 50322
MALLARD POINT	122 + ~	(319) 277-6111	2603 ORCHARD DRIVE	CEDAR FALLS, IA 50613
PALMER HILLS	104 ~	(563) 332-5955	2617 MAPLECREST ROAD	BETTENDORF, IA 52722
WALDEN PLACE	102	(319) 337-7277	2423 WALDEN ROAD	IOWA CITY, IA 52246

Holiday Retirement Corp.

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Facility Name	Units	Phone Number	Street	City, State
KANSAS (3)				
GREENWOOD TERRACE	115	^~ (913) 345-9969	11150 S. GREENWOOD STREET	LENEXA, KS 66215
GRASSLANDS ESTATES	115	~ (316) 722-4817	10665 W. 13TH STREET N.	WICHITA, KS 67212
THORNTON PLACE	119	+~ (785) 228-0555	2901 SW ARMSTRONG	TOPEKA, KS 66614
KENTUCKY (5)				
ASHWOOD PLACE	103	+ (502) 223-5551	102 LEONARDWOOD	FRANKFORT, KY 40601
HARTLAND HILLS	117	~ (859) 273-1212	1005 TANBARK ROAD	LEXINGTON, KY 40515
JACKSON OAKS	115	^~ (270) 554-8122	2500 MARSHALL AVENUE	PADUCAH, KY 42003
OXMOOR LODGE	118	+~ (502) 425-2402	8021 CHRISTIAN COURT	LOUISVILLE, KY 40222
PONDER CREEK ESTATES	118	~ (502) 995-4010	620 VALLEY COLLEGE DRIVE	LOUISVILLE, KY 40272
LOUISIANA (4)				
LANDING at BEHRMAN PLACE	106	~ (504) 361-1088	3601 BEHRMAN PLACE	NEW ORLEANS, LA 70114
NOUVEAU MARC	111	~ (504) 469-7988	1101 SUNSET BLVD	KENNER, LA 70065
SUMMERFIELD ESTATES	101	~ (318) 688-9525	9133 BAIRD ROAD	SHREVEPORT, LA 71118
WHEALDON ESTATES	98	(225) 927-7557	8680 JEFFERSON HWY	BATON ROUGE, LA 70809
MAINE (2)				
SUNBURY VILLAGE	115	~ (207) 262-9600	922 OHIO STREET	BANGOR, ME 04401
WOODS AT CANCO, THE	115	+~ (207) 772-4777	257 CANCO ROAD	PORTLAND, ME 04103
MASSACHUSETTS (3)				
DEVONSHIRE ESTATES	128	+~ (413) 637-1700	329 PITTSFIELD ROAD	LENOX, MA 01240
QUAIL RUN ESTATES	121	+~ (413) 786-9688	50 CARDINAL DRIVE	AGAWAM, MA 01001
SUMMER PLACE	110	~ (978) 256-9977	20 SUMMER STREET	CHELMSFORD, MA 01824
MICHIGAN (8)				
AURORA POND	132	+~ (616) 530-2511	2380 AURORA POND DRIVE	WYOMING, MI 49509
BLUE WATER LODGE	119	+~ (810) 385-4131	2840 KEEWAHDIN ROAD	FORT GRATIOT, MI 48059
GENESEE GARDENS	117	~ (810) 720-4159	4495 CALKINS ROAD	FLINT TOWNSHIP, MI 48532
GLEN EAGLE	119	+~ (231) 935-4553	3950 SUMAC DRIVE	TRAVERSE CITY, MI 49684
INN AT CASS LAKE	110	~ (248) 681-8229	900 N. CASS LAKE ROAD	WATERFORD, MI 48328
LINCOLN SQUARE	115	^~ (616) 791-7460	3121 LAKE MICHIGAN DRIVE NW	GRAND RAPIDS, MI 49504
MARQUETTE, THE	115	(517) 339-1532	5968 PARK LAKE ROAD	EAST LANSING, MI 48823
WESCOURT	118	+~ (989) 797-3600	4141 McCARTY ROAD	SAGINAW, MI 48603
MINNESOTA (1)				
LODGE AT WHITE BEAR, THE	115	~ (651) 779-9255	3666 E. COUNTY LINE N.	WHITE BEAR LAKE, MN 55110
MISSISSIPPI (1)				
CHATEAU RIDGELAND	105	*~ (601) 956-1331	745 S. PEAR ORCHARD ROAD	RIDGELAND, MS 39157
MISSOURI (7)				
BRIARCREST ESTATES	90	(636) 391-5300	14525 CLAYTON ROAD	BALLWIN, MO 63011
CAMBRIDGE, The	113	~ (417) 882-2223	2900 S. JEFFERSON	SPRINGFIELD, MO 65807
CARLYLE, The		^~ (800) 322-0999	1098 NE INDEPENDENCE AVENUE	LEE'S SUMMIT, MO 64086
COUNTRY SQUIRE	109	(816) 233-4200	1602 BUCKINGHAM STREET	ST. JOSEPH, MO 64506
GARDEN VILLAGE	182	+~ (816) 436-5555	8550 N. GRANBY AVENUE	KANSAS CITY, MO 64154
LAKEVIEW PARK	112	~ (636) 326-9606	1393 BOWLES AVE	FENTON, MO 63026
name pending		^~ (800) 322-0999		COLUMBIA, MO
MONTANA (3)				
ASPEN VIEW	125	+~ (406) 652-7788	3075 AVENUE C	BILLINGS, MT 59102
GRIZZLY PEAK	113	~ (406) 721-2292	3600 AMERICAN WAY	MISSOULA, MT 59802
HUNTERS POINTE	115	+~ (406) 443-4222	2801 COLONIAL DRIVE	HELENA, MT 59601
NEBRASKA (1)				
BRENTWOOD ESTATES	103	(402) 489-1112	1111 SOUTH 70th	LINCOLN, NE 68510
NEVADA (3)				
CARSON PLAZA	96	(775) 883-1221	2120 EAST LONG	CARSON CITY, NV 89706
MONTARA MEADOWS	172	~ (702) 435-3150	3150 EAST TROPICANA AVENUE	LAS VEGAS, NV 89121
SKY PEAKS	119	~ (775) 747-9555	1520 SKY VALLEY DRIVE	RENO, NV 89503
NEW MEXICO (2)				
BEAR CANYON ESTATES	124	+~ (505) 292-9191	4440 MORRIS STREET NE	ALBUQUERQUE, NM 87111
GOLDEN MESA	129	+~ (505) 522-4219	151 N. ROADRUNNER PKWY	LAS CRUCES, NM 88011

Holiday Retirement Corp.

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Facility Name	Units	Phone Number	Street	City, State
NEW YORK (4)				
MAPLE DOWNS	115	^ ~ (315) 637-0297	7220 GENESEE STREET EAST	FAYETTEVILLE, NY 13066
MAPLEWOOD ESTATES	119	+ ~ (716) 218-9570	55 AYRAULT ROAD	FAIRPORT, NY 14450
MONTGOMERY PARK	115	^ ~ (716) 688-7880	6363 TRANSIT ROAD	EAST AMHERST, NY 14051
name pending		^ ~ (800) 322-0999		GREECE, NY
NORTH CAROLINA (9)				
CARMEL PLACE	93	(704) 541-8012	5512 CARMEL ROAD	CHARLOTTE, NC 28226
CREEKSIDE TERRACE	115	~ (336) 768-5350	3895 OLD VINEYARD ROAD	WINSTON-SALEM, NC 27104
DURHAM REGENT	122	+ (919) 490-6224	3007 PICKETT ROAD	DURHAM, NC 27705
EMERALD POND	119	~ (919) 493-4713	205 EMERALD POND LANE	DURHAM, NC 27705
JORDAN OAKS	115	^ ~ (919) 387-8250	10820 PENNY ROAD	RALEIGH, NC 27606
LAKE SHORE COMMONS	120	~ + (910) 251-0067	1402 HOSPITAL PLAZA DRIVE	WILMINGTON, NC 28401
STRATFORD, THE	115	~ (336) 841-1746	1573 SKEET CLUB ROAD	HIGH POINT, NC 27265
PINECREST	118	~ (828) 325-4795	915 29TH AVENUE NE	HICKORY, NC 28601
WOODS AT HOLLY TREE, The	115	~ (910) 793-1300	4610 HOLLY TREE ROAD	WILMINGTON, NC 28409
OHIO (4)				
ALEXIS GARDENS	115	~ (419) 472-7115	4560 W. ALEXIS ROAD	TOLEDO, OH 43623
NEW ENGLAND CLUB	249	~ + (513) 474-2582	8135 BEECHMONT AVENUE	CINCINNATI, OH 45255
PEARL CROSSING	115	~ (440) 268-9555	19201 PEARL ROAD	STRONGSVILLE, OH 44136
OKLAHOMA (3)				
SILVER ARROW ESTATES	125	+ ~ (918) 451-0383	2601 S. ELM PLACE	BROKEN ARROW, OK 74012
TALLGRASS ESTATES	113	~ (918) 331-5251	2633 MISSION ROAD SE	BARTLESVILLE, OK 74006
name pending		(800) 322-0999		TULSA, OK
OREGON (19)				
ASTOR HOUSE at Springbook Oaks	119	+ ~ (503) 537-2658	3801 HAYES STREET	NEWBERG, OR 97132
EDGEWOOD DOWNS	124	~ (503) 643-5418	7799 SW SCHOLLS FERRY ROAD	BEAVERTON, OR 97008
GARDEN VALLEY	91	(541) 673-1774	1800 HUGHWOOD	ROSEBURG, OR 97470
GRESHAM MANOR	102	~ (503) 667-9330	2895 E. POWELL BLVD	GRESHAM, OR 97080
HIDDEN LAKES	134	+ ~ (503) 588-2922	400 MADRONA AVENUE SE	SALEM, OR 97302
MADRONA HILLS	103	+ (503) 362-9141	707 MADRONA AVENUE SE	SALEM, OR 97302
PARKROSE CHATEAU	107	+ (503) 257-6777	3141 NE 148th AVENUE	PORTLAND, OR 97230
REGENT, The	82	~ (541) 752-2222	440 ELKS DRIVE	CORVALLIS, OR 97330
ROCK CREEK	108	~ (503) 617-1900	19295 NW CORNELL ROAD	HILLSBORO, OR 97124
ROGUE VALLEY	90	~ (541) 479-6400	1001 NE A STREET	GRANTS PASS, OR 97526
ROYAL MARC	77	(503) 653-1854	5555 SE KING ROAD	MILWAUKIE, OR 97222
ROYAL OAK	88	~ (541) 779-0790	2180 POPLAR DRIVE	MEDFORD, OR 97504
SHELDON OAKS	110	~ (541) 341-3700	2525 CAL YOUNG ROAD	EUGENE, OR 97401
SOLVANG	99	(541) 461-0490	1202 JACOBS DRIVE	EUGENE, OR 97402
SOMERSET LODGE	122	+ ~ (503) 657-5659	8330 CASON ROAD	GLADSTONE, OR 97027
STONE LODGE	112	~ (541) 318-0450	1460 NE 27TH	BEND, OR 97701
STONEBROOK LODGE	120	+ ~ (541) 754-1961	4700 SW HOLLYHOCK CIRCLE	CORVALLIS, OR 97333
SUMMERFIELD CLUBHOUSE EST	154	~ (503) 620-8160	11205 SW SUMMERFIELD DRIVE	TIGARD, OR 97224
VINEYARD PLACE	130	~ (503) 659-0552	4017 SE VINEYARD ROAD	MILWAUKIE, OR 97267
PENNSYLVANIA (6)				
BETHEL PARK	116	~ (412) 833-3220	2960 BETHEL CHURCH ROAD	BETHEL PARK, PA 15102
ESSEX HOUSE	115	(717) 730-7302	20 N 12TH STREET	LEMOYNE, PA 17043
MANOR AT OAKRIDGE, The	113	~ (717) 540-1895	4500 OAKHURST BOULEVARD	HARRISBURG, PA 17110
NIAGARA VILLAGE	112	~ (814) 838-1699	2380 VILLAGE COMMON DRIVE	ERIE, PA 16506
WALNUT WOODS OF BOYERTOWN	112	~ (610) 367-6616	35 NORTH WALNUT	BOYERTOWN, PA 19512
WHISPERING OAKS	120	~ (724) 347-3050	260 SOUTH BUHL FARM DRIVE	HERMITAGE, PA 16148
RHODE ISLAND (1)				
POCASSET LODGE	172	+ ~ (401) 421-6610	12 OLD POCASSET LANE	JOHNSTON, RI 02919
SOUTH CAROLINA (5)				
DEEPWOOD ESTATES	120	~ (803) 996-3301	203 OLD CHAPIN ROAD	LEXINGTON, SC 29072
FOREST PINES	115	~ (803) 252-3444	1720 DEVONSHIRE DRIVE	COLUMBIA, SC 29204
HAYWOOD ESTATES	112	(864) 288-8093	1180 HAYWOOD ROAD	GREENVILLE, SC 29615
INDIGO PINES	118	~ + (843) 342-3228	110 GARDNER DRIVE	HILTON HEAD ISLAND, SC 29926
WESTMINSTER	115	~ (864) 370-9030	11 EAST AUGUSTA PLACE	GREENVILLE, SC 29605

Holiday Retirement Corp.

Facility Name	Units	Phone Number	Street	City, State
SOUTH DAKOTA (1)				
HOLIDAY HILLS ESTATES	113	(605) 348-4999	2620 HOLIDAY LANE	RAPID CITY, SD 57702
TENNESSEE (10)				
CREEKSIDE @ SHALLOWFORD	118	+ ~ (423) 485-9933	7511 SHALLOWFORD ROAD	CHATTANOOGA, TN 37421
ECHO RIDGE	109	~ (865) 769-0111	8458 GLEASON DRIVE	KNOXVILLE, TN 37919
FRANKLIN PARK	128	~ (901) 366-6665	3393 KIRBY ROAD	MEMPHIS, TN 38115
HERITAGE PLACE	157	~ (901) 794-8857	2990 HICKORY HILL ROAD	MEMPHIS, TN 38115
JACKSON MEADOW	113	~ (901) 661-0095	25 MAX LANE DRIVE	JACKSON, TN 38305
KENNINGTON POINTE	153	* ~ (901) 366-6200	6301 VILLAGE GROVE DRIVE	MEMPHIS, TN 38115
MANOR AT STEEPLECHASE, The	118	~ (615) 778-9011	314 COOL SPRINGS BLVD.	FRANKLIN, TN 37067
UFFELMAN ESTATES	108	+ (931) 645/7850	215 UFFELMAN DRIVE	CLARKSVILLE, TN 37043
WINDLANDS EAST	179	* ~ (615) 860-2189	200 EAST WEBSTER	MADISON, TN 37115
WINDLANDS SOUTH	180	* ~ (615) 834-1951	3800 SAM BONEY DRIVE	NASHVILLE, TN 37211
TEXAS (24)				
ARLINGTON PLAZA	96	~ (817) 478-7591	6801 W. POLY WEBB ROAD	ARLINGTON, TX 76016
BENTLEY, The	117	+ ~ (972) 481-1484	3362 FOREST LANE	DALLAS, TX 75234
BROOK RIDGE	106	~ (956) 787-3933	1001 W. RIDGE ROAD	PHARR, TX 78577
CLAIRMONT, The	96	(806) 353-0052	4707 BELL STREET	AMARILLO, TX 79109
CLAIRMONT, The	148	~ (512) 331-7195	12463 LOS INDIOS DRIVE	AUSTIN, TX 78729
CONTINENTAL, The	128	~ (512) 892-5995	4604 S. LAMAR	AUSTIN, TX 78745
COTTONWOOD ESTATES	113	(972) 517-1977	1940 W. SPRINGCREEK PKWY	PLANO, TX 75023
COWHORN CREEK ESTATES	112	~ (903) 223-6666	5415 COWHORN CREEK ROAD	TEXARKANA, TX 75503
EL DORADO	102	~ (972) 783-8600	714 W. ARAPAHO ROAD	RICHARDSON, TX 75080
ENGLEWOOD ESTATES	128	+ (512) 892-7226	2603 JONES ROAD	AUSTIN, TX 78745
FOX RUN ESTATES	102	~ (817) 492-8600	2315 LITTLE ROAD	ARLINGTON, TX 76016
HERITAGE PLAZA	89	+ (512) 836-7213	9121 NORTH PLAZA	AUSTIN, TX 78753
LAKE SHORE ESTATES	115	+ ~ (254) 399-0109	3209 VILLAGE GREEN DRIVE	WACO, TX 76710
LINCOLN TOWER	110	(915) 333-1106	311 WEST 4th STREET	ODESSA, TX 79761
MADISON ESTATES	157	~ (210) 694-7000	8645 FREDERICKSBURG ROAD	SAN ANTONIO, TX 78240
POLO PARK ESTATES	116	+ (432) 682-5772	2100 CASTLEFORD ROAD	MIDLAND, TX 79705
RENAISSANCE - AUSTIN	157	* ~ (512) 338-0995	11279 TAYLOR DRAPER LANE	AUSTIN, TX 78759
RENAISSANCE - SHERMAN	167	* ~ (903) 868-2200	3701 LOY LAKE ROAD	SHERMAN, TX 75090
RIO NORTE	119	+ ~ (915) 856-6655	1941 SAUL KLEINFELD DRIVE	EL PASO, TX 79936
ROSEWOOD ESTATES	110	~ (903) 509-9010	506 RICE ROAD	TYLER, TX 75703
TARRYTOWNE ESTATES	183	* ~ (281) 531-1905	1815 ENCLAVE PARKWAY	HOUSTON, TX 77077
VENTURA PLACE	136	+ ~ (806) 785-5565	3026 54TH STREET	LUBBOCK, TX 79413
WESTBRAE COURT	178	* ~ (713) 541-9991	10680 WESTBRAE PKWY	HOUSTON, TX 77031
WHITEROCK COURT	115	~ (214) 503-7223	9215 WHITEROCK TRAIL	DALLAS, TX 75238
UTAH (4)				
HARRISON REGENT	90	(801) 479-1653	4481 HARRISON BLVD	OGDEN, UT 84403
PIONEER VALLEY LODGE	115	~ (435) 792-0353	2351 N 400 E	NORTH LOGAN, UT 84341
SEVILLE, The	97	(801) 224-8044	325 WEST CENTER	OREM, UT 84057
SOUTH TOWNE RANCH	115	~ (801) 944-0082	310 E 10600 S	SANDY, UT 84070
VIRGINIA (4)				
ELM PARK ESTATES	110	(540) 989-2010	4230 ELM VIEW ROAD	ROANOKE, VA 24014
FAIRMONT, The	99	~ (703) 257-7111	9852 FAIRMONT AVENUE	MANASSAS, VA 20109
VIRGINIAN, The	117	+ ~ (804) 330-4252	300 TWINRIDGE LANE	RICHMOND, VA 23235
name pending		(800) 322-0999		CHESAPEAKE, VA
WASHINGTON (14)				
BEDFORD, The		~ (360) 891-6898	13303 SE MCGILLIVRAY	VANCOUVER, WA 98683
CAPITAL PLACE	111	~ + (360) 357-9922	700 BLACK LAKE BOULEVARD	OLYMPIA, WA 98502
CASCADIAN PLACE	102	(425) 339-2225	3915 COLBY AVENUE N	EVERETT, WA 98201
CHARBONNEAU	118	^ ~ (509) 734-4331	8264 W GRANDRIDGE BOULEVARD	KENNEWICK, WA 99336
EVERGREEN PLACE	110	+ (425) 226-3312	1414 MONROE AVENUE NE	RENTON, WA 98056
FERNWOOD at the PARK	107	(206) 242-1455	17623 FIRST AVENUE SOUTH	NORMANDY PARK, WA 98148
GARDEN CLUB, The	103	~ (425) 643-7111	13350 SE 26th STREET	BELLEVUE, WA 98005
HARVARD PARK	105	(509) 747-2703	1616 E. 30th AVENUE	SPOKANE, WA 99203
KAMLU-VANCOUVER	84	(360) 695-9281	1000 NE 82nd AVENUE	VANCOUVER, WA 98664
ORCHARD PARK	99	~ (509) 575-0095	620 N. 34th AVENUE	YAKIMA, WA 98902
PARK PLAZA	98	+ ~ (509) 525-6513	1400 DALLES MILITARY ROAD	WALLA WALLA, WA 99362
PARKWAY CHATEAU	109	(360) 671-6060	2818 OLD FAIRHAVEN PARKWAY	BELLINGHAM, WA 98225
POINT DEFIANCE VILLAGE	165	+ ~ (253) 759-8908	6414 N. PARK WAY	TACOMA, WA 98407
WILLOW GARDENS	144	+ (253) 848-4430	4502 6TH STREET SE	PUYALLUP, WA 98374

Holiday Retirement Corp.

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Facility Name	Units	Phone Number	Street	City, State
WISCONSIN (1)				
OAKWOOD HILLS	114	^ ~ (715) 552-1500	4316 OAKWOOD HILLS PARKWAY	EAU CLAIRE, WI 54701
XL MANAGEMENT (10)				
BENTLEY MANOR	88	* (972) 247-2266	3344 FOREST LANE	DALLAS, TX 75234
EDGEWOOD POINT	68	* (503) 671-9474	7733 SW SCHOLLS FERRY ROAD	BEAVERTON, OR 97008
HUNTER'S GLEN	101	* (406) 542-7009	3620 AMERICAN WAY	MISSOULA, MT 59808
KAMLU-HAZEL DELL	71	* (360) 693-2402	7514 NE 13th AVENUE	VANCOUVER, WA 98665
MADISON MEADOWS	122	~ (602) 944-4222	7211 N. 7th STREET	PHOENIX, AZ 85020
MANOR @ ESSINGTON	101	* (815) 729-4773	3320 EXECUTIVE DRIVE	JOLIET, IL 60431
MOUNTAIN VIEW	111	+* (541) 482-3292	548 NORTH MAIN	ASHLAND, OR 97520
PEPPERTREE SQUARE	115	* (623) 878-5115	10420 N 89TH AVENUE	PEORIA, AZ 85345
SOMERSET		* (503) 723-7868	8360 CASON ROAD	GLADSTONE, OR 97027
STONEBROOK		* (541) 758-2026	4650 SW HOLLYHOCK CIRCLE	CORVALLIS, OR 97333

CANADA

ALBERTA (5)

ARBOUR LAKE	113	~ (403) 374-0955	900 ARBOUR LAKE ROAD NW	CALGARY, AB T3G 5J1
CANYON MEADOWS	110	~ (403) 278-4004	12 DEERVIEW TERRACE SE	CALGARY, AB T2J 7E6
CHURCHILL MANOR	111	~ (780) 466-2961	5815 34TH AVENUE	EDMONTON, AB T6L 7B8
IRONWOOD ESTATES	109	~ (780) 459-0770	40 IRONWOOD POINT	ST. ALBERT, AB T8N 6R1
VICTORIA PARK	112	~ (403) 309-1957	9 AVERY STREET	RED DEER, AB T4R 2S8

BRITISH COLUMBIA (6)

IMPERIAL PLACE	102	~ (604) 581-1555	13853 102nd AVENUE	SURREY, BC V3T 5P6
LONGLAKE CHATEAU	110	~ (250) 756-1411	3035 ROSS ROAD	NANAIMO, BC V9T 5S8
OKANAGAN CHATEAU	106	~ (250) 862-9088	2100 BENOULIN	KELOWNA, BC V1W 3A4
VICTORIAN, The	91	~ (250) 477-1912	1773 FELTHAM ROAD	VICTORIA, BC V8N 6E8
VICTORIAN AT McKENZIE, The name pending	114	~ (250) 381-9496 (800) 322-0999	4000 DOUGLAS STREET	VICTORIA, BC V8X 5K5 PRINCE GEORGE, BC

MANITOBA (3)

AMBER MEADOW	114	~ (204) 633-5467	320 PIPELINE ROAD	WINNIPEG, MB R2P 2X5
RIVERHEIGHTS TERRACE	117	~ (204) 725-2225	4525 VICTORIA AVE	BRANDON, MB R7B 4A6
WESTHAVEN	113	~ (204) 831-6742	3033 PORTAGE AVENUE	WINNIPEG, MB R3K 2E3

NEW BRUNSWICK (2)

CHATEAU DE CHAMPLAIN	114	~ (506) 633-1195	300 BOARS HEAD ROAD	SAINT JOHN, NB E2K 5C2
STE. ANNE'S COURT	114	~ (506) 450-9433	81 DUNCAN LANE	FREDERICTON, NB E3B 9T1

ONTARIO (12)

ANCHOR POINTE	125	+ ~ (905) 938-7070	540 ONTARIO STREET	ST. CATHARINES, ON L2N 7S2
COURT AT BARRHAVEN, The	114	^ ~ (613) 823-2763	1111 LONGFIELDS DRIVE	NEPEAN, ON K2J 5A9
COURT AT BROOKLIN, The	115	^ ~ (905) 655-7718	5909 ANDERSON STREET	BROOKLIN, ON L1M 2H1
COURT AT PRINGLE CREEK, The	119	+ ~ (905) 665-4837	3975 ANDERSON STREET	WHITBY, ON L1N 5R5
COURT AT RUSHDALE, The	115	^ ~ (905) 575-6832	1360 UPPER SHERMAN AVENUE	HAMILTON, ON L8W 3Z6
CRYSTAL VIEW LODGE	119	+ ~ (613) 225-4560	6 MERIDIAN PLACE	NEPEAN, ON K2G 6L9
FAIRWINDS LODGE	111	~ (519) 542-8814	1218 MICHIGAN AVENUE	SARNIA, ONT N7S 6L1
KENSINGTON COURT	114	~ (519) 966-8558	1953 CABANA ROAD W.	WINDSOR, ON N9G 2X6
KINGSDALE CHATEAU	114	~ (613) 547-4884	520 KINGSDALE AVENUE	KINGSTON, ON K7M 9B6
MASONVILLE MANOR	112	~ (519) 663-0220	350 NORTH CENTRE ROAD	LONDON, ON N6G 5G3
SHERBROOKE HEIGHTS	114	~ (705) 750-1020	1434 SHERBROOKE STREET	PETERBOROUGH, ON K9K 2L7
name pending		^ ~ (800) 322-0999		NIAGARA FALLS, ON

QUEBEC (2)

SAINT PATRICK, Residence le STEGER, Residence la	354	~* (418) 522-6444	130 GRANDE - ALLEE EST	QUEBEC CITY, QC G1R 5N2
	103	* (514) 337-0000	2450 THIMENS BLVD	SAINT-LAURENT, QC H4R 2M2

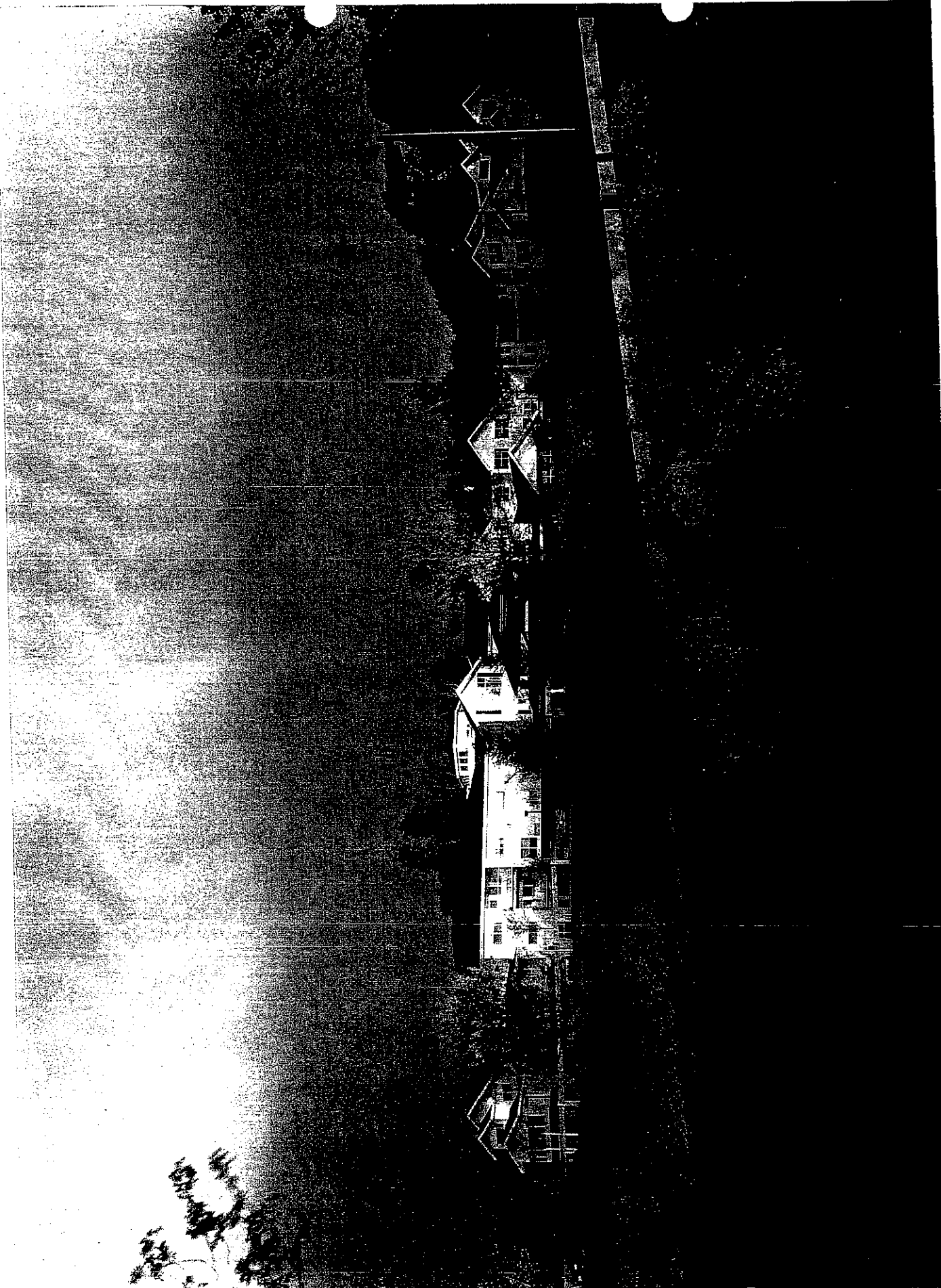
SASKATCHEWAN (3)

MULBERRY ESTATES	114	~ (306) 694-5020	220 MULBERRY LANE	MOOSE JAW, SK S6H 1N1
PRIMROSE CHATEAU	114	~ (306) 975-0663	310 CREE CRESCENT	SASKATOON, SK S7K 8C7
QUEEN VICTORIA ESTATES	114	~ (306) 790-1900	2025 HESELTINE ROAD	REGINA, SK S4V 2Z4

Holiday Retirement Corp.

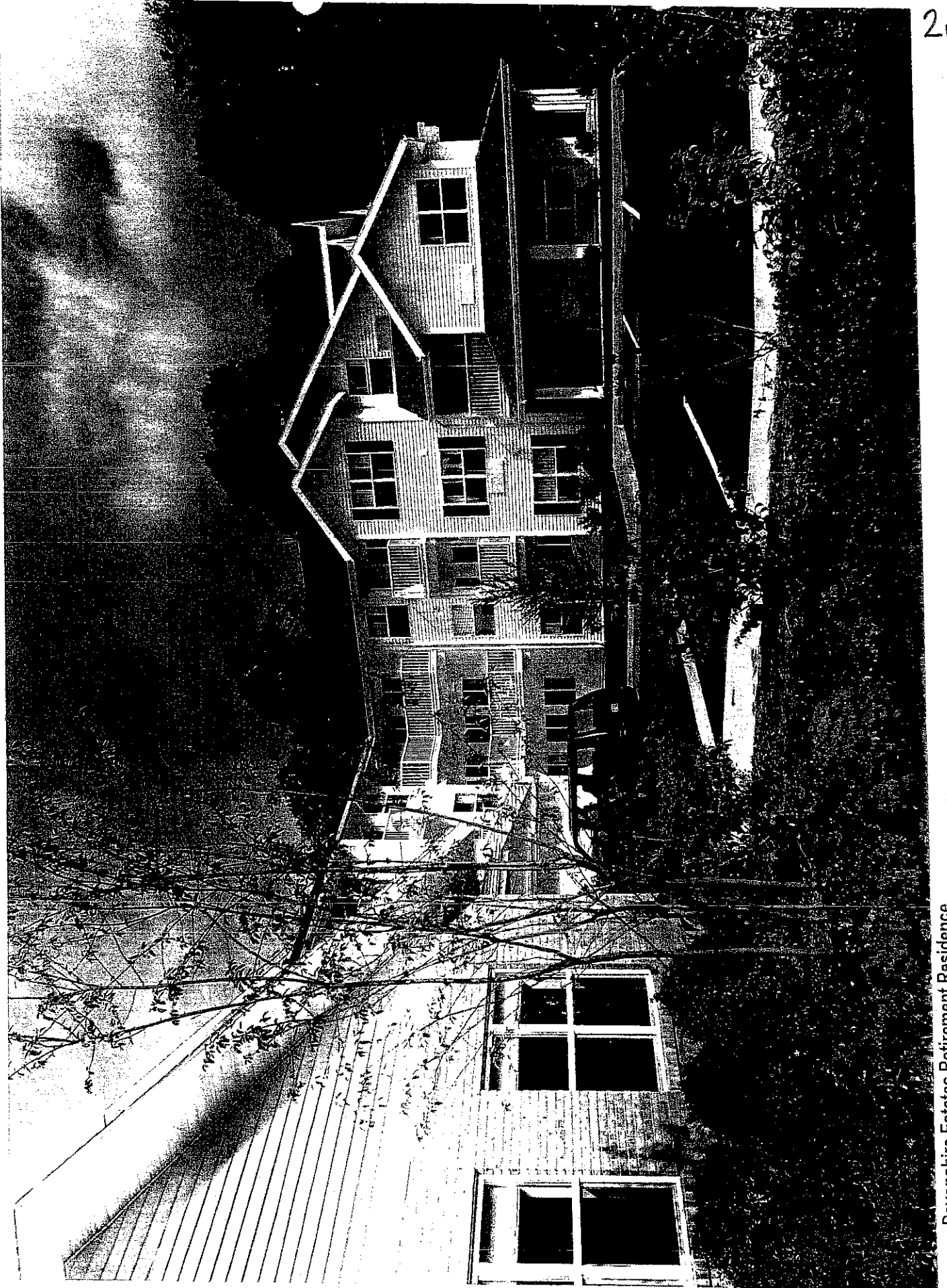
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Facility Name	Units	Phone Number	Street	City, State
EUROPE				
ENGLAND (2)				
HAWTHORNS, The	109 ~	127/579-0060 (011) (44)	18-19 ELTON ROAD	CLEVEDON, N. SOMERSET BS21 7EH
HAWTHORNS-EASTBOURNE, The	102 ~	132/364-4111 (011) (44)	4 CAREW ROAD	EASTBOURNE, E. SUSSEX BN21 2BF
FRANCE (34)				
GROUPE SERIENCE				
HOTELIA (21 TOTAL)				
HOTELIA BORDEAUX		05 56 99 43 43	1, RUE J.R. DANDICOLLE	33000 BORDEAUX
HOTELIA CANNES MOUGINS		04 92 92 29 28	886, AV. DE TOURNAMY	06250 MOUGINS
HOTELIA EAUBONNE		01 34 06 13 13	2, RUE HENRI BARBUSSE	95600 EAUBONNE
HOTELIA FREJUS ST RAPHAEL		04 94 51 72 20	301, AVENUE ANDREI SAKHAROV	83600 FREJUS
HOTELIA HYERES		04 94 38 49 49	AVENUE JEAN MOULIN	83400 HYERES LAS PALMIERS
HOTELIA LYON		04 78 60 23 23	PARC GAMBETTA RUE DU DIAPASON	69003 LYON
HOTELIA MARCQ EN BAROEUL		03 20 74 12 13	68, RUE NATIONALE	59700 MARCQ EN BAROEUL
HOTELIA MARSEILLE VITROLLES		04 42 89 93 79	"LES ALPILLES" CENTRE URBAIN	13127 VITROLLES
HOTELIA MEUDON		01 46 23 27 00	"RESIDENCE LES TYBILLES" 1, RUE DES TYBILLES	92190 MEUDON BELLEVUE
HOTELIA MONTPELLIER		04 67 65 50 24	"LA POMPIGNANE" 662, AVENUE DE LA POMPIGNANE	34000 MONTPELLIER
HOTELIA NANCY		03 83 96 46 02	"LA SAONE" 8, RUE DE LA SAONE	54520 LAXOU
HOTELIA NOISY LE GRAND		01 48 15 54 00	LE CLOS SAINT VINCENT RUE DU DOCTEUR JEAN VAQUIER	93160 NOISY LE GRAND
HOTELIA PARIS MAINE ALESIA		01 53 90 28 28	187 BIS, AVENUE DU MAINE	75014 PARIS
HOTELIA PARIS CHAMP DE MARS		01 56 58 33 33	64, RUE DE LA FEDERATION	75015 PARIS
HOTELIA PARIS PARC MONCEAU		01 42 12 95 95	26, RUE MEDERIC	75017 PARIS
HOTELIA PAU		05 59 30 66 55	45, AVENUE FEDERICO GARCIA LORCA	64000 PAU
HOTELIA PERPIGNAN		04 68 35 15 00	18, COURS LAZARE ESCARGUEL	66000 PERPIGNAN
HOTELIA REIMS		03 26 88 79 79	10-12, RUE CERES	51100 REIMS
HOTELIA ROUBAIX		03 20 45 06 06	7, GRAND RUE	59100 ROUBAIX
HOTELIA ROUEN		02 35 03 20 02	21, PLACE DE L'EGLISE SAINT SEVER	76100 ROUEN
HOTELIA SURESNES		01 41 38 15 00	36, RUE CARNOT	92150 SURESNES
HOTELIA VERSAILLES LE CHESNAY		01 39 23 34 34	14-16, BD SAINT ANTOINE	78150 LE CHESNAY
LES VILLANDIERES (11 TOTAL)				
LES VILLANDIERES AMIENS		03 22 22 26 00	30, RUE SAINT GERMAIN	80000 AMIENS
LES VILLANDIERES BREST		02 98 03 96 00	12, RUE JEAN BON SAINT ANDRE	29200 BREST
LES VILLANDIERES BRETEUIL SUR ITON		02 32 24 83 00	175, RUE NEUVE DE BEMECOURT	27160 BRETEUIL SUR ITON
LES VILLANDIERES CHALON		03 85 41 77 00	12, IMPASSE DU CARLOUP	71331 CHALON SUR SAONE CEDEX
LES VILLANDIERES GRENOBLE		04 76 63 63 00	50, RUE DE MORTILLET	38000 GRENOBLE
LES VILLANDIERES MAISONS-LAFFITTE		01 34 93 50 00	5, AVENUE FAVART	78600 MAISONS LAFFITTE
LES VILLANDIERES OUISTREHAM		02 31 36 42 00	40, BOULEVARD BOVIN CHAMPEAUX	14150 OUISTREHAM
LES VILLANDIERES VALENCE		04 75 82 38 00	9, RUE JULES MASSENET	26000 VALENCE
CENTRES DE SOINS DE SUITE ET DE READAPTATION				
LA BOISSIERE		02 37 33 49 00	22, RUE DE LA BOISSIERE	28630 NOGENT LE PHAYE
CHATEAU DE SAINT PIERE OURSIN		02 31 20 19 00		14370 VIMONT
RESIDENCES AVEC SERVICES				
LES FLORIALES NARBONNE	*	04 68 90 35 35	10-11, QUAI D'ALSACE	11100 NARBONNE
LES FLORIALES SETE	*	04 67 46 22 22	16, RUE VOLTAIRE	34200 SETE

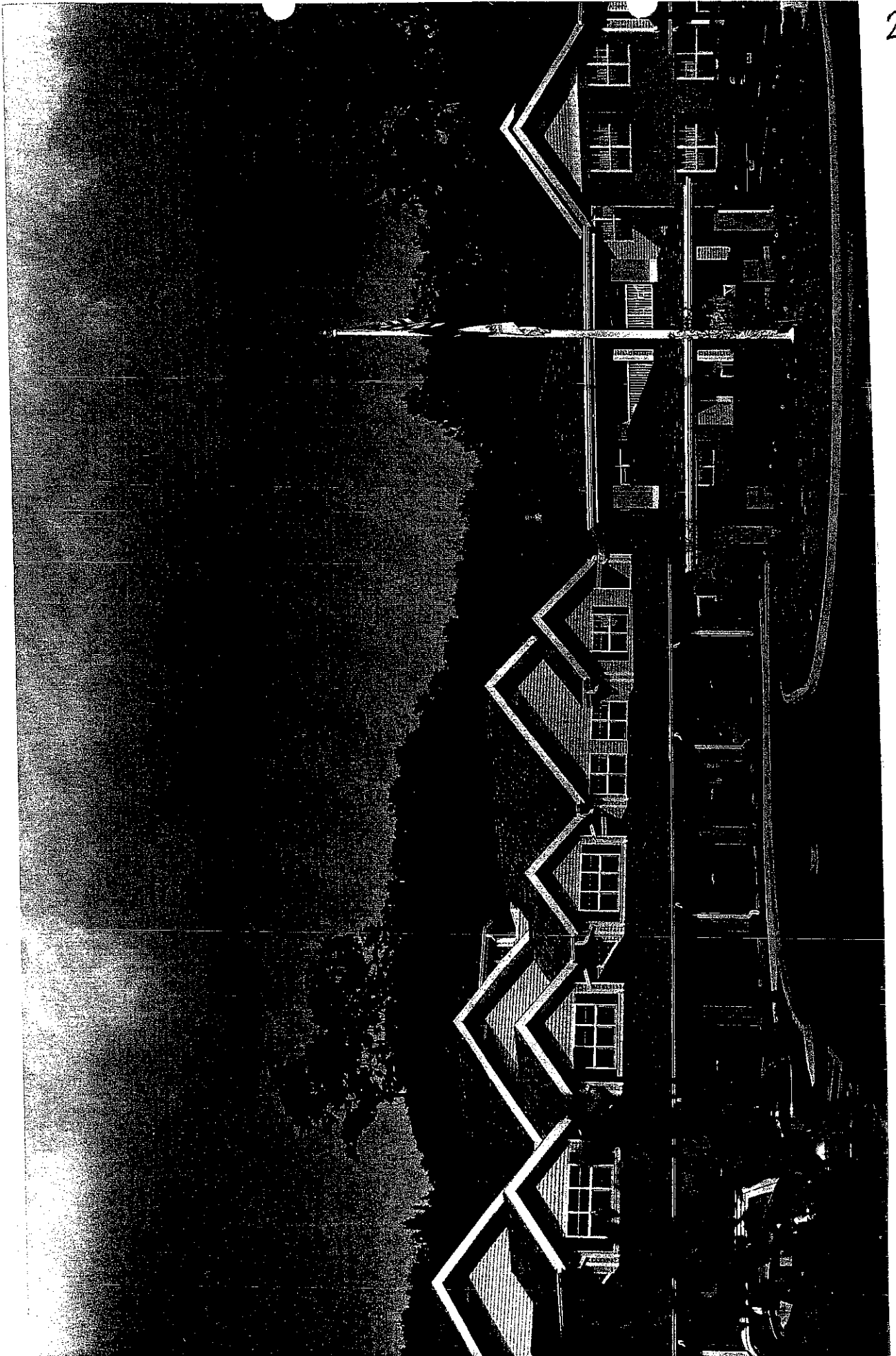


Devonshire Estates Retirement Residence
Lenox, Massachusetts

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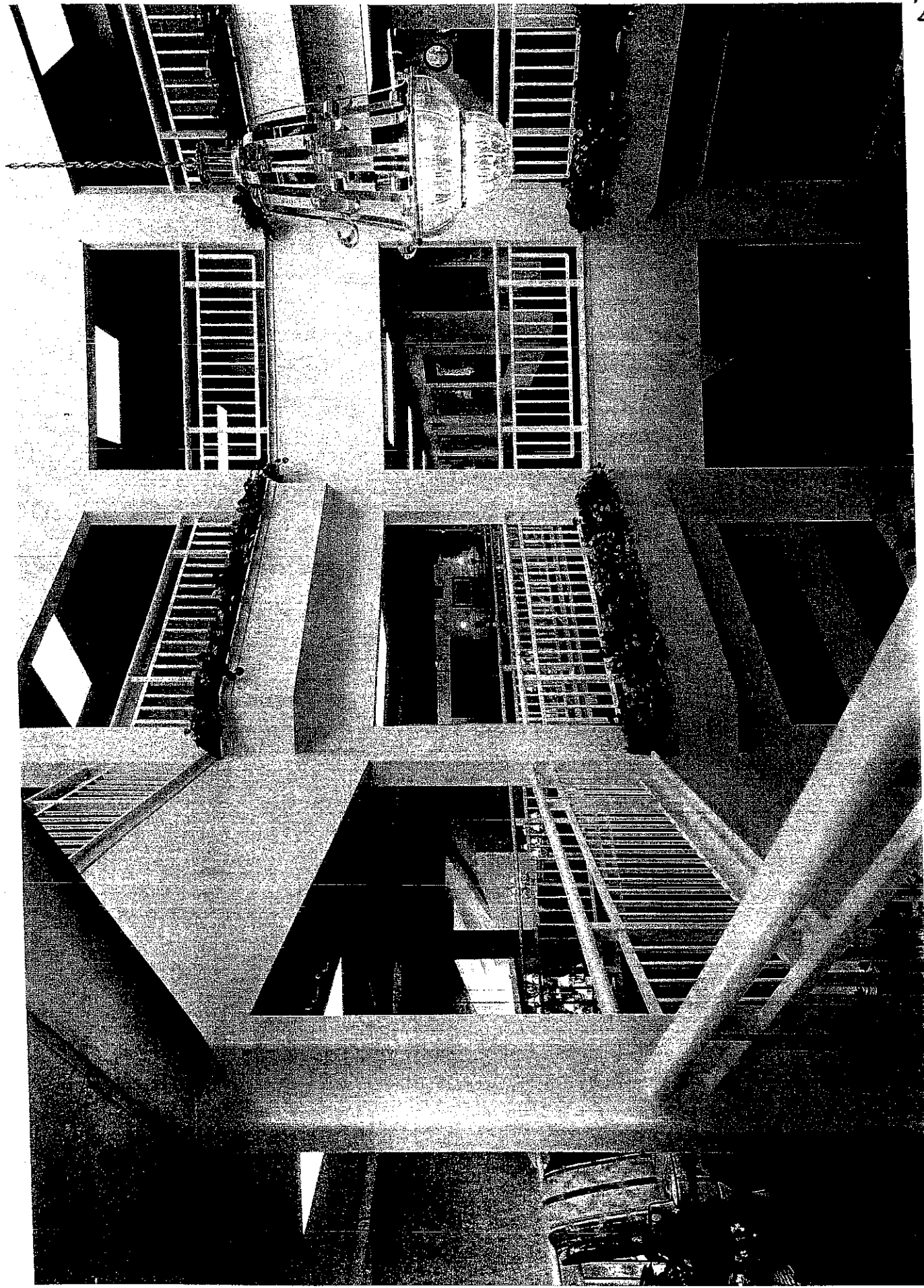
Devonshire Estates Retirement Residence
Lenox, Massachusetts



Maplewood Estates Retirement Residence
Fairport, New York



Dining Room
Westminster Retirement Residence
Greenville, South Carolina



Atrium
Westminster Retirement Residence
Cincinnati, Ohio, Ohio



Private Suite
Westminster Retirement Residence
Greenville, South Carolina

PROPERTY DEVELOPED AND MANAGED BY HOLIDAY RETIREMENT CORP.

A4. 3

FACILITY NAME	ADDRESS	SUITES	GARDEN SUITES	COTTAGES	ALZ UNITS	TOTAL SUITES	PARKING SPACES	PER SUITE
Canyon Meadows	12 Deerview Terrace SE, Calgary, Alberta T2J 7E5	100	0	0	0	100	60	0.6
Churchill Manor	5815 34th Avenue, Edmonton, Alberta T5L 7B8							
Victoria Park	#9 Avery Street, Red Deer, Alberta T4R 2S6	112	0	0	0	112	70	0.625
Ironwood Estates	40 Ironwood Point, St. Albert, Alberta T8N 6C7	109	0	0	0	109	57	0.5229
Okanagan Chateau	2100 Benvoulin, Kelowna, BC V1W3A4	106	0	0	0	106	63	0.59
Loftlake Chateau	3033 Ross Rd., Nanaimo, BC V9T 5S8	111	0	0	0	111	60	0.54
Imperial Place	13853 102nd Ave., Surrey, BC V3T 1P2	102	0	0	0	102	73	0.72
Victorian, The	3773 Falther Rd., Victoria, BC V8N 2A4	91	0	0	0	91	43	0.47
Riverheights Terrace	4525 Victoria Ave., Brandon, Manitoba R7B 4A6	117	0	0	0	117	70	0.60
Amber Meadow	320 Pipeline Rd., Winnipeg, Manitoba R2P 2X5	114	0	0	0	114	72	0.63
Saint Anne's Court	81 Duncan Lane, Fredericton, NB E3B 4S2	114	0	0	0	114	72	0.63
Chateau de Champlain	300 Boars Head Rd., St. John, New Brunswick E2L 3W2	114	0	0	0	114	70	0.61
Kingsdale Chateau	520 Kingsdale Ave., Kingston, ONT K7M 9B6	114	0	0	0	114	72	0.50
Masonville Manor	350 North Canine Rd., London, ONT N5X 3N1	112	0	0	0	112	65	0.5893
Crystal View Lodge	#6 Meridian Place, Nepean, ONT K2G 6L9	114	2	3	0	119	70	0.6195
Sherbrooke Heights	1434 Sherbrooke St. West, Peterborough, ONT	114	0	0	0	114	70	0.614
Fairwinds Lodge	1218 Michigan Ave., Sarnia, ONT N7S 6J4	111	0	0	0	111	61	0.5495
Anchor Pointe	540 Ontario St., St. Catharines, ONT L2N 6J7	123	2	0	0	125	109	0.872
The Cr. @ Phigle Creek	3975 Anderson St., Whitby, ONT L1N 9R5	114	5	0	0	119	70	0.5882
Kennington Court	1953 Cabana Rd. West, Windsor, Ontario	114	0	0	0	114	67	0.5877
Queen Victoria Estates	2025 Heseltine Road, Regina Sask SK S4N 7L2	114	0	0	0	114	67	0.5877
Primrose Chateau	310 Cree Crescent, Saskatoon, Sask S7K 8C	114	0	0	0	114	72	0.63
Hawthorns, The	18-21 Elton Road, Clevedon, N. Somerset BS21	109	0	0	0	109	46	0.45
The Hawthornes - Eastbourne	Carry Road, Eastbourne, BN21 2AX	102	0	0	0	102	87	0.76
Monarch Estates	E. University Drive Auburn, AL	114	0	0	0	114	54	0.49
University Oaks	550 University Blvd S., Mobile, AL 36609	110	0	0	0	110	52	0.49
Eastdale Estates	5801 Eastdale Dr., Montgomery, AL 36117	107	0	0	0	107	56	0.50
Anderson Plaza	2801 Anderson Ct., Little Rock, AR 72007	111	0	0	0	111	98	0.75
Gardens at Arkanshire	5000 Arkanshire Circle, Springdale, AR 72674	111	20	0	0	131	55	0.55
Vista Del Rio	33619 N. 94th Dr., Peoria, AZ 85381	112	5	0	0	118	72	0.64
Vista de la Montana	18510 N. Parkview Place, Surprise, AZ 85374	110	3	0	0	113	56	0.50
Desert Rose	15445 S. 14th Ave, Yuma, AZ 85364	113	0	0	0	113	76	0.62
Quail Lodge	4840 Deer Valley Road, Antioch, CA 94509	121	2	0	0	123	63	0.67
Oaks of Auburn, The	3250 Blue Oaks Dr., Auburn, CA 95602	110	0	0	0	110	88	0.79
Carriage House Estates	3200 Westwood Dr., Bakersfield, CA 93311	112	6	6	0	124		

PROPERTY DEVELOPED AND MANAGED BY HOLIDAY RETIREMENT CORP.

FACILITY NAME	ADDRESS	SUITES	GARDEN SUITES	COTTAGES	ALZ UNITS	TOTAL SUITES	PARKING SPACES	PER SUITE
Columbus Estates	3301 Columbus, Bakersfield, CA 93306	125	0	0	0	125	75	0.60
Oakmont	2801 Cohasset, Chico, CA 95926	91	0	0	0	91	51	0.56
Creekside Oaks	1715 Creekside Rd., Folsom, CA 95630	103	0	0	0	103	72	0.55
Fig Garden	6035 N. Marks Ave., Fresno, CA 93711	101	0	0	0	101	46	0.46
Windsor, The	2727 N. 11th Ave., Hanford, CA 93230	112	0	4	0	116	67	0.52
Waterford Terrace	5580 Aztec Dr., La Mesa, CA 91942	90	0	0	0	90	42	0.47
Palms, The	13001 La Mirada Blvd., La Mirada, CA 91639	162	0	0	0	162	80	0.49
Vintage, The	2145 W. Kettleman Dr., Lodi, CA 95240	108	9	0	0	117	62	0.53
Hampshire, The	3450 R St., Merced, CA 95348	109	4	0	0	113	87	0.59
Standford Place	3420 Shawnee Dr., Modesto, CA 95350	102	0	0	0	102	65	0.64
Redwood	2350 Redwood Rd., Napa, CA 94558	97	0	0	0	97	52	0.54
Deer Park	846 Canyon Rd., Novato, CA 94947	85	0	0	0	85	43	0.51
Feather Canyon	5505 Canyon View Drive, Paradise, CA 95565	115	5	0	0	120	84	0.74
Bay Park	2621 Appian Wy., Pinole, CA 94564	96	0	0	0	96	51	0.53
Sierra Hills	2500 W. Henderson Ave., Porterville, CA 93257	112	7	0	0	119	75	0.64
Valencia Commons	6729 Hermosa, Rancho Cucamonga, CA	114	0	0	0	114	72	0.63
Hilltop	451 Hilltop Dr., Ridding, CA 95803	95	0	0	0	95	41	0.43
Mission Commons	10 Terracina Blvd., Redlands, CA 92373	139	0	0	0	139	104	0.75
Magnolia	8537 Magnolia, Riverside, CA 92573	95	0	0	0	95	35	0.35
Las Brisas	1299 Briarwood Dr., San Luis Obispo, CA 93401	100	0	0	0	100	45	0.45
Westmont	1675 Scott Blvd., Santa Clara, CA 95050	135	0	0	0	135	90	0.66
Walnut Park	4119 W. Walnut, Visalia, CA 93277	101	0	0	0	101	63	0.52
Arcadia Place	1080 Arcadia Ave., Vista, CA 92084	114	0	0	0	114	59	0.51
Bridgescreek	3501 Holt Ave., West Covina, CA 91791	108	0	0	0	108	54	0.50
Sunridge	5820 Flintridge Dr., Colorado Springs, CO 80918	90	0	0	0	90	45	0.50
Quincy Place	7200 Quincy Ave. East, Denver, CO 80202	113	4	0	0	117	74	0.63
Parkwoods Estates	2201 S. Lemay, Ft. Collins, CO 80525	110	0	0	0	110	168	1.53
Atrium of Grand Valley, Th	3260 N. 12th, Grand Junction, CO 81506	126	0	0	0	126	79	0.63
Mesa View	501 Horizon Place, Grand Junction, CO 81506	101	0	0	0	101	39	0.39
Greeley Place	1051 6th St., Greeley, CO 80631	102	0	0	0	102	46	0.45
Courtyard at Lakewood	7405 West 13th Ave., Lakewood, CO 80216	121	0	0	0	121	41	0.34
Lakewood Estates	9585 W. Dakota Ave., Lakewood, CO 80226	90	0	0	0	90	52	0.58
Longmont Regent	2210 Main St., Longmont, CO 80501	95	0	0	0	95	57	0.70
Pueblo Regent	100 San Carlos, Pueblo, CO 81005	97	0	0	0	97	41	0.42
Augustine Landing	10141 Old St. Augustine Rd., Jacksonville, FL 32257	109	0	0	0	109	65	0.60

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FACILITY NAME	ADDRESS	SUITES	GARDEN SUITES	COTTAGES	ALZ UNITS	TOTAL SUITES	PARKING SPACES	PER SUITE
Azalea Park	1325 Grasslands Blvd, Lakeland, FL 33813	115	0	0	0	115	79	0.69
University Pines	8991 University Parkway, Pensacola, FL 32514	110	3	0	0	113	54	0.48
Cherry Laurel	1009 Concord Dr., Tallahassee, FL	115	0	0	0	115	67	0.58
Ink Place	735 Epps Bridge Rd., Athens, GA	118	6	16	0	140	138	1.23
Washington Commons	4100 Washington Road, Augusta, GA 30909	115	0	10	0	125	74	0.70
Riverplace	5850 River Rd., Columbus, GA 31904	112	0	0	0	112	53	0.56
The Regency House	341 Winn Wy., Decatur, GA 30030	102	0	0	0	102	60	0.59
Smoky Springs	940 South Endra Drive, Gainesville, GA 30601	116	0	0	0	116	70	0.61
Pinegate	4207 Forsythe Rd., Macon, GA	115	0	0	0	115	82	0.71
River's Edge	5206 Waters Ave, Savannah, GA 31406	118	0	4	0	119	74	0.67
Hawaii Kai - Phase I	428 Kawaihae Dr., Honolulu, HI 96825	139	0	13	43	195	173	1.02
Hawaii Kai - Phase II	428 Kawaihae St, Honolulu, HI 96825	135	0	2 OPLX	38	175	145	0.87
Palmer Hills	2617 Maplecrest Rd., Bettendorf, IA 52722	104	0	0	0	104	63	0.61
Seavergate Estates	4510 Douglas Ave., Des Moines, IA 50310	102	0	0	0	102	58	0.57
Walden Place	2423 Walden Rd., Iowa City, IA 52246	102	0	0	0	102	60	0.59
Hillside Hills	8308 Colby Parkway, Urbandale, IA 50322	104	3	0	0	107	76	0.71
Chateau de Boise	7250 Poplar St., Boise, ID 83704	98	0	0	0	98	42	0.43
Essington Estates	901 Essington Rd., Joliet, IL 60435	110	0	0	0	110	56	0.51
Blair House	1200 East College, Normal, IL 61761	109	0	0	0	109	66	0.61
Montain Estates	2501 Montvale Dr., Springfield, IL 62704	109	10	0	0	119	64	0.64
Redbud Hills	333 E. Moores Pike, Bloomington, IN 47401	112	0	0	0	112	64	0.57
Parkside Court	3660 Central Ave., Columbus, IN 47203	98/80	0	0	0	118	75	0.64
Willow Park	5050 Lincoln Ave., Evansville, IN 47715	98	0	0	0	98	49	0.50
Arbor Glen	5202 St. Joe Rd., Ft. Wayne, IN 46835	110	8	0	0	118	59	0.50
Thornton Place	2901 SW Armstrong, Topeka, KS 66614-5632	112	7	0	0	119	70	0.59
Grasslands Estates	W of SWC of 13th St W & Maize	115	0	0	0	115	72	0.65
Ashwood Place	102 Leonardwood, Frankfort, KY 40601	99	0	0	0	99	71	0.72
Harbard Hills	4470 Yates Creek Rd., Lexington, KY 40515	117	0	0	0	117	59	0.59
Oxmoor Lodge	8021 Christian Way, Louisville, KY 40222	112	4	2	0	118	80	0.70
Panther Creek Estates	620 Valley College Drive, Louisville, KY 40272	115	0	0	0	115	84	0.71
Wheaton Estates	8680 Jefferson Hwy., Baton Rouge, LA 70809	98	0	0	0	98	48	0.49
Nouveau Mare	1101 Sunset Blvd., Kenner, LA 70055	108	0	0	0	108	33	0.31
Landing at Behrman Place	3601 Behrman Place, New Orleans, LA 70114	107	0	0	0	107	38	0.36
Summerfield Estates	5133 Baird Rd., Shreveport, LA 71119	101	0	0	0	101	52	0.51
Quail Run Estates	50 Cardinal Drive Agawam, MA 01001	107	5	9	0	121	75	0.73

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FACILITY NAME	ADDRESS	SUITES	GARDEN SUITES	COTTAGES	ALZ UNITS	TOTAL SUITES	PARKING SPACES	PER SUITE
Summer Place	20 Summer St., Chelmsford, MA 01824	110	0	0	0	110	62	0.56
Devonshire Estates	329 Pittsfield Rd., Lenox, MA 01240	108	10	10	0	128	110	0.70
Sunbury Village	922 Ohio St. Bangor, ME 04401	115	0	0	0	115	78	0.68
The Woods at Canco	219 Canco Rd., Portland, ME 04103	115	5	8	0	128	91	0.81
Genesee Gardens	4905 of Calkins Rd., Flint, MI	117	0	0	0	117	78	0.67
The Marquette	5968 Park Lake Rd., Meridian, MI 48823	115	0	0	0	115	69	0.60
Blue Water Lodge	2840 Keewatin Rd., Port Huron, MI 48065	115	0	4	0	119	78	0.70
Wascourt	4141 McCarty Rd., Saginaw, MI 48603	109	5	4	0	118	73	0.66
Glen Eagle	Silver Lake @ South Airport Rd., Traverse City, MI	115	0	4	0	119	78	0.70
The Inn at Cass Lake	900 N. Cass Lake Rd., Waterford, MI 48328	110	0	0	0	110	64	0.68
Aurora Pond	5516 Byron Center Ave. S.W., Wyoming, MI 49509	115	7	10	0	132	120	1.07
Lodge at White Bear	3666 East County Line Rd., White Bear Lake, MN 55110	115	0	0	0	115	69	0.60
Buracrest Estates	14525 Clayton Rd., Baltimore, MD 53011	90	0	0	0	90	53	0.59
Cambridge, The	2900 S. Jefferson, Springfield, MO 65807	113	0	0	0	113	0	0.00
Country Square	1602 Buckingham St., St. Joseph, MO 64505	110	0	0	0	110	64	0.68
Lakeview Park	1391 Bowles Ave., St. Louis, MO	112	0	0	0	112	72	0.64
Aspen View	3075 Avenue O., Billings, MT 59102	109	12	4	0	125	97	0.83
Hunter's Pointe	2801 Colonial Dr., Helena, MT 59601	109	0	6	0	115	90	0.87
Durham Regent	3097 Pickett Rd., Durham, NC 27705	122	0	0	0	122	89	0.32
Emerald Pond	205 Emerald Pond Lane, Durham, NC 27705	112	0	6	0	118	74	0.70
Lakeshore Commons	1402 Hospital Plaza Dr., Wilmington, NC 28401	119	0	0	0	119	67	0.57
The Woods at Holly Tree	4610 Holly Tree Rd., Wilmington, NC 28403	115	0	0	0	115	69	0.51
Creekside Terrace	N. side of Old Vineyard Rd., Winston-Salem, NC	112	0	0	0	112	87	0.75
Brentwood Estates	1111 So. 70th, Lincoln, NE 68510	103	0	0	0	103	62	0.60
Bear Canyon Estates	4440 Morris St. NE, Albuquerque, NM 87111	110	14	0	0	124	77	0.62
Golden Mesa	150 N. Roadrunner Parkway Las Cruces, NM 88001	110	10	9	0	129	104	0.94
Carson Plaza	2120 E. Long, Carson City, NV 89705	96	0	0	0	96	58	0.60
Maplewood Estates	55 Ayrault Rd., Fairport, NY 14450	111	0	8	0	119	91	0.88
Tallgrass Estates	Camelot Dr., Bartlesville, OK 74005	113	0	0	0	113	65	0.55
Silver Arrow Estates	S. Elm Place, Broken Arrow, OK 74012	115	0	5	0	120	81	0.74
Mountain View	648 North Main, Ashland, OR 97520	110	0	0	0	110	58	0.53
Edgewoods Downs	7799 SW Scholls Ferry Rd., Beaverton, OR 97005	124	0	0	0	124	46	0.37
Edgewood Down ALF	7733 S.W. Scholls Ferry Rd., Beaverton, OR 97003	46 ALF	0	4	16	56	45	0.84
Stone Lodge	1460 N.E. 27th St., Bend, OR 97701	112	0	0	0	112	66	0.59
The Regent	440 Elks Dr., Corvallis, OR 97330	82	0	0	0	82	53	0.77

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FACILITY NAME	ADDRESS	SUITES	GARDEN SUITES	COTTAGES	ALT. UNITS	TOTAL SUITES	PARKING SPACES	PER SUITE
Stoneybrook Lodge	49th St. & S.W. Country Club Dr., Corvallis, OR 97333	115	0	5	0	120	80	0.73
Sheldon Oaks	2525 Cal Young Rd., Eugene, OR 97402	110	0	0	0	110	71	0.65
Somerset Lodge	8330 Cason Rd., Gladstone, OR 97027	115	7	0	0	122	80	0.66
Roughe Valley	1001 A St. NE., Grants Pass, OR 97526	50	0	0	0	50	40	0.80
Gresham Manor	2895 E. Powell Blvd., Gresham, OR 97080	102	0	0	0	102	46	0.45
Rock Creek	19255 N.W. Cornell Rd., Hillsboro, OR 97124	105	0	0	0	105	55	0.52
Royal Oak	2180 Poplar Dr., Medford, OR 97501	90	0	0	0	90	45	0.50
Parkrose Chateau	3141 NE 148th Ave., Portland, OR 97230	107	0	0	0	107	75	0.71
Garden Valley	1800 Hughwood, Roseburg, OR 97470	92	0	0	0	92	45	0.49
Hidden Lakes	400 Madrona Ave. SE., Salem, OR 97302	123	0	0	0	123	80	0.65
Bethel Park	2999 Bethel Church Rd., Bethel Park, PA 15102	116	0	0	0	116	70	0.60
The Manor @ Oakridge	4500 Oakhurst Blvd., Susquehanna Township, PA 17111	113	0	0	0	113	74	0.65
Pocasset Lodge	12 Old Pocasset Lane, Johnston, RI 02919	172	0	0	0	172	102	0.59
Forest Pines	1720 Devonshire Dr., Columbia, SC 29204	115	0	0	0	115	59	0.50
Haywood Estates	1180 Haywood Rd., Greenville, SC 29615	110	0	0	0	110	53	0.48
Westminster	11 E. Augusta Pl., Greenville, SC 29605	115	0	0	0	115	70	0.61
Indigo Pines	110 Gardner Drive, Hilton Head Is., SC 29926	113	5	0	0	118	68	0.58
Deepwood Estates	202 Old Chapel Rd., Lexington, SC 29072	115	0	0	0	115	72	0.63
Holiday Hills Estates	2620 Holiday Lane, Rapid City, SD 57702	113	0	0	0	113	69	0.61
Rosewood Estates	505 Rice Rd., Tyler, TX 75703	110	0	0	0	110	54	0.49
Creekside @ Shallowford	7511 Shallowford Rd., Chattanooga, TN 37421	114	0	4	0	118	65	0.59
Uffelman Estates	125 Uffelman Dr., Clarksville, TN 37043	104	3	0	0	107	51	0.57
Manor at Steeplechase	314 Cool Springs Blvd., Franklin, TN 37067	118	0	0	0	118	71	0.60
Jackson Meadow	25 Max Lurie Dr., Jackson, TN 38305	113	0	0	0	113	73	0.65
Echo Ridge	8458 Gleason Dr., Knoxville, TN 37919	109	0	0	0	109	63	0.58
Franklin Park	3393 Kirby Rd., Memphis, TN 38115	129	0	0	0	129	67	0.52
Clairmont	4707 Bell St., Amarillo, TX 79109	96	0	0	0	96	47	0.49
Arlington Plaza	6801 W. Polly Webb Rd., Arlington, TX 76015	96	0	0	0	96	58	0.71
Fox Run	2315 Little Rd., Arlington, TX 76016	102	0	0	0	102	54	0.53
Eaglewood Estates	2603 Jones Rd., Austin, TX 78745	110	0	0	0	110	64	0.58
Bentley, The	3362 Forest Lane, Dallas, TX 75234	109	8	0	0	117	81	0.69
Whiteoak Court	8900 Block of Whiteoak Trail, Dallas, TX 75204	115	0	0	0	115	78	0.68
Rio Norte	1941 Saul Kleinfeld Dr., El Paso TX 79936	110	5	4	0	119	63	0.57
Ventura Place	3025 54th St., Lubbock, TX 79413	112	15	5	0	136	95	0.71
Polo Park	2100 Casleford Rd., Midland, TX 79705	107	0	0	0	107	65	0.61

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Brock Ridge	4001 W Ridge Rd., Pharr, TX 78577	107	0	0	0	107	67	0.63
Cottonwood Estates	1940 West Spring Creek Parkway, Plano, TX 75086	113	0	0	0	113	68	0.60
El Dorado	744 W. Alapalo Rd., Richardson, TX 75080	102	0	0	0	102	53	0.52
Cowhorn Creek Estates	8353 Cowhorn Creek Rd., Texarkana, TX 75503	112	0	0	0	112	67	0.60
Rosewood Estates	505 Rice Rd., Tyler, TX 75703	110	0	0	0	110	54	0.49
Lakeshore Estates	3209 Village Green Dr., Waco, TX 76710	110	5	0	0	115	70	0.61
Pioneer Valley Lodge	400 East St. & 2150 North St.	115	0	0	0	115	72	0.63
Harrison Regent	481 Harrison Blvd., Ogden, UT 84403	90	0	0	0	90	39	0.43
Seville, The	325 W. Center, Orem, UT 84058	97	0	0	0	97	54	0.56
Fairmont, The	9852 Fairmont Ave., Manassas, VA 22110	100	0	0	0	100	32	0.32
Virginia, The	800 Twinridge Lane, Richmond, VA 23235	117	0	0	0	117	72	0.62
Elm Park	4230 Elm View Rd., Roanoke, VA 24014	110	0	0	0	110	63	0.57
Garden Club, Bellevue	13350 SE 26th, Bellevue, WA 98005	103	0	0	0	103	43	0.42
Parkway Chateau	2818 Old Fairhaven Pkwy., Bellingham, WA 98225	109	0	0	0	109	60	0.55
Cascadian	3515 Golby Ave., Everett, WA 98201	102	0	0	0	102	52	0.51
Capitol Place	700 Black Lake Blvd., Olympia, WA 98502	104	0	0	0	104	56	0.54
Evergreen Place	1415 Monroe Ave. NE, Renton, WA 98056	110	0	0	0	110	55	0.53
Harvard Park	1616 E. 30th Ave., Spokane, WA 99203	105	0	0	0	105	39	0.37
Pt. Defiance	5414 N. Park Way, Tacoma, WA 98407	136	0	0	0	136	71	0.52
Park Plaza	1400 Dalles Military Rd., Walla Walla, WA 99362	99	0	0	0	99	55	0.56
The Inn at Cass Lake	900 N. Cass Lake Rd., Waterford, MI 48328	110	0	0	0	110	64	0.58

Block 25 – Tier 1

Letter to

Maine Historic Preservation Commission

March 3, 2004
03233

Mr. Earle G. Shettleworth, Jr.
Maine Historic Preservation Commission
55 Capitol Street
State House Station 65
Augusta, ME 04333

Historic Preservation Commission Review
Portland Assisted Living Facility, Canco Road, Portland, Maine

Dear Mr. Shettleworth:


On behalf of XL Management Company, LLC/Holiday Retirement Corp., we respectfully request your review of the Historic Preservation Commission database for any historic significance to the property proposed for the development of the Portland Assisted Living Facility located on Canco Road in Portland, Maine.

I have included a copy of the Natural Resources Protection Act Permit application for this development which depicts the project site, the existing conditions plan, and the proposed development plan for the property.

If you have any questions on this project, please do not hesitate to contact me. I look forward to hearing from you.

Sincerely,

SEBAGO TECHNICS, INC.


Owens A. McCullough, P.E.
Sr. Project Manager

OAM:jc
Enc.

cc: Kristin Newland, Curry Brandaw Architects

REVIEW

From: Jeff Tarling
To: Kandi Talbot
Date: Fri, Apr 23, 2004 3:33 PM
Subject: Re: Canco Wood

Kandi,

I have reviewed the updated landscape plan for Canco Woods. The revisions to the species / plant list by Sebago Technics improve the original landscape plan. This second phase should blend in nicely to the original project.

Jeff Tarling

April 26, 2004

Kandi Talbot
City of Portland
389 Congress St.
Portland, ME 04101

RE: Colson & Colson/Holiday Retirement Corp. – Canco Woods

Dear Ms. Talbot,

This letter is to inform you that Colson & Colson and Holiday Retirement Corp. are financially capable of building the subject property. If Colson & Colson/Holiday Retirement Corp. requested construction financing for this project, Wells Fargo Bank would be willing to consider financing the project. Although Wells Fargo has not received a loan application for this project, I assume that terms mutually acceptable to both parties could be agreed on.

Sincerely,

A handwritten signature in black ink that reads "Jennifer Tyler". The signature is written in a cursive, flowing style.

Jennifer Tyler
Vice President
Wells Fargo Bank
(503) 945-2413

cc: Greg Tibbot

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
DRC Copy**

2003-0196
Application I. D. Number
9/18/2003
Application Date
Holiday Retirement - Phase 2
Project Name/Description

Portland Retirement Residence
Applicant
PO Box 14111, Salem, OR 97302
Applicant's Mailing Address

Consultant/Agent
Applicant Ph: (503) 370-7070 Agent Fax:
Applicant or Agent Daytime Telephone, Fax

217 - 217 Canco Rd, Portland, Maine
Address of Proposed Site
149 B001001
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

72,000 s.f. Proposed Building square Feet or # of Units **_____** Acreage of Site **_____** **R3/OP** Zoning

Check Review Required:

- | | | | |
|---|--|--|--|
| <input checked="" type="checkbox"/> Site Plan (major/minor) | <input type="checkbox"/> Subdivision # of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | | <input type="checkbox"/> Other _____ |

Fees Paid: Site Plan **\$1,000.00** Subdivision _____ Engineer Review **\$7,463.30** Date **6/1/2004**

DRC Approval Status:

Reviewer **Sebago Technic**

- Approved **Approved w/Conditions** Denied
See Attached

Approval Date **4/27/2004** Approval Expiration **4/27/2005** Extension to _____ Additional Sheets Attached
 Condition Compliance **Kandi Talbot** **7/27/2004**
signature date

Performance Guarantee **Required*** **Not Required**

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input checked="" type="checkbox"/> Performance Guarantee Accepted	7/2/2004 date	\$373,165.00 amount	6/25/2005 expiration date
<input type="checkbox"/> Inspection Fee Paid	_____ date	_____ amount	
<input type="checkbox"/> Building Permit Issue	_____ date		
<input type="checkbox"/> Performance Guarantee Reduced	_____ date	_____ remaining balance	_____ signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____ date	<input type="checkbox"/> Conditions (See Attached)	_____ expiration date
<input type="checkbox"/> Final Inspection	_____ date	_____ signature	
<input type="checkbox"/> Certificate Of Occupancy	_____ date		
<input type="checkbox"/> Performance Guarantee Released	_____ date	_____ signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____ submitted date	_____ amount	_____ expiration date
<input type="checkbox"/> Defect Guarantee Released	_____ date	_____ signature	

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM**

2003-0196

Application I. D. Number

9/18/2003

Application Date

Holiday Retirement - Phase 2

Project Name/Description

Portland Retirement Residence

Applicant

PO Box 14111, Salem, OR 97302

Applicant's Mailing Address

Consultant/Agent

Applicant Ph: (503) 370-7070 Agent Fax:

Applicant or Agent Daytime Telephone, Fax

217 - 217 Canco Rd, Portland, Maine

Address of Proposed Site

149 B001001

Assessor's Reference: Chart-Block-Lot

Approval Conditions of Planning

- 1 1. that the project engineer address the Development Review Coordinator's comments raised in the April 21, 2004 memo, and the final plans shall require approval by the Development Review Coordinator after such consultation.
- 2 2. that the applicant provide a subdivision recording plat for the development, as required by the subdivision ordinance, which shall include all easements between Parcel A and Parcel B.
- 3 3. that the applicant revise the plans in accordance with the Public Works' comments dated March 10, 2004 regarding the sewer connection.
- 4 4. that the applicant submit the Tier 1 Wetlands Alteration Permit approval from the Maine Department of Environmental Protection prior to issuance of a building permit.
- 5 5. that the applicant submit easement deed or deeds between owners of Parcel A and Parcel B for review and approval by Corporation Counsel.
- 6 6. that the applicant shall provide satisfactory evidence of it's legal right to install a sewer line within Dudley Street and Lee Street as shown on the plan and, if no such right is shown, applicant will provide an alternative design and location to the Planning Authority for review and approval prior to the issuance of a Certificate of Occupancy.
- 7 7. Prior to issuance of a building permit, the Zoning Administrator will be provided the subdivision plan for review with compliance with zoning provisions of ordinance relative to the lots.

Approval Conditions of DRC

- 1 see planning conditions

Approval Conditions of Fire

- 1 Application requires State Fire Marshal approval.
- 2 Applicant must show hydrant within 500' path of travel.

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Planning Copy**

2003-0196
Application I. D. Number
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Planning Approval Status:

Reviewer **Kandi Talbot**

- Approved **Approved w/Conditions** Denied
See Attached

Approval Date **4/27/2004** Approval Expiration **4/27/2005** Extension to _____ Additional Sheets Attached

OK to Issue Building Permit **Kandi Talbot** **7/27/2004**
signature date

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DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM**

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Approval Conditions of DRC

- 1 see planning conditions

Approval Conditions of Fire

- 1 Application requires State Fire Marshal approval.
- 2 Applicant must show hydrant within 500' path of travel.

~~Penny -~~
Please review.
Thanks,
Kandi

To Kandi Talbot
Planning

Fax Cover Sheet

Bank of America



Real Estate Banking Group Oregon
121 SW Morrison 7th Floor
Portland, OR 97204
Fax: 503-279-3474

To: Kandice Company: _____

Date: 6/22/04

Phone Number: _____

Confidential
Public
Internal _____
Restricted _____

Fax Number: 207-874-8716

To: Dianne
From: _____

Total # of Pages: 4

If transmission problems occur, call: 503-279-3520

Message: RE: Culson-Culson L/C

Please get back when
approved -
Thank You -

Dianne
503.279.3472
Fax 503.279.3474

The information contained in this FAX message is intended only for the confidential use of the designated recipient named above. This message may contain contractual and proprietary information and as such is privileged and confidential. If the reader of this message is not the intended recipient or an agent responsible for delivering it to the intended recipient, you are hereby notified that you have received this document in error, and that any review, dissemination, distribution or copying of this message is strictly prohibited. If you have received this communication in error, please notify us immediately by telephone and return the message to us by mail.

DRAFT FOR DISCUSSION PURPOSES ONLY

DATE: JUNE 22, 2004

IRREVOCABLE STANDBY LETTER OF CREDIT NUMBER: 3063873

BENEFICIARY
CITY OF PORTLAND
389 CONGRESS STREET
4TH FLOOR - PLANNING DIVISION
PORTLAND, MAINE 04101
ATTN: LEE D. URBAN -
PLANNING AND DEVELOPMENT
DEPARTMENT DIRECTOR

APPLICANT
PORTLAND ASSISTED LIVING L.L.C.
C/O COLSON & COLSON CONSTRUCTION CO.
2250 MCGILCHRIST ST. SE
STE 200
SALEM, OR 97302
ATTN: GREG TIBBOT

WORDING IS ACCEPTABLE

AMOUNT
USD 373,165.00
THREE HUNDRED SEVENTY THREE
THOUSAND ONE HUNDRED SIXTY
FIVE AND 00/100'S U.S. DOLLARS

X Colson & Colson Construction Co.
X *Greg Tibbot*
City of Portland, Maine

EXPIRATION _____ AT OUR
COUNTERS *Date expired*

RE: APPLICATION OF PORTLAND ASSISTED LIVING L.L.C. FOR PORTLAND ASSISTED LIVING FACILITY AT 219 CANCO ROAD, PORTLAND, MAINE

BANK OF AMERICA, N.A. HEREBY ISSUE THIS IRREVOCABLE LETTER OF CREDIT FOR THE ACCOUNT OF PORTLAND ASSISTED LIVING L.L.C., AS DEVELOPER, (HEREINAFTER REFERRED TO AS "DEVELOPER"), IN THE NAME OF THE CITY OF PORTLAND (THE "CITY"), IN THE AGGREGATE AMOUNT OF THREE HUNDRED SEVENTY THREE THOUSAND ONE HUNDRED SIXTY FIVE AND 00/100'S U.S. DOLLARS (\$373,165.00).

WE ARE ADVISED BY THE APPLICANT THAT THIS LETTER OF CREDIT IS TO COVER TO SATISFY THE DEVELOPER'S OBLIGATION, UNDER PORTLAND CODE ORDINANCE CHAPTER 14, §§501, 502 AND 525, TO POST A PERFORMANCE GUARANTEE FOR THE ABOVE REFERENCED DEVELOPMENT.

THE CITY OF PORTLAND MAY DRAW ON THIS LETTER OF CREDIT BY PRESENTATION OF A SIGHT DRAFT AND THE ORIGINAL LETTER OF CREDIT AND ALL AMENDMENTS THERETO, AT BANK OF AMERICA, N.A., 333 SOUTH BEAUDRY AVENUE, 19TH FLOOR, LOS ANGELES, CA 90017, MAIL CODE: CA9-703-19-23 ACCOMPANIED BY THE BENEFICIARY STATEMENT SIGNED BY THE DIRECTOR OF PLANNING DEVELOPMENT OF THE CITY OF PORTLAND STATING THE FOLLOWING:

- "1. THE DEVELOPER HAS FAILED TO SATISFACTORILY COMPLETE BY OCTOBER 1, 2005 THE WORK ON THE IMPROVEMENTS CONTAINED WITHIN THE CANCO WOODS PHASE II, APPROVAL DATED APRIL 27, 2004; OR
2. THE DEVELOPER HAS FAILED TO DELIVER TO THE CITY A DEED CONTAINING THE Metes AND BOUNDS DESCRIPTION OF ANY STREETS, EASEMENTS OR OTHER IMPROVEMENTS REQUIRED TO BE DEEDED TO THE CITY; OR
3. THE DEVELOPER HAS FAILED TO POST THE TEN PERCENT (10%) DEFECT GUARANTEE REQUIRED BY PORTLAND CODE OF ORDINANCES CHAPTER 14 §§501 AND 502; OR
4. THE DEVELOPER HAS FAILED TO NOTIFY THE CITY FOR INSPECTIONS."

DRAFT FOR DISCUSSION PURPOSES ONLY

PAGE: 2

THIS IS AN INTEGRAL PART OF LETTER OF CREDIT NUMBER: 3063873

IF A DEMAND FOR PAYMENT MADE BY YOU HEREUNDER DOES NOT, IN ANY INSTANCE, CONFORM TO THE TERMS AND CONDITIONS OF THIS LETTER OF CREDIT, WE SHALL NOTIFY YOU WITHIN THREE (3) WORKING DAYS OF THE DISHONOR THAT THE PURPORTED DEMAND NOT EFFECTED IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF THIS LETTER OF CREDIT, STATING THE REASONS THEREFORE AND THAT WE ARE HOLDING ANY DEMAND AT YOUR DISPOSAL OR ARE RETURNING THEM TO YOU, AS WE MAY ELECT. UPON BEING NOTIFIED THAT THE PURPORTED DEMAND WAS NOT EFFECTED IN CONFORMITY WITH THIS LETTER OF CREDIT, YOU MAY ATTEMPT TO CORRECT ANY SUCH NONCONFORMING DEMAND FOR PAYMENT WITHIN THE CURRENT EXPIRATION DATE.

THE AVAILABLE AMOUNT OF THIS LETTER OF CREDIT WILL BE AUTOMATICALLY REDUCED WITHOUT AN AMENDMENT, UPON OUR RECEIPT OF A STATEMENT SIGNED BY THE BENEFICIARY STATING THE REDUCTION AMOUNT AND THE NEW AVAILABLE AMOUNT AND REFERENCING OUR LETTER OF CREDIT NUMBER 3063873.

IT IS A CONDITION OF THIS LETTER OF CREDIT THAT IT IS DEEMED TO BE AUTOMATICALLY EXTENDED WITHOUT AMENDMENT FOR PERIOD(S) OF ONE YEAR EACH FROM THE CURRENT EXPIRATION DATE HEREOF, OR ANY FUTURE EXPIRATION DATE, UNLESS AT LEAST SIXTY (60) DAYS PRIOR TO ANY EXPIRATION DATE, THE BANK OF AMERICA, N.A. NOTIFIES THE CITY BY CERTIFIED MAIL OR OVERNIGHT COURIER TO CITY OF PORTLAND, 389 CONGRESS STREET, PORTLAND, MAINE 04101, ATTN: DUANE KLINE THAT BANK OF AMERICA, N.A. ELECTS NOT TO CONSIDER THIS LETTER OF CREDIT RENEWED FOR ANY SUCH ADDITIONAL PERIOD.

IN THE EVENT YOU ARE SO NOTIFIED ANY UNUSED PORTION OF THE LETTER OF CREDIT SHALL BE AVAILABLE UPON PRESENTATION, WITHIN THE CURRENT EXPIRATION DATE, OF YOUR SIGHT DRAFT ON US ACCOMPANIED BY A STATEMENT SIGNED BY THE DIRECTOR OF PLANNING AND DEVELOPMENT STATING THE FOLLOWING:

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5. THE DEVELOPER HAS FAILED TO NOTIFY THE CITY FOR INSPECTIONS."

THIS LETTER OF CREDIT WILL EXPIRE THE EARLIER OF:

- (1) UPON BANK OF AMERICA, N.A.'S RECEIPT THE ORIGINAL LETTER OF CREDIT AND ALL AMENDMENTS ACCOMPANIED BY A SIGNED BENEFICIARY STATEMENT STATING THAT THE WORK CONTAINED WITHIN THE CANCO WOODS PHASE II APPROVAL AND AS REQUIRED BY PORTLAND CODE OR ORDINANCES CHAPTER 14 §§499, 499.5, 525 AND CHAPTER 25 §§45 THROUGH 65 HAS BEEN COMPLETED IN ACCORDANCE WITH THE CITY OF PORTLAND'S SPECIFICATIONS AND THE BANK OF AMERICA, N.A. LETTER OF CREDIT NO. 3063873 MAY BE CANCELLED; OR

DRAFT FOR DISCUSSION PURPOSES ONLY

PAGE: 3

THIS IS AN INTEGRAL PART OF LETTER OF CREDIT NUMBER: 3063873

(2) _____ OR ANY AUTOMATICALLY EXTENDED EXPIRATION DATE AS SPECIFIED HEREIN.

WE HEREBY AGREE WITH YOU THAT DRAFT(S) DRAWN UNDER AND IN COMPLIANCE WITH THE TERMS OF THIS LETTER OF CREDIT WILL BE DULY HONORED UPON PRESENTATION AT BANK OF AMERICA N.A., 333 SOUTH BEAUDRY AVENUE, 19TH FLOOR, LOS ANGELES, CA 90017, MAIL CODE CA9-703-19-23, AS SPECIFIED HEREIN.

THIS LETTER OF CREDIT IS SUBJECT TO INTERNATIONAL STANDBY PRACTICE ("ISP98"), ICC PUBLICATION NO. 590.

IF YOU REQUIRE ANY ASSISTANCE OR HAVE ANY QUESTIONS REGARDING THIS TRANSACTION, PLEASE CALL 213-345-5304.

**Draft
For Discussion
Purposes Only**
AUTHORIZED SIGNATURE

**Draft
For Discussion
Purposes Only**
AUTHORIZED SIGNATURE

Fax Cover Sheet

Bank of America



Real Estate Banking Group Oregon
121 SW Morrison 7th Floor
Portland, OR 97204
Fax: 503-279-3474

To: Randice

Company: _____

Date: 6/22/04

Phone Number: _____

Fax Number: 207-874-8716

From: Dianne

Total # of Pages: 4

Confidential

Public

Internal

Restricted

If transmission problems occur, call: 503-279-3520

Message:

RE: Culson-Culson L/c

Please get back when
approved -

Thank You

Dianne

503-279-3472

Fax 503-279-3474

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DRAFT FOR DISCUSSION PURPOSES ONLY

DATE: JUNE 22, 2004

IRREVOCABLE STANDBY LETTER OF CREDIT NUMBER: 3063873

BENEFICIARY
CITY OF PORTLAND
389 CONGRESS STREET
4TH FLOOR - PLANNING DIVISION
PORTLAND, MAINE 04101
ATTN: LEE D. URBAN -
PLANNING AND DEVELOPMENT
DEPARTMENT DIRECTOR

APPLICANT
PORTLAND ASSISTED LIVING L.L.C.
C/O COLSON & COLSON CONSTRUCTION CO.
2250 MCGILCHRIST ST. SE
STE 200
SALEM, OR 97302
ATTN: GREG TIBBOT

WORDING IS ACCEPTABLE

AMOUNT
USD 373,165.00
THREE HUNDRED SEVENTY THREE
THOUSAND ONE HUNDRED SIXTY
FIVE AND 00/100'S U.S. DOLLARS

X Colson & Colson Construction Co.

X City of Portland, Maine

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COUNTERS Date specific

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3. THE DEVELOPER HAS FAILED TO DELIVER TO THE CITY A DEED CONTAINING THE Metes AND BOUNDS DESCRIPTION OF ANY STREETS, EASEMENTS OR OTHER IMPROVEMENTS REQUIRED TO BE DEEDED TO THE CITY; OR
4. THE DEVELOPER HAS FAILED TO POST THE TEN PERCENT (10%) DEFECT GUARANTEE REQUIRED BY PORTLAND CODE OF ORDINANCES CHAPTER 14 §§501 AND 502; OR
5. THE DEVELOPER HAS FAILED TO NOTIFY THE CITY FOR INSPECTIONS."

THIS LETTER OF CREDIT WILL EXPIRE THE EARLIER OF:

- (1) UPON BANK OF AMERICA, N.A.'S RECEIPT THE ORIGINAL LETTER OF CREDIT AND ALL AMENDMENTS ACCOMPANIED BY A SIGNED BENEFICIARY STATEMENT STATING THAT THE WORK CONTAINED WITHIN THE CANCO WOODS PHASE II APPROVAL AND AS REQUIRED BY PORTLAND CODE OR ORDINANCES CHAPTER 14 §§499, 499.S, 525 AND CHAPTER 25 §§45 THROUGH 65 HAS BEEN COMPLETED IN ACCORDANCE WITH THE CITY OF PORTLAND'S SPECIFICATIONS AND THE BANK OF AMERICA, N.A. LETTER OF CREDIT NO. 3063873 MAY BE CANCELLED; OR

DRAFT FOR DISCUSSION PURPOSES ONLY

PAGE: 3

THIS IS AN INTEGRAL PART OF LETTER OF CREDIT NUMBER: 3063873

(2) _____ OR ANY AUTOMATICALLY EXTENDED EXPIRATION DATE AS SPECIFIED HEREIN.

WE HEREBY AGREE WITH YOU THAT DRAFT(S) DRAWN UNDER AND IN COMPLIANCE WITH THE TERMS OF THIS LETTER OF CREDIT WILL BE DULY HONORED UPON PRESENTATION AT BANK OF AMERICA N.A., 333 SOUTH BEAUDRY AVENUE, 19TH FLOOR, LOS ANGELES, CA 90017, MAIL CODE CA9-703-19-23, AS SPECIFIED HEREIN.

THIS LETTER OF CREDIT IS SUBJECT TO INTERNATIONAL STANDBY PRACTICE ("ISP96"), ICC PUBLICATION NO. 590.

IF YOU REQUIRE ANY ASSISTANCE OR HAVE ANY QUESTIONS REGARDING THIS TRANSACTION, PLEASE CALL 213-345-5304.

Draft
For Discussion
Purposes Only

AUTHORIZED SIGNATURE

Draft
For Discussion
Purposes Only

AUTHORIZED SIGNATURE

Nathan H. Smith
Mayor



City of Portland
Office of the Mayor and Council
Portland, Maine

March 29, 2004

Councilors

James F. Cloutier
James J. Cohen
Jill C. Duson
Karen A. Geraghty
William R. Gorham
Cheryl A. Leeman
Nicholas M. Mavodones, Jr.
Peter E. O'Donnell
Nathan H. Smith

Kandice Talbot, Planner
Planning Division
City of Portland
389 Congress Street
Portland, ME 04101

Dear Kandice:

I am writing to express my strong support for Phase II of the Woods at Canco Road proposal.

The Holiday Retirement Corp. has a proven track record of delivering on their promises for quality development and being a good neighbor. They made a commitment to the above and delivered with their Phase I implementation. It is with this commitment in mind that I lend my support to their request.

It is my understanding that approval of their site plan will allow them to proceed with construction of an 80-suite assisted living facility with four cottage suites. I believe this project would be a wonderful addition to the existing facility and our neighborhood.

Please give Holiday Retirement Corp. every consideration for approval of Phase II of Woods at Canco Road.

Sincerely,

Cheryl A. Leeman

Cheryl A. Leeman
City Councilor
District 4

Copies to: Stan & Kim Poplaski (Woods @ Canco Road)
Residents of Woods @ Canco Road
Neighborhood Interested Parties



STATE OF MAINE
17 State House Station
Augusta, ME 04333

received
5-12-04
SEBAGO TECHNICS

IN THE MATTER OF

XL MANAGEMENT COMPANY LLC/
HOLIDAY RETIREMENT CORPORATION
Portland, Cumberland County
THE WOODS AT CANCO ROAD
L-21747-TC-B-N (approval)

) NATURAL RESOURCE PROTECTION ACT
) FRESHWATER WETLAND ALTERATION
) WATER QUALITY CERTIFICATION
) FINDINGS OF FACT AND ORDER

Project Description: The applicant is seeking approval to fill 14,564 square feet of forested wetland to construct an expansion to an existing assisted living facility located on Canco Road in the city of Portland. Previous construction of Phase I of the development resulted in filling of 4,200 square feet of forested wetland that was exempt from Department review at the time but is included in this application. All areas impacted by wetland fill are shown on a set of plans entitled, "Portland Assisted Living Facility - Phase II Wetland Crossing Overview", drawn by Sebago Technics and dated February 27, 2004. Phase II of the project consists of an 80-suite assisted living facility and four cottage units to be located on a forested 9.7-acre parcel on the southeasterly side of the 20-acre site. Approximately five acres of the Phase II acreage is zoned by the City of Portland as designated open space. Development is therefore restricted to the portion of land adjacent to the currently facility. Further design constraints are imposed by design requirements for a slab-on-grade foundation with a floor plan suitable for the target resident population. Within these limits, the applicant has avoided and minimized wetland impacts to the extent feasible while achieving the project purpose.

Permit for:	<input checked="" type="checkbox"/> Tier 1	<input type="checkbox"/> Tier 2
DEP Decision:	<input checked="" type="checkbox"/> Approved	<input type="checkbox"/> Denied (see attached letter)
CORPS Action:	<input checked="" type="checkbox"/> The Corps has been notified of your application. The following are subject to Federal screening: (1) projects with previously authorized or unauthorized work, in combination with a Tier 1 permit for a single and complete project, which total more than 15,000 square feet of altered area; (2) projects with multiple state permits and/or state exemptions which apply to a single and complete project that total more than 15,000 square feet of altered area; and (3) projects that may impact a vernal pool, as determined by the State of Maine or the Corps. If your activity is listed above, <i>Corps approval is required for your project.</i> For information regarding the status of your application contact the Corps' Maine Project Office at 623-8367.	

Standard Conditions:

- 1) If construction or operation of the activity is not begun within two (2) years from the date signed, this permit shall lapse and the applicant shall reapply to the Department for a new permit. This permit is transferable only with prior approval from the Department. If the activity is associated with a larger project, starting any aspect of that project constitutes start of construction.
- 2) The project shall be completed according to the plans in the application. Any change in the project plans must be reviewed and approved by the Department.
- 3) Properly installed erosion control measures shall be installed prior to beginning the project, and all disturbed soil should be stabilized immediately upon project completion.
- 4) A copy of this approval will be sent to the City of Portland. Department approval of your activity does not supersede or substitute the need for any necessary local approvals.

Please note the attached sheet for guidance on appeal procedures.

THIS APPROVAL DOES NOT CONSTITUTE OR SUBSTITUTE FOR ANY OTHER REQUIRED STATE, FEDERAL OR LOCAL APPROVALS NOR DOES IT VERIFY COMPLIANCE WITH ANY APPLICABLE SHORELAND ZONING ORDINANCES.


DAWN R. GALLAGHER, COMMISSIONER

5/10/04
DATE

F	I	L	E	D
MAY 11 2004				
BOARD OF ENVIRONMENTAL PROT. STATE OF MAINE				

Date of initial application 03/23/04
Date application accepted for processing 04/9/04
Date filed with Board of Environmental Protection
WB/T# L21747BN

NATURAL RESOURCE PROTECTION ACT (NRPA)
STANDARD CONDITIONS

THE FOLLOWING STANDARD CONDITIONS SHALL APPLY TO ALL PERMITS GRANTED UNDER THE NATURAL RESOURCE PROTECTION ACT, TITLE 38, M.R.S.A. SECTION 480-A ET.SEQ. UNLESS OTHERWISE SPECIFICALLY STATED IN THE PERMIT.

- A. Approval of Variations From Plans. The granting of this permit is dependent upon and limited to the proposals and plans contained in the application and supporting documents submitted and affirmed to by the applicant. Any variation from these plans, proposals, and supporting documents is subject to review and approval prior to implementation.
- B. Compliance With All Applicable Laws. The applicant shall secure and comply with all applicable federal, state, and local licenses, permits, authorizations, conditions, agreements, and orders prior to or during construction and operation, as appropriate.
- C. Erosion Control. The applicant shall take all necessary measures to ensure that his activities or those of his agents do not result in measurable erosion of soils on the site during the construction and operation of the project covered by this Approval.
- D. Compliance With Conditions. Should the project be found, at any time, not to be in compliance with any of the Conditions of this Approval, or should the applicant construct or operate this development in any way other than specified in the Application or Supporting Documents, as modified by the Conditions of this Approval, then the terms of this Approval shall be considered to have been violated.
- E. Initiation of Activity Within Two Years. If construction or operation of the activity is not begun within two years, this permit shall lapse and the applicant shall reapply to the Board for a new permit. The applicant may not begin construction or operation of the activity until a new permit is granted. Reapplications for permits shall state the reasons why the applicant will be able to begin the activity within two years from the granting of a new permit, if so granted. Reapplications for permits may include information submitted in the initial application by reference.
- F. Reexamination After Five Years. If the approved activity is not completed within five years from the date of the granting of a permit, the Board may reexamine its permit approval and impose additional terms or conditions to respond to significant changes in circumstances which may have occurred during the five-year period.
- G. No Construction Equipment Below High Water. No construction equipment used in the undertaking of an approved activity is allowed below the mean high water line unless otherwise specified by this permit.
- H. Permit Included In Contract Bids. A copy of this permit must be included in or attached to all contract bid specifications for the approved activity.
- I. Permit Shown To Contractor. Work done by a contractor pursuant to this permit shall not begin before the contractor has been shown by the applicant a copy of this permit.

Revised (4/92)

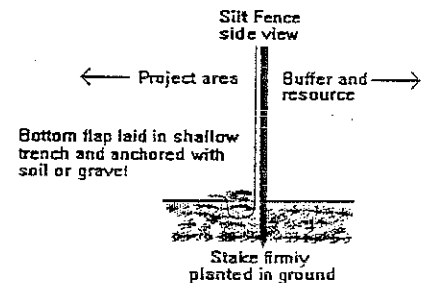
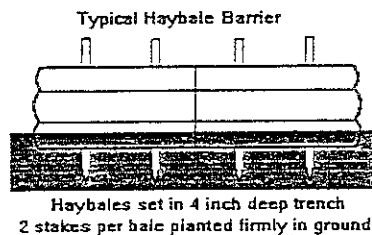
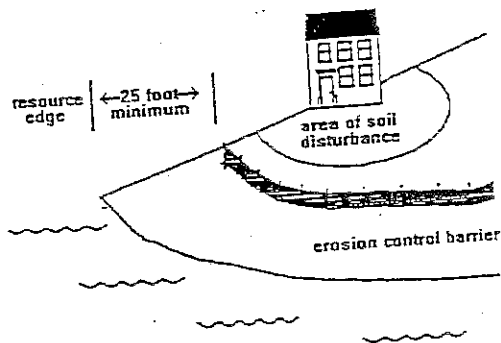
DEP LW0428



Erosion Control

Before Construction

1. If you have hired a contractor, make sure you have discussed your permit with them. Talk about what measures they plan to take to control erosion. Everybody involved should understand what the resource is and where it is located. Most people could identify the edge of a lake or a river. The edges of wetlands, however, are often not obvious. Your contractor may be the person actually pushing dirt around but you are both responsible for complying with the permit.
2. Call around and find sources for your erosion controls. You will probably need silt fence, hay bales and grass seed or conservation mix. Some good places to check are feed stores, hardware stores, landscapers and contractor supply houses. It is not always easy to find hay or straw during late winter and early spring. It may also be more expensive during those times of year. Plan ahead. Purchase a supply early and keep it under a tarp.
3. Before any soil is disturbed, make sure an erosion control barrier has been installed. The barrier can be either a silt fence, a row of staked hay bales, or both. Use the drawings below as a guide for correct installation and placement. The barrier should be placed as close as possible to the activity.
4. If a contractor is installing the barrier, double check it as a precaution. Erosion control barriers should be installed "on the contour", meaning at the same level along the land slope, whenever possible. This keeps stormwater from flowing to the lowest point of the barrier where it builds up and overflows or destroys it.

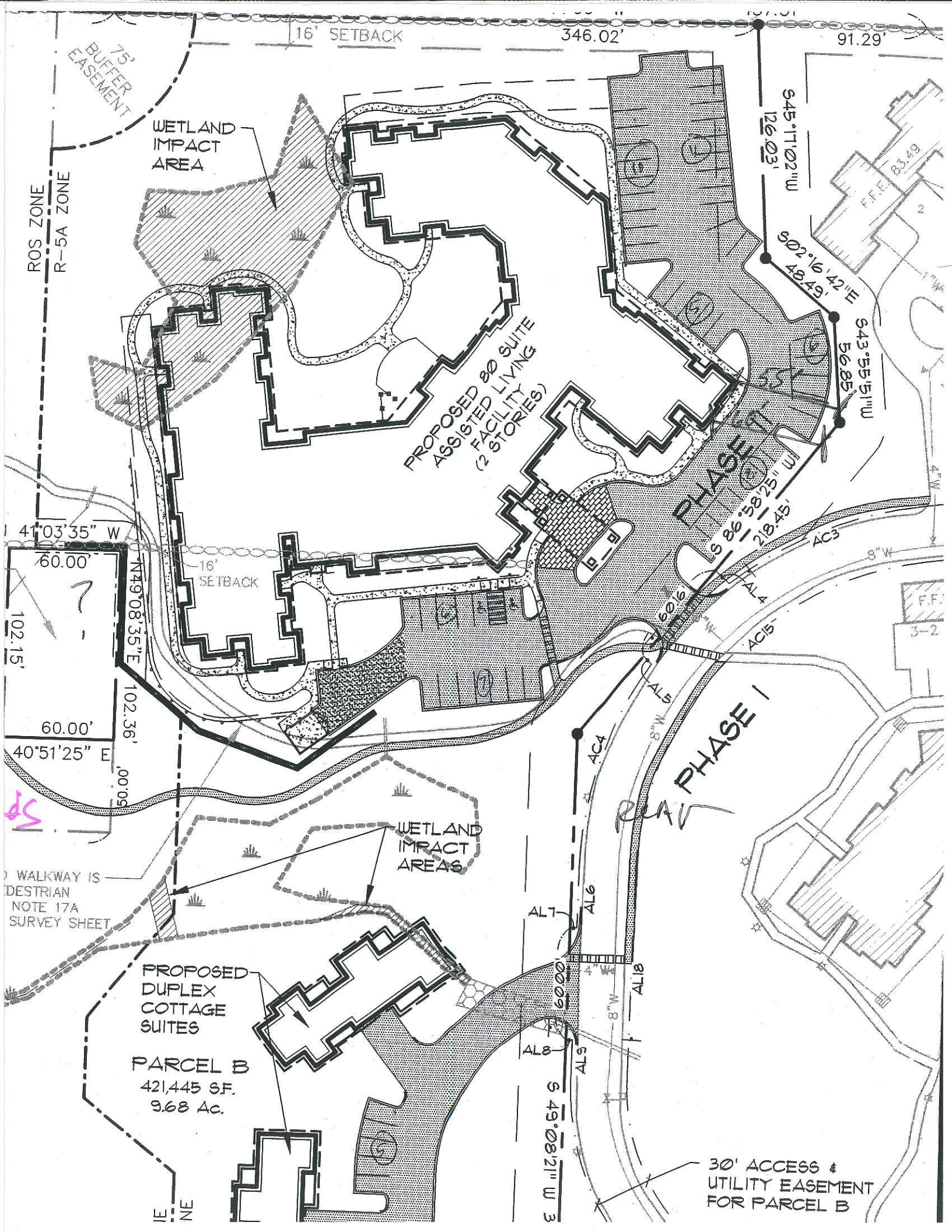


During Construction

1. Use lots of hay or straw mulch on disturbed soil. The idea behind mulch is to prevent rain from striking the soil directly. It is the force of raindrops striking the soil that causes a lot of erosion. More than 90% of erosion is prevented by keeping the soil covered.
2. Inspect your erosion control barriers frequently. This is especially important after a rainfall. If there is muddy water leaving the project site, then your erosion controls are not working as intended. In that situation, stop work and figure out what can be done to prevent more soil from getting past the barrier.

After Construction

1. After the project is complete, replant the area. All ground covers are not equal. For instance, a mix of creeping red fescue and Kentucky bluegrass is a good choice for lawns and other high maintenance areas. The same mix would not be a good choice for stabilizing a road shoulder or a cut bank that you don't intend to mow.
2. If you finish your project after September 15, then do not spread grass seed. There is a very good chance that the seed will germinate and be killed by a frost before it has a chance to become established. Instead, mulch the site with a thick layer of hay or straw. In the spring, rake off the mulch and seed the area. Don't forget to mulch again to hold in moisture and prevent the seed from washing away.
3. Keep your erosion control barrier up and maintained until the area is permanently stabilized.



16' SETBACK

346.02'

91.29'

75' BUFFER EASEMENT

WETLAND IMPACT AREA

PROPOSED 80 SUITE FACILITY ASSISTED LIVING (2 STORIES)

PHASE I

WETLAND IMPACT AREA 6

PROPOSED DUPLEX COTTAGE SUITES

PARCEL B
421,445 SF.
9.68 Ac.

30' ACCESS & UTILITY EASEMENT FOR PARCEL B

ROS ZONE
R-5A ZONE

41.03' 35" W
60.00'
102.15'
60.00'
40.51' 25" E
102.36'
102.36'
00.05'
49.08' 35" E

WALKWAY IS DESTRIAN
NOTE 17A SURVEY SHEET

1E NE

AL3
STV
S 49° 08' 21" W 3
AL4
AL5
AL6
AL7
AL8
91.7'
91.7'
00.09'
83.49'

PHASE I

545.11' 102" W
126.03'
802.16' 42" E
48.49'
543.55' 51" W
56.85'

F.F. 3-2

SEBAGO TECHNICS, INC.

One Chabot Street
 P.O. Box 1339
 WESTBROOK, ME 04098-1339

LETTER OF TRANSMITTAL

6824

Phone (207) 856-0277 FAX (207) 856-2206

TO City of Portland
Planning Dept.
389 Congress Street
Portland Maine 04101

DATE	6/29/04	JOB NO.	04005
ATTENTION	Kandice Talbot		
RE:	XL Management		

WE ARE SENDING YOU Attached Under separate cover via _____ the following items:

- Shop drawings Prints Plans Samples Specifications
 Copy of letter Change order _____

COPIES	DATE	NO.	DESCRIPTION
1	6/04	en.	Lot descriptions & easement description

THESE ARE TRANSMITTED as checked below:

- For approval Approved as submitted Resubmit _____ copies for approval
 For your use Approved as noted Submit _____ copies for distribution
 As requested Returned for corrections Return _____ corrected prints
 For review and comment _____
 FOR BIDS DUE _____ PRINTS RETURNED AFTER LOAN TO US

REMARKS _____

COPY TO Kristin Newland - City of Portland

SIGNED: [Signature]

If enclosures are not as noted, kindly notify us at once.

SUGGESTED DEED DESCRIPTION
Portland Assisted Living, LLC

A certain lot or parcel of land situated on the northerly side of Frye Street, so called, in the City of Portland, County of Cumberland, State of Maine being depicted on a plan of land titled "Overall Development & Subdivision Plan of Portland Assisted Living Facility, Phase II", dated through May 5, 2004 by Sebago Technics, Inc., said parcel being more particularly bounded and described as follows:

Beginning at a capped 5/8 inch iron rebar at the northwesterly corner of land now or formerly of Daniel Train by deed recorded in the Cumberland County Registry of Deeds in Book 12144, Page 248;

Thence N 41°-10'-40" W, by and along said Frye Street, a distance of 45.00 feet to a capped 5/8 inch iron rebar;

Thence S 48°-49'-20" W, by and along the terminus of said Frye Street and land now or formerly of Marcia Grant by deeds recorded in the Cumberland County Registry of Deeds in book 7134, Page 256, in Book 6319, Page 274, and in Book 3086, Page 563, a total distance of 169.81 feet to a capped 5/8 inch rebar set;

Thence N 41°-29'-50" W, by and along land now or formerly of Doris C. Carney by deed recorded in the Cumberland County Registry of Deeds in Book 1336, Page 370, a distance of 155.32 feet to a point;

Thence N 41°-44'-00" W, by and along land now or formerly of Central Maine Power Company by deed recorded in Book 3595, Page 312, a distance of 346.02 feet to a capped 5/8 inch rebar set;

Thence N 45°-17'-02" E, by and along Portland Retirement Residence, LLC as shown on said plan, a distance of 126.03 feet to a point;

Thence N 02°-16'-42" W, by and along said Portland Retirement Residence, LLC, a distance of 48.49 feet to a point;

Thence N 43°-55'-51" E, by and along said Portland Retirement Residence, LLC, a distance of 56.85 feet to a point;

Thence N 86°-58'-25" E, by and along said Portland Retirement Residence, LLC, a distance of 218.45 feet to a point;

Thence N 49°-08'-21" E, by and along said Portland Retirement Residence, LLC, a distance of 348.67 feet to a point;

Thence S 40°-51'-39" E, by and along said Portland Retirement Residence, LLC, a distance of 207.73 feet to a point;

Thence N 49°-08'-21" E, by and along said Portland Retirement Residence, LLC, a distance of 75.08 feet to a point;

Thence S 40°-51'-39" E, by and along land now or formerly of Charles W. Boyce and Donna J. Boyce by deed recorded in Book 3564, Page 88; by and along land now or formerly of Richard W. Leighton by deed recorded in Book 6881, Page 341; by and along land now or formerly of Lorraine L. Joy by deed recorded in Book 9248, Page 267; by and along land now or formerly of Darryl Johnson by deed recorded in Book 8193, Page 22; and by and along land now or formerly of Barbara A. Aceto by deed recorded in Book 5036, Page 277; a total distance of 382.00 feet to a point;

Thence S 49°-08'-35" W, by and along Lee Street, so called, a distance of 361.92 feet to a capped 5/8 inch iron rebar;

Thence N 40°-51'-25" W, by and along Dudley Street, so called, a distance of 130.76 feet to a capped 5/8 inch iron rebar;

Thence S 49°-08'-35" W, by and along the terminus of said Dudley Street and land now or formerly of Anthony Aceto by deed recorded in Book 4969, Page 140, a total distance of 150.16 feet to a point;

Thence S 44°-02'-15" E, by and along said land of Anthony Aceto, a distance of 3.30 feet to a capped 5/8 inch iron rebar;

Thence S 48°-49'-20" W, by and along said land of Daniel Train, a distance of 119.95 feet to the point of beginning.

Said lot being subject to all easements and restrictions of record.

Meaning and intending to describe a lot or parcel of land containing 9.68 acres, more or less, being Portland Assisted Living, LLC as shown on a plan of land titled "Overall Development & Subdivision Plan of Portland Assisted Living Facility, Phase II", dated through May 5, 2004 by Sebago Technics, Inc.

Exceptions and reserving a portion of land described as follows:

Beginning at a point on the westerly side of Dudley Street, so called, at the northeasterly corner of land now or formerly of Anthony Aceto by deed recorded in Book 4969, Page 140;

Thence N 40°-51'-25" W, a distance of 150.00 feet to the true point of beginning;

Thence N 40°-51'-25" W, by and along said Dudley Street, 60.00 feet to a point;

Thence S 49°-08'-35" W, by and along Portland Assisted Living, LLC as shown on said plan, a distance of 102.36 feet;

Thence S 41°-03'-35" E, by and along said Portland Assisted Living, LLC, a distance of 60.00 feet to a point;

Thence N 49°-08'-35" E, by and along said Portland Assisted Living, LLC, a distance of 102.15 feet to the point of beginning.

Together with any private right over Dudley Street to the land described above.

DCS:dif/jc
June 15, 2004

**Suggested Deed Description
Access & Utility Easement over Portland Retirement Residence, LLC
Portland Assisted Living Facility**

A certain 50 foot wide access and utility easement situated on the southerly side of Canco Road, in the City of Portland, County of Cumberland, State of Maine being depicted on a plan of land titled "Overall Development & Subdivision Plan of Portland Assisted Living Facility Phase II" dated though May 5, 2004 by Sebago Technics, Inc., said easement being more particularly bounded and described as follows:

Beginning at a point in the southerly line of said Canco Road, said point being N 42°-37'-07" E, 290.03 feet from a ¾-inch rebar found with cap CMP Co. 1341 found;

Thence S 47°-25'-25" E, passing through land now or formerly of the City of Portland as described in a deed recorded in Book 1459, Page 243 and passing through Portland Retirement Residence, LLC as shown on said plan, a total distance of 69.99 feet to a point of curvature;

Thence on the following courses and distance, passing through said Portland Retirement Residence, LLC as shown on said plan:

Generally southeasterly, turning more southerly on a curve to the right having a radius of 72.00 feet, a central angle of 31°-12'-15", an arc distance of 39.21 feet to a point of tangency;

S 16°-13'-10" E, a distance of 135.87 feet to a point of curvature;

Generally southerly, turning more southeasterly on a curve to the left having a radius of 102.00 feet, a central angle of 33°-01'-50", an arc distance of 58.80 feet to a point of tangency;

S 49°-15'-00" E, a distance of 147.97 feet to a point of curvature;

Generally southeasterly, turning more easterly on a curve to the left having a radius of 205.00 feet, a central angle of 31°-13'-18", an arc distance of 111.71 feet to a point of tangency;

S 01°-06'-48" W, a distance of 10.33 feet to a point in the northerly line of Portland Assisted Living, LLC as shown on said plan;

N 86°-58'-25" E, by and along said Portland Assisted Living, LLC, a distance of 60.16 feet to a point;

N 01°-06'-48" E, a distance of 5.99 feet to a point;

Generally southeasterly, turning more easterly on a curve to the left having a radius of 205.00 feet, a central angle of $33^{\circ}-32'-03''$, an arc distance of 119.98 feet to a point of tangency;

N $49^{\circ}-09'-51''$ E, a distance of 30.44 feet to a point;

S $40^{\circ}-50'-09''$ E, a distance of 3.52 feet to a point in the northerly line of said Portland Assisted Living, LLC;

N $49^{\circ}-08'-21''$ E, a distance of 60.00 feet to a point;

N $40^{\circ}-50'-09''$ W, a distance of 3.52 feet to a point;

N $49^{\circ}-09'-51''$ E, a distance of 22.28 feet to a point of curvature;

Generally northeasterly, turning more northerly on a curve to the left having a radius of 140.00 feet, a central angle of $85^{\circ}-47'-23''$, an arc distance of 209.62 feet to a point of tangency;

N $36^{\circ}-37'-32''$ W, a distance of 69.85 feet to a point of curvature;

Generally northwesterly, turning more northerly on a curve to the right having a radius of 97.00 feet, a central angle of $40^{\circ}-46'-07''$, an arc distance of 69.02 feet to a point of tangency;

N $04^{\circ}-08'-35''$ E, a distance of 21.25 feet to a point of curvature;

Generally northwesterly, turning more westerly on a curve to the left having a radius of 140.00 feet, a central angle of $56^{\circ}-34'-24''$, an arc distance of 138.23 feet to a point of tangency;

N $52^{\circ}-25'-49''$ W, a distance of 24.14 feet to a point of curvature;

Generally northwesterly, turning more westerly on a curve to the left having a radius of 140.00 feet, a central angle of $47^{\circ}-19'-12''$, an arc distance of 115.62 feet to a point of reverse curvature;

Generally northwesterly, turning more northerly on a curve to the right having a radius of 140.00 feet, a central angle of $51^{\circ}-46'-24''$, passing through said Portland Retirement Residence, LLC and passing through said land of the City of Portland, a total arc distance of 126.51 feet to a point of tangency;

Thence N $47^{\circ}-58'-37''$ W, passing through said land of the City of Portland, a distance of 30.81 feet to a point in the southerly side of said Canco Road;

Thence S $42^{\circ}-37'-07''$ W, by and along said Canco Road, a distance of 30.00 feet to a point;

Thence S 47°-58'-37" E, passing through said land of the City of Portland, a distance of 31.12 feet to a point of curvature;

Thence generally southerly, turning more southeasterly on a curve to the left having a radius of 170.00 feet, a central angle of 51°-46'-24", passing through said land of the City of Portland and passing through said Portland Retirement Residence, LLC as shown on said plan, a total arc distance of 153.61 feet to a point of reverse curvature;

Thence on the following courses and distances passing through Portland Retirement Residence, LLC as shown on said plan:

Generally southeasterly, turning more southerly on a curve to the right having a radius of 110.00 feet, a central angle of 47°-19'-12", an arc distance of 90.85 feet to a point of tangency;

S 52°-25'-49"W, a distance of 24.14 feet to a point of curvature;

Generally southerly, turning more southwesterly on a curve to the right having a radius of 110.00 feet, a central angle of 56°-34'-24", an arc distance of 108.61 feet to a point of tangency;

S 04°-08'-35" W, a distance of 21.25 feet to a point of curvature;

Generally southerly turning more southwesterly on a curve to the right having a radius of 127.00 feet, a central angle of 40°-46'-07", an arc distance of 90.37 feet to a point of tangency;

S 36°-37'-32" E, a distance of 69.85 feet to a point of curvature;

Generally southwesterly turning more westerly on a curve to the right having a radius of 110.00 feet, a central angle of 85°-47'-23", an arc distance of 164.70 feet to a point of tangency;

S 49°-09'-51" W, a distance of 112.72 feet to a point of curvature;

Generally westerly, turning more northwesterly on a curve to the right having a radius of 175.00 feet, a central angle of 81°-35'-09", an arc distance of 249.19 feet to a point of tangency;

N 49°-15'-00" W, a distance of 147.97 feet to a point of curvature;

Generally northwesterly, turning more northerly on a curve to the right having a radius of 72.00 feet, a central angle of 33°-01'-50", an arc distance of 41.51 feet to a point of tangency;

SUGGESTED DEED DESCRIPTION
Portland Retirement Residence, LLC

A certain lot or parcel of land situated on the westerly side of Murray Street, so called, in the City of Portland, County of Cumberland, State of Maine bounded and described as follows:

Beginning at a capped 5/8 inch iron rebar at the northeasterly corner of land now or formerly of Doreen M. Goudreau and Jacques J. Goudreau by deed recorded in the Cumberland County Registry of Deeds in Book 7910, Page 32;

Thence S 49°-08'-35" W, by and along said land of Goudreau, a distance of 111.86 feet to a point;

Thence S 40°-51'-39" E, by and along said land of Goudreau; by and along land now or formerly of Jeffrey M. Dexter by deed recorded in Book 9989, Page 24; by and along land now or formerly of Susan C. Abbott and Cynthia M. Kunkel by deed recorded in Book 11429, Page 207; by and along land now or formerly of James A Trott and Jane E. Trott by deed recorded in Book 5090, Page 87; by and along land now or formerly of Robert M. Nelson and Peggy D. Nelson by deed recorded in Book 10482, Page 314; and by and along land now or formerly of Charles W. Boyce and Donna J. Boyce by deed recorded in Book 3564, Page 88; a total distance of 458.00 feet to a point;

Thence S 49°-08'-21" W, by and along Portland Assisted Living, LLC as shown on a plan of land titled "Overall Development & Subdivision Plan of Portland Assisted Living Facility, Phase II", dated through May 5, 2004 by Sebago Technics, Inc., a distance of 75.08 feet to a point;

Thence N 40°-51'-39" W, by and along said Portland Assisted Living, LLC, a distance of 207.73 feet to a point;

Thence S 49°-08'-21" W, by and along said Portland Assisted Living, LLC, a distance of 348.67 feet to a point;

Thence S 86°-58'-25" W, by and along said Portland Assisted Living, LLC, a distance of 218.45 feet to a point;

Thence S 43°-55'-51" W, by and along said Portland Assisted Living, LLC, a distance of 56.85 feet to a point;

Thence S 02°-16'-42" E, by and along said Portland Assisted Living, LLC, a distance of 48.49 feet to a point;

Thence S 45°-17'-02" W, by and along said Portland Assisted Living, LLC to the easterly line of land now or formerly of Central Maine Power Co. by deed recorded in the Cumberland County Registry of Deeds in Book 3595, Page 312, a distance of 126.03 feet to a point;

Thence N 41°-44'-00" W, by and along said land of Central Maine Power Company, a distance of 91.29 feet to a point;

Thence N 39°-48'-20" W, by and along said land of Central Maine Power Company, a distance of 225.17 feet to a 5/8 inch iron rebar found;

Thence N 41°-45'-36" W, by and along said land of Central Maine Power Company, distance of 110.38 feet to a capped 5/8 inch iron rebar;

Thence N 41°-43'-45" E, by and along land now or formerly of the City of Portland by deed recorded in the Cumberland County Registry of Deeds in Book 1459, Page 243, a distance of 672.58 feet to a point;

Thence N 40°-43'-25" E, by and along said land of the City of Portland, a distance of 173.25 feet to a capped 5/8 inch iron rebar;

Thence S 49°-23'-20" E, by and along said land of the City of Portland, a distance of 115.89 feet to a capped 5/8 inch iron rebar;

Thence N 49°-28'-50" E, by and along said land of the City of Portland, a distance of 218.05 feet to a point;

Thence S 40°-31'-10" E, by and along land now or formerly of East Deering Housing Association by deed recorded in Book 6948, Page 101, a distance of 151.05 feet to a capped 5/8 inch iron rebar;

Thence S 48°-55'-50" W, by and along land now or formerly of Victor O. Stacey by deed recorded in Book 3191, Page 537 and by the terminus of said Murray Street, a total distance of 153.34 feet to a capped 5/8 inch iron rebar;

Thence S 41°-04'-10" E, by and along said Murray Street, a distance of 103.56 feet to the point of beginning;

Meaning and intending to describe a lot or parcel of land containing 11.32 acres, more or less, named as Portland Retirement Residence, LLC as shown on a plan of land titled "Overall Development & Subdivision Plan of Portland Assisted Living Facility, Phase II", dated through May 5, 2004 by Sebago Technics, Inc.

Together with the easements given by the City of Portland to Portland Retirement Residence Limited Liability Company dated January 8, 1998 and recorded in the Cumberland County Registry of Deeds in Book 13549, Page 319.

Being a portion of the premises conveyed to Black Bear Development Corporation by deed recorded in Book 11866, Page 7.

Excepting and reserving from the above described premises for the benefit of Portland Assisted Living, LLC (Phase II) as shown on a plan entitled "Overall Development Plan of Portland Retirement Residence LLC" made for Curry Brandaw Architects and Colson and Colson General Contractor, Inc. by Sebago Technics, Inc., last dated July 21, 1998 and recorded in the Cumberland County Registry of Deeds in Plan Book 198, Page 220, a right-of-way for ingress and egress on the roads and ways as shown on said plan leading from Canco Road to said land of Portland Assisted Living, LLC.

DCS:dlf/jc
June 15, 2004

N 16°-13'-10"W, a distance of 135.87 feet to a point of curvature;

Generally northerly turning more northwesterly on a curve to the left having a radius of 102.00 feet, a central angle of 31°-12'-15", an arc distance of 55.55 feet to a point of tangency;

Thence N 47°-25'-25" E, passing through said Portland Retirement Residence, LLC and passing through said land of the City of Portland, a total distance of 69.96 feet to a point in the southerly side of said Canco Road;

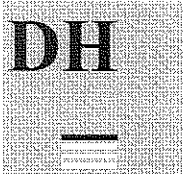
Thence S 42°-37'-07" W, by and along said Canco Road, a distance of 30.00 feet to the point of beginning.

Meaning and intending to describe a certain access and utility easement area containing 49,045 square feet, or 1.13 acres, more or less, being depicted on a plan of land titled "Overall Development & Subdivision Plan of Portland Assisted Living Facility Phase II" dated though May 5, 2004 by Sebago Technics, Inc., to be recorded at the Cumberland County Registry of Deeds.

The above described easement to benefit now or formerly Portland Assisted Living, LLC as shown on the above described plan for the installation, repair, maintenance and replacement of aboveground and underground utilities and for the pedestrian and vehicular ingress and egress access to said Portland Assisted Living, LLC from Canco Road as shown on said plan.

The bearings referenced herein are based upon Magnetic North.

DCS:dcs/jc
June 15, 2004



DeLUCA-HOFFMAN ASSOCIATES, INC.
CONSULTING ENGINEERS

778 MAIN STREET
SUITE 8
SOUTH PORTLAND, MAINE 04106
TEL. 207 775 1121
FAX 207 879 0896

- ROADWAY DESIGN
- ENVIRONMENTAL ENGINEERING
- TRAFFIC STUDIES AND MANAGEMENT
- PERMITTING
- AIRPORT ENGINEERING
- SITE PLANNING
- CONSTRUCTION ADMINISTRATION

MEMORANDUM

DATE: March 30, 2004

TO: Kandi Talbot, Portland Planning Authority

C: Owens McCullough, Sebago Technics

FROM: Stephen R. Bushey, P.E.

SUBJECT: The Woods at Canco
Site Plan Review

DeLuca-Hoffman Associates, Inc. has reviewed the Site Plan Application materials dated 3-05-04 prepared by Sebago Technics for the Portland Assisted living Facility-Phase II and find that the plans and supporting materials are substantially complete and acceptable for processing and consideration for approval. Our comments are as follows:

Stormwater Management

1. The plans include a stormwater management system consisting of a closed drainage system with catch basins and drainage pipe collecting and conveying stormwater runoff. A predevelopment and postdevelopment analysis has been completed with a point of analysis located at the southeast corner of the property at a drainage swale that crosses the paper street called Lee Street. The drainage swale continues behind the Murray Street homes and ultimately discharges into Fall Brook.
2. The analysis includes 2, 10 and 25 yr storm routing computations using the HydroCad Modeling software. The overall results show there to be a small increase in peak flow at the point of analysis for the 2 yr. Storm and slight decreases in peak flow during the 10 and 25 yr. Storms.
3. The predevelopment and postdevelopment watershed maps should better identify the limits of Subcatchment 10A since it is not delineated on either of the maps. The watershed area appears to have decreased in size during the postdevelopment conditions.
4. The postdevelopment watershed map delineates the subcatchment boundary for 1A as running along a setback line rather than along a natural grade boundary, therefore is has not accounted for runoff from the west or south of the subcatchment entering into Basin 1. These areas are not developed, however, runoff from these wooded areas appears to shed towards the basin and should therefore be accounted for within the subcatchment sizing. The grading lines appear to depict the construction of a shallow swale along the westerly boundary and this area must be included in the subcatchment limits.
5. The engineer should also confirm that no other areas, such as to the northwest of subcatchment 1A and 2B, are draining towards these areas.

6. In the postdevelopment analysis it appears that an additional reach length is necessary to connect point D in the Subcatchment 2b flow path to Reach 2. This would include a reach length through the existing wetland connecting to the existing drainage way.
7. The plans depict a shallow basin that has been configured in accordance with the latest DEP standards for basin design. The basin will generally be a dry basin that contains an underdrain pipe and soil leaching bed designed to allow the smaller storm events to be collected and the runoff infiltrated through a soil bed. During larger storms runoff will be collected and released through a culvert outlet pipe.
8. We recommend that the pond routing be rerun assuming that the basin storage is available only above elevation 69.5' in order to understand how the basin will function if the basin has not drained down. This condition could occur during back-to-back rainfalls or during frozen ground conditions.
9. The detail for the dry swale states that a trench with pea gravel shall be installed upstream of the dry swale. It is unclear where this trench is intended.
10. We recommend that sod be placed over the soil bed in accordance with the detail.
11. The grading plan calls for 12" dia. Pipe from DMH -1. DMH -1 intercepts an existing 15" culvert, therefore we ask that the designer consider a 15" pipe size to the outlet.
12. We recommend that Casco Traps be installed on all catch basin drainage outlets less than 15" dia.

General

1. The Site plan should include the placement of Stop Signs, Pedestrian crossing signs and other controls at intersections etc.
2. The Site plan calls for Bit Asphalt curb around most of the parking areas. This will match what currently exists.
3. The handicap ramp in front of the 80-suite assisted living facility should not be a "dust pan" type ramp (straight ramp) but rather the landing should be at grade and the ramps to each side sloped at less the 1:12.
4. We suggest that the sidewalk around the Assisted living facility be connected to the relocated Bit. Paved trail if possible, therefore avoiding the need to cross the parking lot from the building to the trail. A short link from the NE corner of the building appears feasible.
5. The project will require rock blasting therefore the conditions of approval should require the proper notifications and permits for this activity.
6. What is the status of the Powers property and any access rights that excess across the development site?
7. The engineer should clarify if the clearing limits will coincide with the grading limits.
8. Doe the Bit. Asphalt trail need to comply with ADA requirements and if so, does it as designed?
9. The driveway into the two duplex Cottage suites appears to be approximately 8% up to the intersection. The designer should consider a short length of drive that is less than 3% at the intersection with the existing drive if possible. Perhaps 25' or so to allow one vehicle to stop and then proceed on something less than an 8% slope.
10. The plan should clarify that a level spreader outlet is required at the 12" pond outlet.
11. A portion of the proposed sanitary sewer is within the Dudley Street and Lee Street Right-of-ways. Are easements necessary or is this alignment within land under the control of the applicant?
12. We recommend that the sewer connection from SMH 5 to SMH 6 be an 8" dia. Pipe rather than a 6".
13. We assume that the Pedestrian Access and recreational open space easement to the City of Portland allows for the relocation of the trail.

14. The Typical pavement sections may need to be revised to reference the placement of 9.5 mm or 19.0 mm bituminous asphalt pavement rather than the old Grade 'C' and Grade 'B' mixes.
15. The plans contain erosion control measures and a detailed narrative describing the necessary measures to be in place to prevent onsite erosion. The standard conditions of approval regarding erosion control and maintenance will continue to apply.
16. We assume that the planning staff is reviewing the landscaping and lighting for the project.

We trust these comments are beneficial and look forward to reviewing and finalizing comments prior to project approval.

If you have any questions please call this office.

Steve Bushey, PE
Senior Engineer
DeLuca-Hoffman Associates, Inc.

SRB/jn1350.10/woodsatcanco/03-30-04

November 11, 2003

**From: Thomas A. Errico, P.E.
Senior Traffic Engineer
terrigo@wilbursmith.com**

To: Kandi Talbot, Planner, City of Portland
CC: Katherine Earley, P.E., Engineering Manager, City of Portland
Subject: Canco Woods – Phase 2 – Traffic Review

Did Phase 1 of Canco Woods prepare a traffic study? This is relevant because the current review may need to account for all traffic that is currently generated from the site plus any new traffic from Phase 2. It may be possible that the project as a whole may exceed the 100 PCE threshold and would therefore require a traffic movement permit. Additionally, are you aware of any traffic problems at the existing site drives? If so, a traffic study should be prepared that addresses any existing deficiencies. We should discuss.

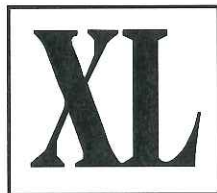


Curry Brandaw Architects

PARTNERSHIP



Portland Assisted Living Facility
Portland, Maine



Management Company L.L.C.



HOLIDAY RETIREMENT CORP.

2250 McGilchrist St. SE, Suite 200 • Salem, Oregon 97302

P.O. Box 14111 • Salem, Oregon 97309-5026 • (503) 370-7070



Curry Brandaw Architects

PARTNERSHIP

Portland Assisted Living Facility Portland, Maine Site Plan Approval Application

I. PROPOSAL

XL Management Company, L.L.C./Holiday Retirement Corp. proposes to develop an 80-suite assisted living facility with four cottage suites on the Phase II portion of the Woods at Canco Retirement Residence site along Canco Road.

II. REQUEST

The request is to obtain a Site Plan approval to allow the assisted living project to be developed on the site, which is zoned R-5A Residential.

III. OVERVIEW

Existing Zoning: R-5A
Land Area: 5.0 acres
Existing Use: Undeveloped Land
Proposed Use: 80-suite Assisted Living Facility
Proposed Parking: 48 total spaces consisting of 46 open, 2 handicap accessible

IV. CONCEPT

The Assisted Living Facility is an 80-suite facility for seniors who do not require the specialized services of a nursing home, yet are in need of some assistance with their daily routine. Services and activities at the facility are provided to maintain or improve the capabilities of each resident, with an emphasis on abilities rather than disabilities.

Services include three prepared meals daily, housekeeping, laundering, and private bus transportation. The monthly rent payment covers the private room, the afore-mentioned services and utilities. In addition to these services, a Service Plan detailing the services a resident requests or requires is determined. These services include assistance with medications, bathing, grooming, dressing and other areas of need. These services are offered 24 hours a day.

Private rooms afford the advantages of independent living while the services included provide support, security and friendship. The private suites include

studio, one and two bedroom versions. Each is similar to a dwelling unit except a kitchen is not included.

Typically our resident will be a single person in their late 70's or 80's. Approximately 10% of the rooms will be rented by couples making a total building population of 95. Fewer than 5% of the residents will be driving their own cars.

The site is ideally suited for our senior housing use. The site is in close proximity to services such as shopping, recreation and medical needs while still being part of an established residential area.

This proposal would offer several benefits to the area, which include:

- Large open spaces and generous setbacks. Over 60% of the site will be landscaped open space providing large open spaces and ample setbacks to create a park-like setting, and help buffer neighboring properties.
- Quiet Senior Residential Use - The proposed assisted living facility has 80 suites and four cottage units, which include studios, one bedroom, and two bedroom types. The suites do not have kitchens and are not considered full dwelling units. They are different from conventional senior apartment units with full kitchens, in that the density effect would be negligible. In addition, only about 10 percent of the suites will be occupied by couples, keeping the overall building population low. This project will not create the problems typically associated with higher density developments, such as traffic, noise or increased demand on public services.
- Low Traffic Generation - Residents, since they are in need of assistance, will seldom drive. We expect less than two trips per day per suite for visitor and staff purposes, but without the peak hour trip generation. This is based on the Institute of Transportation Engineers report and is far below equivalent trips per unit for a multi-family project.
- Increases Local Tax Base - This project is privately funded with no publicly funded assistance.
- Low Impact on Public Services - Including parks, schools, libraries, and transportation system.
- Fulfills Need for Assisted Living Housing - Our research has found that there is a strong need for the XL/Holiday program in this area.

V. STAFFING PLAN

The facility will employ approximately 32 full-time equivalent positions, which include administrative, food services, housekeeping and maintenance, and health care staff. The facility will maintain a health services staff on duty 24-hours a day.

VI. TRAFFIC/PARKING

Residents, since they are in need of assistance, typically do not drive. One parking space per two suites is sufficient for visitor and staff parking. Since residents do not drive, we expect less than two trips per day per suite for visitor and staff purposes. This is based on the Institute of Transportation Engineers informational report and is far below equivalent trips per unit for a multifamily project. Enclosed is a study of traffic and parking implications for Assisted Living Residences conducted by the American Seniors Housing Association. This study explains in detail the traffic and parking generation a project like ours will produce.

CONCLUSION

In conclusion, we feel that this site is ideally suited for our use and would be a nice addition to the Canco Road area and the existing Retirement Residence development

2000 American Seniors Housing Association 25 OWNERS

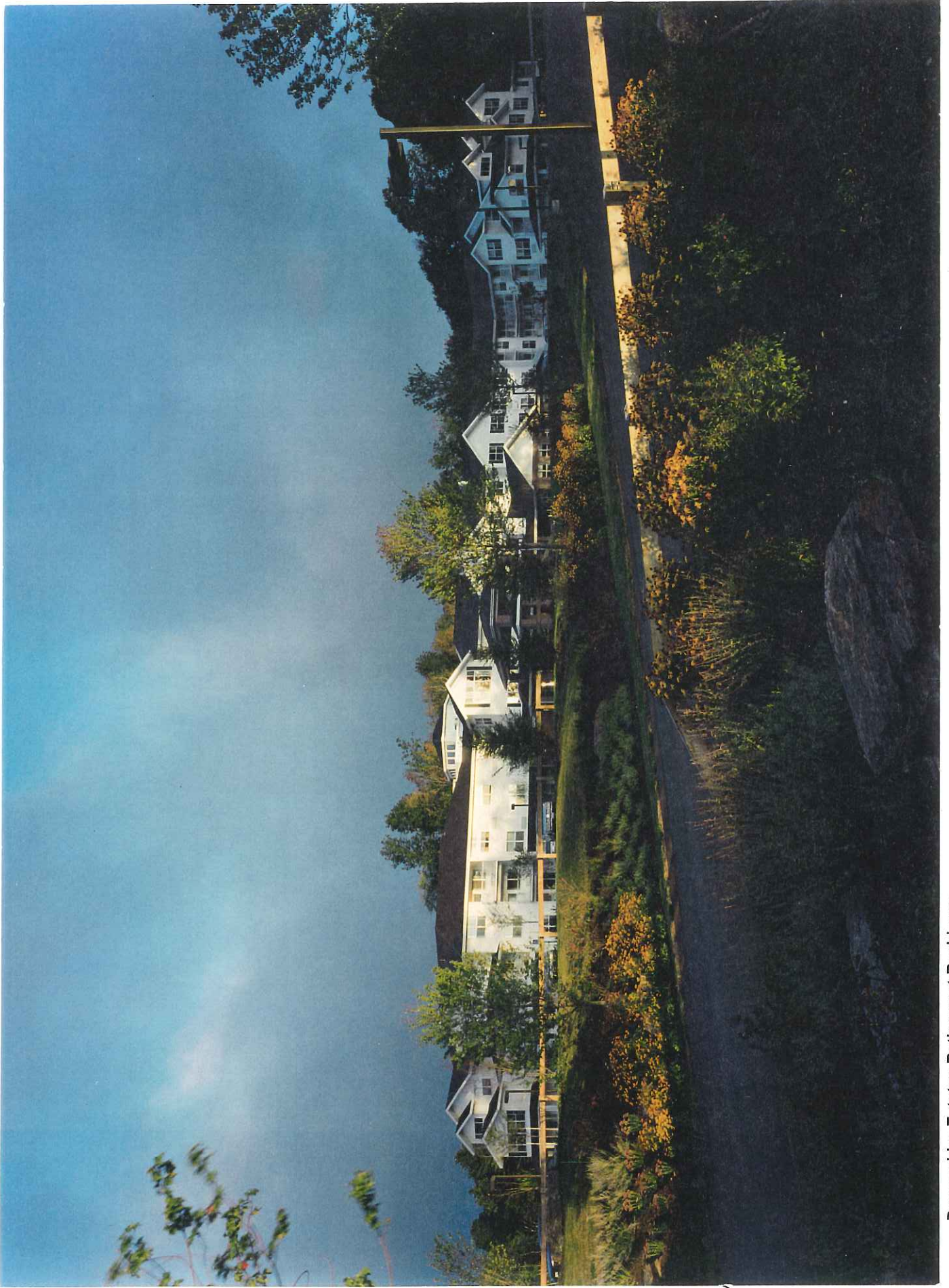
(25 LARGEST U.S. SENIORS HOUSING OWNERS AS OF JUNE 1, 2000)

2000 RANK	1999 RANK	COMPANY	HEADQUARTERS	CEO	1999 UNITS OWNED	1999 PROPERTIES OWNED	2000 UNITS OWNED	2000 PROPERTIES OWNED
1	1	COLSON & COLSON/HOLIDAY RETIREMENT CORP.	Salem, OR	William E. Colson	25,975	216	27,427	229
2	2	ALTERRA HEALTHCARE CORP.	Brookfield, WI	William F. Lasky	16,435	274	21,119	453
3	4	NATIONWIDE HEALTH PROPERTIES, INC.	Newport Beach, CA	R. Bruce Andrews	9,500	124	11,529	125
4	3	ATRIA, INC.	New York, NY	Mark Ticolin	11,010	114	9,704	100
5	5	SENIOR LIFESTYLE CORP.	Chicago, IL	William B. Kaplan	9,424	60	9,646	62
6	6	HEALTH CARE REIT, INC.	Toledo, OH	George L. Chapman	8,345	132	8,066	128
7	11	SUNRISE ASSISTED LIVING, INC.	Fairfax, VA	Paul J. Klaassen	6,776	111	7,966	120
8	8	CRESTLINE CAPITAL CORP.	Bethesda, MD	Bruce D. Wardinski	7,468	31	7,497	31
9	9	HEALTH CARE PROPERTY INVESTORS, INC.	Newport Beach, CA	Kenneth B. Roath	7,021	85	7,297	92
10	21	AMERICAN RETIREMENT CORPORATION	Brentwood, TN	William E. Sheriff	4,457	19	7,217	41
11	10	ASSISTED LIVING CONCEPTS, INC.	Portland, OR	Keren Brown Wilson	6,942	178	7,148	185
12	7	GRAND COURT LIFESTYLES, INC.	Boca Raton, FL	John W. Luciani, III	7,640	56	6,942	52
13	18	CLASSIC RESIDENCE BY HWATT/ ENCORE SENIOR LIVING	Chicago, IL	Penny S. Pritzker	4,938	45	6,354	53
14	14	ACTS RETIREMENT-LIFE COMMUNITIES, INC.	West Point, PA	George R. Gunn, Jr.	5,654	15	6,095	16
15	12	MEDITRUST CORP.	Needham Heights, MA	Michael F. Bushee	6,160	126	5,868	105
16	17	MARRIOTT SENIOR LIVING SERVICES	Washington, DC	Jeff Ferguson	5,214	43	5,400	43
17	—	MERRILL GARDENS LLC	Seattle, WA	Charles B. Wright III	—	—	5,195	52
18	16	FIRST CENTRUM, LLC	Sterling, VA	Mark L. Weshinsky	5,268	85	5,079	84
19	23	LEISURE CARE, INC.	Bellevue, WA	Dan B. Madsen	3,995	27	4,807	33
20	19	THE FOUNTAINS	Tucson, AZ	David J. Freshwater	4,719	17	4,719	17
21	22	COVENANT RETIREMENT COMMUNITIES	Chicago, IL	David A. Dwight	4,075	14	4,137	14
22	15	SENIOR HOUSING PROPERTIES TRUST (FORMERLY KNOWN AS HPPT PROPERTIES TRUST)	Newton, MA	David J. Hegarty	5,416	27	4,040	15
23	24	NATIONAL BENEVOLENT ASSOCIATION	St. Louis, MO	Cynthia R. Dougherty	3,880	14	3,955	14
24	—	SIMPSON HOUSING SOLUTIONS, LLC	Long Beach, CA	Michael A. Costa	—	—	3,761	40
25	25	RETIREMENT HOUSING FOUNDATION	Long Beach, CA	Laverne R. Joseph	3,510	19	3,510	19

2000 American Seniors Housing Association 25 MANAGERS

(25 LARGEST U.S. SENIORS HOUSING MANAGERS AS OF JUNE 1, 2000)

2000 RANK	1999 RANK	COMPANY	HEADQUARTERS	CEO	1999 UNITS MANAGED	1999 PROPERTIES MANAGED	2000 UNITS MANAGED	2000 PROPERTIES MANAGED
1	1	COLSON & COLSON/HOLIDAY RETIREMENT CORP.	Salem, OR	William E. Colson	26,400	220	27,852	233
2	2	MARRIOTT SENIOR LIVING SERVICES	Washington, DC	Jeff Ferguson	22,683	128	25,100	149
3	3	PROFESSIONAL COMMUNITY MANAGEMENT	Lake Forest, CA	Jeffrey B. Olsen	22,680	9	22,864	9
4	5	ALTERRA HEALTHCARE CORP.	Brookfield, WI	William F. Lasky	16,951	389	21,719	470
5	4	LIFE CARE SERVICES CORP.	Des Moines, IA	Stan Thurston	17,572	64	20,513	87
6	7	AMERICAN RETIREMENT CORP.	Brentwood, TN	William E. Sheriff	11,328	30	12,163	57
7	8	EMERTUS CORP.	Seattle, WA	Daniel R. Baly	10,919	123	11,800	128
8	9	SENIOR LIFESTYLE CORP.	Chicago, IL	William B. Kaplan	10,103	64	10,762	69
9	10	SUNRISE ASSISTED LIVING INC.	Fairfax, VA	Paul J. Klaassen	8,229	130	9,989	152
10	6	ATRIA, INC.	New York, NY	Mark Ticolin	12,114	126	9,794	101
11	13	ASSISTED LIVING CONCEPTS, INC.	Portland, OR	Keren Brown Wilson	6,942	178	7,148	185
12	19	CLASSIC RESIDENCE BY HWATT/ ENCORE SENIOR LIVING	Chicago, IL	Penny S. Pritzker	5,414	48	6,960	58
13	11	GRAND COURT LIFESTYLES, INC.	Boca Raton, FL	John W. Luciani, III	7,640	127	6,924	52
14	16	ERICKSON RETIREMENT COMMUNITIES, LLC (FORMERLY KNOWN AS SENIOR CAMPUS LIVING, LLC)	Baltimore, MD	John C. Erickson	5,873	5	6,120	7
15	17	ACTS RETIREMENT-LIFE COMMUNITIES, INC.	West Point, PA	George R. Gunn, Jr.	5,654	15	6,095	16
16	14	GREYSTONE COMMUNITIES, INC.	Irving, TX	Michael Lanahan	5,981	29	5,653	20
17	—	MERRILL GARDENS LLC	Seattle, WA	Charles B. Wright III	NA	NA	5,657	58
18	18	CO-OPERATIVE RETIREMENT SERVICES OF AMERICA, INC. (CRSA)	Memphis, TN	Earl Wade	5,500	25	5,612	19
19	15	CAREMATRIX CORP.	Needham, MA	Abraham Gosman	5,891	47	5,569	47
20	21	BROOKDALE LIVING COMMUNITIES, INC.	Chicago, IL	Mark J. Schulte	4,600	21	5,314	24
21	25	LEISURE CARE, INC.	Bellevue, WA	Dan B. Madsen	4,172	28	4,977	34
22	23	CAPITAL SENIOR LIVING, INC.	Dallas, TX	Lawrence A. Cohen	4,545	31	4,808	34
23	20	THE FOUNTAINS	Tucson, AZ	David J. Freshwater	4,719	17	4,719	17
24	24	BALANCED CARE CORP.	Mechanicsburg, PA	Brad E. Hollinger	4,411	63	4,677	69
25	—	AMERICAN LIFESTYLES, INC.	Cleveland, TN	Barry Ray	3,394	30	4,343	36



Devonshire Estates Retirement Residence
Lenox, Massachusetts



Devonshire Estates Retirement Residence
Lenox, Massachusetts



Maplewood Estates Retirement Residence
Fairport, New York



Dining Room
Westminster Retirement Residence
Greenville, South Carolina



Atrium
Westminster Retirement Residence
Greenville, South Carolina



Private Suite
Westminster Retirement Residence
Greenville, South Carolina

PROPERTY DEVELOPED AND MANAGED BY HOLIDAY RETIREMENT CORP.

FACILITY NAME	ADDRESS	SUITES	GARDEN SUITES	COTTAGES	ALZ UNITS	TOTAL SUITES	PARKING SPACES	PER SUITE
Canyon Meadows	12 Deerview Terrace SE, Calgary, Alberta T2J 7E6	100	0	0	0	100	60	0.6
Churchill Manor	5815 - 34th Avenue, Edmonton, Alberta T6L 1B8							
Victoria Park	#9 Avery Street, Red Deer, Alberta T4R 2S6	112	0	0	0	112	70	0.625
Ironwood Estates	40 Ironwood Point, St. Albert, Alberta T8N 5G7	109	0	0	0	109	57	0.5229
Okanagan Chateau	2100 Benvoulin, Kelowna, BC V1W3A4	106	0	0	0	106	63	0.59
Longlake Chateau	3023 Ross Rd., Nanaimo, BC V9T 5S3	111	0	0	0	111	60	0.54
Imperial Place	13853 102nd Ave., Surrey, BC V3T 1P2	102	0	0	0	102	73	0.72
Victorian, The	1773 Feltham Rd., Victoria, BC V8N 2A4	91	0	0	0	91	43	0.47
Riverheights Terrace	4525 Victoria Ave., Brandon, Manitoba R7B 4A6	117	0	0	0	117	70	0.60
Amber Meadow	320 Pipeline Rd., Winnipeg, Manitoba R2P 2X5	114	0	0	0	114	72	0.63
Saint Anne's Court	81 Duncan Lane, Fredericton, NB E3B 4S2	114	0	0	0	114	72	0.63
Chateau de Champlain	300 Scots Head Rd., St. John, New Brunswick E2L 3W2	114	0	0	0	114	70	0.61
Kingsdale Chateau	520 Kingsdale Ave., Kingston, ONT K7M 9B6	114	0	0	0	114	72	0.50
Masonville Manor	350 North Centre Rd., London, ONT N6X 3N1	112	0	0	0	112	66	0.5953
Crystal View Lodge	#6 Meridian Place, Nepean, ONT K2G 6L9	114	2	3	0	119	70	0.6195
Sherbrooke Heights	1434 Sherbrooke St. West, Peterborough, ONT	114	0	0	0	114	70	0.614
Fairwinds Lodge	1218 Michigan Ave., Sarnia, ONT N7S 6J4	111	0	0	0	111	61	0.5495
Anchor Point	540 Ontario St., St. Catharines, ONT L2N 5J7	123	2	0	0	125	109	0.872
The Cr. @ Pringle Creek	3975 Anderson St., Whitby, ONT L1N 5R5	114	5	0	0	119	70	0.5882
Kensington Court	1953 Cabana Rd., West Windsor, Ontario	114	0	0	0	114	67	0.5877
Queen Victoria Estates	2025 Heseltine Road, Regina Sask SK S4N 7L2	114	0	0	0	114	67	0.5877
Primrose Chateau	310 Cree Crescent, Saskatoon, Sask S7K 5C	114	0	0	0	114	72	0.63
Hawthorns, The	18-21 Elton Road, Clevedon, N. Somerset BS21	109	0	0	0	109		
The Hawthornes - Eastbou	Carew Road, Eastbourne, BN21 2AX	102	0	0	0	102	45	0.45
Monarch Estates	E. University Drive Auburn, AL	114	0	0	0	114	87	0.76
University Oaks	650 University Blvd S., Mobile, AL 36609	110	0	0	0	110	54	0.49
Eastdale Estates	5801 Eastdale Dr., Montgomery, AL 36117	107	0	0	0	107	52	0.49
Andover Place	2601 Andover Ct., Little Rock, AR 72207	111	0	0	0	111	56	0.50
Gardens at Arkanshire	5000 Arkanshire Circle, Springdale, AR 72674	111	20	0	0	131	98	0.75
Vista Del Rio	13619 N. 94th Dr., Peoria, AZ 85381	112	5	0	0	118	55	0.55
Vista de la Montana	18510 N. Parkview Place, Surprise, AZ 85374	110	3	0	0	113	72	0.64
Desert Ridge	1545 S. 14th Ave., Yuma, AZ 85364	113	0	0	0	113	56	0.50
Quail Lodge	4840 Deer Valley Road, Antioch, CA 94509	121	2	0	0	123	76	0.62
Oaks of Auburn, The	3250 Blue Oaks Dr., Auburn, CA 95602	110	0	0	0	110	63	0.57
Carriage House Estates	8200 Westwood Dr., Bakersfield, CA 93311	112	6	6	0	124	88	0.79

PROPERTY DEVELOPED AND MANAGED BY HOLIDAY RETIREMENT CORP.

FACILITY NAME	ADDRESS	SUITES	GARDEN SUITES	ALZ COTTAGES	TOTAL SUITES	PARKING SPACES	PER SUITE
Columbus Estates	3201 Columbus, Bakersfield, CA 93305	126	0	0	126	75	0.60
Oakmont	2801 Cohasset, Chico, CA 95926	91	0	0	91	51	0.56
Creekside Oaks	1715 Creekside Rd., Folsom, CA 95630	109	0	0	109	72	0.65
Fig Garden	6035 N. Marks Ave., Fresno, CA 93711	101	0	0	101	46	0.46
Wiltshire, The	2727 N. 11th Ave., Hanford, CA 95230	112	0	4	116	67	0.62
Waterford Terrace	5580 Aztec Dr., La Mesa, CA 91942	90	0	0	90	42	0.47
Palms, The	13001 La Mirada Blvd., La Mirada, CA 90638	162	0	0	162	80	0.49
Vintage, The	2145 W. Kettleman Dr., Lodi, CA 95240	108	9	0	117	62	0.53
Hampshire, The	3480 R. St., Merced, CA 95348	109	4	0	113	67	0.59
Standford Place	3420 Shawnee Dr., Modesto, CA 95350	102	0	0	102	65	0.64
Redwood	2950 Redwood Rd., Napa, CA 94558	97	0	0	97	52	0.54
Deer Park	646 Canyon Rd., Novato, CA 94947	85	0	0	85	43	0.51
Feather Canyon	5900 Canyon View Drive, Paradise, CA 95969	115	5	6	126	84	0.74
Bay Park	2621 Applian Wy., Pinole, CA 94664	96	0	0	96	51	0.53
Sierra Hills	2500 W. Henderson Ave., Porterville, CA 93257	112	7	0	119	76	0.64
Valencia Commons	6729 Hermosa, Rancho Cucamonga, CA	114	0	0	114	72	0.63
Hilltop	451 Hilltop Dr., Redding, CA 96003	96	0	0	96	41	0.43
Mission Commons	10 Terracina Blvd., Redlands, CA 92373	139	0	0	139	104	0.75
Magnolia	8537 Magnolia, Riverside, CA 92573	96	0	0	96	35	0.36
Las Brisas	1289 Briarwood Dr., San Luis Obispo, CA 93401	100	0	0	100	45	0.45
Westmont	1875 Scott Blvd., Santa Clara, CA 95050	136	0	0	136	90	0.66
Walnut Park	4119 W. Walnut, Visalia, CA 93277	101	0	0	101	53	0.52
Arcadia Place	1080 Arcadia Ave., Vista, CA 92084	114	0	0	114	53	0.51
Bridgocreek	3601 Holt Ave., West Covina CA 91791	108	0	0	108	54	0.50
Sunridge	5820 Fiferidge Dr., Colorado Springs, CO 80919	90	0	0	90	45	0.50
Quincy Place	7200 Quincy Ave. East, Denver, CO 80202	113	4	0	117	74	0.63
Parkwoods Estates	2201 S. Lemay, Ft. Collins, CO 80525	110	0	0	110	68	1.53
Atrium of Grand Valley, Th	3260 N. 12th, Grand Junction, CO 81506	126	0	0	126	79	0.63
Mesa View	601 Horizon Place, Grand Junction, CO 81506	101	0	0	101	39	0.39
Greeley Place	1051 6th St., Greeley, CO 80631	102	0	0	102	46	0.45
Courtyard at Lakewood	7105 West 13th Ave., Lakewood, CO 80215	121	0	0	121	41	0.34
Lakewood Estates	8585 W. Dakota Ave., Lakewood, CO 80226	90	0	0	90	52	0.58
Longmont Regent	2210 Main St., Longmont, CO 80501	96	0	0	96	67	0.70
Pueblo Regent	100 San Carlos, Pueblo, CO 81005	97	0	0	97	41	0.42
Augustine Landing	10141 Old St. Augustine Rd., Jacksonville, FL 32257	109	0	0	109	66	0.60

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FACILITY NAME	ADDRESS	SUITES	GARDEN SUITES	COTTAGES	ALZ UNITS	TOTAL SUITES	PARKING SPACES	PER SUITE
Azalea Park	1325 Grasslands Blvd, Lakeland, FL 33813	115	0	0	0	115	79	0.69
University Pines	8991 University Parkway, Pensacola, FL 32514	110	3	0	0	113	54	0.48
Cherry Laurel	1009 Concord Dr., Tallahassee, FL	115	0	0	0	115	67	0.58
Inis Place	755 Epps Bridge Rd., Athens, GA	118	5	15	0	140	138	1.28
Washington Commons	4100 Washington Road, Augusta, GA 30909	115	0	10	0	125	74	0.70
Riverplace	5850 River Rd., Columbus, GA 31904	112	0	0	0	112	63	0.56
The Regency House	341 Winn Wy., Decatur, GA 30030	102	0	0	0	102	60	0.59
Smoky Springs	940 South Enola Drive, Gainesville, GA 30601	115	0	0	0	115	70	0.61
Pinegate	4207 Forsythe Rd., Macon, GA	115	0	0	0	115	82	0.71
River's Edge	6296 Waters Ave, Savannah, GA 31406	115	0	4	0	119	74	0.62
Hawaii Kai - Phase I	428 Kawaihae Dr., Honolulu, HI 96825	139	0	13	43	195	173	1.02
Hawaii Kai - Phase II	428 Kawaihae St., Honolulu, HI 96825	135	0	2 DPLX	38	175	145	0.82
Palmer Hills	2617 Maplecrest Rd., Bettendorf, IA 52722	104	0	0	0	104	63	0.61
Beaverdale Estates	4510 Douglas Ave., Des Moines, IA 50310	102	0	0	0	102	58	0.57
Walden Place	2423 Walden Rd., Iowa City, IA 52246	102	0	0	0	102	60	0.59
Illahoe Hills	8308 Colby Parkway, Urbana, IA 50322	104	3	0	0	107	75	0.71
Chateau de Boise	7250 Poplar St., Boise, ID 83704	98	0	0	0	98	42	0.43
Essington Estates	901 Essington Rd., Joliet, IL 60435	110	0	0	0	110	56	0.51
Blair House	1200 East College, Normal, IL 61761	109	0	0	0	109	66	0.61
Montvale Estates	2501 Montvale Dr., Springfield, IL 62704	109	10	0	0	119	64	0.54
Redbud Hills	333 E. Moores Pike, Bloomington, IN 47401	112	0	0	0	112	64	0.57
Parkside Court	3560 Central Ave., Columbus, IN 47203	88/80	0	0	0	118	75	0.64
Willow Park	5050 Lincoln Ave., Evansville, IN 47715	98	0	0	0	98	49	0.50
Arbor Glen	5202 St. Joe Rd., Ft. Wayne, IN 46835	110	8	0	0	118	59	0.50
Thornton Place	2901 SW Armstrong, Topeka, KS 66614-5632	112	7	0	0	119	70	0.59
Grasslands Estates	W of SWC of 13th St. W. & Waize	115	0	0	0	115	72	0.63
Ashwood Place	102 Leonardwood, Frankfort, KY 40601	99	0	0	0	99	71	0.72
Hartland Hills	4470 Yates Creek Rd., Lexington, KY 40515	117	0	0	0	117	68	0.59
Oxmoor Lodge	8021 Christian Way, Louisville, KY 40222	112	4	2	0	118	80	0.70
Ponder Creek Estates	620 Vally College Drive Louisville, KY 40272	118	0	0	0	118	84	0.71
Whealdon Estates	8680 Jefferson Hwy., Baton Rouge, LA 70809	98	0	0	0	98	48	0.49
Nouveau Marc	1101 Sunset Blvd., Kenner, LA 70065	108	0	0	0	108	33	0.31
Landing at Behrman Place	3601 Behrman Place, New Orleans, LA 70114	107	0	0	0	107	38	0.36
Summerfield Estates	9133 Baird Rd., Shreveport, LA 71118	101	0	0	0	101	52	0.51
Quail Run Estates	50 Cardinal Drive Agawam, MA 01001	107	5	9	0	121	75	0.73

PROPERTY DEVELOPED AND MANAGED BY HOLIDAY RETIREMENT CORP.

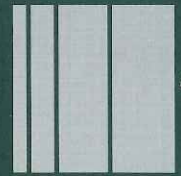
FACILITY NAME	ADDRESS	SUITES	GARDEN SUITES	COTTAGES	ALZ UNITS	TOTAL SUITES	PARKING SPACES	PER SUITE
Summer Place	20 Summer St., Chelmsford, MA 01824	110	0	0	0	110	52	0.55
Devonshire Estates	329 Pittsfield Rd., Lenox, MA 01240	108	10	10	0	128	110	0.70
Sunbury Village	922 Ohio St. Bangor, ME 04401	115	0	0	0	115	78	0.68
The Woods at Canco	219 Canco Rd. Portland, ME 04103	115	5	8	0	128	91	0.81
Gardens-Gardens	4505 of Calkins Rd. Flint, MI	117	0	0	0	117	78	0.67
The Marquette	5988 Park Lake Rd. Meridian, MI 48823	115	0	0	0	115	69	0.60
Blue Water Lodge	2840 Keebrah Rd. Port Huron, MI 48559	115	0	4	0	119	78	0.70
Wascourt	4141 McCarty Rd., Saginaw, MI 48603	109	5	4	0	118	73	0.65
Glen Eagle	Silver Lake @ South Airport Rd., Traverse City, MI	115	0	4	0	119	78	0.70
The Inn at Cass Lake	900 N. Cass Lake Rd., Waterford, MI 48328	110	0	0	0	110	64	0.58
Aurora Pond	5516 Byron Center Ave. S.W., Wyoming, MI 49509	115	7	10	0	132	120	1.07
Lodge at White Bear	3666 East County Line Rd. White Bear Lake, MN 55110	115	0	0	0	115	69	0.60
Briarcrest Estates	14525 Clayton Rd., Fallwin, MO 63011	90	0	0	0	90	53	0.59
Cambridge, The	2900 S. Jefferson, Springfield, MO 65807	113	0	0	0	113	0	0.00
Country Square	1602 Buckingham St., St. Joseph, MO 64506	110	0	0	0	110	64	0.58
Lakeview Park	1391 Bowles Ave., St. Louis, MO	112	0	0	0	112	72	0.64
Aspen View	3075 Ayrue O. Billings, MT 59182	109	12	4	0	125	97	0.83
Hunter's Pointe	2804 Colonial Dr., Helena, MT 59601	109	0	6	0	115	90	0.87
Durham Regent	3907 Pickett Rd., Durham NC 27705	122	0	0	0	122	93	0.82
Emerald Pond	205 Emerald Pond Lane, Durham NC 27705	112	0	6	0	118	74	0.70
Lakeshore-Commins	1402 Hospital Plaza Dr., Wilmington, NC 28401	113	0	0	0	113	67	0.67
The Woods at Holly Tree	4610 Holly Tree Rd., Wilmington, NC 28403	115	0	0	0	115	59	0.51
Creekside Terrace	N. side of Old Vineyard Rd. Winston-Salem, NC	115	0	0	0	115	87	0.76
Brentwood Estates	1111 So. 70th, Lincoln, NE 68510	103	0	0	0	103	62	0.60
Bear Canyon Estates	4440 Morris St. NE, Albuquerque, NM 87111	110	14	0	0	124	77	0.62
Golden Mesa	150 N. Roadrunner Parkway Las Cruces, NM 88001	110	10	9	0	129	104	0.94
Carson Plaza	2120 E. Long, Carson City, NV 89706	96	0	0	0	96	58	0.60
Maplewood Estates	56 Ayrault Rd., Fairport, NY 14450	111	0	8	0	119	91	0.88
Tallgrass Estates	Camelet Dr., Bartlesville, OK 74605	113	0	0	0	113	65	0.58
Silver Arrow Estates	S. Elm Place, Broken Arrow, OK 74012	115	0	5	0	120	81	0.74
Mountain View	548 North Main, Ashland, OR 97520	110	0	0	0	110	58	0.53
Edgewoods Downs	7799 SW Scholls Ferry Rd., Beaverton, OR 97005	124	0	0	0	124	46	0.37
Edgewood Down ALF	7733 S.W. Scholls Ferry Rd. Beaverton, OR 97008	46 ALF	0	4	16	66	49	0.84
Stone Lodge	1460 N.E. 27th St. Bend, OR 97701	112	0	0	0	112	66	0.59
The Regent	440 Elks Dr., Corvallis, OR 97330	82	0	0	0	82	63	0.77

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FACILITY NAME	ADDRESS	SUITES	GARDEN SUITES	COTTAGES	ALZ UNITS	TOTAL SUITES	PARKING SPACES	PER SUITE
Stoneybrook Lodge	49th St. & S.W. Country Club Dr., Corvallis, OR 97333	115	0	5	0	120	80	0.73
Sheldon Oaks	2525 Cal Young Rd., Eugene, OR 97402	110	0	0	0	110	71	0.65
Somerset Lodge	8330 Cason Rd, Gladstone, OR 97027	115	7	0	0	122	80	0.66
Rouge Valley	1001 A St. NE, Grants Pass, OR 97526	90	0	0	0	90	40	0.44
Gresham Manor	2895 E. Powell Blvd., Gresham, OR 97080	102	0	0	0	102	45	0.45
Rock Creek	19295 NW Cornell Rd., Hillsboro, OR 97124	108	0	0	0	108	58	0.52
Royal Oak	2180 Poplar Dr., Medford, OR 97501	90	0	0	0	90	45	0.50
Partridge Chateau	3141 NE 148th Ave., Portland, OR 97230	107	0	0	0	107	75	0.71
Garden Valley	1800 Hughwood, Roseburg, OR 97470	92	0	0	0	92	45	0.49
Hidden Lakes	400 Madrona Ave SE, Salem, OR 97302	123	0	0	0	123	80	0.65
Bethel Park	2999 Bethel Church Rd., Bethel Park, PA 15102	116	0	0	0	116	70	0.60
The Manor @ Oakridge	4500 Oakhurst Blvd., Susquehanna Township, PA 17111	113	0	0	0	113	74	0.65
Pocasset Lodge	12 Old Pocasset Lane, Johnston, RI 02919	172	0	0	0	172	102	0.59
Forest Pines	1720 Devonshire Dr., Columbia, SC 29204	115	0	0	0	115	89	0.60
Haywood Estates	1180 Haywood Rd., Greenville, SC 29615	110	0	0	0	110	53	0.48
Westminster	115 Augusta Pl., Greenville, SC 29605	115	0	0	0	115	70	0.61
Indigo Pines	110 Gardner Drive, Hilton Head Is., SC 29926	113	5	0	0	118	68	0.58
Deepwood Estates	703 Old Chapin Rd, Lexington, SC 29072	115	0	0	0	115	72	0.63
Holiday Hills Estates	2620 Holiday Lane, Rapid City, SD 57702	113	0	0	0	113	69	0.61
Rosewood Estates	505 Rice Rd., Tyler, TX 75702	110	0	0	0	110	54	0.49
Creekside @ Shallowford	7511 Shallowford Rd., Chattanooga, TN 37421	114	0	4	0	118	65	0.59
Uffelman Estates	125 Uffelman Dr., Clarksville, TN 37043	104	3	0	0	107	61	0.57
Manor at Steeplechase	314 Cool Springs Blvd., Franklin, TN 37067	118	0	0	0	118	71	0.60
Jackson Meadow	25 Max Lane Dr., Jackson, TN 38305	113	0	0	0	113	78	0.69
Echo Ridge	8458 Gleason Dr., Knoxville, TN 37919	109	0	0	0	109	63	0.58
Franklin Park	3393 Kirby Rd., Memphis, TN 38115	129	0	0	0	129	67	0.52
Clairmont	4707 Bell St., Amarillo, TX 79109	96	0	0	0	96	47	0.49
Arlington Plaza	5801 W. Poly Webb Rd., Arlington, TX 76015	95	0	0	0	95	68	0.71
Fox Run	2315 Little Rd., Arlington, TX 76016	102	0	0	0	102	54	0.53
Englewood Estates	2603 Jones Rd., Austin, TX 78745	110	0	0	0	110	64	0.58
Bentley, The	3362 Forest Lane, Dallas, TX 75234	109	8	0	0	117	81	0.69
Whitlock Court	5900 Block of Whitlock Trail, Dallas, TX 75204	115	0	0	0	115	79	0.68
Rio Norte	1941 Saul Kleinfeld Dr., El Paso TX 79936	110	5	4	0	119	63	0.57
Ventura Place	3026 54th St., Lubbock, TX 79413	112	13	5	0	135	95	0.71
Polo Park	2100 Castleford Rd., Midland, TX 79706	107	0	0	0	107	65	0.61

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FACILITY NAME	ADDRESS	SUITES	GARDEN SUITES	COTTAGES	ALZ UNITS	TOTAL SUITES	PARKING SPACES	PER SUITE
Brock Ridge	1801 W. Ridge Rd., Pharr, TX 78577	107	0	0	0	107	67	0.63
Cottonwood Estates	1940 West Spring Creek Parkway, Plano, TX 75086	113	0	0	0	113	68	0.60
El Dorado	714 W. Apache Rd., Richardson, TX 75080	102	0	0	0	102	53	0.52
Cowhorn Creek Estates	5353 Cowhorn Creek Rd., Texarkana, TX 75503	112	0	0	0	112	67	0.60
Rosewood Estates	505 Rice Rd., Tyler, TX 75703	110	0	0	0	110	54	0.49
Lakeshore Estates	3209 Village Green Dr., Waco, TX 76710	110	5	0	0	115	70	0.61
Pioneer Valley Lodge	400 East St. & 2350 North St.	115	0	0	0	115	72	0.63
Harrison Regent	481 Harrison Blvd., Ogden, UT 84403	90	0	0	0	90	39	0.43
Seville, The	325 W. Center, Orem, UT 84058	97	0	0	0	97	64	0.55
Fairmont, The	9852 Fairmont Ave., Manassas, VA 22110	100	0	0	0	100	32	0.32
Virginian, The	300 Twintidge Lane, Richmond, VA 23235	117	0	0	0	117	72	0.62
Elm Park	4230 Elm View Rd., Roanoke, VA 24014	110	0	0	0	110	63	0.57
Garden Club, Bellevue	13950 SE 26th, Bellevue, WA 98005	103	0	0	0	103	43	0.42
Parkway Chateau	2818 Old Fairhaven Pwy., Bellingham, WA 98225	109	0	0	0	109	60	0.55
Cascadian	3915 Colby Ave., Everett, WA 98201	102	0	0	0	102	52	0.51
Capitol Place	700 Black Lake Blvd., Olympia, WA 98502	104	0	0	0	104	56	0.54
Evergreen Place	1415 Monroe Ave. NE, Renton, WA 98055	110	0	0	0	110	65	0.59
Harvard Park	1616 E. 30th Ave., Spokane, WA 99203	105	0	0	0	105	39	0.37
Pt. Defiance	5414 N. Park Way, Tacoma, WA 98407	135	0	0	0	135	71	0.52
Park Plaza	1400 Dalles Military Rd., Walla Walla, WA 99362	99	0	0	0	99	55	0.56
The Inn at Cass Lake	900 N. Cass Lake Rd., Waterford, MI 48325	110	0	0	0	110	64	0.58



September 18, 2003
96592

Kandice Talbot, Planner
City of Portland
389 Congress Street
Portland, ME 04101

Application for Site Plan Review – The Woods at Canco Road, Phase II Development

Dear Kandice:

Thank you for taking the time to meet with Melissa LeClair of Curry Brandaw Architects and me earlier this summer to review the Phase II development plans for The Woods at Canco Road. As we discussed, XL Management Company, LLC/Holiday Retirement Corp. is proposing to move forward with the Phase II development plans for the assisted living facility off Canco Road.

In 1997, Holiday Retirement Corp. received a zone change and site plan approval for Phase I development of this master plan project that included an assisted living facility and cottage units. As depicted on the enclosed overall development plan, this project was to be developed in two separate phases beginning with Phase I. The applicants completed the Phase I development in the late 1990s and would now like to move forward with Phase II development. The applicants would like to begin the review process with a Planning Board workshop meeting to reacquaint the staff and Board with the project and to introduce the Phase II development. Phase II of this project is the last phase of an overall master plan developed for this project as presented to the Council and Planning Board during the zone change process and Phase I development approvals.

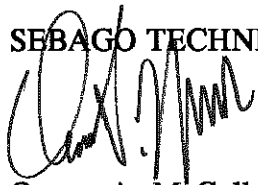
Curry Brandaw Architects, who completed the design work for Phase I, has assembled the enclosed application package for planning staff and Planning Board review. The enclosed information includes a narrative describing the project with supporting information, a completed application form, photographs of comparable facilities completed by the applicant, schematic site drawings, building elevations, and floor plan. In addition, an application fee in the amount of \$3,000.00 (Site Location of Development Act permit application) and \$1,000.00 (major site plan review) is also enclosed.

On behalf of the applicants, we look forward to working with the planning staff and Planning Board to complete the design and permitting for Phase II. XL Management Company, LLC/Holiday Retirement Corp. is hopeful to complete the design and permitting to allow for a spring 2004 construction start.

Upon the staff's review of this application, please feel free to contact me if you have any questions or would like to set up a meeting.

Sincerely,

SEBAGO TECHNICS, INC.



Owens A. McCullough, P.E.
Sr. Project Manager

OAM:jc

Enc.

cc: Kristen Newland, Curry Brandaw Architects



CITY OF PORTLAND

6 February 2004

Mr. James B. Lowery, P.E.,
Senior Civil Engineer,
Sebago Technics, Incorporated,
P.O. Box 1339,
Westbrook, Maine 04098-1339

**RE: The Capacity to Handle Wastewater Flows from Phase II
Expansion, at Holiday Retirement Corporation, 257 Canco Road.**

Dear Mr. Lowery:

The existing twelve inch diameter vitrified clay sewer pipe stub, located in Lee Street, at Murray Street, has **adequate capacity to transport**, while The Portland Water District sewage treatment facilities, located off Marginal Way, have **adequate capacity to treat** the anticipated increased wastewater flows of **15,185 GPD**, from your proposed project.

Anticipated Wastewater Flows from the Proposed Phase II Development:

80 Proposed Units @ 180 GPD/Unit	= 14,400 GPD
4 Proposed Cottages @ 180 GPD/Cottage	= 720 GPD
65 Proposed Parking Spaces @ 1 GPD/Parking Space	= <u>65 GPD</u>
Total Proposed Increase in Wastewater Flows for this Project	= 15,185 GPD

The City combined sewer overflow (C.S.O.) abatement consent agreement (with the U.S.E.P.A., and with the Maine D.E.P.) requires C.S.O. abatement, as well as storm water mitigation, in order to offset any increase in sanitary flows, from all projects.

If The City can be of further assistance, please call 874-8832.

Sincerely,

CITY OF PORTLAND

Frank J Brancely, B.A., M.A.
Senior Engineering Technician

FJB

- cc: Alexander Q. Jaegerman, Director, Planning Division, Department of Planning, and Urban Development, City of Portland
- ✓ Kandice Talbot, Planner, Department of Planning, and Urban Development, City of Portland
- Eric Labelle, P.E., City Engineer, City of Portland
- Bradley A. Roland, P.E., Environmental Projects Engineer, City of Portland
- Anthony W. Lombardo, P.E., Project Engineer, City of Portland
- Stephen K. Harris, Assistant Engineer, City of Portland
- Desk file

From: Marge Schmuckal
To: Kandi Talbot
Date: Tue, Jan 13, 2004 3:46 PM
Subject: Re: Portland Retirement - Canco Road

Kandi,

I have been reviewing this project for you. It is an R-5A PRUD. I see one zoning problem with setbacks from the external subdivision property lines. - Because the main building is over 100 feet long, a thirty five (35) foot set back is required. Only 25 feet is shown (I believe that an eave over hang is shown over that line).

I am also confused as to lot size. I do not have any narrative with my site plan, only the plans. The first page states that the total project area is 218,312 square feet. Then the second page states that there is 913,394 square feet gross when they are figuring out net land area. Which one is correct? Why is there a difference?

The certificate of occupancy for phase I was for 115 dwelling units in on main building with 13 D.U. in 6 cottages for a total of 128 D.U. The plans state that there are only 114 dwelling units in the main building. Why is there a difference? did something change since the C of O was issued?

I am also having problems confirming the area calculations given. Using their figures, I am not getting their results. How did they arrive at their results? I do not believe that there is a problem of net land area per dwelling unit. However, I believe the figures should be accurate.

Marge

>>> Kandi Talbot 01/09 11:41 AM >>>

Marge,

I am going to need a memo from you regarding the zoning of this project for the Planning Board. Thanks.

Kandi



MEETING MINUTES
Public Informational Meeting
February 11, 2004

Location: The Woods at Canco Road

Meeting Start Time: 7:30 P.M.

Meeting Finish Time: 7:50 P.M.

Approx. Number of Attendees: 28 – Mostly Residents of the ALF

Representatives of Applicant: Michael Fuller – Curry Brandaw Architects
Owens McCullough – Sebago Technics, Inc.

Meeting Minutes by: Owens McCullough - Sebago Technics, Inc. *OM*

Discussion

Michael Fuller of Curry Brandaw introduced himself and the project. Michael also introduced Owens McCullough, the Civil Designer for the project.

Michael Fuller presented the following project highlights:

1. Spoke about the existing facility and location of facility.
2. Describe site design and stormwater management to include detention pond, land grading and general site improvements.
3. Described operations of facility to include management, nurse on staff, dining areas, and level of service to the tenants. Discussed options of service plans for tenants.
4. Described building as 2-story building with elevator. Mike presented building elevations.

Questions From Public/Residents

1. Will there be an elevator for freight? Mike said they will look at this.
2. What will the exterior siding be? Mike responded the look would be similar to the existing.

3. Asked about garages? Mike said none is planned.
4. Parking was discussed. A tenant asked that there be enough parking. Mike said parking is based upon the needs of similar facilities.
5. Open parking? No designated parking.
6. Construction timeline. Hopes to begin in Spring and finish in about 7 months.
7. Discussed construction. Mike indicated same contractors (Colson & Colson). Some tenants asked about quality of construction.
8. Tenant asked about costs to live in facility. Mike did not know. Pricing would be set by XL Management.
9. Cottages to be same design as first phase.
10. Number of beds? 80 suites with 25% to be 2 bedrooms.
11. Look/detailing to be similar as of Phase I.

7:50 p.m. no more questions.

Mike invited people to feel free to look at renderings and ask questions.

OAM:dlf/jc
February 18, 2004

June 3, 2004
96592

Frank J. Brancely, BA, MA
Sr. Engineering Technician
City of Portland
55 Portland Street
Portland, ME 04101

Sanitary Sewer – Holiday Retirement Corp. Development, Canco Road

Dear Frank:

Thank you for taking the time to speak with me recently regarding the Portland Assisted Living Facility, Phase II located off Canco Road. As we discussed, the applicants had originally intended to sewer Phase II by a new gravity sewer extending from the development through two paper streets (Dudley and Lee Streets) to Murray Street. At the final plan review and approval meeting with the Portland Planning Board, an abutter questioned the applicant's right, title and interest to the paper streets. As you know, we have coordinated directly with the City's corporation counsel and believe the applicants do have right, title and interest to extend a sewer from the project development through the two paper streets to Murray Street. Although we are confident that there is right, title and interest to extend a sewer through these two paper streets, it is also apparent that there would be additional wetlands impact to extend the sewer through these paper streets.

As a result, the applicants have determined that the least impact scenario is to install a private sanitary pump station within the Phase II development area (see enclosed plans) and pump sanitary wastewater to an existing sewer manhole within the Phase I development area that conveys sanitary waste by gravity sewer to Canco Road. As we move forward with this modification to the sanitary sewer service for this project, we would request your review of this revision and issuance of a revised sanitary sewer capacity letter, if appropriate. I have enclosed the February 6, 2004 sewer capacity letter prepared by the City of Portland for reference.

Given the environmental constraints and potential legal issues regarding the two paper streets (Lee and Dudley), we believe an on-site private sanitary pump station is the most appropriate approach for this project. In addition, the Portland Planning Board granted final approval for this project in May of 2004 which included a condition that allowed us to convert to an on-site private pump station. We have enclosed with this letter a copy of the amended design plans for your reference.

As always, please feel free to contact me if you have any questions or require additional information.

Sincerely,

SEBAGO TECHNICS, INC.



Owens A. McCullough, P.E.
Sr. Project Manager

OAM:jc

Enc.

cc: Kristen Newland, Curry Brandaw Architects
Kandice Talbot, Planner, Department of Planning & Urban Development



received
2-10-04
SEBAGO TECHNICS

CITY OF PORTLAND

6 February 2004

Mr. James B. Lowery, P.E.,
Senior Civil Engineer,
Sebago Technics, Incorporated,
P.O. Box 1339,
Westbrook, Maine 04098-1339

**RE: The Capacity to Handle Wastewater Flows from Phase II
Expansion, at Holiday Retirement Corporation, 257 Canco Road.**

Dear Mr. Lowery:

The existing twelve inch diameter vitrified clay sewer pipe stub, located in Lee Street, at Murray Street, has **adequate capacity to transport**, while The Portland Water District sewage treatment facilities, located off Marginal Way, have **adequate capacity to treat** the anticipated increased wastewater flows of **15,185 GPD**, from your proposed project.

<u>Anticipated Wastewater Flows from the Proposed Phase II Development:</u>	
80 Proposed Units @ 180 GPD/Unit	= 14,400 GPD
4 Proposed Cottages @ 180 GPD/Cottage	= 720 GPD
65 Proposed Parking Spaces @ 1 GPD/Parking Space	= 65 GPD
Total Proposed Increase in Wastewater Flows for this Project	= 15,185 GPD

The City combined sewer overflow (C.S.O.) abatement consent agreement (with the U.S.E.P.A., and with the Maine D.E.P.) requires C.S.O. abatement, as well as storm water mitigation, in order to offset any increase in sanitary flows, from all projects.

If The City can be of further assistance, please call 874-8832.

Sincerely,
CITY OF PORTLAND
Frank Brancely
Frank J Brancely, B.A., M.A.
Senior Engineering Technician

- FJB
- cc: Alexander O. Jaegerman, Director, Planning Division, Department of Planning, and Urban Development, City of Portland
Kandice Talbot, Planner, Department of Planning, and Urban Development, City of Portland
Eric Labelle, P.E., City Engineer, City of Portland
Bradley A. Roland, P.E., Environmental Projects Engineer, City of Portland
Anthony W. Lombardo, P.E., Project Engineer, City of Portland
Stephen K. Harris, Assistant Engineer, City of Portland
Desk: file

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City of Portland Capacity Letter\encl\encl 207

Maine Drilling & Blasting

NOTICE

26 JULY 2004

Dear Property Owner/Tenant:

We at Maine Drilling & Blasting would like to take this opportunity to introduce you to our company and advise you that we have been selected to conduct a rock drilling and blasting operation for the WOODS AT CANCO EXPANSION

We are hand-delivering this notice today in order to expedite this portion of the project. We would like to offer you a pre-blast survey of your building, at no cost to you. If you would like to have a pre-blast survey, please contact us at 800-370-2338 as soon as possible as the project will commence on or about 16 AUGUST 2004. In addition we will be glad to call you prior to each blast. If you would like to be placed on a call list please let us know.

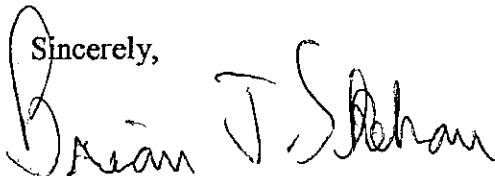
The site will be well marked with highly visible signs that detail the whistle warning sequence that will be sounded prior to commencement of each blast. All blasting operations will be conducted during daylight hours and no explosives will be stored at the construction site overnight.

If you happen to be in the building during the initiation of the blast, you may experience low levels of ground vibration. We will strive to minimize the amplitude of the blast and will be utilizing the most advanced technologies available to the blasting industry to measure the seismic effect to the area. Please be assured that ground vibrations associated with the blasting will not exceed the established limits that could potentially cause damage.

Both the City of Portland Fire Department and Planning and Development Department will be monitoring construction of the WOODS AT CANCO. Should any questions or issues arise, please call Lt. McDougal or Fire Prevention at 874-8405 or Jay Reynolds of the Planning Office at 874-8632.

If you have any questions or concerns I encourage you to contact me at the Gardiner, ME office, at 800-370-2338, from the hours of 8:00 AM to 4:00 PM and I will respond to your concerns in a timely manner.

Sincerely,



Brian J. Skehan
Safety Specialist

Maine Drilling and Blasting, Inc.
P.O. Box 1140
Brunswick Road
Gardiner, ME 04345
207 582-2338
FAX 207 582-8794

Divisional Offices:
Maine 207 582-2338
Massachusetts 508 689-2983
New Hampshire 603 647-0299
Vermont/New York 802 479-3341

Date 26 JULY 2004

Dear Neighbor:

We are sending you this letter to inform you that we will be blasting ledge in preparation for the WOODS AT CANCO project on CANCO STREET ROAD

As required by City Ordinance, prior to any blasting, neighbors within (250, 500, 600) feet of the blast area shall be notified in writing prior to the blast.

We will begin blasting on 16 AUGUST 2004 We expect the blasting to last for 3 to 5 WEEKS By City Ordinance, blasting will occur between 9:00am - 4:00pm, Monday through Friday.

The procedure for the blast will be as follows: Just before the blasting is due to begin, a horn will sound to signal people in the immediate area of the upcoming blast. The horn will blow in the following sequence:

- 3 long horns - 5 minutes before the blast
- 2 long horns - 1 minute before the blast
- 1 long horn - All Clear ~~for the blast~~ to proceed.

Representatives from the City's Fire Department and Planning and Development Department will regularly visit the site and observe the blasting.

If you have any questions, do not hesitate to call any of the following numbers:

Blasting Contractor MAINE DRILLING + BLASTING 1-800-370-2338

Lt. McDougal, Fire Prevention	874-8405
Jay Reynolds, Development Review Coordinator	874-8632
Sarah Hopkins, Development Review Services Manager	874-8720

For damage complaints, please call 874-8405 to log the complaint and request inspection and documentation of the damage.

Please do not hesitate to call if you have any questions or concerns.

Sincerely,

Wayne C Flagg

Blasting Contractor

Date 26 JULY 2004

Dear Neighbor:

We are sending you this letter to inform you that we will be blasting ledge in preparation for the WOODS AT CANCO project on CANCO ~~Street~~ ROAD

As required by City Ordinance, prior to any blasting, a pre-blast survey of all structures within (250, 500, 600) feet of the blast area shall be conducted to establish a base line against which any claims of damage caused by this blasting can be judged.

Your property is within the (250, 500, 600) ft radius. A pre-blast survey will be performed at no cost to you if you would like to have it done.

To request that a pre-blast survey be done of your residence, please complete the enclosed survey form in its entirety and mail it back in the enclosed stamped envelope no later than 6 AUGUST 2004

Pre-blast condition surveys for this project will be performed by BRIAN SKEHAN representative from B. SKEHAN will call you to set up an appointment to perform the survey. A seismologist or a qualified technician working under the direction of a seismologist from B. SKEHAN will then make a videotape of the interior and exterior condition of your residence. The pre-blast survey records will be kept in a locked file for a period of 1 YEAR after the completion of blasting at which time they will be destroyed.

If you have any questions, please contact WAYNE FLAGG at MAINE DRILLING & BLASTING

Thank you,

Wayne C. Flagg
Blasting Contractor

Wayne C. Flagg
Eastern Division Manager

P.O. Box 1140 - Brunswick Road
Gardiner, Maine 04345
(207) 582-2338 ext. 1101
FAX 582-8794
E-mail wflagg@mdandb.com

**Maine Drilling
& Blasting**

Setting Earth Shattering Standards

BRIAN J. SKEHAN
Pre-Blast Surveying and Seismic Monitoring

Cell: 207.458.4504
VM: 207.582.2338 ext.1146
Home: 207.623.8076
Fax: 207.582.8794

Send mail to:
P.O. Box 1140
Brunswick Road
Gardiner, ME 04345

90 Intervale Road
Chelsea, ME 04330

ACCOUNT_NO	OWNER_NAME_1	OWNER_NAME_2	MAILING_ADDRESS_1	CITY	ST	ZIP	LOCATION	STREET_NAME
155 D010001	CRAIG ALEZA KANWIT &	ANTHONY KEITH CRI	43 BAY ST	PORTLAND	ME	04103	00043 BAY ST	BAY ST
155 D013001	HALL MARK E &	DAWNA C BONNEAU	51 BAY ST	PORTLAND	ME	04103	00051 BAY ST	BAY ST
155 D014001	KINNEY VICTORIA A		55 BAY ST	PORTLAND	ME	04103	00055 BAY ST	BAY ST
155 D015001	FOWLER BRUCE A &	SUSAN J WEBSTER	59 BAY ST	PORTLAND	ME	04103	00059 BAY ST	BAY ST
155 D020001	LAPOMARDA GAYE B		83 BAY ST	PORTLAND	ME	04103	00069 BAY ST	BAY ST
155 D021001	NAPPI NICHOLAS & THERESA JTS		75 BAY ST	PORTLAND	ME	04103	00075 BAY ST	BAY ST
155 D022001	LAPOMARDA GAYE B		83 BAY ST	PORTLAND	ME	04103	00083 BAY ST	BAY ST
155 D023001	LAPOMARDA GAYE B		83 BAY ST	PORTLAND	ME	04103	00085 BAY ST	BAY ST
155 D024001	GULLIKSON DIANE M		35 BAY ST	PORTLAND	ME	04103	00000 BAY ST	BAY ST
155 D027001	SARGENT JOHN P & CYNTHIA J JTS		103 READ ST	PORTLAND	ME	04103	00000 BAY ST	BAY ST
155 D028001	SARGENT JOHN P &	CYNTHIA J SARGENT	103 READ ST	PORTLAND	ME	04103	00000 BAY ST	BAY ST
155 D029001	GULLIKSON DIANE M		35 BAY ST	PORTLAND	ME	04103	00000 BAY ST	BAY ST
155 E001001	CZURYLO ALEKSANDER &	ELIZABETH M JTS	72 BAY ST	PORTLAND	ME	04103	00072 BAY ST	BAY ST
155 E003001	GREENWOOD RICHARD J II &	JEAN M JTS	58 BAY ST	PORTLAND	ME	04103	00058 BAY ST	BAY ST
155 E005001	LAPOMARDA VIRGINIA ANGELINA		56 BAY ST	PORTLAND	ME	04103	00056 BAY ST	BAY ST
155 E007001	LEAVITT LLEWELLYN A		318 CAMPBELLS PONE	WEST BATH	ME	04530	000046 BAY ST	BAY ST
155 E018001	GERMAINE ANTHONY D &	SANDRA H JTS	74 BAY ST	PORTLAND	ME	04103	00074 BAY ST	BAY ST
149 B001001	PORTLAND RETIREMENT RESIDUAL LIMITED LIABILITY CO	2250 MCGILL CHRIST ST	SALEM	AUGUSTA	ME	04330	00159 CANCO RD	CANCO RD
149 B006001	UNION WATER POWER COMPANY	526 WESTERN AVE		AUGUSTA	ME	04330	00159 CANCO RD	CANCO RD
161 B043001	PORTLAND CONGREGATION OF JEHOVAH'S WITNESSES	355 CANCO RD		PORTLAND	ME	04103	00355 CANCO RD	CANCO RD
161 B043002	PORTLAND CONGREGATION OF JEHOVAH'S WITNESSES	355 CANCO RD		PORTLAND	ME	04103	00355 CANCO RD	CANCO RD
159 A017001	HYBERS ALLAN & SALLY		15 DUDLEY ST	PORTLAND	ME	04103	00000 DUDLEY ST	DUDLEY ST
159 A021001	PORTLAND TRAILS		1 INDIA ST	PORTLAND	ME	04101	00000 DUDLEY ST	DUDLEY ST
159 A029001	PORTLAND TRAILS		1 INDIA ST	PORTLAND	ME	04101	00000 DUDLEY ST	DUDLEY ST
159 B001001	HAINS ROBERT C		250 HOLM AVE	PORTLAND	ME	04102	00000 DUDLEY ST	DUDLEY ST
159 B007001	ACETO PATRICIA A & ROCCO T JTS		54 HILLIS ST	PORTLAND	ME	04103	00000 DUDLEY ST	DUDLEY ST
159 B010001	WILSON MARIE B		118 MURRAY ST	PORTLAND	ME	04103	00000 DUDLEY ST	DUDLEY ST
159 B012001	HYBERS SALLY M		15 DUDLEY ST	PORTLAND	ME	04103	00000 DUDLEY ST	DUDLEY ST
159 B014001	HYBERS SALLY M		15 DUDLEY ST	PORTLAND	ME	04103	00000 DUDLEY ST	DUDLEY ST
159 B016001	PAYSON PARK EVANGELICAL	FREE CHURCH	424 OCEAN AVE	PORTLAND	ME	04103	00000 DUDLEY ST	DUDLEY ST
160 B003001	KING RUTH A		PO BOX 177	NORTH MONM	ME	04265	00000 DUDLEY ST	DUDLEY ST
160 D011001	HAINS ROBERT C		250 HOLM AVE	PORTLAND	ME	04102	00000 DUDLEY ST	DUDLEY ST
160 D023001	PORTLAND TRAILS		1 INDIA ST	PORTLAND	ME	04101	00000 DUDLEY ST	DUDLEY ST
160 D032001	BURKE PAUL J	C/O MONICA BURKE	19 GROVE ST	BANGOR	ME	04401	00000 DUDLEY ST	DUDLEY ST
160 D034001	BURKE PAUL J	C/O MONICA BURKE	19 GROVE ST	BANGOR	ME	04401	00000 DUDLEY ST	DUDLEY ST
160 D036001	WILSON MARIE B		118 MURRAY ST	PORTLAND	ME	04103	00000 DUDLEY ST	DUDLEY ST
160 D038001	KANE THOMAS F III		71 CHESLEY AVE	PORTLAND	ME	04103	00000 DUDLEY ST	DUDLEY ST
160 D040001	WILSON MARIE B		118 MURRAY ST	PORTLAND	ME	04103	00000 DUDLEY ST	DUDLEY ST
160 D042001	WILSON MARIE B		118 MURRAY ST	PORTLAND	ME	04103	00000 DUDLEY ST	DUDLEY ST
160 E014001	GOFF PRISCILLA		2400 S OCEAN DR APT	FT PIERCE	FL	34949	00000 DUDLEY ST	DUDLEY ST
160 E021001	ACETO ANTHONY J & DIWA JTS		32 KINEO ST	PORTLAND	ME	04103	00000 DUDLEY ST	DUDLEY ST
160 G007001	ISBISTER FREDERICK E		188 RAINBOW LN	SINDEY	ME	04330	00000 DUDLEY ST	DUDLEY ST

ACCOUNT_NO	OWNER_NAME_1	OWNER_NAME_2	MAILING_ADDRESS_1	CITY	ST	ZIP	LOCATION	STREET_NAME
160 H004001	MCKEEN ROLAND A	& CAROL A JTS	45 LORRAINE ST	PORTLAND	ME	04103	00000 DUDLEY ST	DUDLEY ST
160 H010001	PORTLAND TRAILS		1 INDIA ST	PORTLAND	ME	04101	00000 DUDLEY ST	DUDLEY ST
160 E031001	CARTER BARBARA L		9 FRYE ST	PORTLAND	ME	04103	00009 FRYE ST	FRYE ST
160 E082001	CARTER BARBARA L		9 FRYE ST	PORTLAND	ME	04103	00000 FRYE ST	FRYE ST
160 F029001	COOK JONATHAN F		70 ALBA ST	PORTLAND	ME	04103	00000 FRYE ST	FRYE ST
161 E012001	THOMPSON CHARLES A		984 WASHINGTON AVE	PORTLAND	ME	04103	00000 GERALD AVE	GERALD AVE
161 E013001	THOMPSON CHARLES A & AMELIA A JTS		984 WASHINGTON AVE	PORTLAND	ME	04103	00000 GERALD AVE	GERALD AVE
155 C001001	POTTER KATHERINE B		24 GLENGARDEN ST	PORTLAND	ME	04103	00024 GLENGARDE	GLENGARDEN ST
155 C001002	BARTLES TERESA R		26 GLENGARDEN ST	PORTLAND	ME	04103	00026 GLENGARDE	GLENGARDEN ST
155 C001003	MAGNUSON CYNTHIA R		28 GLENGARDEN ST	PORTLAND	ME	04103	00028 GLENGARDE	GLENGARDEN ST
155 C005001	ST THOMAS BRUCE C		21 ELIZABETH ST	PEAKS ISLAND	ME	04108	00011 GLENGARDE	GLENGARDEN ST
155 G011001	GULLIKSON DIANE M		35 BAY ST	PORTLAND	ME	04103	00000 GLENGARDE	GLENGARDEN ST
155 C013001	BRIDGES DAVID M		103 READ ST	PORTLAND	ME	04103	00000 GLENGARDE	GLENGARDEN ST
159 A001001	BURNS KEVIN P & MELODY L JTS		29 HALL ST	PORTLAND	ME	04103	00029 HALL ST	HALL ST
159 A003001	HAWLEY KENNETH C & MIRIAM M JTS		35 HALL ST	PORTLAND	ME	04103	00035 HALL ST	HALL ST
159 A004001	BOJARCZUK EDWARD WWII VET	THELMA F OR SURV	39 HALL ST	PORTLAND	ME	04103	00039 HALL ST	HALL ST
159 A006001	BURKILL DONALD H WWII VET & CATHERINE C JTS		43 HALL ST	PORTLAND	ME	04103	00043 HALL ST	HALL ST
160 H085001	LAVOIE CYNTHIA M		48 HALL ST	PORTLAND	ME	04103	00048 HALL ST	HALL ST
160 H024001	FAIRWEATHER JOHN R & SUE L FAIRWEATHER		12 HALL ST	PORTLAND	ME	04103	00012 HALL ST	HALL ST
160 H025001	WALSH JAMES & CAROLYN L OR SURV		16 HALL ST	PORTLAND	ME	04103	00016 HALL ST	HALL ST
160 H026001	CYR ELIZABETH J & LOUIS E JTS		20 HALL ST	PORTLAND	ME	04103	00020 HALL ST	HALL ST
160 H027001	LESSARD CINDY J		24 HALL ST	PORTLAND	ME	04103	00024 HALL ST	HALL ST
160 H029001	MITCHELL DANIEL J & CAROLYN F DEGRINI		30 HALL ST	PORTLAND	ME	04103	00030 HALL ST	HALL ST
160 H030001	COLLINS JEAN M		34 HALL ST	PORTLAND	ME	04103	00034 HALL ST	HALL ST
160 H031001	BLANCHE WILLARD R JR		38 HALL ST	PORTLAND	ME	04103	00038 HALL ST	HALL ST
160 H033001	CAHILL JOHN L & LESLIE R NOYES JTS		44 HALL ST	PORTLAND	ME	04103	00044 HALL ST	HALL ST
160 E028001	ACETO ANTHONY J & DIVA JTS		32 KINEO ST	PORTLAND	ME	04103	00032 KINEO ST	KINEO ST
160 E029001	LOTFEY MICHAELA		28 KINEO ST	PORTLAND	ME	04103	00028 KINEO ST	KINEO ST
160 F032001	DEMPSEY IRENE L		10 KINEO ST	PORTLAND	ME	04103	00010 KINEO ST	KINEO ST
160 F035001	DEMPSEY IRENE L		10 KINEO ST	PORTLAND	ME	04103	00075 KINEO ST	KINEO ST
160 G012001	CAIAZZO HENRY A JR		21 THUNDER RD	SACO	ME	04072	00037 KINEO ST	KINEO ST
160 G013001	LEIGHTON EDITH A ESTATE OF		29 KINEO ST	PORTLAND	ME	04103	00029 KINEO ST	KINEO ST
160 G014001	PARDI STEVEN R & JENNIFERE JTS		25 KINEO ST	PORTLAND	ME	04103	00025 KINEO ST	KINEO ST
160 G015001	JOHNSON PHYLLIS E		19 KINEO ST	PORTLAND	ME	04103	00019 KINEO ST	KINEO ST
160 G016001	PERRY CHARLES A & NANCY D JTS		15 KINEO ST	PORTLAND	ME	04103	00015 KINEO ST	KINEO ST
160 G017001	ZAVASNIK VICTORIA C		9 KINEO ST	PORTLAND	ME	04103	00009 KINEO ST	KINEO ST
160 G089001	MCKEEN ROLAND A & GAROLA JTS		45 LORRAINE ST	PORTLAND	ME	04103	00045 LORRAINE ST	LORRAINE ST
160 G022001	QUATTRUCCI STEPHANIE		12 LORRAINE ST	PORTLAND	ME	04103	00012 LORRAINE ST	LORRAINE ST
160 G024001	LIBBY E JEANE		22 SPOSEDO RD	WINDHAM	ME	04062	00018 LORRAINE ST	LORRAINE ST
160 G025001	THIERLING CURTIS & MICHAELA THIERLING		22 LORRAINE ST	PORTLAND	ME	04103	00022 LORRAINE ST	LORRAINE ST
160 G026001	DIAMOND SUSAN K		26 LORRAINE ST	PORTLAND	ME	04103	00026 LORRAINE ST	LORRAINE ST
160 G027001	WEEKS DAVID E		PO BOX 8009	PORTLAND	ME	04104	00032 LORRAINE ST	LORRAINE ST

165

Brian_Skehan

ACCOUNT_NO	OWNER_NAME_1	OWNER_NAME_2	MAILING_ADDRESS_1	CITY	ST	ZIP	LOCATION	STREET_NAME
160_G028001	HEINRICH JULIE-ANN		36 LORRAINE ST	PORTLAND	ME	04103	00035	LORRAINE ST LORRAINE ST
160_G030001	ISBISTER-FREDERICK-E		188 RAINBOW LN	SIDNEY	ME	04330	00040	LORRAINE ST LORRAINE ST
160_H011001	BERNIER GRACE H		41 LORRAINE ST	PORTLAND	ME	04103	00041	LORRAINE ST LORRAINE ST
160_H012001	LINDSAY JOHN R &	MARGARET L RICHAF	37 LORRAINE ST	PORTLAND	ME	04103	00037	LORRAINE ST LORRAINE ST
160_H014001	FLAGG WILLIAM D		31 LORRAINE ST	PORTLAND	ME	04103	00031	LORRAINE ST LORRAINE ST
160_H015001	DAMON GEORGE W WMII VET &	KATHLEEN S JTS	27 LORRAINE ST	PORTLAND	ME	04103	00027	LORRAINE ST LORRAINE ST
160_H016001	WHEATON JEAN A		23 LORRAINE ST	PORTLAND	ME	04103	00023	LORRAINE ST LORRAINE ST
160_H017001	COVENS-HEARY HILDEGARD		17 LORRAINE ST	PORTLAND	ME	04103	00017	LORRAINE ST LORRAINE ST
160_H019001	SEAGERS SUSAN E &	W J SEAGERS JR JTS	11 LORRAINE ST	PORTLAND	ME	04103	00011	LORRAINE ST LORRAINE ST
160_H020001	LOMBARD JANE E		3 LORRAINE ST	PORTLAND	ME	04103	00003	LORRAINE ST LORRAINE ST
159_G024001	DIMATTEO DOMINIC KW-VET		22 MURRAY ST	PORTLAND	ME	04103	00022	MURRAY ST MURRAY ST
159_G027001	MOREY JOHN T & MARIAN W JTS		30 MURRAY ST	PORTLAND	ME	04103	00030	MURRAY ST MURRAY ST
159_G031001	GROY BETTY-ANN		38 MURRAY ST	PORTLAND	ME	04103	00038	MURRAY ST MURRAY ST
159_G033001	MAGNUSON SHARON L		8175 KINGSBRIDGE DR	SACRAMENTO	CA	95829	00042	MURRAY ST MURRAY ST
159_G035001	SKOG THOMAS M &	DIANE E JTS	48 MURRAY ST	PORTLAND	ME	04103	00048	MURRAY ST MURRAY ST
159_G038001	MORGENSTEIN SHARON &	STEVEN JTS	52 MURRAY ST	PORTLAND	ME	04103	00052	MURRAY ST MURRAY ST
159_D001001	ALBANO JAMES D &	DYAN E KLOOSTER	49 MURRAY ST	PORTLAND	ME	04103	00049	MURRAY ST MURRAY ST
159_D003001	DADIEGO MARY JO &	CATHERINE DADIEGO	45 MURRAY ST	PORTLAND	ME	04103	00045	MURRAY ST MURRAY ST
159_D005001	SMITH MARIKAY		41 MURRAY ST	PORTLAND	ME	04103	00041	MURRAY ST MURRAY ST
159_D007001	SCHULTHEISS JANE V &	DENNIS J SCOTT	37 MURRAY ST	PORTLAND	ME	04103	00037	MURRAY ST MURRAY ST
159_D009001	LEVESQUE NANCY & RAYMOND A JTS		31 MURRAY ST	PORTLAND	ME	04103	00031	MURRAY ST MURRAY ST
159_D011001	BROWN LORNE J &	TAMARA NORMANDE	25 MURRAY ST	PORTLAND	ME	04103	00025	MURRAY ST MURRAY ST
159_D015001	SANTORO JOHN R &	BRENDA CHARETTE	15 MURRAY ST	PORTLAND	ME	04103	00015	MURRAY ST MURRAY ST
160_B021001	MENCHEN JACQUELINE		64 MURRAY ST	PORTLAND	ME	04103	00064	MURRAY ST MURRAY ST
161_A008001	GOUDREAU JACQUES J &	DOREEN M JTS	182 MURRAY ST	PORTLAND	ME	04103	00182	MURRAY ST MURRAY ST
161_A009001	CLOUTIER ANDREW J		176 MURRAY ST	PORTLAND	ME	04103	00176	MURRAY ST MURRAY ST
161_A010001	WOLF JAMES M &	WILLIAM J DOWD	17 WESTLAND AVE	PORTLAND	ME	04102	00172	MURRAY ST MURRAY ST
161_A011001	TROTT JAMES A & JAN E JTS		166 MURRAY ST	PORTLAND	ME	04103	00166	MURRAY ST MURRAY ST
161_A012001	NELSON ROBERT G & PEGGY D JTS		PO BOX 7031	PORTLAND	ME	04112	00160	MURRAY ST MURRAY ST
161_A019001	BOYCE CHARLES W	& DONNA J JTS	150 MURRAY ST	PORTLAND	ME	04103	00154	MURRAY ST MURRAY ST
161_A021001	BOYCE CHARLES W & DONNA J JTS		150 MURRAY ST	PORTLAND	ME	04103	00150	MURRAY ST MURRAY ST
161_A023001	LEIGHTON RICHARD W		146 MURRAY ST	PORTLAND	ME	04103	00146	MURRAY ST MURRAY ST
161_B006001	STACEY BERLA A		PO BOX 11022	PORTLAND	ME	04104	00187	MURRAY ST MURRAY ST
161_B008001	YOUNGLESS LAWRENCE J		181 MURRAY ST	PORTLAND	ME	04103	00185	MURRAY ST MURRAY ST
161_B011001	HOPE SETH R		PO BOX 6823	SCARBOROUGH	ME	04070	00173	MURRAY ST MURRAY ST
161_B015001	SCHILTZ LIZA M		167 MURRAY ST	PORTLAND	ME	04103	00167	MURRAY ST MURRAY ST
161_B018001	VIOLA PATRICK R JR		17 SAMUEL RD	PORTLAND	ME	04103	00161	MURRAY ST MURRAY ST
161_B021001	TOMPKINS KEITH W &	DOREEN A JTS	151 MURRAY ST	PORTLAND	ME	04103	00151	MURRAY ST MURRAY ST
161_B023001	VOISINE PAUL		147 MURRAY ST	PORTLAND	ME	04103	00147	MURRAY ST MURRAY ST
162_D001001	LYONS SCOTT F &	SHANNON L LYONS	141 MURRAY ST	PORTLAND	ME	04103	00141	MURRAY ST MURRAY ST
162_D003001	CADGER TANYA K &	JOHN J THOMPSON	135 MURRAY ST	PORTLAND	ME	04103	00135	MURRAY ST MURRAY ST
162_D005001	LERCH ARLENE P		131 MURRAY ST	PORTLAND	ME	04103	00131	MURRAY ST MURRAY ST

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ACCOUNT_NO	OWNER_NAME_1	OWNER_NAME_2	MAILING_ADDRESS_1	CITY	ST	ZIP	LOCATION	STREET_NAME
162 D007001	LOWELL STEPHEN M		125 MURRAY ST	PORTLAND	ME	04103	00125 MURRAY ST	MURRAY ST
162 D010001	DELLA TORRE JOAN B &	LYNNE M ST PETER	121 MURRAY ST	PORTLAND	ME	04103	00121 MURRAY ST	MURRAY ST
162 D012001	GRINDLE STEVEN B &	BRENDA L JTS	115 MURRAY ST	PORTLAND	ME	04103	00115 MURRAY ST	MURRAY ST
162 D014001	STINSON ADELBERT H WWII VET	JANET D JTS	109 MURRAY ST	PORTLAND	ME	04103	00109 MURRAY ST	MURRAY ST
162 D016001	TURGEON JENNIFER A POWERS	CHAD P TURGEON JT	101 MURRAY ST	PORTLAND	ME	04103	00101 MURRAY ST	MURRAY ST
162 D020001	MACVANE CAROL A		95 MURRAY ST	PORTLAND	ME	04103	00095 MURRAY ST	MURRAY ST
162 D023001	MAIORANO THOMAS E		89 MURRAY ST	PORTLAND	ME	04103	00089 MURRAY ST	MURRAY ST
162 D025001	HENNESSEY PRISCILLA B &	THOMAS JTS	83 MURRAY ST	PORTLAND	ME	04103	00083 MURRAY ST	MURRAY ST
162 D028001	HENNESSEY THOMAS		83 MURRAY ST	PORTLAND	ME	04103	00083 MURRAY ST	MURRAY ST
162 D033001	JONES TERRIL &	DAVID E JONES JTS	63 MURRAY ST	PORTLAND	ME	04103	00063 MURRAY ST	MURRAY ST
162 D037001	GYR JOHN R & ROSE M JTS		55 MURRAY ST	PORTLAND	ME	04103	00055 MURRAY ST	MURRAY ST
162 E002001	CANTERBURY LORRAINE LAFOE	BRUCE R JTS	138 MURRAY ST	PORTLAND	ME	04103	00138 MURRAY ST	MURRAY ST
162 E006001	JOHNSON DARRYL J &	NANCY J JTS	126 MURRAY ST	PORTLAND	ME	04103	00126 MURRAY ST	MURRAY ST
162 E010001	WILSON MARIE B		118 MURRAY ST	PORTLAND	ME	04103	00118 MURRAY ST	MURRAY ST
162 F001001	JACKSON ADELE & THEODORE JTS		3509 COTSWOLD TER	GREENSBORO	NC	27405	00110 MURRAY ST	MURRAY ST
162 F003001	BIRKEL PAUL F & MICHELLE M		104 MURRAY ST	PORTLAND	ME	04103	00104 MURRAY ST	MURRAY ST
162 F007001	BIRKEL PAUL F & MICHELLE M JTS		104 MURRAY ST	PORTLAND	ME	04103	00096 MURRAY ST	MURRAY ST
162 F009001	ERICKSON HAROLD SR &	PATRICIA V JTS	92 MURRAY ST	PORTLAND	ME	04103	00092 MURRAY ST	MURRAY ST
162 F011001	MCKENNEY JOHN F & MARY C JTS		86 MURRAY ST	PORTLAND	ME	04103	00086 MURRAY ST	MURRAY ST
159 B024001	PAYSON PARK EVANGELICAL	FREE CHURCH	424 OCEAN AVE	PORTLAND	ME	04103	00012 ROSEDALE	ROSEDALE ST
159 B026001	PAGHUTA MARGARET M &	HOLLY E HOWARD JT	26 ROSEDALE ST	PORTLAND	ME	04103	00022 ROSEDALE	ROSEDALE ST
159 B028001	DEL TERGO SARAH		26 ROSEDALE ST	PORTLAND	ME	04103	00026 ROSEDALE	ROSEDALE ST
159 B030001	ROGHE THOMAS F JR WWII VET		32 ROSEDALE ST	PORTLAND	ME	04103	00032 ROSEDALE	ROSEDALE ST
159 B032001	KNAPP JOHN J JR WWII VET &	HELEN L JTS	36 ROSEDALE ST	PORTLAND	ME	04103	00036 ROSEDALE	ROSEDALE ST
159 B034001	KNAPP JOHN J JR AND HELEN L	OR SURV	36 ROSEDALE ST	PORTLAND	ME	04103	00040 ROSEDALE	ROSEDALE ST
159 B036001	GOLE DEAN &	DENISE JTS	21 G GREAT FALLS RD	GORHAM	ME	04038	00046 ROSEDALE	ROSEDALE ST
159 B038001	HAINS ROBERT G		250 HOLM AVE	PORTLAND	ME	04102	00050 ROSEDALE	ROSEDALE ST
159 C001001	FORGH ANDREW R & MARY ANN JTS		43 ROSEDALE ST	PORTLAND	ME	04103	00043 ROSEDALE	ROSEDALE ST
159 C004001	HAKLITS MARIA A		39 ROSEDALE ST	PORTLAND	ME	04103	00039 ROSEDALE	ROSEDALE ST
159 C006001	MCGORRILL CHRISTOPHER C &	CAROL B JTS	35 ROSEDALE ST	PORTLAND	ME	04103	00035 ROSEDALE	ROSEDALE ST
159 C008001	FLYNN THOMAS S &	CATHERINE L FLYNN	33 ROSEDALE ST	PORTLAND	ME	04103	00033 ROSEDALE	ROSEDALE ST
159 C010001	MARSHALL PATRICK J		29 ROSEDALE ST	PORTLAND	ME	04103	00029 ROSEDALE	ROSEDALE ST
159 C012001	RIDDLE MARIE		1483 WASHINGTON AV	PORTLAND	ME	04103	00021 ROSEDALE	ROSEDALE ST
159 C014001	LANE CATHERINE B		17 ROSEDALE ST	PORTLAND	ME	04103	00017 ROSEDALE	ROSEDALE ST
159 C016001	KIBBEE MARY A TRUSTEE	TARO EALTY TRUST	436 OCEAN AVE	PORTLAND	ME	04103	00011 ROSEDALE	ROSEDALE ST
160 B001001	WILSON MARIE B		118 MURRAY ST	PORTLAND	ME	04103	00000 ROSEDALE	ROSEDALE ST
160 B007001	ACETO PATRICIA A & ROCCO T JTS		54 HILLIS ST	PORTLAND	ME	04103	00000 ROSEDALE	ROSEDALE ST
160 B009001	REILLY LEROY G		2386 SUMATRAN WAY	CLEARWATER	FL	33763	00000 ROSEDALE	ROSEDALE ST
160 B013001	HAINS ROBERT G		250 HOLM AVE	PORTLAND	ME	04102	00000 ROSEDALE	ROSEDALE ST
160 B015001	HAINS ROBERT G		250 HOLM AVE	PORTLAND	ME	04102	00069 ROSEDALE	ROSEDALE ST
160 B017001	HAINS ROBERT G		250 HOLM AVE	PORTLAND	ME	04102	00014 ROSEDALE	ROSEDALE ST
160 D001001	REILLY LEROY G		2386 SUMATRAN WAY	CLEARWATER	FL	33763	00000 ROSEDALE	ROSEDALE ST

ACCOUNT_NO	OWNER_NAME_1	OWNER_NAME_2	MAILING_ADDRESS_1	CITY	ST	ZIP	LOCATION	STREET_NAME
160 D065001	HAINS ROBERT G		250 HOLM AVE	PORTLAND	ME	04102	00000 ROSEDALE	ROSEDALE ST
160 D007001	LUNN HELEN L		17 LINMOOR TER	LEXINGTON	MA	02420	00000 ROSEDALE	ROSEDALE ST
160 D009001	HAINS ROBERT G		250 HOLM AVE	PORTLAND	ME	04102	00000 ROSEDALE	ROSEDALE ST
160 D017001	HAINS ROBERT G		250 HOLM AVE	PORTLAND	ME	04102	00064 ROSEDALE	ROSEDALE ST
160 D020001	CITY OF PORTLAND		389 CONGRESS ST	PORTLAND	ME	04101	00060 ROSEDALE	ROSEDALE ST
149 G037001	MICHAEL GREGORY WIGGALS VANEMAS DANIEL		59 KELLOGG ST	PORTLAND	ME	04103	00087 TORREY ST	TORREY ST
149 G088001	CHESSELL N MOGEE CORPORATION		59 KELLOGG ST	PORTLAND	ME	04101	00093 TORREY ST	TORREY ST
155 A014001	MCLEAN IAN A &	ALISON S MCLEAN JT	39 TORREY ST	PORTLAND	ME	04103	00039 TORREY ST	TORREY ST
155 A015001	ROLAND BRADLEY A &	JILLIAN S JTS	41 TORREY ST	PORTLAND	ME	04103	00041 TORREY ST	TORREY ST
155 A016001	HONAN ELLEN M		45 TORREY ST	PORTLAND	ME	04103	00045 TORREY ST	TORREY ST
155 A017001	THERIAULT AMY M &	WILLIAM J THERIAULT	49 TORREY ST	PORTLAND	ME	04103	00049 TORREY ST	TORREY ST
155 A018001	GRIFFIN MARY		57 TORREY ST	PORTLAND	ME	04103	00055 TORREY ST	TORREY ST
155 A020001	READ GRETCHEN & RONALD E JTS		65 TORREY ST	PORTLAND	ME	04103	00061 TORREY ST	TORREY ST
155 A021001	READ GRETCHEN & RONALD E JTS		65 TORREY ST	PORTLAND	ME	04103	00065 TORREY ST	TORREY ST
155 A022001	VACHON JAMES W		69 TORREY ST	PORTLAND	ME	04103	00069 TORREY ST	TORREY ST
155 A023001	STOCKS CYNTHIA M		75 TORREY ST	PORTLAND	ME	04103	00075 TORREY ST	TORREY ST
155 A024001	FLANAGAN JAMES E JR &	CAROLYN STEPHEN	171 WALTON ST	PORTLAND	ME	04103	00077 TORREY ST	TORREY ST
155 A029001	TIBBALS ANN H WID WMII VET		90 TORREY ST	PORTLAND	ME	04103	00090 TORREY ST	TORREY ST
155 A030001	CONROY MARY WID WMII VET		84 TORREY ST	PORTLAND	ME	04103	00084 TORREY ST	TORREY ST
155 D001001	BERTI DOROTHY L		70 TORREY ST	PORTLAND	ME	04103	00070 TORREY ST	TORREY ST
155 D003001	STOREY EDWARD J III &	GABRIELLE C STORE	66 TORREY ST	PORTLAND	ME	04103	00066 TORREY ST	TORREY ST
155 D004001	ROBINSON DORIS CLARK		62 TORREY ST	PORTLAND	ME	04103	00062 TORREY ST	TORREY ST
155 D005001	DEMERS ROBERT W &	ELAINE M O'REILLY J	58 TORREY ST	PORTLAND	ME	04103	00058 TORREY ST	TORREY ST
155 D006001	BREAU SUSAN F		56 TORREY ST	PORTLAND	ME	04103	00056 TORREY ST	TORREY ST
155 D007001	WILKS JACQUELINE G &	ANNE MARIE BRETZ	46 TORREY ST	PORTLAND	ME	04103	00046 TORREY ST	TORREY ST
155 D008001	TOOHEY CHRISTINE M		44 TORREY ST	PORTLAND	ME	04103	00044 TORREY ST	TORREY ST
155 D009001	HUTCHERSON HONOR R &	BARBARA A PILEGGI	38 TORREY ST	PORTLAND	ME	04103	00038 TORREY ST	TORREY ST
161 B025001	EQR - PLANTATION VISTAS INC		PO BOX 19301	CHICAGO	IL	60680	00988 WASHINGTON	WASHINGTON AVE
155 A001001	STRAUSS S REBECCA		76 WELLWOOD RD	PORTLAND	ME	04103	00076 WELLWOOD	WELLWOOD RD
155 A004001	WILSON POLLY &	RALPH A GOODWIN J	72 WELLWOOD RD	PORTLAND	ME	04103	00072 WELLWOOD	WELLWOOD RD
155 A005001	WILSON POLLY &	RALPH A GOODWIN J	72 WELLWOOD RD	PORTLAND	ME	04103	00066 WELLWOOD	WELLWOOD RD
155 A006001	EDWARDS CORA BLIND		64 WELLWOOD RD	PORTLAND	ME	04103	00064 WELLWOOD	WELLWOOD RD
155 A007001	SIROIS PENELOPE D		171 SMUTTY LN	SACO	ME	04072	00060 WELLWOOD	WELLWOOD RD
155 A008001	MCDUFFIE STEPHEN J	& CHRISTINE D JTS	52 WELLWOOD RD	PORTLAND	ME	04103	00054 WELLWOOD	WELLWOOD RD
155 A009001	MCDUFFIE STEPHEN J &	CHRISTINE D JTS	52 WELLWOOD RD	PORTLAND	ME	04103	00052 WELLWOOD	WELLWOOD RD
155 A011001	VALENTE ERNEST S JR &	DOROTHY A JTS	44 WELLWOOD RD	PORTLAND	ME	04103	00044 WELLWOOD	WELLWOOD RD
155 A012001	VALENTE ERNEST S JR &	DOROTHY A JTS	44 WELLWOOD RD	PORTLAND	ME	04103	00042 WELLWOOD	WELLWOOD RD
155 A013001	CROWE PHYLIS L		36 WELLWOOD RD	PORTLAND	ME	04103	00036 WELLWOOD	WELLWOOD RD
160 F036001	DARLING JOHN R &	LISA C JTS	79 WELLWOOD RD	PORTLAND	ME	04103	00081 WELLWOOD	WELLWOOD RD
160 F037001	DARLING JOHN R &	LISA G JTS	79 WELLWOOD RD	PORTLAND	ME	04103	00079 WELLWOOD	WELLWOOD RD
160 F040001	CITY OF PORTLAND		389 CONGRESS ST	PORTLAND	ME	04101	00000 WELLWOOD	WELLWOOD RD
160 G018001	JOHNSON RACHEL H		67 WELLWOOD RD	PORTLAND	ME	04103	00067 WELLWOOD	WELLWOOD RD

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ACCOUNT_NO	OWNER_NAME_1	OWNER_NAME_2	MAILING_ADDRESS_1	CITY	ST	ZIP	LOCATION	STREET_NAME
160 G019001	WATSON JAMES L		11 HUNTS POINT RD	CAPE ELIZABETH	ME	04107	00065 WELLWOOD	WELLWOOD RD
160 G020001	JAMIESON DAVID W		61 WELLWOOD RD	PORTLAND	ME	04103	00061 WELLWOOD	WELLWOOD RD
160 G021001	FOSTER MURIEL FELT		4832 N GLEN ARDEN	COVINA	CA	91724	00055 WELLWOOD	WELLWOOD RD
160 H021001	GRAVENER CHRISTINE		43 WELLWOOD RD	PORTLAND	ME	04103	00043 WELLWOOD	WELLWOOD RD
160 H022001	DUNPHE DONALD B &	CAROLE ANN JTS	35 WELLWOOD RD	PORTLAND	ME	04103	00035 WELLWOOD	WELLWOOD RD

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130
 D - DUPLICATE
 OS - OUTSIDE 600' LIMIT
 BLANK - NO RESPONSE AS OF 8-13-04
 PREDCAST SURVEY DONE
 PREDCAST SURVEY DECLINED.
 1ST CLASS MAIL RETURNED TO SENDER

PREBLAST SURVEY CHECKLIST

DATE 8-5-2004
 LOCATION M 155 D 10

SAFETY SPECIALIST SKEHAN
 JOB NUMBER 111-3987

NAME OF RESIDENT OR OCCUPANT KEITH CRAIG
 ADDRESS OF PROPERTY 43 DAY ST. PORTLAND, ME. 04103
 MAILING ADDRESS (IF DIFFERENT) _____
 TELEPHONE NUMBER HOME (307) 751-6952 WORK () _____

<u>TYPE OF STRUCTURE</u>	<u>AGE OF BLDG</u>	<u>WATER</u>	<u>DIST. TO BLASTING</u>
<input checked="" type="checkbox"/> WOOD	<u>100 +- YEARS</u>	_____ WELL	<u>1000</u> FEET
_____ STEEL		<input checked="" type="checkbox"/> TOWN	
_____ MASONRY			<u>NORTH</u>
_____ COMBO			

<u>FOUNDATION TYPE</u>	<u>RETAINING WALLS</u>	<u>ANIMALS IN BUILDING</u>
<input checked="" type="checkbox"/> STONE-MORTARED	TYPE <u>NO</u>	<u>1 DOG</u>
_____ BLOCK		
<input checked="" type="checkbox"/> POURED <u>COMBO</u>		
<input checked="" type="checkbox"/> MORTARED BRICK		

POOL ON PROPERTY (TYPE) NO

CHIMNEY ON HOUSE (TYPE) BRICK - IMBEDDED

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO
1ST FLR. CRACKS TO PLASTER CEILING IN KITCHEN AREA.
LIV + DINING RM IN GOOD CONDITION
2ND FLR. UNDER RENOVATION PLASTER CRACKS TO WALLS
BASEMENT - UNFINISHED SOME CRACKS TO MORTARED BRICK + STONE WALLS.
NUMEROUS CRACKS TO CONCRETE FLOOR. SIGNS OF H₂O STORAGE.

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO
O/S IN FAIR CONDITION (SLIGHT SAG TO ROOF LINE).
DECK ON REAR OF HSE. OF POOR CONSTRUCTION AND IN
POOR CONDITION.

TAPE # 111-3987-2
 WINDOWS THAT ARE BROKEN (LOCATION) _____

8-5-04 INSPECTED I/S + O/S

9

Received and sent 7/29/04

REC'D 8-3-04

PREBLAST SURVEY CHECKLIST

DATE JULY 2004 SAFETY SPECIALIST SKELHAN
LOCATION M 155 D 21 JOB NUMBER 111-3987

NAME OF RESIDENT OR OCCUPANT Theresa and Nicholas Nappi
ADDRESS OF PROPERTY 75 Bay St PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT) SAME
TELEPHONE NUMBER HOME (207) 871-8867 WORK ()
Cell-650-6114 (Theresa)

TYPE OF STRUCTURE WOOD AGE OF BLDG 7.5 YEARS WATER WELL DIST. TO BLASTING 500 FEET
X MASONRY X TOWN NORTH
COMBO

FOUNDATION TYPE POURED RETAINING WALLS TYPE None ANIMALS IN BUILDING Snake
STONE BLOCK Frog
MORTARED

POOL ON PROPERTY (TYPE) None

CHIMNEY ON HOUSE (TYPE) brick - INTERIOR

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO None

BASMENT ONLY - 60% FINISHED - Boiler Room - 2 wall cracks to north wall
cracks to concrete floor. Exercise Room - 2 wall cracks to both walls,
cracks to concrete floor.

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO
1/2 Good Condition. East Foundation wall 2 cracks below
1 below window, north wall 1 crack at step in wall.
South side (front) 3 wall cracks 1 below double window +
2 to right of front door.

TAPE # 111-3987-6
WINDOWS THAT ARE BROKEN (LOCATION) None

Home 8-4-04 8:55 A.M. CALLED HOME GOT SON.
Cell " " " " LEFT MSG. w/ MY CELL # ? THRU or REL.
8-6-04 12:15 TERESA CALLED APPT FOR TUES. 8:10 @ 8 A.M.

#26 8-10-04 INSPECTED 1/5 BASMENT ONLY +/- 0/5

PREBLAST SURVEY CHECKLIST

DATE 10 - AUG - 04
 LOCATION M 155 D 15

SAFETY SPECIALIST SKEHAN
 JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT BRUCE FOWLER + SUSAN J. WOOD STOR
 ADDRESS OF PROPERTY 59 BAY ST. PORTLAND, ME. 04103
 MAILING ADDRESS (IF DIFFERENT) _____
 TELEPHONE NUMBER HOME (607) 773-6679 WORK (207) 829-5016

<u>TYPE OF STRUCTURE</u>	<u>AGE OF BLDG</u>	<u>WATER</u>	<u>DIST. TO BLASTING</u>
<input checked="" type="checkbox"/> WOOD	<u>44</u> YEARS	<input type="checkbox"/> WELL	<u>550'</u> FEET
<input type="checkbox"/> STEEL		<input checked="" type="checkbox"/> TOWN	<u>NORTH</u>
<input type="checkbox"/> MASONRY	<u>20-25 ADDITION</u>		
<input type="checkbox"/> COMBO			

<u>FOUNDATION TYPE</u>	<u>RETAINING WALLS</u>	<u>ANIMALS IN BUILDING</u>
<input type="checkbox"/> STONE	TYPE <u>Rock</u>	<u>Nd</u>
<input type="checkbox"/> BLOCK	<u>1' x 35'</u>	
<input checked="" type="checkbox"/> POURED		
<input type="checkbox"/> MORTARED		

POOL ON PROPERTY (TYPE) INGROUND VINYL 40'x60'
 CHIMNEY ON HOUSE (TYPE) BRICK + BLOCK - EXTERIOR

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO
FOR BRUCE'S REQUEST.

BASEMENT - UNFINISHED - EVIDENCE OF H₂O DAMAGE TO FLOORS.
ADDITION BRICK FLOORS IN GOOD CONDITION. EAST WALL OF LIVING ROOM HAS
BRICK FACING IN GOOD CONDITION.
ATTACHED GARAGE - CRACKS TO CONCRETE FLOOR. DIFFICULT TO VIEW DUE TO
AMOUNT OF ITEMS IN + AROUND.

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

POOL COVERED W/ SOLAR BLANKET, APPEARS IN FAIR CONDITION.
CONCRETE PATIO AROUND POOL HAS SOME CRACKS IN CORNER BY GARAGE.
2 MORTAR CRACKS ABOVE ENTRY DOOR + LARGE WINDOW ON 9/5 ADDITION.

TAPE # 111-3987-7
 WINDOWS THAT ARE BROKEN (LOCATION) _____

#31 8-10-04 INSPECTED 1/5 PORCEL (BASEMENT + ADDITION) + 0/5

REC'D 8-11-04

PREBLAST SURVEY CHECKLIST

DATE JULY 2004 SAFETY SPECIALIST SKELHAN
LOCATION 59 Bay Street JOB NUMBER _____

NAME OF RESIDENT OR OCCUPANT Bruce Fowler / Susan Webster
ADDRESS OF PROPERTY 59 Bay St PORTLAND, ME.
MAILING ADDRESS (IF DIFFERENT) _____
TELEPHONE NUMBER HOME (207) 773-6679 WORK () 829-5016

<u>TYPE OF STRUCTURE</u>	<u>AGE OF BLDG</u>	<u>WATER</u>	<u>DIST. TO BLASTING</u>
<input checked="" type="checkbox"/> WOOD	<u>40</u> YEARS	<input type="checkbox"/> WELL	<u>60</u> FEET
<input type="checkbox"/> STEEL		<input checked="" type="checkbox"/> TOWN	
<input checked="" type="checkbox"/> MASONRY			
<input type="checkbox"/> COMBO			

<u>FOUNDATION TYPE</u>	<u>RETAINING WALLS</u>	<u>ANIMALS IN BUILDING</u>
<input type="checkbox"/> STONE	TYPE <u>Concrete</u>	<u>NO</u>
<input type="checkbox"/> BLOCK		
<input checked="" type="checkbox"/> POURED		
<input type="checkbox"/> MORTARED		

POOL ON PROPERTY (TYPE) in ground

CHIMNEY ON HOUSE (TYPE) brick/block

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

DONE 7.10.04

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

WINDOWS THAT ARE BROKEN (LOCATION) _____

PREBLAST SURVEY CHECKLIST

DATE 5 - AUG - 04
 LOCATION M 155 D B

SAFETY SPECIALIST SKELHAN
 JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT MARK HALL
 ADDRESS OF PROPERTY 51 RAY ST. PORTLAND, ME. 04103
 MAILING ADDRESS (IF DIFFERENT) _____
 TELEPHONE NUMBER HOME (907) 777-5812 WORK () 332-6088 - CELL

<u>TYPE OF STRUCTURE</u>	<u>AGE OF BLDG</u>	<u>WATER</u>	<u>DIST. TO BLASTING</u>
<input checked="" type="checkbox"/> WOOD	<u>74</u> YEARS	<u>WELL</u>	<u>575'</u> FEET
<input type="checkbox"/> STEEL	ADDITION 15 yrs.	<input checked="" type="checkbox"/> TOWN	<u>NORTH</u>
<input type="checkbox"/> MASONRY			
<input type="checkbox"/> COMBO			

<u>FOUNDATION TYPE</u>	<u>RETAINING WALLS</u>	<u>ANIMALS IN BUILDING</u>
<input type="checkbox"/> STONE	TYPE <u>NO</u>	<u>NO</u>
<input checked="" type="checkbox"/> BLOCK		
<input checked="" type="checkbox"/> POURED <u>COMBO</u>		
<input checked="" type="checkbox"/> MORTARED		

POOL ON PROPERTY (TYPE) ABOVE GROUND VINYL - 27' ROUND (EMPTY ICE DAMAGE)

CHIMNEY ON HOUSE (TYPE) BRICK - INTERIOR

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

1ST FLR. ADDITION GOOD CONDITION/ ORIGINAL HSE, PLASTER CRACKS TO LIVING RM. CEILING + FRONT HALL ALSO H₂O STAINS.

2ND FLR ORIGINAL H₂O DAMAGE TO CEILINGS + WALL IN HALL + FRONT BEDROOM.

BASMENT 50% FINISHED. FLOOR IN ADDITION CURRENTLY BEING REPLACED DUE TO H₂O DAMAGE. ORIGINAL CEILING HAS CRACKS TO CONCRETE + BLOCK WALLS. SOME H₂O SOUPAGE.

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

POOL EMPTY - ICE DAMAGE 2003 + 04.

DECK IN FAIR CONDITION. CRACKS TO NEW FOUNDATION WALL ON REAR OF HSE

TARE # 111-3987-6

WINDOWS THAT ARE BROKEN (LOCATION) _____

8-4- 9:14 AM V.M. FROM MARK.
 1:00 PM. REC CALL LEFT MSG W/ MY CELL #
 2:00 PM. MARK CALLED MAY BE AROUND THERE.

8-5-04 7:30 AM - CALLED MARK. - WILL BE HOME AFTER 10 AM.
 10:00 AM. WENT TO ST NO ONE HOME TUES 9 AM

8-10-04 - INSPECTED I/S + O/S

#108

Rec'd 8-3-04

PREBLAST SURVEY CHECKLIST

DATE JULY 2004 SAFETY SPECIALIST SKEHAN
 LOCATION 28 Glengarden St JOB NUMBER 111-3987
 M 155 C 1
 NAME OF RESIDENT OR OCCUPANT Cynthia R. Magnuson
 ADDRESS OF PROPERTY 28 Glengarden St, PORTLAND, ME. 04103
 MAILING ADDRESS (IF DIFFERENT) _____
 TELEPHONE NUMBER HOME (207) 828-0148 WORK () 233-1867

TYPE OF STRUCTURE AGE OF BLDG WATER DIST. TO BLASTING
 WOOD 15 YEARS WELL 550' FEET
 STEEL X TOWN EAST
 MASONRY
 COMBO

FOUNDATION TYPE RETAINING WALLS ANIMALS IN BUILDING
 STONE TYPE none 1 cat
 BLOCK
 POURED (SLAB)
 MORTARED + POSTWALL

POOL ON PROPERTY (TYPE) None

CHIMNEY ON HOUSE (TYPE) None / POWER VENT

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO
1st FLR. DRIVWAY CRACK TO CEILING (WATER) @ CORNER OF STAIRS.
2nd FLR. NB VISIBLE CRACKS OR DAMAGE.

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO
1/5 GOOD CONDITION - NO CRACKS OBSERVED IN FOUNDATION.

TAPE # 111-3987-3
 WINDOWS THAT ARE BROKEN (LOCATION) _____

HOME WORK 8-4-04 8:45 LATE MSG w/ MY CELL # ? THUR. OR FRI.
 8-4-04 1:40 P.M. CYNTHIA RING CALL. THANK AFTER 12. Call 1st.

#15 8-5-04 - INSPECTED 1/5 + 0/5
 We would like a free pre-blast survey Please.

PREBLAST SURVEY CHECKLIST

DATE 10 - AUG - 04
LOCATION M 155 C 5

SAFETY SPECIALIST SKEHAN
JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT DR. BRUCE + PEGGY ST. THOMAS
ADDRESS OF PROPERTY 11 GLEN GARDEN ST PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT) 21 ELIZABETH ST. PENNY ISLAND, ME 04108
TELEPHONE NUMBER HOME (607) 766-5225 WORK ()

TYPE OF STRUCTURE AGE OF BLDG WATER DIST. TO BLASTING
 WOOD 53 YEARS WELL 550' FEET
 STEEL TOWN NE
 MASONRY
 COMBO

FOUNDATION TYPE RETAINING WALLS ANIMALS IN BUILDING
 STONE TYPE NO NO
 BLOCK
 POURED
 MORTARED

POOL ON PROPERTY (TYPE) NO

CHIMNEY ON HOUSE (TYPE) BRICK + BLOCK - EXTERIOR

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO
O/C ONLY @ BRUCE'S REQUEST.

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO
CONCRETE APRON IN FRONT OF GARAGE HAS 2 CRACKS
GARAGE ROOF (BACKSIDE) HAS LARGE SAG, APPROX 6" @ DEEPEST POINT.
SIDING SIDINGS OF GARAGE (FRONT + REAR) ARE DAMAGED.

TAPE # 111-3987-7
WINDOWS THAT ARE BROKEN (LOCATION) _____

#32 8-10-04 MET BRUCE @ 11 - GLEN GARDEN
8-10-04 INSPECTED O/C ONLY.

PREBLAST SURVEY CHECKLIST

DATE 13 - AUG - 04
LOCATION M-155 D 14

SAFETY SPECIALIST SIOGHAN
JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT VICTORIA A. KINNEY
ADDRESS OF PROPERTY 55 RAY ST. PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT) _____
TELEPHONE NUMBER HOME (607) _____ WORK () _____

TYPE OF STRUCTURE AGE OF BLDG WATER DIST. TO BLASTING
____ WOOD _____ YEARS _____ WELL _____ FEET
____ STEEL _____ TOWN
____ MASONRY
____ COMBO

FOUNDATION TYPE RETAINING WALLS ANIMALS IN BUILDING
____ STONE TYPE _____
____ BLOCK
____ POURED
____ MORTARED

POOL ON PROPERTY (TYPE) _____

CHIMNEY ON HOUSE (TYPE) _____

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

WINDOWS THAT ARE BROKEN(LOCATION) _____

7-28-04 - NOTIFICATION PACKET MAILED - VIA 1ST CLASS MAIL
8-13-04 - NO RESPONSE

PREBLAST SURVEY CHECKLIST

DATE 13 - AUG - 04
LOCATION M-155 D 20

SAFETY SPECIALIST STEPHAN
JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT GARY B. LAPOMARDA
ADDRESS OF PROPERTY 83 Bay St. Portland, ME. 04103
MAILING ADDRESS (IF DIFFERENT) _____
TELEPHONE NUMBER HOME (607) _____ WORK () _____

TYPE OF STRUCTURE AGE OF BLDG WATER DIST. TO BLASTING
____ WOOD _____ YEARS _____ WELL _____ FEET
____ STEEL _____ TOWN
____ MASONRY
____ COMBO

FOUNDATION TYPE RETAINING WALLS ANIMALS IN BUILDING
____ STONE TYPE _____ _____
____ BLOCK _____
____ POURED _____
____ MORTARED _____

POOL ON PROPERTY (TYPE) _____

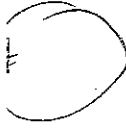
CHIMNEY ON HOUSE (TYPE) _____

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

WINDOWS THAT ARE BROKEN(LOCATION) _____

7-28-04 - NOTIFICATION PACKET MAILED - VIA 1ST CLASS MAIL
8-13-04 - NO RESPONSE



PREBLAST SURVEY CHECKLIST

DATE 13 - AUG - 04
LOCATION M 155 D 24

SAFETY SPECIALIST STEPHAN
JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT DIANE M. GULLIKSON
ADDRESS OF PROPERTY 35 BAY ST PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT) _____
TELEPHONE NUMBER HOME (607) _____ WORK () _____

TYPE OF STRUCTURE AGE OF BLDG WATER DIST. TO BLASTING
___ WOOD _____ YEARS ___ WELL _____ FEET
___ STEEL _____ TOWN
___ MASONRY
___ COMBO

FOUNDATION TYPE RETAINING WALLS ANIMALS IN BUILDING
___ STONE TYPE _____ _____
___ BLOCK _____
___ POURED _____
___ MORTARED _____

POOL ON PROPERTY (TYPE) _____

CHIMNEY ON HOUSE (TYPE) _____

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

WINDOWS THAT ARE BROKEN(LOCATION) _____

7-28-04 - NOTIFICATION PACKET MAILED - VIA 1ST CLASS MAIL
8-13-04 - NO RESPONSE



PREBLAST SURVEY CHECKLIST

DATE 13 - AUG - 04
LOCATION M 155 E 1

SAFETY SPECIALIST SKIFLIAN
JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT ALEX SANDER CZURYLO
ADDRESS OF PROPERTY 72 RAY ST PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT) _____
TELEPHONE NUMBER HOME (607) _____ WORK () _____

<u>TYPE OF STRUCTURE</u>	<u>AGE OF BLDG</u>	<u>WATER</u>	<u>DIST. TO BLASTING</u>
<input type="checkbox"/> WOOD	____ YEARS	<input type="checkbox"/> WELL	____ FEET
<input type="checkbox"/> STEEL		<input type="checkbox"/> TOWN	
<input type="checkbox"/> MASONRY			
<input type="checkbox"/> COMBO			

<u>FOUNDATION TYPE</u>	<u>RETAINING WALLS</u>	<u>ANIMALS IN BUILDING</u>
<input type="checkbox"/> STONE	TYPE _____	_____
<input type="checkbox"/> BLOCK		_____
<input type="checkbox"/> POURED		_____
<input type="checkbox"/> MORTARED		_____

POOL ON PROPERTY (TYPE) _____

CHIMNEY ON HOUSE (TYPE) _____

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

WINDOWS THAT ARE BROKEN(LOCATION) _____

7-28-04 - NOTIFICATION PACKET MAILED - VIA 1ST CLASS MAIL
8-13-04 - NO RESPONSE

PREBLAST SURVEY CHECKLIST

DATE 13 - AUG - 04 SAFETY SPECIALIST STEPHAN
LOCATION M 155 E 18 JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT ANTHONY D. GORMAN
ADDRESS OF PROPERTY 74 BAY ST PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT) _____
TELEPHONE NUMBER HOME (607) _____ WORK () _____

<u>TYPE OF STRUCTURE</u>	<u>AGE OF BLDG</u>	<u>WATER</u>	<u>DIST. TO BLASTING</u>
<input type="checkbox"/> WOOD	_____ YEARS	<input type="checkbox"/> WELL	_____ FEET
<input type="checkbox"/> STEEL		<input type="checkbox"/> TOWN	
<input type="checkbox"/> MASONRY			
<input type="checkbox"/> COMBO			

<u>FOUNDATION TYPE</u>	<u>RETAINING WALLS</u>	<u>ANIMALS IN BUILDING</u>
<input type="checkbox"/> STONE	TYPE _____	_____
<input type="checkbox"/> BLOCK		_____
<input type="checkbox"/> POURED		_____
<input type="checkbox"/> MORTARED		_____

POOL ON PROPERTY (TYPE) _____

CHIMNEY ON HOUSE (TYPE) _____

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

WINDOWS THAT ARE BROKEN(LOCATION) _____



7-28-04 - NOTIFICATION PACKET MAILED - VIA 1ST CLASS MAIL
8-13-04 - NO RESPONSE

PREBLAST SURVEY CHECKLIST

DATE 13 - AUG - 04
 LOCATION M 155 C 1

SAFETY SPECIALIST SKELAN
 JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT KATHLEEN B. POTTER
 ADDRESS OF PROPERTY 24 GLEN GARDEN ST PORTLAND, ME. 04103
 MAILING ADDRESS (IF DIFFERENT) _____
 TELEPHONE NUMBER HOME (607) _____ WORK () _____

<u>TYPE OF STRUCTURE</u>	<u>AGE OF BLDG</u>	<u>WATER</u>	<u>DIST. TO BLASTING</u>
___ WOOD	___ YEARS	___ WELL	___ FEET
___ STEEL		___ TOWN	
___ MASONRY			
___ COMBO			

<u>FOUNDATION TYPE</u>	<u>RETAINING WALLS</u>	<u>ANIMALS IN BUILDING</u>
___ STONE	TYPE _____	_____
___ BLOCK		_____
___ POURED		_____
___ MORTARED		_____

POOL ON PROPERTY (TYPE) _____

CHIMNEY ON HOUSE (TYPE) _____

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

WINDOWS THAT ARE BROKEN (LOCATION) _____

(F)

7-28-04 - NOTIFICATION PACKET MAILED - VIA 1ST CLASS MAIL
 8-13-04 - NO RESPONSE

PREBLAST SURVEY CHECKLIST

DATE 13 - AUG - 04
LOCATION M 155 C 1

SAFETY SPECIALIST SKEHAN
JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT THORSA R. BARTLES
ADDRESS OF PROPERTY 26 HENBARDEN ST. PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT) _____
TELEPHONE NUMBER HOME (607) _____ WORK () _____

TYPE OF STRUCTURE AGE OF BLDG WATER DIST. TO BLASTING
____ WOOD _____ YEARS _____ WELL _____ FEET
____ STEEL _____ TOWN
____ MASONRY
____ COMBO

FOUNDATION TYPE RETAINING WALLS ANIMALS IN BUILDING
____ STONE TYPE _____ _____
____ BLOCK _____
____ POURED _____
____ MORTARED _____

POOL ON PROPERTY (TYPE) _____

CHIMNEY ON HOUSE (TYPE) _____

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

WINDOWS THAT ARE BROKEN(LOCATION) _____

7-28-04 - NOTIFICATION PACKET MAILED - VIA 1ST CLASS MAIL
8-13-04 - NO RESPONSE 1ST CLASS MAIL RETURNED TO SENDER

PREBLAST SURVEY CHECKLIST

DATE 13 - AUG - 04
LOCATION M 155 C 13

SAFETY SPECIALIST SKELAN
JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT DAVID M. BRIDGES
ADDRESS OF PROPERTY GLENGARDON ST. PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT) 103 ROAD ST. PORTLAND, ME. 04103
TELEPHONE NUMBER HOME (607) _____ WORK () _____

TYPE OF STRUCTURE AGE OF BLDG WATER DIST. TO BLASTING
____ WOOD _____ YEARS _____ WELL _____ FEET
____ STEEL _____ TOWN
____ MASONRY
____ COMBO

FOUNDATION TYPE RETAINING WALLS ANIMALS IN BUILDING
____ STONE TYPE _____ _____
____ BLOCK _____
____ POURED _____
____ MORTARED _____

POOL ON PROPERTY (TYPE) _____

CHIMNEY ON HOUSE (TYPE) _____

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

WINDOWS THAT ARE BROKEN(LOCATION) _____

7-28-04 - NOTIFICATION PACKET MAILED - VIA 1ST CLASS MAIL
8-13-04 - NO RESPONSE

PREBLAST SURVEY CHECKLIST

DATE 6 - AUG - 04
LOCATION _____

SAFETY SPECIALIST SIKEHAN
JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT THE WOODS AT CANCO
ADDRESS OF PROPERTY 257 CANCO ROAD, PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT) _____
TELEPHONE NUMBER HOME (607) _____ WORK () _____

128
UNITS

TYPE OF STRUCTURE AGE OF BLDG WATER DIST. TO BLASTING
 WOOD 5 YEARS _____ WELL 80' FEET
____ STEEL _____ TOWN SOUTH
____ MASONRY
____ COMBO

FOUNDATION TYPE RETAINING WALLS ANIMALS IN BUILDING
____ STONE TYPE NO YES
____ BLOCK _____ DOGS, CATS, BIRDS ETC.
 POURED _____ _____
____ MORTARED

POOL ON PROPERTY (TYPE) NO

CHIMNEY ON HOUSE (TYPE) METAL PESTOS

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO
DRYWALL JOINT CRACKS TO COMMON AREAS, INDIVIDUAL UNITS NOT INSPECTED. ACCOMPANIED BY DOUG BETIT

CRACK TO GARAGE FLOOR (CONTR.) S-W GARAGE CLUSTER

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO
NUMEROUS CRACKS TO CONCRETE PATIOS + WALKWAYS. SLIDING DAMAGE: EAST SIDE UNIT NEAR S-E CORNER; S-W CORNER.

S-W GARAGE CLUSTER - FROSTWALL CRACK WEST + SOUTH WALLS.

TAPS # 111-3987-4
WINDOWS THAT ARE BROKEN (LOCATION) _____

8-6-04 INSPECTED 0/S, I/S COMMON AREAS ONLY, + I/S + 0/S OF GARAGES ON S, W CORNER.

#19

PREBLAST SURVEY CHECKLIST

DATE 5 - AUG - 04
LOCATION _____

SAFETY SPECIALIST STEPHAN
JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT BOB + CHARLOTTE HBBY
ADDRESS OF PROPERTY 257 CANCO ROAD UNIT 402 PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT) _____
TELEPHONE NUMBER HOME (207) 879-4533 WORK () _____

TYPE OF STRUCTURE AGE OF BLDG WATER DIST. TO BLASTING
 WOOD 5 YEARS _____ WELL 120' FEET
____ STEEL _____ TOWN EAST
____ MASONRY
____ COMBO

FOUNDATION TYPE RETAINING WALLS ANIMALS IN BUILDING
____ STONE TYPE NO _____ NO
____ BLOCK _____
 POURED FRST SLAB ON WALL _____
____ MORTARED

POOL ON PROPERTY (TYPE) NO

CHIMNEY ON HOUSE (TYPE) POWERVENT

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO
LIVING + BATH. DRYWALL JOINT CRACKS.

CRACKS TO CONCRETE FLOOR IN GARAGE

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO
0/5 IN GOOD CONDITION
CONCRETE CRACK TO CONCRETE ENTRY @ FRONT DOOR.
FOUNDATION WALL CRACK BELOW BATH WINDOW ON SOUTH WALL

INS # 111-3987-3
WINDOWS THAT ARE BROKEN (LOCATION) _____

#13 8-5-04 - INSPECTED 1/5 + 0/5

PREBLAST SURVEY CHECKLIST

DATE 5 - AUG - 04
LOCATION _____

SAFETY SPECIALIST SKELHAN
JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT CLAY JORDAN
ADDRESS OF PROPERTY 257 CANCO RD. UNIT 406 PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT) _____
TELEPHONE NUMBER HOME (207) 773-4113 WORK () _____

TYPE OF STRUCTURE AGE OF BLDG WATER DIST. TO BLASTING
 WOOD 5 YEARS _____ WELL 30' FEET
____ STEEL _____ TOWN _____
____ MASONRY _____
____ COMBO _____

FOUNDATION TYPE RETAINING WALLS ANIMALS IN BUILDING
____ STONE TYPE NO _____
____ BLOCK _____
 POURED FROST WALL ON SLAB _____
____ MORTARED _____

POOL ON PROPERTY (TYPE) NO

CHIMNEY ON HOUSE (TYPE) POWER VENT

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO
LIVING RM. DRYWALL JOINT CRACKS TO WALLS + CEILING.
ALSO SOME IN DINING + BED + BATH.

CRACKS TO CONCRETE FLOOR IN GARAGE.

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO
O/S IN GOOD CONDITION.

TAPE # 111-3987-3
WINDOWS THAT ARE BROKEN (LOCATION) _____

#12 8-5-04 INSPECTED I/S + O/S

PREBLAST SURVEY CHECKLIST

James B.

DATE 11 - AUG - 04
LOCATION 257 Canco Rd

SAFETY SPECIALIST SKELHAN
JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT The Woods At Canco
ADDRESS OF PROPERTY EIGHT BAYS (GARAGES) on North Side PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT) "Bus Garage & Wings" + 5 single Bays
TELEPHONE NUMBER HOME (00?) 772-477 WORK (-) _____
Cmain #

TYPE OF STRUCTURE AGE OF BLDG WATER DIST. TO BLASTING
 WOOD 5 YEARS WELL 90 yards + FEET
 STEEL TOWN to closest garage
 MASONRY
 COMBO

FOUNDATION TYPE RETAINING WALLS ANIMALS IN BUILDING
 STONE TYPE NONE N/A
 BLOCK
 POURED
 MORTARED

POOL ON PROPERTY (TYPE) N/A

CHIMNEY ON HOUSE (TYPE) N/A

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO
There are concrete carels inside
and out on all garages list above

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO
N/A

WINDOWS THAT ARE BROKEN (LOCATION) N/A

8/11/04

JAMES B.

PREBLAST SURVEY CHECKLIST

DATE 11 - AUG - 04 SAFETY SPECIALIST SKEHAN
LOCATION 257 CANCO ROAD JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT Jeanne & Bob Addison
ADDRESS OF PROPERTY #403 Canco Rd PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT) _____
TELEPHONE NUMBER HOME (907) 773-7383 WORK () _____

TYPE OF STRUCTURE AGE OF BLDG WATER DIST. TO BLASTING
 WOOD 5 YEARS WELL 60yds ~~FEET~~
 STEEL _____ TOWN
 MASONRY
 COMBO

FOUNDATION TYPE RETAINING WALLS ANIMALS IN BUILDING
 STONE TYPE NO _____
 BLOCK _____
 POURED SLAB _____
 MORTARED _____

POOL ON PROPERTY (TYPE) NO

CHIMNEY ON HOUSE (TYPE) POURCONC

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO
Everything appears on video - there are several ceiling and wall cracks.

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO
N/A

WINDOWS THAT ARE BROKEN (LOCATION) N/A



8/11/04

PREBLAST SURVEY CHECKLIST

DATE 11 - AUG - 04 SAFETY SPECIALIST SKELIAN
LOCATION 257 CANON ROAD JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT Guy & Mary Bailey
ADDRESS OF PROPERTY # 405 Canon Road. PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT)
TELEPHONE NUMBER HOME (607) 774-2825 WORK () _____

<u>TYPE OF STRUCTURE</u>	<u>AGE OF BLDG</u>	<u>WATER</u>	<u>DIST. TO BLASTING</u>
<input checked="" type="checkbox"/> WOOD	<u>5</u> YEARS	___ WELL	<u>30yds</u> FEET
___ STEEL		<input checked="" type="checkbox"/> TOWN	
___ MASONRY			
___ COMBO			

<u>FOUNDATION TYPE</u>	<u>RETAINING WALLS</u>	<u>ANIMALS IN BUILDING</u>
___ STONE	TYPE <u>NO</u>	_____
___ BLOCK		_____
<input checked="" type="checkbox"/> <u>POURED SHAB</u>		_____
___ MORTARED		_____

POOL ON PROPERTY (TYPE) NO

CHIMNEY ON HOUSE (TYPE) POURCONCRETE

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO
Everything appears on video - there are several ceiling & wall cracks.

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO
N/A

WINDOWS THAT ARE BROKEN (LOCATION) N/A



8/11/04

PREBLAST SURVEY CHECKLIST

JAMES B.

DATE 11 - AUG - 04 SAFETY SPECIALIST SKELAN
LOCATION 257 Canco Road JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT Rev. Marie (Mickey) BENT
ADDRESS OF PROPERTY # 412 Canco Road PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT) _____
TELEPHONE NUMBER HOME (607) 761-1691 WORK () _____

<u>TYPE OF STRUCTURE</u>	<u>AGE OF BLDG</u>	<u>WATER</u>	<u>DIST. TO BLASTING</u>
<input checked="" type="checkbox"/> WOOD	<u>5</u> YEARS	<input type="checkbox"/> WELL	<u>190+ yds FEET</u>
<input type="checkbox"/> STEEL		<input checked="" type="checkbox"/> TOWN	
<input type="checkbox"/> MASONRY			
<input type="checkbox"/> COMBO			

<u>FOUNDATION TYPE</u>	<u>RETAINING WALLS</u>	<u>ANIMALS IN BUILDING</u>
<input type="checkbox"/> STONE	TYPE <u>NO</u>	_____
<input type="checkbox"/> BLOCK		_____
<input checked="" type="checkbox"/> POURED SLAB		_____
<input type="checkbox"/> MORTARED		_____

POOL ON PROPERTY (TYPE) NO

CHIMNEY ON HOUSE (TYPE) POWERVENT

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO
Everything appears on video - there are several ceiling and wall cracks.

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO
N/A

WINDOWS THAT ARE BROKEN (LOCATION) N/A



8/11/04

PREBLAST SURVEY CHECKLIST

JAMES B

DATE 11 - AUG - 04 SAFETY SPECIALIST SKEHAN
LOCATION 257 CANCO ROAD JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT Mont & Kay Chase
ADDRESS OF PROPERTY # 407 Canco Rd. PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT)
TELEPHONE NUMBER HOME (607) 828-1201 WORK ()

TYPE OF STRUCTURE AGE OF BLDG WATER DIST. TO BLASTING
 WOOD 5 YEARS WELL 90+yds FEET
 STEEL
 TOWN
 MASONRY
 COMBO

FOUNDATION TYPE RETAINING WALLS ANIMALS IN BUILDING
 STONE TYPE NO
 BLOCK
 POURED slab
 MORTARED

POOL ON PROPERTY (TYPE) NO

CHIMNEY ON HOUSE (TYPE) POWDERMENT

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO
Everything appears on video - there are several ceiling
and wall cracks.

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO
N/A

WINDOWS THAT ARE BROKEN (LOCATION) N/A



8/11/04

PREBLAST SURVEY CHECKLIST

JAMES B.

DATE 11 - AUG - 04 SAFETY SPECIALIST SKELAN
LOCATION 257 CANCO ROAD JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT Florence Mariano
ADDRESS OF PROPERTY 408 CANCO Road. PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT) _____
TELEPHONE NUMBER HOME (607) 773-4432 WORK () _____

TYPE OF STRUCTURE AGE OF BLDG WATER DIST. TO BLASTING
 WOOD 5 YEARS WELL 95 yards ~~FEET~~
 STEEL _____ TOWN
 MASONRY
 COMBO

FOUNDATION TYPE RETAINING WALLS ANIMALS IN BUILDING
 STONE TYPE NO _____
 BLOCK _____
 POURED _____
 MORTARED _____
 SLAB-CONCRETE

POOL ON PROPERTY (TYPE) NO

CHIMNEY ON HOUSE (TYPE) POWERVENT

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO
Everything appears on video - there are several ceiling and wall cracks.

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO
N/A

WINDOWS THAT ARE BROKEN (LOCATION) N/A



8/11/04

PREBLAST SURVEY CHECKLIST

JAMES B. SKELAN

DATE 11 - AUG - 04
LOCATION 257 CANCO ROAD

SAFETY SPECIALIST SKELAN
JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT Catherine Calkin
ADDRESS OF PROPERTY #404 Canco Road PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT) _____
TELEPHONE NUMBER HOME (607) 774-8503 WORK () _____

<u>TYPE OF STRUCTURE</u>	<u>AGE OF BLDG</u>	<u>WATER</u>	<u>DIST. TO BLASTING</u>
<input checked="" type="checkbox"/> WOOD	<u>5</u> YEARS	<input type="checkbox"/> WELL	<u>50yds</u> FEET
<input type="checkbox"/> STEEL		<input checked="" type="checkbox"/> TOWN	
<input type="checkbox"/> MASONRY			
<input type="checkbox"/> COMBO			

<u>FOUNDATION TYPE</u>	<u>RETAINING WALLS</u>	<u>ANIMALS IN BUILDING</u>
<input type="checkbox"/> STONE	TYPE <u>NO</u>	_____
<input type="checkbox"/> BLOCK		_____
<input checked="" type="checkbox"/> POURED SLAB		_____
<input type="checkbox"/> MORTARED		_____

POOL ON PROPERTY (TYPE) NO

CHIMNEY ON HOUSE (TYPE) POWERSMANT

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO
Everything appears on video - there are several ceiling and wall cracks.

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO
N/A

WINDOWS THAT ARE BROKEN (LOCATION) N/A



8/11/04

PREBLAST SURVEY CHECKLIST

JAMES B

DATE 11 - AUG - 04

SAFETY SPECIALIST STEPHAN

LOCATION 257 CANCO ROAD

JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT Patricia Youmans

ADDRESS OF PROPERTY #401 Canco Road PORTLAND, ME. 04103

MAILING ADDRESS (IF DIFFERENT)

TELEPHONE NUMBER HOME (00?) 773-1357 WORK ()

TYPE OF STRUCTURE AGE OF BLDG WATER DIST. TO BLASTING
[X] WOOD 5 YEARS WELL 33yds FEET
STEEL [X] TOWN
MASONRY
COMBO

FOUNDATION TYPE RETAINING WALLS ANIMALS IN BUILDING
STONE TYPE NO
BLOCK
[X] POURED Slab
MORTARED

POOL ON PROPERTY (TYPE) NO

CHIMNEY ON HOUSE (TYPE) POWDERMANT

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO
Everything appears on video - there are several ceiling and wall cracks.

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO
N/A

WINDOWS THAT ARE BROKEN(LOCATION) N/A



8/11/04

PREBLAST SURVEY CHECKLIST

JAMES B

DATE 11 - AUG - 04
LOCATION 257 CANCO ROAD

SAFETY SPECIALIST STEVE HAN
JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT Joe & Rose Zulofsky
ADDRESS OF PROPERTY 409 CANCO ROAD PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT) _____
TELEPHONE NUMBER HOME (00?) 773-6859 WORK () _____

TYPE OF STRUCTURE AGE OF BLDG WATER DIST. TO BLASTING
 WOOD 5 YEARS WELL 98+ yds FEET
 STEEL _____ TOWN _____
 MASONRY _____ _____ _____
 COMBO _____ _____ _____

FOUNDATION TYPE RETAINING WALLS ANIMALS IN BUILDING
 STONE TYPE NO _____
 BLOCK _____ _____
 POURED SLAB _____ _____
 MORTARED _____ _____

POOL ON PROPERTY (TYPE) NO

CHIMNEY ON HOUSE (TYPE) POUR CONCRETE

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO
Everything appears on video. - there are several ceiling and wall cracks.

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO
N/A

WINDOWS THAT ARE BROKEN (LOCATION) N/A



8/11/04

PREBLAST SURVEY CHECKLIST

DATE 11 - AUG - 04
LOCATION 257 Canco Rd

SAFETY SPECIALIST STEPHAN
JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT Winston & Shirley Butler
ADDRESS OF PROPERTY # 411 Canco Rd. PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT) _____
TELEPHONE NUMBER HOME (907) 774-0696 WORK () _____

<u>TYPE OF STRUCTURE</u>	<u>AGE OF BLDG</u>	<u>WATER</u>	<u>DIST. TO BLASTING</u>
<input checked="" type="checkbox"/> WOOD	<u>5</u> YEARS	<input type="checkbox"/> WELL	<u>120+ yds</u> FEET
<input type="checkbox"/> STEEL		<input checked="" type="checkbox"/> TOWN	
<input type="checkbox"/> MASONRY			
<input type="checkbox"/> COMBO			

<u>FOUNDATION TYPE</u>	<u>RETAINING WALLS</u>	<u>ANIMALS IN BUILDING</u>
<input type="checkbox"/> STONE	TYPE <u>NONE</u>	_____
<input type="checkbox"/> BLOCK		_____
<input checked="" type="checkbox"/> POURED		_____
<input type="checkbox"/> MORTARED		_____

POOL ON PROPERTY (TYPE) N/A

CHIMNEY ON HOUSE (TYPE) N/A

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO
Each cottage has consistent conditions of cracks & separations between walls & ceilings. Everything appears on video.

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO
N/A

WINDOWS THAT ARE BROKEN (LOCATION) N/A



PREBLAST SURVEY CHECKLIST

8/11/04

DATE 11 - AUG - 04
LOCATION 257 Canco Rd

SAFETY SPECIALIST STEPHAN
JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT Dorothy Hayward ~~879-0880~~
ADDRESS OF PROPERTY # 410 Canco Rd PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT) _____
TELEPHONE NUMBER HOME (607) 879-0880 WORK ()

<u>TYPE OF STRUCTURE</u>	<u>AGE OF BLDG</u>	<u>WATER</u>	<u>DIST. TO BLASTING</u>
<input checked="" type="checkbox"/> WOOD	<u>5</u> YEARS	<input type="checkbox"/> WELL	<u>100 + yds</u> FEET
<input type="checkbox"/> STEEL		<input checked="" type="checkbox"/> TOWN	
<input type="checkbox"/> MASONRY			
<input type="checkbox"/> COMBO			

<u>FOUNDATION TYPE</u>	<u>RETAINING WALLS</u>	<u>ANIMALS IN BUILDING</u>
<input type="checkbox"/> STONE	TYPE <u>NONE</u>	_____
<input type="checkbox"/> BLOCK		_____
<input checked="" type="checkbox"/> POURED		_____
<input type="checkbox"/> MORTARED		_____

POOL ON PROPERTY (TYPE) N/A

CHIMNEY ON HOUSE (TYPE) N/A

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO
Each cottage has consistent conditions of Cracks & Separations
between walls & ceilings. Everything appears on video.

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO
N/A

WINDOWS THAT ARE BROKEN (LOCATION) N/A

8/11/04

PREBLAST SURVEY CHECKLIST

JAMES B.

DATE 11 - AUG - 04
LOCATION 357 CANCO ROAD

SAFETY SPECIALIST STEFAN
JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT Ken & Charlotte Luce
ADDRESS OF PROPERTY # 413 Canco Road - PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT) _____
TELEPHONE NUMBER HOME (00?) 773-2365 WORK () _____

<u>TYPE OF STRUCTURE</u>	<u>AGE OF BLDG</u>	<u>WATER</u>	<u>DIST. TO BLASTING</u>
<input checked="" type="checkbox"/> WOOD	<u>5</u> YEARS	<input type="checkbox"/> WELL	<u>190+yds</u> FEET
<input type="checkbox"/> STEEL		<input checked="" type="checkbox"/> TOWN	
<input type="checkbox"/> MASONRY			
<input type="checkbox"/> COMBO			

<u>FOUNDATION TYPE</u>	<u>RETAINING WALLS</u>	<u>ANIMALS IN BUILDING</u>
<input type="checkbox"/> STONE	TYPE <u>NA</u>	_____
<input type="checkbox"/> BLOCK		_____
<input checked="" type="checkbox"/> POURED <u>SLAB</u>		_____
<input type="checkbox"/> MORTARED		_____

POOL ON PROPERTY (TYPE) NO

CHIMNEY ON HOUSE (TYPE) PROMINENT

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO
Everything appears on video - there are several ceiling and wall cracks

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO
N/A

WINDOWS THAT ARE BROKEN (LOCATION) cracked bedroom window



PREBLAST SURVEY CHECKLIST

DATE 13 - AUG - 04
LOCATION B 161 B 43

SAFETY SPECIALIST SIGEEAAN
JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT PORTLAND CONGREGATION OF JEHOVAN'S WITNESSES
ADDRESS OF PROPERTY 355 CANCO ROAD PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT) _____
TELEPHONE NUMBER HOME (607) _____ WORK () _____

TYPE OF STRUCTURE AGE OF BLDG WATER DIST. TO BLASTING
____ WOOD _____ YEARS _____ WELL _____ FEET
____ STEEL _____ TOWN
____ MASONRY
____ COMBO

FOUNDATION TYPE RETAINING WALLS ANIMALS IN BUILDING
____ STONE TYPE _____
____ BLOCK
____ POURED
____ MORTARED

POOL ON PROPERTY (TYPE) _____

CHIMNEY ON HOUSE (TYPE) _____

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

WINDOWS THAT ARE BROKEN(LOCATION) _____

7-28-04 - NOTIFICATION PACKET MAILED - VIA 1ST CLASS MAIL
8-13-04 - NO RESPONSE

PREBLAST SURVEY CHECKLIST

DATE 8-3-2004 SAFETY SPECIALIST SKELHAN
 LOCATION M 160 E 31 JOB NUMBER 111-3987

NAME OF RESIDENT OR OCCUPANT BARBARA CARTER
 ADDRESS OF PROPERTY 9- FRYE ST. PORTLAND, ME. 04103
 MAILING ADDRESS (IF DIFFERENT) _____
 TELEPHONE NUMBER HOME (307) 772-7750 WORK () _____
 CELL - 712-1419

<u>TYPE OF STRUCTURE</u>	<u>AGE OF BLDG</u>	<u>WATER</u>	<u>DIST. TO BLASTING</u>
<input checked="" type="checkbox"/> WOOD	<u>62</u> YEARS	_____ WELL	<u>200'</u> FEET
_____ STEEL		<input checked="" type="checkbox"/> TOWN	<u>NW</u>
_____ MASONRY			
_____ COMBO			

<u>FOUNDATION TYPE</u>	<u>RETAINING WALLS</u>	<u>ANIMALS IN BUILDING</u>
_____ STONE	TYPE <u>NO</u>	<u>2 CATS</u>
_____ BLOCK		
<input checked="" type="checkbox"/> POURED		
_____ MORTARED		

POOL ON PROPERTY (TYPE) NO

CHIMNEY ON HOUSE (TYPE) POWER VENT

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

TAPS #111-3987-6

WINDOWS THAT ARE BROKEN (LOCATION) _____

8-2-04 - V.M. "NO NOTICE"

8-3-04 - NOTIFIED - LADY AT HSE. BARBARA WILL BE BROK W/ HSE.

11:30 AM

1.00. NOTIFIED BARBARA - WANTS SURVEY 8-9-04 CALL AHEAD

8-9- - 11:20 AM. LDF: MSG. w/ MI CALL #? - SURVEY 8-10-04?

8-10-04 INSPECTED I₂ + O/C

#29

PREBLAST SURVEY CHECKLIST

DATE 10 - AUG - 04
LOCATION M 160 F 29

SAFETY SPECIALIST STEPHAN
JOB NUMBER # 111-3987
JONATHAN COOK

NAME OF RESIDENT OR OCCUPANT KIM BOGGIATTO
ADDRESS OF PROPERTY 10 FRYE ST
MAILING ADDRESS (IF DIFFERENT) 70 ALBA ST
TELEPHONE NUMBER HOME (607) 774-0421 WORK ()
PORTLAND, ME. 04103
PORTLAND, ME. 04103

TYPE OF STRUCTURE X WOOD 62 YEARS AGE OF BLDG
STEEL
MASONRY
COMBO
WATER WELL 200' FEET
X TOWN NORTH

FOUNDATION TYPE X POURED MORTARED
STONE
BLOCK
RETAINING WALLS TYPE NO
ANIMALS IN BUILDING
1 DOG
2 CATS

POOL ON PROPERTY (TYPE) NO

CHIMNEY ON HOUSE (TYPE) BRICK - INTERIOR

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO
1ST FLR PLASTER CRACKS TO WALLS + CEILING (HAIRLINE)
2ND FLR. JOINT CRACKS BETWEEN WOOD TRIM + PLASTER.
BASEMENT - 25% FINISHED. WALLS + FLOOR IN GOOD CONDITION.

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO
0% NO VISIBLE CRACKS.

DETACHED STORAGE SHED - SABS TO ROOF + OUT OF LEVEL.

TAPE # 111-3987-6
WINDOWS THAT ARE BROKEN (LOCATION)

8-6 - KIM CALLS WANTS SURVEY 8-10- TUES 8:30 AM
8-10-04 INSPECTED I/S + O/S

#87

PREBLAST SURVEY CHECKLIST

DATE 8-3-04
LOCATION M 160 F 32

SAFETY SPECIALIST SKELHAN
JOB NUMBER # III-3987

NAME OF RESIDENT OR OCCUPANT LEWIS DAMPNEY
ADDRESS OF PROPERTY 10 KINCO ST. PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT) _____
TELEPHONE NUMBER HOME (207) 773-8962 WORK () _____

TYPE OF STRUCTURE AGE OF BLDG WATER DIST. TO BLASTING
 WOOD 70+- YEARS WELL 250' FEET
____ STEEL _____ TOWN NW
____ MASONRY
____ COMBO

FOUNDATION TYPE RETAINING WALLS ANIMALS IN BUILDING
____ STONE TYPE NO _____
____ BLOCK _____ _____
 POURED _____ _____
____ MORTARED _____ _____

POOL ON PROPERTY (TYPE) NO

CHIMNEY ON HOUSE (TYPE) BRICK - INTERIOR

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO
1st FLR - HANDLINE PLASTER CRACKS - LIVING RM WALLS + CEILING
KIT - CEILING, HALL + BED ROOMS. MOSTLY ABOVE WINDOWS +
DOOR HEADERS.
BASEMENT UNFINISHED - CRACKS TO WALLS (w/ONGOING H2O PROBLEM)
DETACHED GARAGE - NUMEROUS CRACKS TO CONCRETE FLOOR.

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO
GARAGE 2/3 - 3 CRACKS TO NORTH SIDE WALL.
HSE 2/3 CRACKS TO EAST (WEST) FOUNDATION WALL. ALSO SOME
HANDLINE CRACKS TO NORTH + EAST WALLS.

#

Tape # III-3987-1
WINDOWS THAT ARE BROKEN (LOCATION) _____

8-3-04 INSPECTED I/S + O/S

#3

PREBLAST SURVEY CHECKLIST

DATE 8-3-04
LOCATION M 160 G 16

SAFETY SPECIALIST SKELHAN
JOB NUMBER 111-3987

NAME OF RESIDENT OR OCCUPANT CHARLES PERREY
ADDRESS OF PROPERTY 15 KINRO ST. PORTLAND, ME 04103
MAILING ADDRESS (IF DIFFERENT) _____
TELEPHONE NUMBER HOME (207) 772-9771 WORK () _____

TYPE OF STRUCTURE AGE OF BLDG WATER DIST. TO BLASTING
 WOOD 60+- YEARS WELL 300' FEET
 STEEL TOWN NW
 MASONRY
 COMBO

FOUNDATION TYPE RETAINING WALLS ANIMALS IN BUILDING
 STONE TYPE NO NO
 BLOCK DETACHED GARAGE
 POURED
 MORTARED

POOL ON PROPERTY (TYPE) NO
CHIMNEY ON HOUSE (TYPE) BRICK - INTERIOR

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

0/S ONLY

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

0/S IN GOOD CONDITION
CRACK TO REAR FOUNDATION (EAST SIDE) WALL,
DETACHED GARAGE APPEARS IN GOOD CONDITION ON 0/S.

TAPE # 111-3987-1
WINDOWS THAT ARE BROKEN (LOCATION) _____

8-3-04 - INSPECTED 0/S ONLY @ MRS. PERREY'S REQUEST

114

PREBLAST SURVEY CHECKLIST

DATE 5 - AUG - 04
 LOCATION M 160 G 16

SAFETY SPECIALIST SKIFHAN
 JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT STEVE PARDI
 ADDRESS OF PROPERTY 25 KINGO ST. PORTLAND, ME. 04103
 MAILING ADDRESS (IF DIFFERENT) _____
 TELEPHONE NUMBER HOME (207) 773-3743 WORK (207) 879-3197

<u>TYPE OF STRUCTURE</u>	<u>AGE OF BLDG</u>	<u>WATER</u>	<u>DIST. TO BLASTING</u>
<input checked="" type="checkbox"/> WOOD	<u>54</u> YEARS	<input type="checkbox"/> WELL	<u>300'</u> FEET
<input type="checkbox"/> STEEL		<input checked="" type="checkbox"/> TOWN	<u>NW</u>
<input type="checkbox"/> MASONRY			
<input type="checkbox"/> COMBO			

<u>FOUNDATION TYPE</u>	<u>RETAINING WALLS</u>	<u>ANIMALS IN BUILDING</u>
<input type="checkbox"/> STONE	TYPE <u>NO</u>	<u>CAT</u>
<input type="checkbox"/> BLOCK		
<input checked="" type="checkbox"/> POURED		
<input type="checkbox"/> MORTARED		

POOL ON PROPERTY (TYPE) NO

CHIMNEY ON HOUSE (TYPE) 2 BRICK (1) INTERIOR (1) EXTERIOR

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

0/5 ONLY @ STEVE'S REQUEST.

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

NORTH END FOUNDATION WALL HAS 2 CRACKS @ BOTTOM LEFT CORNERS OF GARAGE WINDOWS

FOUNDATION WALL JOINT CRACK ON SOUTH END WHERE ADDITION JOINS MAIN HOUSE

TAPS #111-3987-3

WINDOWS THAT ARE BROKEN (LOCATION) (1) NORTH END BOTTOM BALCONY, (1) FRONT DOOR, (1) 2ND FLR REAR CORNER

8-5-04 INSPECTED 0/5 ONLY @ STEVE'S REQUEST

#17

LEFT COPY FOR STEVE

PREBLAST SURVEY CHECKLIST

DATE 8-3-2004
LOCATION M. 160 E 35

SAFETY SPECIALIST SKEHAN
JOB NUMBER

NAME OF RESIDENT OR OCCUPANT ANTHONY J. ACETO
ADDRESS OF PROPERTY 32 KINED ST PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT)
TELEPHONE NUMBER HOME (307) 773-4144 WORK ()

TYPE OF STRUCTURE AGE OF BLDG WATER DIST. TO BLASTING
WOOD 40+ YEARS WELL 250' FEET
STEEL
X MASONRY Brick X TOWN NW
COMBO

FOUNDATION TYPE RETAINING WALLS ANIMALS IN BUILDING
STONE TYPE NO ND
BLOCK
POURED
X MORTARED Brick

POOL ON PROPERTY (TYPE) NO

CHIMNEY ON HOUSE (TYPE) Brick - Interior

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO
1st FLR. Good condition - H₂O STAIN BATH ROOM CEILING, H₂O STAINS
IN O/S CORNERS OF BOTH BED RM CEILINGS.

BASEMENT - UNFINISHED - 3 CRACKS TO WALLS. 2 ON SOUTH END.
1 ON NORTH CORNER BY ELECTRICAL PANEL. CRACKS TO CEILING FLOOR.

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO
O/S NORTH END HAS SOME MORTAR JOINT CRACKS. FRONT STEPS
ARE DETERIORATED. JOINT PROBLEM AROUND TOP OF 1st FLR. WALLS
BE CHALKED W/ SILICONE.
DETACHED GARAGE - O/S GOOD I/S HAS CRACKS TO CONCRETE FLOOR.
TAP # VII-3987-7

WINDOWS THAT ARE BROKEN (LOCATION)

8-3-04 MRS. POPEY IS KINED - SAID ACETO - NOT NOTIFIED.
8-3-04 LEFT NOTICE ON FRONT DOOR. 11:30 A.M.
" 1 P.M. TALKED W/ TONY - WANTS SURVEY THUR OR FRI.
8-10-04 INSPECTED I/S + O/S

#33

REC'D 8.6.04

PREBLAST SURVEY CHECKLIST

DATE JULY 2004
LOCATION M 160 E 29

SAFETY SPECIALIST SKELHAN
JOB NUMBER 111-3987

NAME OF RESIDENT OR OCCUPANT Michael A Lotfy
ADDRESS OF PROPERTY 28 Kinco St. PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT) _____
TELEPHONE NUMBER HOME (207) 7723457 WORK (799) 552 8 EXT 106
ST. PACT'S PARISH

<u>TYPE OF STRUCTURE</u>	<u>AGE OF BLDG</u>	<u>WATER</u>	<u>DIST. TO BLASTING</u>
<input checked="" type="checkbox"/> WOOD	<u>65</u> YEARS	WELL	<u>250' NW FEET</u>
<input type="checkbox"/> STEEL		<input checked="" type="checkbox"/> TOWN	<u>600 was circled ?</u>
<input type="checkbox"/> MASONRY			
<input type="checkbox"/> COMBO			

<u>FOUNDATION TYPE</u>	<u>RETAINING WALLS</u>	<u>ANIMALS IN BUILDING</u>
<input type="checkbox"/> STONE	TYPE <u>plaster</u>	<u>yes</u>
<input type="checkbox"/> BLOCK	<u>NO</u>	
<input checked="" type="checkbox"/> POURED		
<input type="checkbox"/> MORTARED		

POOL ON PROPERTY (TYPE) NO

CHIMNEY ON HOUSE (TYPE) yes BRICK - EXTERIOR

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO
1ST FLR. VARY GOOD CONDITION - NARROW PLASTER CRACKS IN HALLWAY
2ND FLR. PANELS.

Basement - UNFINISHED.
DETACHED GARAGE - SEVERAL LACKS CRACKS TO FLOOR.

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

WINDOWS THAT ARE BROKEN (LOCATION) TAP #111-3987-7
TOP RIGHT MOOR SMOKE PIPE

HOME WORK # 7.6.04 - 1:30 P.M. LEFT MSG w MY CPU # ? TUES - WED.
1:30 P.M.

TUES. 2:30 P.M.

#34 8.10.04 INSPECTED $\frac{I}{5} + \frac{0}{5}$

PREBLAST SURVEY CHECKLIST

DATE AUG - 04 SAFETY SPECIALIST STEPHAN
 LOCATION M 160 G 12 JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT HANK CAIAZZO
 ADDRESS OF PROPERTY 37 KING ST
 MAILING ADDRESS (IF DIFFERENT) 21 THUNDER ROAD PORTLAND, ME. 04103
 TELEPHONE NUMBER HOME (607) 415-5786 WORK ()

TYPE OF STRUCTURE AGE OF BLDG WATER DIST. TO BLASTING
 WOOD 2 YEARS WELL 300' FEET
 STEEL
 MASONRY X TOWN NW
 COMBO

FOUNDATION TYPE RETAINING WALLS ANIMALS IN BUILDING
 STONE TYPE NO NO
 BLOCK
 POURED
 MORTARED

POOL ON PROPERTY (TYPE) NO

CHIMNEY ON HOUSE (TYPE) BACK - INTERIOR

HSE IS VACANT

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO
2ND FLR. RECENTLY PAINTED,
1ST FLR. JOINT CRACKS IN KITCHEN NEAR + AROUND CEILING,
IN N.E. CORNER ROOM. PLASTER CRACKS TO CEILING IN CENTER HALL
+ LIVING ROOM CEILING + WALLS,
BASEMENT - UNFINISHED - SEVERAL WALL CRACKS BELOW WINDOWS,
CRACKS TO FLOOR.

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO
1/2 S GOOD CONDITION - REAR DECK UNLEVEL + IN POOR CONDITION.
FRONT WALL (WEST) IF HSE HAS 3 MARLINE CRACKS TO CONCRETE

WINDOWS THAT ARE BROKEN (LOCATION) _____

8-10-04 9:16 A.M. HANK LEFT V.M. WANTS SURVEY
1:25 P.M. RPT CALL WILL MEET MS @ 2:45 P.M. TODAY

#35

PREBLAST SURVEY CHECKLIST

DATE 13 - AUG - 04
LOCATION 160 E 13

SAFETY SPECIALIST SKELAN
JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT ESTATE OF EDITH J. LUGHTON
ADDRESS OF PROPERTY 29 KINGO PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT)
TELEPHONE NUMBER HOME (607) WORK ()

TYPE OF STRUCTURE AGE OF BLDG WATER DIST. TO BLASTING
WOOD YEARS WELL FEET
STEEL TOWN
MASONRY
COMBO

FOUNDATION TYPE RETAINING WALLS ANIMALS IN BUILDING
STONE TYPE
BLOCK
POURED
MORTARED

POOL ON PROPERTY (TYPE)

CHIMNEY ON HOUSE (TYPE)

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

WINDOWS THAT ARE BROKEN (LOCATION)

7-28-04 - NOTIFICATION PACKET MAILED - VIA 1ST CLASS MAIL
8-13-04 - NO RESPONSE

PREBLAST SURVEY CHECKLIST

DATE 13 - AUG - 04
LOCATION M 160 G 17

SAFETY SPECIALIST STEFAN
JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT VICTORIE C. ZAVASNIK
ADDRESS OF PROPERTY 9 KINER PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT) _____
TELEPHONE NUMBER HOME (607) _____ WORK () _____

TYPE OF STRUCTURE AGE OF BLDG WATER DIST. TO BLASTING
____ WOOD _____ YEARS _____ WELL _____ FEET
____ STEEL _____ TOWN
____ MASONRY
____ COMBO

FOUNDATION TYPE RETAINING WALLS ANIMALS IN BUILDING
____ STONE TYPE _____ _____
____ BLOCK _____
____ POURED _____
____ MORTARED _____

POOL ON PROPERTY (TYPE) _____

CHIMNEY ON HOUSE (TYPE) _____

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

WINDOWS THAT ARE BROKEN (LOCATION) _____

7-28-04 - NOTIFICATION PACKET MAILED - VIA 1ST CLASS MAIL
8-13-04 - NO RESPONSE

PREBLAST SURVEY CHECKLIST

DATE 8-3-04 SAFETY SPECIALIST SKELHAN
LOCATION M 160 H 4 JOB NUMBER #11-3987
NAME OF RESIDENT OR OCCUPANT CAROL MCKEEN
ADDRESS OF PROPERTY 45 LORRAINE ST. PORTLAND, MO. 04103
MAILING ADDRESS (IF DIFFERENT) _____
TELEPHONE NUMBER HOME (207) 871-9049 WORK (207) 797-9096

TYPE OF STRUCTURE AGE OF BLDG WATER DIST. TO BLASTING
 WOOD 32 YEARS WELL 450' FEET
 STEEL _____ x TOWN NW
 MASONRY
 COMBO

FOUNDATION TYPE RETAINING WALLS ANIMALS IN BUILDING
 STONE TYPE NO 2 DOGS
 BLOCK
 POURED
 MORTARED

POOL ON PROPERTY (TYPE) NO

CHIMNEY ON HOUSE (TYPE) Block exterior / Power vent

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO
0/5 ONLY

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO
0/5 in good condition. 2 cracks to front wall (south) of foundation, 1 repaired + 1 not repaired.

WINDOWS THAT ARE BROKEN (LOCATION) _____

8-3-04 INSPECTED 0/5 ONLY @ CAROL'S REQUEST
SHE HAS 2 DOGS IN HOUSE + IS UNSURE ABOUT THEM
BIG BULL + PIT BULL. IF SHE DECIDES AT A LATER DATE I WILL RETURN + SURVEY INSIDE.

PREBLAST SURVEY CHECKLIST

DATE 8-3-2004
LOCATION M 160 H 17

SAFETY SPECIALIST SKELHAN
JOB NUMBER 111-3987

NAME OF RESIDENT OR OCCUPANT HILDEGARD HOARY
ADDRESS OF PROPERTY 17 LORRAINE ST PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT) _____
TELEPHONE NUMBER HOME (307) 772-0052 WORK () _____

TYPE OF STRUCTURE WOOD STEEL MASONRY COMBO
AGE OF BLDG 1944 YEARS
WATER WELL TOWN
DIST. TO BLASTING 450' FEET NW

FOUNDATION TYPE STONE BLOCK POURED MORTARED
RETAINING WALLS TYPE MORTARED LOGS
18" x 50"
+ 1/5 FIREPLACE "1957"
ANIMALS IN BUILDING 1 DOG

POOL ON PROPERTY (TYPE) NO

CHIMNEY ON HOUSE (TYPE) BRICK - INTERIOR

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO
1ST FLR. GOOD CONDITION -
Basement - 50% FINISHED CRACKS TO FLOOR IN UTILITY AREA.
CHIMNEY HAS VERTICAL CRACK ABOVE + BELOW FURNACE FLUE.
2ND FLR. NO VISIBLE CRACKS.

DETACHED GARAGE - CRACKS TO FLOOR
DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO
1/5 OF USE IN GOOD CONDITION. REAR PORCH + STEPS IN
VERY POOR CONDITION. RETAINING WALLS + FIREPLACE IN
YARD IN POOR CONDITION. BACK

TAPE # 111-3987-2
WINDOWS THAT ARE BROKEN (LOCATION) _____

8-3-04 INSPECTED 1/5 + 0/5
77

PREBLAST SURVEY CHECKLIST

DATE 8-3-04 SAFETY SPECIALIST STEPHAN
LOCATION IN 160 G-38 JOB NUMBER 111-3987

NAME OF RESIDENT OR OCCUPANT JULIE ANN HEINRICH
ADDRESS OF PROPERTY 36 LUCRAINE ST PORTLAND, ME 04103
MAILING ADDRESS (IF DIFFERENT) _____
TELEPHONE NUMBER HOME (207) 770-0961 WORK () _____

<u>TYPE OF STRUCTURE</u>	<u>AGE OF BLDG</u>	<u>WATER</u>	<u>DIST. TO BLASTING</u>
<input checked="" type="checkbox"/> WOOD	<u>50</u> YEARS	WELL	<u>375'</u> FEET
<input type="checkbox"/> STEEL		<input checked="" type="checkbox"/> TOWN	<u>N/W</u>
<input type="checkbox"/> MASONRY			
<input type="checkbox"/> COMBO			

<u>FOUNDATION TYPE</u>	<u>RETAINING WALLS</u>	<u>ANIMALS IN BUILDING</u>
<input type="checkbox"/> STONE	TYPE <u>NO</u>	<u>NO</u>
<input type="checkbox"/> BLOCK		
<input checked="" type="checkbox"/> POURED		
<input type="checkbox"/> MORTARED		

POOL ON PROPERTY (TYPE) NO

CHIMNEY ON HOUSE (TYPE) BRICK - INTERIOR

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO
1st FLR CRACKS TO PLASTER CEILINGS (NAILLINE)
LIVING, DINING, + BED RM. DINING RM. WALL DAMAGE UNDER NORTH WINDOW
2ND FLR JOINT CRACKS + DAMAGE AROUND CHIMNEY.
BASMENT - UNFINISHED. WALL CRACK IN NW CORNER.
BROKEN CONCRETE IN FLOOR NEAR DRAIN + SEWER PIPE

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO
0/c IN GOOD CONDITION FOUNDATION WALL CRACK TO
N-W CORNER.

TAPE # 111-3987-2
WINDOWS THAT ARE BROKEN (LOCATION) _____

8-3-04 JULIE ANN REQUEST'S (ALL LIST)
#6 8-3-04 INSPECTED 1/5 + 0/5

PREBLAST SURVEY CHECKLIST

DATE 13 - AUG - 04 SAFETY SPECIALIST STEPHAN
LOCATION M 160 G-22 JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT STEPHAN QUATTROCI
ADDRESS OF PROPERTY 12 LORAIN ST, PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT) _____
TELEPHONE NUMBER HOME () _____ WORK () _____

TYPE OF STRUCTURE AGE OF BLDG WATER DIST. TO BLASTING
____ WOOD _____ YEARS _____ WELL _____ FEET
____ STEEL _____ TOWN
____ MASONRY
____ COMBO

FOUNDATION TYPE RETAINING WALLS ANIMALS IN BUILDING
____ STONE TYPE _____ _____
____ BLOCK _____
____ POURED _____
____ MORTARED _____

POOL ON PROPERTY (TYPE) _____

CHIMNEY ON HOUSE (TYPE) _____

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

WINDOWS THAT ARE BROKEN (LOCATION) _____



7-28-04 - NOTIFICATION PACKET MAILED - VIA 1ST CLASS MAIL
8-13-04 - NO RESPONSE

PREBLAST SURVEY CHECKLIST

DATE 13 - AUG - 04
LOCATION M 160 G-24

SAFETY SPECIALIST SKELAN
JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT JEAN E LIBBY
ADDRESS OF PROPERTY 18 LORAIN
MAILING ADDRESS (IF DIFFERENT) 22 SEASIDE RD. PORTLAND, ME. 04103
TELEPHONE NUMBER HOME (607) _____ WORK () _____
WINDHAM, ME. 04062

TYPE OF STRUCTURE AGE OF BLDG WATER DIST. TO BLASTING
____ WOOD _____ YEARS _____ WELL _____ FEET
____ STEEL _____ TOWN
____ MASONRY
____ COMBO

FOUNDATION TYPE RETAINING WALLS ANIMALS IN BUILDING
____ STONE TYPE _____ _____
____ BLOCK _____ _____
____ POURED _____ _____
____ MORTARED _____ _____

POOL ON PROPERTY (TYPE) _____

CHIMNEY ON HOUSE (TYPE) _____

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

WINDOWS THAT ARE BROKEN(LOCATION) _____

7-28-04 - NOTIFICATION PACKET MAILED - VIA 1ST CLASS MAIL
8-13-04 - NO RESPONSE

PREBLAST SURVEY CHECKLIST

DATE 13 - AUG - 04
LOCATION M 160 G-25

SAFETY SPECIALIST SKELAAN
JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT CURTIS + MICHAELA THORPINE
ADDRESS OF PROPERTY 22 LORRAINE PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT) _____
TELEPHONE NUMBER HOME (607) _____ WORK () _____

TYPE OF STRUCTURE AGE OF BLDG WATER DIST. TO BLASTING
____ WOOD _____ YEARS _____ WELL _____ FEET
____ STEEL _____ TOWN
____ MASONRY
____ COMBO

FOUNDATION TYPE RETAINING WALLS ANIMALS IN BUILDING
____ STONE TYPE _____
____ BLOCK
____ POURED
____ MORTARED

POOL ON PROPERTY (TYPE) _____

CHIMNEY ON HOUSE (TYPE) _____

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

WINDOWS THAT ARE BROKEN(LOCATION) _____

7-28-04 - NOTIFICATION PACKET MAILED - VIA 1ST CLASS MAIL
8-13-04 - NO RESPONSE

PREBLAST SURVEY CHECKLIST

DATE 13 - AUG - 04
LOCATION M 160 5 26

SAFETY SPECIALIST SIKEAAN
JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT SUSAN K. DIAMOND
ADDRESS OF PROPERTY 26 LORAIN ST. PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT) _____
TELEPHONE NUMBER HOME (607) _____ WORK () _____

TYPE OF STRUCTURE AGE OF BLDG WATER DIST. TO BLASTING
___ WOOD ___ YEARS ___ WELL ___ FEET
___ STEEL ___ TOWN
___ MASONRY
___ COMBO

FOUNDATION TYPE RETAINING WALLS ANIMALS IN BUILDING
___ STONE TYPE _____ _____
___ BLOCK _____
___ POURED _____
___ MORTARED _____

POOL ON PROPERTY (TYPE) _____

CHIMNEY ON HOUSE (TYPE) _____

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

WINDOWS THAT ARE BROKEN(LOCATION) _____

7-28-04 - NOTIFICATION PACKET MAILED - VIA 1ST CLASS MAIL
8-13-04 - NO RESPONSE

PREBLAST SURVEY CHECKLIST

DATE 13 - AUG - 04 SAFETY SPECIALIST STEPHAN
LOCATION M 160 G 27 JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT DAVID F. WOODS
ADDRESS OF PROPERTY 32 LORRAINE PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT) P.O. BOX 8009 PORTLAND, ME 04104
TELEPHONE NUMBER HOME (607) _____ WORK () _____

TYPE OF STRUCTURE AGE OF BLDG WATER DIST. TO BLASTING
____ WOOD _____ YEARS _____ WELL _____ FEET
____ STEEL _____ TOWN
____ MASONRY
____ COMBO

FOUNDATION TYPE RETAINING WALLS ANIMALS IN BUILDING
____ STONE TYPE _____
____ BLOCK _____
____ POURED _____
____ MORTARED _____

POOL ON PROPERTY (TYPE) _____

CHIMNEY ON HOUSE (TYPE) _____

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

WINDOWS THAT ARE BROKEN(LOCATION) _____

7-28-04 - NOTIFICATION PACKET MAILED - VIA 1ST CLASS MAIL
8-13-04 - NO RESPONSE

PREBLAST SURVEY CHECKLIST

DATE 13 - AUG - 04
LOCATION M 160 H 11

SAFETY SPECIALIST STEPHAN
JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT GRACE H. BORNIER
ADDRESS OF PROPERTY 41 LORAIN PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT)
TELEPHONE NUMBER HOME (207) WORK ()

TYPE OF STRUCTURE AGE OF BLDG WATER DIST. TO BLASTING
WOOD YEARS WELL FEET
STEEL TOWN
MASONRY
COMBO

FOUNDATION TYPE RETAINING WALLS ANIMALS IN BUILDING
STONE TYPE
BLOCK
POURED
MORTARED

POOL ON PROPERTY (TYPE)

CHIMNEY ON HOUSE (TYPE)

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

WINDOWS THAT ARE BROKEN(LOCATION)

7-28-04 - NOTIFICATION PACKET MAILED - VIA 1ST CLASS MAIL
8-13-04 - NO RESPONSE



PREBLAST SURVEY CHECKLIST

DATE 13-AUG-04
LOCATION M 160 H 12

SAFETY SPECIALIST SKELHAN
JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT JOHN R. LINDSAY
ADDRESS OF PROPERTY 37 LORRAINE PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT) _____
TELEPHONE NUMBER HOME (207) _____ WORK () _____

TYPE OF STRUCTURE AGE OF BLDG WATER DIST. TO BLASTING
___ WOOD ___ YEARS ___ WELL ___ FEET
___ STEEL ___ TOWN
___ MASONRY
___ COMBO

FOUNDATION TYPE RETAINING WALLS ANIMALS IN BUILDING
___ STONE TYPE _____ _____
___ BLOCK _____
___ POURED _____
___ MORTARED _____

POOL ON PROPERTY (TYPE) _____

CHIMNEY ON HOUSE (TYPE) _____

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

WINDOWS THAT ARE BROKEN(LOCATION) _____

7-28-04 - NOTIFICATION PACKET MAILED - VIA 1ST CLASS MAIL
8-13-04 - NO RESPONSE



PREBLAST SURVEY CHECKLIST

DATE 13 - AUG - 04
LOCATION M 160 H 14

SAFETY SPECIALIST SKEHAN
JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT WILLIAM D. FLAGG
ADDRESS OF PROPERTY 31 LORRAINE PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT) _____
TELEPHONE NUMBER HOME (207) _____ WORK () _____

TYPE OF STRUCTURE AGE OF BLDG WATER DIST. TO BLASTING
___ WOOD ___ YEARS ___ WELL _____ FEET
___ STEEL ___ TOWN
___ MASONRY
___ COMBO

FOUNDATION TYPE RETAINING WALLS ANIMALS IN BUILDING
___ STONE TYPE _____
___ BLOCK
___ POURED
___ MORTARED

POOL ON PROPERTY (TYPE) _____

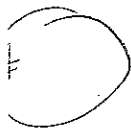
CHIMNEY ON HOUSE (TYPE) _____

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

WINDOWS THAT ARE BROKEN(LOCATION) _____

7-28-04 - NOTIFICATION PACKET MAILED - VIA 1ST CLASS MAIL
8-13-04 - NO RESPONSE



PREBLAST SURVEY CHECKLIST

DATE 13 - AUG - 04
LOCATION M 160 H 15

SAFETY SPECIALIST STEFAN
JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT GEORGE W. + KATHLEEN S. DAMON
ADDRESS OF PROPERTY 27 LORRAINE PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT) _____
TELEPHONE NUMBER HOME (607) _____ WORK () _____

<u>TYPE OF STRUCTURE</u>	<u>AGE OF BLDG</u>	<u>WATER</u>	<u>DIST. TO BLASTING</u>
<input type="checkbox"/> WOOD	_____ YEARS	<input type="checkbox"/> WELL	_____ FEET
<input type="checkbox"/> STEEL		<input type="checkbox"/> TOWN	
<input type="checkbox"/> MASONRY			
<input type="checkbox"/> COMBO			

<u>FOUNDATION TYPE</u>	<u>RETAINING WALLS</u>	<u>ANIMALS IN BUILDING</u>
<input type="checkbox"/> STONE	TYPE _____	_____
<input type="checkbox"/> BLOCK		_____
<input type="checkbox"/> POURED		_____
<input type="checkbox"/> MORTARED		_____

POOL ON PROPERTY (TYPE) _____

CHIMNEY ON HOUSE (TYPE) _____

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

WINDOWS THAT ARE BROKEN (LOCATION) _____

7-28-04 - NOTIFICATION PACKET MAILED - VIA 1ST CLASS MAIL
8-13-04 - NO RESPONSE



PREBLAST SURVEY CHECKLIST

DATE 13 - AUG - 04 SAFETY SPECIALIST STEPHAN
LOCATION M 160 H 16 JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT JEAN A. WHITTON
ADDRESS OF PROPERTY 23 LORRAINE PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT) _____
TELEPHONE NUMBER HOME (607) _____ WORK () _____

TYPE OF STRUCTURE AGE OF BLDG WATER DIST. TO BLASTING
___ WOOD ___ YEARS ___ WELL _____ FEET
___ STEEL ___ TOWN
___ MASONRY
___ COMBO

FOUNDATION TYPE RETAINING WALLS ANIMALS IN BUILDING
___ STONE TYPE _____
___ BLOCK
___ POURED
___ MORTARED

POOL ON PROPERTY (TYPE) _____

CHIMNEY ON HOUSE (TYPE) _____

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

WINDOWS THAT ARE BROKEN (LOCATION) _____



7-28-04 - NOTIFICATION PACKET MAILED - VIA 1ST CLASS MAIL
8-13-04 - NO RESPONSE

PREBLAST SURVEY CHECKLIST

DATE 13 - AUG - 04 SAFETY SPECIALIST STEPHAN
LOCATION M 160 H 20 JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT JANE E. LOMBARD
ADDRESS OF PROPERTY 3 LORRAINE PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT) _____
TELEPHONE NUMBER HOME (907) _____ WORK () _____

TYPE OF STRUCTURE AGE OF BLDG WATER DIST. TO BLASTING
___ WOOD _____ YEARS ___ WELL _____ FEET
___ STEEL _____ ___ TOWN _____
___ MASONRY
___ COMBO

FOUNDATION TYPE RETAINING WALLS ANIMALS IN BUILDING
___ STONE TYPE _____ _____
___ BLOCK _____ _____
___ POURED _____ _____
___ MORTARED _____ _____

POOL ON PROPERTY (TYPE) _____

CHIMNEY ON HOUSE (TYPE) _____

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

WINDOWS THAT ARE BROKEN(LOCATION) _____

7-28-04 - NOTIFICATION PACKET MAILED - VIA 1ST CLASS MAIL
8-13-04 - NO RESPONSE



B3/04

REC'D 8-11-04

PREBLAST SURVEY CHECKLIST

DATE JULY 2004
LOCATION M 160 H 19

SAFETY SPECIALIST SKELHAN
JOB NUMBER 111-3987

NAME OF RESIDENT OR OCCUPANT WILLIAM J SEAGERS JR
ADDRESS OF PROPERTY 11 LORRAINE ST PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT) _____
TELEPHONE NUMBER HOME (207) 233-7335 WORK (207) 632-2488

<u>TYPE OF STRUCTURE</u>	<u>AGE OF BLDG</u>	<u>WATER</u>	<u>DIST. TO BLASTING</u>
<input checked="" type="checkbox"/> WOOD	<u>60+ YEARS</u>	<input type="checkbox"/> WELL	<u>~600</u> FEET
<input type="checkbox"/> STEEL		<input checked="" type="checkbox"/> TOWN	
<input type="checkbox"/> MASONRY			
<input type="checkbox"/> COMBO			

<u>FOUNDATION TYPE</u>	<u>RETAINING WALLS</u>	<u>ANIMALS IN BUILDING</u>
<input type="checkbox"/> STONE	TYPE <u>NO</u>	<u>CAT</u>
<input type="checkbox"/> BLOCK		
<input checked="" type="checkbox"/> POURED		
<input type="checkbox"/> MORTARED		

POOL ON PROPERTY (TYPE) NO

CHIMNEY ON HOUSE (TYPE) Back / INTERIOR

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

BASEMENT ONLY @ MR. S. BRIDGET.
UNFINISHED - NO VISIBLE CRACKS TO WALLS. 1 VERTICAL CRACK TO FOOTING
NO STAINS AROUND HALLWAY, H2O ON FLOOR, CRACKS TO CONCRETE FLOOR.
ATTACHED GARAGE - CRACKS TO CONCRETE FLOOR.

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO
0/G. NO VISIBLE DAMAGE. OTHER THAN PEELING PAINT

TAP # 111-3987-8
WINDOWS THAT ARE BROKEN (LOCATION) FRONT NE CORNER ①

8-11-04 3:40 P.M. HOME # LEFT MSG. w/ MY CELL #? FRI 13 A.M.? 8:00

#37 8-13-04 INSPECTED 1/5 BASEMENT ONLY + 0/5

PREBLAST SURVEY CHECKLIST

DATE 8-3-04
 LOCATION M 162-D 16

SAFETY SPECIALIST SKELHAN
 JOB NUMBER 111-3987

NAME OF RESIDENT OR OCCUPANT CAROL MCKEAN
 ADDRESS OF PROPERTY 95 MURRAY ST. PORTLAND, ME. 04103
 MAILING ADDRESS (IF DIFFERENT) _____
 TELEPHONE NUMBER HOME (207) 773-4892 WORK () _____

<u>TYPE OF STRUCTURE</u>	<u>AGE OF BLDG</u>	<u>WATER</u>	<u>DIST. TO BLASTING</u>
<input checked="" type="checkbox"/> WOOD	<u>50+ YEARS</u>	<input type="checkbox"/> WELL	<u>450' FEET</u>
<input type="checkbox"/> STEEL		<input checked="" type="checkbox"/> TOWN	<u>WEST</u>
<input type="checkbox"/> MASONRY			
<input type="checkbox"/> COMBO			

<u>FOUNDATION TYPE</u>	<u>RETAINING WALLS</u>	<u>ANIMALS IN BUILDING</u>
<input type="checkbox"/> STONE	TYPE <u>NO</u>	<u>2 CATS</u>
<input type="checkbox"/> BLOCK		
<input checked="" type="checkbox"/> POURED		
<input type="checkbox"/> MORTARED		

POOL ON PROPERTY (TYPE) NO

CHIMNEY ON HOUSE (TYPE) BRICK - INTERIOR

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

1ST FLR - PLASTER CRACK TO CEILING @ CORNER OF STAIRS.
PLASTER CRACK TO CEILING KLT / HALL AREA.
2ND FLR - MASTER BED RM. DAY WALL JOINT CRACKS TO WALLS.
#2 + 3 BED RMs PANELED W/ GAPS @ JOINTS.
BASEMENT - 1/2 FINISHED - CRACK TO WEST CONCRETE WALL (FRONT), NUMEROUS
CRACKS TO CONCRETE FLOOR.

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

DETACHED GARAGE - 1/5 NUMEROUS CRACKS TO FLOOR.
0/5 OF GARAGE + HSE IN GOOD CONDITION.
CRACK TO SOUTH FOUNDATION WALL a Lower RIGHT SIDE OF WINDOW

TAPE # 111-3987-1

WINDOWS THAT ARE BROKEN (LOCATION) GARAGE / NORTH SIDE (1)

#

#1 8-3-04 INSPECTED 1/5 + 0/5

PREBLAST SURVEY CHECKLIST

DATE 8-3-04
LOCATION M 161-B-18

SAFETY SPECIALIST STEPHAN
JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT PATRICK K. VIOLA JR
ADDRESS OF PROPERTY 161 MURRAY ST. PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT) 17 SAMUEL RD. PORTLAND, ME.
TELEPHONE NUMBER HOME (207) 797-5043 WORK ()
TENANT - MICHAEL SOMEGLIA - 773-1653

TYPE OF STRUCTURE X WOOD 30+- YEARS AGE OF BLDG
--- STEEL
--- MASONRY
--- COMBO
WATER X WELL 250' FEET
--- TOWN S/W

FOUNDATION TYPE --- STONE
--- BLOCK 30% Cellular
X POURED 70% Crawl
--- MORTARED
RETAINING WALLS TYPE NO
ANIMALS IN BUILDING 2 CATS
1 DOG

POOL ON PROPERTY (TYPE) NO
CHIMNEY ON HOUSE (TYPE) Brick + Block - INTERIOR.

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO
Basement PARTIAL - UNFINISHED 30% Full Crawl 70% Crawl Space.
CRACKS TO CONCRETE FLOOR
1ST FLR. DRYWALL JOINT CRACKS TO WALLS
2ND FLR DRYWALL JOINT CRACKS TO WALLS + CEILING.

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO
1/5 CRACK TO BASE FOUNDATION WALL BELOW KIT WINDOW (NORTH SIDE)

TAPE # 111-3987-1
WINDOWS THAT ARE BROKEN (LOCATION) _____

8-3-04 INSPECTED 1/5 + 0/5

#

#2

PREBLAST SURVEY CHECKLIST

DATE 5 - AUG - 04 SAFETY SPECIALIST STEPHAN
 LOCATION M 162 F 9 JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT HAROLD ERICKSON
 ADDRESS OF PROPERTY 92 MURRAY ST. PORTLAND, ME. 04103
 MAILING ADDRESS (IF DIFFERENT) _____
 TELEPHONE NUMBER HOME (207) 773-9743 WORK () _____

<u>TYPE OF STRUCTURE</u>	<u>AGE OF BLDG</u>	<u>WATER</u>	<u>DIST. TO BLASTING</u>
<input checked="" type="checkbox"/> WOOD	<u>25+ YEARS</u>	<input type="checkbox"/> WELL	<u>450' FEET</u>
<input type="checkbox"/> STEEL		<input checked="" type="checkbox"/> TOWN	<u>WEST</u>
<input type="checkbox"/> MASONRY			
<input type="checkbox"/> COMBO			

<u>FOUNDATION TYPE</u>	<u>RETAINING WALLS</u>	<u>ANIMALS IN BUILDING</u>
<input type="checkbox"/> STONE	TYPE <u>NO</u>	<u>NO</u>
<input type="checkbox"/> BLOCK		
<input checked="" type="checkbox"/> POURED		
<input type="checkbox"/> MORTARED		

POOL ON PROPERTY (TYPE) NO

CHIMNEY ON HOUSE (TYPE) POWER VENT

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO
1ST FLR. DRYWALL CRACKS LIVING RM WALL ABOVE CLOSET DOOR.
SUN ROOM ON REAR OF HSE HAS 11/2" DAMAGE AROUND SKYLIGHTS.

BASEMENT - WALLS COMPLETELY COVERED W/ PINK V-MATCH.
NUMEROUS CRACKS TO CONCRETE FLOOR.

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO
O/S IN GOOD CONDITION. SLIGHT SAG TO ROOF OF REAR
SUNROOM ON NORTH END.
VINAL SIDING BROKEN ON N-E CORNER NEAR SIDE DOOR.

TAPE # 111-3987-2
 WINDOWS THAT ARE BROKEN (LOCATION) _____

8-5-04 - INSPECTED 1/5 + 2/5

#11

PREBLAST SURVEY CHECKLIST

Rec'd 8-4-04

DATE 5 Aug 2004
LOCATION M 162 D 16

SAFETY SPECIALIST SKEHAN
JOB NUMBER 111-3987

NAME OF RESIDENT OR OCCUPANT Chad and Jennifer Turgeon
ADDRESS OF PROPERTY 101 Murray St PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT) J
TELEPHONE NUMBER HOME (307) 871-7230 WORK (307) 781-6930 - Jennifer
Mom's Cell 318-6981

TYPE OF STRUCTURE WOOD AGE OF BLDG ~60 YEARS WATER WELL DIST. TO BLASTING 460'
STEEL TOWN WEST
MASONRY
COMBO

FOUNDATION TYPE POURED RETAINING WALLS NO ANIMALS IN BUILDING NO
STONE TYPE
BLOCK
MORTARED POSTS UNDER NOW ADDITION

POOL ON PROPERTY (TYPE) none

CHIMNEY ON HOUSE (TYPE) Block - Interior + 2 Powervents

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO
1st FLR CRACK TO SOFFIT ABOVE KIT SINK.
HSE UNDER RENOVATION + LARGE ADDITION ON REAR.
PLASTER IN OLD SECTION / DRYWALL IN ADDITION.
UNFINISHED. BASEMENT. REPAIRED CRACKS TO FOUNDATION WALLS.

Detached 2 Car + Garage - Numerous Large Cracks to Concrete Flr.
DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO
2/3 of HSE. UNFINISHED (TYVEK LAD)
FOUNDATION WALL ON SOUTH END OF ORIGINAL HSE. HAS 3 CRACKS
AT BOTTOM CORNERS OF CELLAR WINDOWS.

Tape # 111-3987-3
WINDOWS THAT ARE BROKEN (LOCATION) _____

8-4-04 8:40 A.M. TALKED w/ MOM. BARBARA POWERS
" LEFT MSG. ON WORK # w/ MY CELL # ? THUR OR FRI
8-4-04 12:00 JENNIFER PAT CALL APPT FOR MOON THUR 8-5-04
8-5-04 INSPECTED I/S + O/S

#

#14

REC'D 7-2-04

PREBLAST SURVEY CHECKLIST

DATE JULY 2004 SAFETY SPECIALIST SKEHAN
 LOCATION Portland JOB NUMBER 111-3987
M 162 E 6
 NAME OF RESIDENT OR OCCUPANT Darryl Johnson
 ADDRESS OF PROPERTY 126 MURRAY ST. Portland, ME. 04103
 MAILING ADDRESS (IF DIFFERENT) _____
 TELEPHONE NUMBER HOME (207) 761-9083 WORK (207) 883-4256
RENTAL CTR.

<u>TYPE OF STRUCTURE</u>	<u>AGE OF BLDG</u>	<u>WATER</u>	<u>DIST. TO BLASTING</u>
<input checked="" type="checkbox"/> WOOD	<u>44 YEARS</u>	<input type="checkbox"/> WELL	<u>within 60 FEET</u>
<input type="checkbox"/> STEEL		<input checked="" type="checkbox"/> TOWN	<u>350' WEST</u>
<input type="checkbox"/> MASONRY			
<input type="checkbox"/> COMBO			

<u>FOUNDATION TYPE</u>	<u>RETAINING WALLS</u>	<u>ANIMALS IN BUILDING</u>
<input type="checkbox"/> STONE	TYPE <u>STONE</u>	<u>1 DOG</u>
<input type="checkbox"/> BLOCK	<u>1' x 30'</u>	<u>2 CATS</u>
<input checked="" type="checkbox"/> POURED		
<input type="checkbox"/> MORTARED		

POOL ON PROPERTY (TYPE) NO

CHIMNEY ON HOUSE (TYPE) BRICK - EXTERIOR

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO
BASMENT ONLY @ DARRYL'S REQUEST.
50% FINISHED - UNFINISHED AREA VERY DARK + FILLED w STUFF.
NO VISIBLE CRACKS TO WALLS. - 1 FLOOR CRACK INSIDE DOOR WAY.

DETACHED 1 CAR GARAGE - NUMEROUS CRACKS TO CONCRETE FLOOR.

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO
1/5 PAVED DRIVEWAY IN POOR CONDITION. HSE IN GOOD CONDITION.
CRACK TO FOUNDATION WALL ON EAST END, BOTTOM RIGHT CORNER
OF CEILING WINDOW.

LADE # 111-3987-3
 WINDOWS THAT ARE BROKEN (LOCATION) BASMENT (1) SOUTH END.

\$-410/8:25 A.M. LEFT MSB w/ MY CELL # ? THUR OR FRI
7:40 TALKED w DARRYL @ WORK 'APT FRI 7:30 A.M.
8 @ INSPECTED 1/5 BASMENT + 0/5.

#

#18

PREBLAST SURVEY CHECKLIST

DATE 6 - AUG - 04
LOCATION M 161 B 21

SAFETY SPECIALIST STEFAN
JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT KEITH TOMPKINS
ADDRESS OF PROPERTY 151 MURRAY ST. PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT) _____
TELEPHONE NUMBER HOME (607) 775-3452 WORK () _____

TYPE OF STRUCTURE AGE OF BLDG WATER DIST. TO BLASTING
 WOOD 17 YEARS _____ WELL 250' FEET
____ STEEL _____ TOWN S/W
____ MASONRY
____ COMBO

FOUNDATION TYPE RETAINING WALLS ANIMALS IN BUILDING
____ STONE TYPE NO _____
____ BLOCK _____
 POURED (CRAWL SPACE) _____
____ MORTARED _____

POOL ON PROPERTY (TYPE) NO

CHIMNEY ON HOUSE (TYPE) BRICK + BLOCK - INTERIOR

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO
1ST FLR. GOOD CONDITION - BOW IN DINING ROOM WALL (LEFT OF FRONT DOOR)
DRYWALL JOINT CRACK CORNER OF HALL/KITCHEN WALL.
2ND FLR. GOOD CONDITION.

CRAWL SPACE - NO VISIBLE CRACKS TO CONCRETE / WEDGE OUT CRACK IN CENTER

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO
0/5 IN GOOD OVERALL CONDITION

TAPE # 111-3987-5
WINDOWS THAT ARE BROKEN (LOCATION) _____

8-6-04 INSPECTED 1/5 + 0/5 ACCOMPANIED BY KEITH

REC'D 8-4-04

PREBLAST SURVEY CHECKLIST

DATE 6 Aug - 2004
LOCATION M 162 D 12

SAFETY SPECIALIST SKEHAN
JOB NUMBER 111-3987

NAME OF RESIDENT OR OCCUPANT STEVEN/BRENDA GRINDLE
ADDRESS OF PROPERTY 115 MURRAY ST PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT) _____
TELEPHONE NUMBER HOME (207) 879 2694 WORK () _____

<u>TYPE OF STRUCTURE</u>	<u>AGE OF BLDG</u>	<u>WATER</u>	<u>DIST. TO BLASTING</u>
<input checked="" type="checkbox"/> WOOD	<u>44</u> YEARS	_____ WELL	<u>250'</u> FEET
_____ STEEL		<input checked="" type="checkbox"/> TOWN	<u>WEST</u>
_____ MASONRY			
_____ COMBO			

<u>FOUNDATION TYPE</u>	<u>RETAINING WALLS</u>	<u>ANIMALS IN BUILDING</u>
_____ STONE	TYPE <u>NO</u>	<u>NONE</u>
_____ BLOCK		
<input checked="" type="checkbox"/> POURED		
_____ MORTARED		

POOL ON PROPERTY (TYPE) NONE

CHIMNEY ON HOUSE (TYPE) BRICK - INTERIOR

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO
DRYWALL CRACKS IN ENTRY ROOM + KITCHEN,

Basement 30% FINISHED, UTILITY AREA HAS REPAIRED CRACKS AROUND RAILWAY AREA. CRACKS TO CONCRETE FLOOR, EVIDENCE OF H₂O DAMAGE AT BOTTOM OF STAIRS. GARAGE - CRACKS TO FLOOR

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO
Garage FAIR CONDITION. HSE IN GOOD CONDITION HAIRLINE CRACKS TO FOUNDATION WALLS EAST + WEST SIDES!

TAPE # 111-3987-5
WINDOWS THAT ARE BROKEN (LOCATION) NONE

- 8-4-04 8:35 A.M. LEFT MSG. W MY CELL # ? THUR OR FRI.
- 8-5-04 BRENDA CALLED - AFTER 1:30 THUR OR FRI. CALL MTHRU.
- 8-5-04 2:00 P.M. WENT TO 115 - NO ANSWER.
- 8-6-04 INSPECTED 1/5 + 2/5

#03

8-3-04
REC 8.6.04

PREBLAST SURVEY CHECKLIST

DATE JULY 2004
LOCATION M 162 D 14

SAFETY SPECIALIST SKEHAN
JOB NUMBER 111-3987

NAME OF RESIDENT OR OCCUPANT ADELBERT H. STINSON
ADDRESS OF PROPERTY 109 MURRAY ST. PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT) SAME
TELEPHONE NUMBER HOME (207) 773-0012 WORK () RETIRED

<u>TYPE OF STRUCTURE</u>	<u>AGE OF BLDG</u>	<u>WATER</u>	<u>DIST. TO BLASTING</u>
<input checked="" type="checkbox"/> WOOD	<u>45 YEARS</u>	<input type="checkbox"/> WELL	<u>600-375 FEET</u>
<input type="checkbox"/> STEEL		<input checked="" type="checkbox"/> TOWN	<u>WEST</u>
<input type="checkbox"/> MASONRY			
<input type="checkbox"/> COMBO			

<u>FOUNDATION TYPE</u>	<u>RETAINING WALLS</u>	<u>ANIMALS IN BUILDING</u>
<input type="checkbox"/> STONE	TYPE <u>NONE</u>	<u>NONE</u>
<input type="checkbox"/> BLOCK		
<input checked="" type="checkbox"/> POURED		
<input type="checkbox"/> MORTARED		

POOL ON PROPERTY (TYPE) NO

CHIMNEY ON HOUSE (TYPE) BRICK - INTERIOR

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO
DETACHED GARAGE - CRACKS TO CONCRETE FLOOR
PARMENT 30% FINISHED. CRACKS TO CONCRETE FLOOR
1ST FLR GOOD CONDITION - NO VISIBLE CRACKS

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO
0% OF HSE + GARAGE IN GOOD CONDITION.
CRACK TO FOUNDATION WALL ON REAR OF HSE (EAST)
SLIGHT WAVE TO ROOF LINE RIDGE OF HSE.

TAP # 111-3987-5
WINDOWS THAT ARE BROKEN (LOCATION) NONE

8.6.04 - INSPECTED 1/5 + 0/5

#

#24

Rec'd 8.4.04

PREBLAST SURVEY CHECKLIST

DATE JULY 2004 SAFETY SPECIALIST SKEHAN
LOCATION M 162 P 7 JOB NUMBER 111-3987

NAME OF RESIDENT OR OCCUPANT Stephen M. Lowell
ADDRESS OF PROPERTY 125 Murray St. PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT) _____
TELEPHONE NUMBER HOME (207) 632-3043 WORK (207) 871-8389

CUMBERLAND CT. REGISTER DEEDS

<u>TYPE OF STRUCTURE</u>	<u>AGE OF BLDG</u>	<u>WATER</u>	<u>DIST. TO BLASTING</u>
<input checked="" type="checkbox"/> WOOD	<u>45 YEARS</u>	<input type="checkbox"/> WELL	<u>600 FEET</u>
<input type="checkbox"/> STEEL		<input checked="" type="checkbox"/> TOWN	<u>325' WEST</u>
<input type="checkbox"/> MASONRY			
<input type="checkbox"/> COMBO			

<u>FOUNDATION TYPE</u>	<u>RETAINING WALLS</u>	<u>ANIMALS IN BUILDING</u>
<input type="checkbox"/> STONE	TYPE <u>NO</u>	<u>?</u>
<input type="checkbox"/> BLOCK		
<input checked="" type="checkbox"/> POURED		
<input type="checkbox"/> MORTARED		

POOL ON PROPERTY (TYPE) N/A

CHIMNEY ON HOUSE (TYPE) Brick - Interior

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO
o/s in good condition Both Garage + HSE.
FOUNDATION WALL ON South END OF HSE HAS 2 CRACKS AT BOTTOM
L + R. CORNERS OF S-W CORNER WINDOW.
GARAGE - SLIGHT WAVER TO ROOF LINE RIDGE.

IA# 111-3987-5
WINDOWS THAT ARE BROKEN (LOCATION) _____

8-4-04 8:30 A.M. CALLED STEPHEN O/S ONLY OK ANYTIME.

8-6-04 INSPECTED O/S ONLY @ STEPHEN'S REQUEST

#

#35

PREBLAST SURVEY CHECKLIST

DATE 10 - AUG - 04
LOCATION M 161 A 8

SAFETY SPECIALIST STEPHAN
JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT JACQUES GOURDEAU
ADDRESS OF PROPERTY 162 MURRAY ST PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT) _____
TELEPHONE NUMBER HOME (607) 774-8399 WORK (607) 929-4256

TYPE OF STRUCTURE AGE OF BLDG WATER DIST. TO BLASTING
 WOOD 2 YEARS _____ WELL 250' FEET
_____ STEEL _____ TOWN _____
_____ MASONRY RAISED RANCH _____
_____ COMBO _____

FOUNDATION TYPE RETAINING WALLS ANIMALS IN BUILDING
_____ STONE TYPE NO _____ DOG
_____ BLOCK _____
 POURED _____
_____ MORTARED _____

POOL ON PROPERTY (TYPE) NO

CHIMNEY ON HOUSE (TYPE) BRICK + BLOCK - INTERIOR

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO
TOP LEVEL / VERY GOOD CONDITION.
LOWER LEVEL / " "
NO INDICATION OF H₂O IN LOWER LEVEL.

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO
O/S VERY GOOD CONDITION.
EAST END FOUNDATION WALL 1 CRACK APPROX CENTER
WEST SIDE (Rear) " " " HAS BEEN PATCHED.

TAP # 111-3987-6
WINDOWS THAT ARE BROKEN (LOCATION) _____

8-9-04 - CALLED JACQUES APPT TUES 10:00 A.M.

#30 8-10-04 INSPECTED I/S + O/S

Rec'd 7.9.04

PREBLAST SURVEY CHECKLIST

DATE JULY 2004 SAFETY SPECIALIST SKELHAN
LOCATION 172 MURRAY ST. JOB NUMBER 111-3987
PORTLAND

NAME OF RESIDENT OR OCCUPANT NANCY NAPPI & BARBARA HADLOCK
ADDRESS OF PROPERTY 172 MURRAY ST. PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT)
TELEPHONE NUMBER HOME (207) 773-4275 WORK () 857-8181
Nancy

TYPE OF STRUCTURE AGE OF BLDG WATER DIST. TO BLASTING
 WOOD 23 YEARS WELL _____ FEET
 STEEL TOWN
 MASONRY
 COMBO

RENTAL PROPERTY

FOUNDATION TYPE RETAINING WALLS ANIMALS IN BUILDING
 STONE TYPE _____
 BLOCK _____
 POURED _____
 MORTARED _____

POOL ON PROPERTY (TYPE) _____

CHIMNEY ON HOUSE (TYPE) BRICK

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

WINDOWS THAT ARE BROKEN (LOCATION) _____

#

8-10-04 7:40 A.M. 857-8181 - "NANCY NOT IN TODAY"
773-4275 - LEFT MSG w/ MY CELL # ? AFTER 10:30
Please call if you have any questions. It

is a rental property. BARBARA RET. CALL. WANTED TO KNOW WHERE BLASTING
8-10-04 - 4:33 P.M. WOULD TAKE PLACE. DECLINED SURVEY "IF YOU'RE GOING TO BLAST, YOU'RE
GOING TO BLAST IN AHEAD T. BACK'S CASE"

REC'D 8-10-04

PREBLAST SURVEY CHECKLIST

DATE JULY 2004 SAFETY SPECIALIST SKEHAN
LOCATION CANCO ROAD JOB NUMBER 111-3987

M 167 D 10 PORTLAND, ME

NAME OF RESIDENT OR OCCUPANT JOAN B. DELLATORRE
ADDRESS OF PROPERTY 121 MURRAY ST. PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT) _____
TELEPHONE NUMBER HOME (207) 773-6173 WORK () _____

<u>TYPE OF STRUCTURE</u>	<u>AGE OF BLDG</u>	<u>WATER</u>	<u>DIST. TO BLASTING</u>
<input checked="" type="checkbox"/> WOOD	<u>44 YEARS</u>	<input type="checkbox"/> WELL	_____ FEET
<input type="checkbox"/> STEEL		<input checked="" type="checkbox"/> TOWN	
<input type="checkbox"/> MASONRY		<input type="checkbox"/> CITY	
<input type="checkbox"/> COMBO			

<u>FOUNDATION TYPE</u>	<u>RETAINING WALLS</u>	<u>ANIMALS IN BUILDING</u>
<input type="checkbox"/> STONE	TYPE <u>NO</u>	<u>NO</u>
<input type="checkbox"/> BLOCK		
<input checked="" type="checkbox"/> POURED		
<input type="checkbox"/> MORTARED		

POOL ON PROPERTY (TYPE) YES INGROUND VINYL 16'x24'

CHIMNEY ON HOUSE (TYPE) YES BRICK - INTERIOR

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO
PER MRS. D'S REQUEST

Basement 75% finished. Utility area was repaired cracks on north + east walls. No damage to floor in boiler room. Foundation walls of roll-way have cracks

DETACHED 1 CAR GARAGE - LARGE CRACKS TO CONCRETE FLOOR.
DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

9's IN GOOD CONDITION. CRACK TO CHIMNEY TOP, CONCRETE PATIO AROUND POOL HAS NUMEROUS CRACKS + HEAVED AREAS. EAST FOUNDATION WALL HAS HAIRLINE CRACK AT BOTTOM RIGHT CORNER OF LEFT WINDOW

WINDOWS THAT ARE BROKEN (LOCATION) _____

8-10-04 10:45 A.M. LEFT MSG. W/ MY CELL # ? TODAY OR WED.?

10:49 A.M. JOAN RETURNED CALL HOME FROM 9 A.M. ON WED.

#36 8-11-04 INSPECTED $\frac{1}{5}$ BASEMENT UTILITY ONLY + $\frac{0}{5}$

PREBLAST SURVEY CHECKLIST

DATE 13 - AUG - 04
LOCATION M 160 D 36

SAFETY SPECIALIST STEFAN
JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT MARIE B. WILSON
ADDRESS OF PROPERTY 118 MURRAY ST. PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT) _____
TELEPHONE NUMBER HOME (607) _____ WORK () _____

TYPE OF STRUCTURE AGE OF BLDG WATER DIST. TO BLASTING
___ WOOD _____ YEARS ___ WELL _____ FEET
___ STEEL _____ ___ TOWN
___ MASONRY
___ COMBO

FOUNDATION TYPE RETAINING WALLS ANIMALS IN BUILDING
___ STONE TYPE _____ _____
___ BLOCK _____ _____
___ POURED _____ _____
___ MORTARED _____ _____

POOL ON PROPERTY (TYPE) _____

CHIMNEY ON HOUSE (TYPE) _____

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

WINDOWS THAT ARE BROKEN(LOCATION) _____

(1)

7-28-04 - NOTIFICATION PACKET MAILED - VIA 1ST CLASS MAIL
8-13-04 - NO RESPONSE

PREBLAST SURVEY CHECKLIST

DATE 13 - AUG - 04
LOCATION M 161 A 9

SAFETY SPECIALIST SKELAN
JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT ANDREW J. CLOUTIER
ADDRESS OF PROPERTY 176 MURRAY PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT) _____
TELEPHONE NUMBER HOME (607) _____ WORK () _____

TYPE OF STRUCTURE AGE OF BLDG WATER DIST. TO BLASTING
___ WOOD ___ YEARS ___ WELL ___ FEET
___ STEEL ___ TOWN
___ MASONRY
___ COMBO
___ _____

FOUNDATION TYPE RETAINING WALLS ANIMALS IN BUILDING
___ STONE TYPE _____ _____
___ BLOCK _____
___ POURED _____
___ MORTARED _____

POOL ON PROPERTY (TYPE) _____

CHIMNEY ON HOUSE (TYPE) _____

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

WINDOWS THAT ARE BROKEN (LOCATION) _____



7-28-04 - NOTIFICATION PACKET MAILED - VIA 1ST CLASS MAIL
8-13-04 - NO RESPONSE

PREBLAST SURVEY CHECKLIST

DATE 13 - AUG - 04
LOCATION M 161 A 10

SAFETY SPECIALIST SKELAN
JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT JAMES M. WOLF + William J. Dowd
ADDRESS OF PROPERTY 172 MURRAY ST PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT) 17 WESTLAND AVE PORTLAND, ME. 04102
TELEPHONE NUMBER HOME (607) _____ WORK () _____

TYPE OF STRUCTURE AGE OF BLDG WATER DIST. TO BLASTING
____ WOOD _____ YEARS _____ WELL _____ FEET
____ STEEL _____ TOWN
____ MASONRY
____ COMBO

FOUNDATION TYPE RETAINING WALLS ANIMALS IN BUILDING
____ STONE TYPE _____
____ BLOCK _____
____ POURED _____
____ MORTARED _____

POOL ON PROPERTY (TYPE) _____

CHIMNEY ON HOUSE (TYPE) _____

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

WINDOWS THAT ARE BROKEN(LOCATION) _____

7-28-04 - NOTIFICATION PACKET MAILED - VIA 1ST CLASS MAIL
8-13-04 - NO RESPONSE

PREBLAST SURVEY CHECKLIST

DATE 13 - AUG - 04
LOCATION M 161 A II

SAFETY SPECIALIST SKEHAN
JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT JAMES A. + ANN E. POTT
ADDRESS OF PROPERTY 166 MURRAY PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT)
TELEPHONE NUMBER HOME (207) WORK ()

TYPE OF STRUCTURE AGE OF BLDG WATER DIST. TO BLASTING
WOOD YEARS WELL FEET
STEEL TOWN
MASONRY
COMBO

FOUNDATION TYPE RETAINING WALLS ANIMALS IN BUILDING
STONE TYPE
BLOCK
POURED
MORTARED

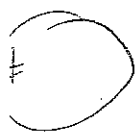
POOL ON PROPERTY (TYPE)

CHIMNEY ON HOUSE (TYPE)

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

WINDOWS THAT ARE BROKEN(LOCATION)



7-28-04 - NOTIFICATION PACKET MAILED - VIA 1ST CLASS MAIL
8-13-04 - NO RESPONSE

PREBLAST SURVEY CHECKLIST

DATE 13 - AUG - 04
LOCATION M 161 A 12

SAFETY SPECIALIST STEFAN
JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT ROBERT G. + PEGGY D. NELSON
ADDRESS OF PROPERTY 160 MURRAY PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT) P.O. Box 7031 PORTLAND, ME. 04112
TELEPHONE NUMBER HOME (607) _____ WORK () _____

<u>TYPE OF STRUCTURE</u>	<u>AGE OF BLDG</u>	<u>WATER</u>	<u>DIST. TO BLASTING</u>
<input type="checkbox"/> WOOD	_____ YEARS	<input type="checkbox"/> WELL	_____ FEET
<input type="checkbox"/> STEEL		<input type="checkbox"/> TOWN	
<input type="checkbox"/> MASONRY			
<input type="checkbox"/> COMBO			

<u>FOUNDATION TYPE</u>	<u>RETAINING WALLS</u>	<u>ANIMALS IN BUILDING</u>
<input type="checkbox"/> STONE	TYPE _____	_____
<input type="checkbox"/> BLOCK		_____
<input type="checkbox"/> POURED		_____
<input type="checkbox"/> MORTARED		_____

POOL ON PROPERTY (TYPE) _____

CHIMNEY ON HOUSE (TYPE) _____

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

WINDOWS THAT ARE BROKEN(LOCATION) _____

7-28-04 - NOTIFICATION PACKET MAILED - VIA 1ST CLASS MAIL
8-13-04 - NO RESPONSE

PREBLAST SURVEY CHECKLIST

DATE 13 - AUG - 04
LOCATION M 161 A 19

SAFETY SPECIALIST STEPHAN
JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT CHARLES W. + DONNA J. BOYCE
ADDRESS OF PROPERTY 150 MURRAY ST PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT)
TELEPHONE NUMBER HOME (607) WORK ()

TYPE OF STRUCTURE AGE OF BLDG WATER DIST. TO BLASTING
WOOD YEARS WELL FEET
STEEL TOWN
MASONRY
COMBO

FOUNDATION TYPE RETAINING WALLS ANIMALS IN BUILDING
STONE TYPE
BLOCK
POURED
MORTARED

POOL ON PROPERTY (TYPE)

CHIMNEY ON HOUSE (TYPE)

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

WINDOWS THAT ARE BROKEN(LOCATION)

7-28-04 - NOTIFICATION PACKET MAILED - VIA 1ST CLASS MAIL
8-13-04 - NO RESPONSE



PREBLAST SURVEY CHECKLIST

DATE 13 - AUG - 04 SAFETY SPECIALIST SKEHAN
LOCATION M 161 A 23 JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT RICHARD W. LEIGHTON
ADDRESS OF PROPERTY 146 MURRAY ST PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT) _____
TELEPHONE NUMBER HOME (607) _____ WORK () _____

TYPE OF STRUCTURE AGE OF BLDG WATER DIST. TO BLASTING
___ WOOD ___ YEARS ___ WELL ___ FEET
___ STEEL ___ TOWN
___ MASONRY
___ COMBO

FOUNDATION TYPE RETAINING WALLS ANIMALS IN BUILDING
___ STONE TYPE _____
___ BLOCK _____
___ POURED _____
___ MORTARED _____

POOL ON PROPERTY (TYPE) _____

CHIMNEY ON HOUSE (TYPE) _____

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

WINDOWS THAT ARE BROKEN(LOCATION) _____



7-28-04 - NOTIFICATION PACKET MAILED - VIA 1ST CLASS MAIL
8-13-04 - NO RESPONSE

PREBLAST SURVEY CHECKLIST

DATE 13 - AUG - 04
LOCATION M 161 B 6

SAFETY SPECIALIST SKELAN
JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT BORLA A. STACY
ADDRESS OF PROPERTY 187 MURRAY ST. PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT) P.O. Box 11022 PORTLAND, ME. 04104
TELEPHONE NUMBER HOME (607) _____ WORK () _____

TYPE OF STRUCTURE AGE OF BLDG WATER DIST. TO BLASTING
___ WOOD _____ YEARS ___ WELL _____ FEET
___ STEEL _____ TOWN
___ MASONRY
___ COMBO

FOUNDATION TYPE RETAINING WALLS ANIMALS IN BUILDING
___ STONE TYPE _____ _____
___ BLOCK _____
___ POURED _____
___ MORTARED _____

POOL ON PROPERTY (TYPE) _____

CHIMNEY ON HOUSE (TYPE) _____

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

WINDOWS THAT ARE BROKEN(LOCATION) _____

7-28-04 - NOTIFICATION PACKET MAILED - VIA 1ST CLASS MAIL
8-13-04 - NO RESPONSE



PREBLAST SURVEY CHECKLIST

DATE 13 - AUG - 04 SAFETY SPECIALIST SKELHAN
LOCATION M 161 B 8 JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT LAWRENCE J. YOUNGLESS
ADDRESS OF PROPERTY 181 MURRAY PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT) _____
TELEPHONE NUMBER HOME (607) _____ WORK () _____

TYPE OF STRUCTURE AGE OF BLDG WATER DIST. TO BLASTING
___ WOOD ___ YEARS ___ WELL ___ FEET
___ STEEL ___ TOWN
___ MASONRY
___ COMBO
___ _____

FOUNDATION TYPE RETAINING WALLS ANIMALS IN BUILDING
___ STONE TYPE _____ _____
___ BLOCK _____
___ POURED _____
___ MORTARED _____

POOL ON PROPERTY (TYPE) _____

CHIMNEY ON HOUSE (TYPE) _____

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

WINDOWS THAT ARE BROKEN(LOCATION) _____

7-28-04 - NOTIFICATION PACKET MAILED - VIA 1ST CLASS MAIL
8-13-04 - NO RESPONSE

PREBLAST SURVEY CHECKLIST

DATE 13 - AUG - 04 SAFETY SPECIALIST STEPHAN
LOCATION M 161 B 11 JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT SETH R. HOPE
ADDRESS OF PROPERTY 173 MURRAY ST PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT) P. O. Box 6823 SCARBOROUGH, ME. 04070
TELEPHONE NUMBER HOME (607) _____ WORK () _____

TYPE OF STRUCTURE AGE OF BLDG WATER DIST. TO BLASTING
____ WOOD _____ YEARS _____ WELL _____ FEET
____ STEEL _____ TOWN
____ MASONRY
____ COMBO

FOUNDATION TYPE RETAINING WALLS ANIMALS IN BUILDING
____ STONE TYPE _____ _____
____ BLOCK _____
____ POURED _____
____ MORTARED _____

POOL ON PROPERTY (TYPE) _____

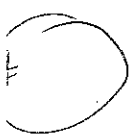
CHIMNEY ON HOUSE (TYPE) _____

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

WINDOWS THAT ARE BROKEN(LOCATION) _____

7-28-04 - NOTIFICATION PACKET MAILED - VIA 1ST CLASS MAIL
8-13-04 - NO RESPONSE



PREBLAST SURVEY CHECKLIST

DATE 13 - AUG - 04 SAFETY SPECIALIST STEFAN
LOCATION M 161 B 15 JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT LIZA M. SCHILTZ
ADDRESS OF PROPERTY 167 MURRAY ST PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT) _____
TELEPHONE NUMBER HOME (607) _____ WORK () _____

TYPE OF STRUCTURE AGE OF BLDG WATER DIST. TO BLASTING
___ WOOD ___ YEARS ___ WELL _____ FEET
___ STEEL ___ TOWN
___ MASONRY
___ COMBO

FOUNDATION TYPE RETAINING WALLS ANIMALS IN BUILDING
___ STONE TYPE _____
___ BLOCK _____
___ POURED _____
___ MORTARED _____

POOL ON PROPERTY (TYPE) _____

CHIMNEY ON HOUSE (TYPE) _____

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

WINDOWS THAT ARE BROKEN (LOCATION) _____



7-28-04 - NOTIFICATION PACKET MAILED - VIA 1ST CLASS MAIL
8-13-04 - NO RESPONSE

PREBLAST SURVEY CHECKLIST

DATE 13 - AUG - 04
LOCATION M 161 B 23

SAFETY SPECIALIST SKEHAN
JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT PAUL VOISINE
ADDRESS OF PROPERTY 147 MURRAY ST. PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT)
TELEPHONE NUMBER HOME (607) WORK ()

TYPE OF STRUCTURE AGE OF BLDG WATER DIST. TO BLASTING
WOOD YEARS WELL FEET
STEEL TOWN
MASONRY
COMBO

FOUNDATION TYPE RETAINING WALLS ANIMALS IN BUILDING
STONE TYPE
BLOCK
POURED
MORTARED

POOL ON PROPERTY (TYPE)

CHIMNEY ON HOUSE (TYPE)

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

WINDOWS THAT ARE BROKEN(LOCATION)

7-28-04 - NOTIFICATION PACKET MAILED - VIA 1ST CLASS MAIL
8-13-04 - NO RESPONSE



PREBLAST SURVEY CHECKLIST

DATE 13 - AUG - 04
LOCATION M 167 D 1

SAFETY SPECIALIST STEPHAN
JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT SCOTT F. + SHANNON L. LYONS
ADDRESS OF PROPERTY 141 MURRAY ST. PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT)
TELEPHONE NUMBER HOME (607) WORK ()

TYPE OF STRUCTURE AGE OF BLDG WATER DIST. TO BLASTING
___ WOOD YEARS ___ WELL FEET
___ STEEL
___ MASONRY TOWN
___ COMBO

FOUNDATION TYPE RETAINING WALLS ANIMALS IN BUILDING
___ STONE TYPE _____
___ BLOCK
___ POURED
___ MORTARED

POOL ON PROPERTY (TYPE) _____

CHIMNEY ON HOUSE (TYPE) _____

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

WINDOWS THAT ARE BROKEN(LOCATION) _____

7-28-04 - NOTIFICATION PACKET MAILED - VIA 1ST CLASS MAIL
8-13-04 - NO RESPONSE



PREBLAST SURVEY CHECKLIST

DATE 13 - AUG - 04
LOCATION M 162 D 3

SAFETY SPECIALIST SKELAAN
JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT TANYA K CADGER + JOHN J. THOMPSON
ADDRESS OF PROPERTY 135 MURRAY ST. PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT) _____
TELEPHONE NUMBER HOME (607) _____ WORK () _____

TYPE OF STRUCTURE AGE OF BLDG WATER DIST. TO BLASTING
___ WOOD ___ YEARS ___ WELL _____ FEET
___ STEEL ___ TOWN
___ MASONRY
___ COMBO
___ _____

FOUNDATION TYPE RETAINING WALLS ANIMALS IN BUILDING
___ STONE TYPE _____
___ BLOCK _____
___ POURED _____
___ MORTARED _____

POOL ON PROPERTY (TYPE) _____

CHIMNEY ON HOUSE (TYPE) _____

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

WINDOWS THAT ARE BROKEN (LOCATION) _____



7-28-04 - NOTIFICATION PACKET MAILED - VIA 1ST CLASS MAIL
8-13-04 - NO RESPONSE

PREBLAST SURVEY CHECKLIST

DATE 13 - AUG - 04 SAFETY SPECIALIST STEFAN
LOCATION M 162 D 5 JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT ARLOND P. LEECH
ADDRESS OF PROPERTY 131 MURRAY ST. PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT) _____
TELEPHONE NUMBER HOME (607) _____ WORK () _____

TYPE OF STRUCTURE AGE OF BLDG WATER DIST. TO BLASTING
____ WOOD _____ YEARS _____ WELL _____ FEET
____ STEEL _____ TOWN
____ MASONRY
____ COMBO

FOUNDATION TYPE RETAINING WALLS ANIMALS IN BUILDING
____ STONE TYPE _____
____ BLOCK _____
____ POURED _____
____ MORTARED _____

POOL ON PROPERTY (TYPE) _____

CHIMNEY ON HOUSE (TYPE) _____

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

WINDOWS THAT ARE BROKEN(LOCATION) _____

7-28-04 - NOTIFICATION PACKET MAILED - VIA 1ST CLASS MAIL
8-13-04 - NO RESPONSE



PREBLAST SURVEY CHECKLIST

DATE 13 - AUG - 04
LOCATION M 162 D 23

SAFETY SPECIALIST SKELAN
JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT THOMAS E. MAIORANO
ADDRESS OF PROPERTY 89 MURRAY PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT) _____
TELEPHONE NUMBER HOME (207) _____ WORK () _____

TYPE OF STRUCTURE AGE OF BLDG WATER DIST. TO BLASTING
____ WOOD _____ YEARS _____ WELL _____ FEET
____ STEEL _____ TOWN
____ MASONRY
____ COMBO

FOUNDATION TYPE RETAINING WALLS ANIMALS IN BUILDING
____ STONE TYPE _____
____ BLOCK _____
____ POURED _____
____ MORTARED _____

POOL ON PROPERTY (TYPE) _____

CHIMNEY ON HOUSE (TYPE) _____

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

WINDOWS THAT ARE BROKEN(LOCATION) _____

7-28-04 - NOTIFICATION PACKET MAILED - VIA 1ST CLASS MAIL
8-13-04 - NO RESPONSE



PREBLAST SURVEY CHECKLIST

DATE 13 - AUG - 04
LOCATION M 162 F 1

SAFETY SPECIALIST STEFAN
JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT ADELE + THEODORE JACKSON
ADDRESS OF PROPERTY 110 MURRAY ST. PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT) 3509 COTSWOLD TER GREENSBORO, N.C. 27405
TELEPHONE NUMBER HOME (607) _____ WORK () _____

TYPE OF STRUCTURE AGE OF BLDG WATER DIST. TO BLASTING
____ WOOD _____ YEARS _____ WELL _____ FEET
____ STEEL _____ TOWN
____ MASONRY
____ COMBO

FOUNDATION TYPE RETAINING WALLS ANIMALS IN BUILDING
____ STONE TYPE _____
____ BLOCK _____
____ POURED _____
____ MORTARED _____

POOL ON PROPERTY (TYPE) _____

CHIMNEY ON HOUSE (TYPE) _____

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

WINDOWS THAT ARE BROKEN(LOCATION) _____

7-28-04 - NOTIFICATION PACKET MAILED - VIA 1ST CLASS MAIL
8-13-04 - NO RESPONSE

PREBLAST SURVEY CHECKLIST

DATE 13 - AUG - 04
LOCATION M 162 F 3

SAFETY SPECIALIST STEPHAN
JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT PAUL F. + MICHELLE M BIRKEL
ADDRESS OF PROPERTY 104 MURRAY ST PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT) _____
TELEPHONE NUMBER HOME (607) _____ WORK () _____

<u>TYPE OF STRUCTURE</u>	<u>AGE OF BLDG</u>	<u>WATER</u>	<u>DIST. TO BLASTING</u>
<input type="checkbox"/> WOOD	_____ YEARS	<input type="checkbox"/> WELL	_____ FEET
<input type="checkbox"/> STEEL		<input type="checkbox"/> TOWN	
<input type="checkbox"/> MASONRY			
<input type="checkbox"/> COMBO			

<u>FOUNDATION TYPE</u>	<u>RETAINING WALLS</u>	<u>ANIMALS IN BUILDING</u>
<input type="checkbox"/> STONE	TYPE _____	_____
<input type="checkbox"/> BLOCK		_____
<input type="checkbox"/> POURED		_____
<input type="checkbox"/> MORTARED		_____

POOL ON PROPERTY (TYPE) _____

CHIMNEY ON HOUSE (TYPE) _____

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

WINDOWS THAT ARE BROKEN (LOCATION) _____

7-28-04 - NOTIFICATION PACKET MAILED - VIA 1ST CLASS MAIL
8-13-04 - NO RESPONSE

PREBLAST SURVEY CHECKLIST

DATE AUG - 04
 LOCATION _____

SAFETY SPECIALIST SKELAN
 JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT TOM + PRISCILLA HENNESEY
 ADDRESS OF PROPERTY -83 MURRAY ST. PORTLAND, ME. 04103
 MAILING ADDRESS (IF DIFFERENT) _____
 TELEPHONE NUMBER HOME (607) 772-0588 WORK () _____

<u>TYPE OF STRUCTURE</u>	<u>AGE OF BLDG</u>	<u>WATER</u>	<u>DIST. TO BLASTING</u>
<input checked="" type="checkbox"/> WOOD	<u>60+- YEARS</u>	<input type="checkbox"/> WELL	_____ FEET
<input type="checkbox"/> STEEL		<input checked="" type="checkbox"/> TOWN	
<input type="checkbox"/> MASONRY			
<input type="checkbox"/> COMBO			

<u>FOUNDATION TYPE</u>	<u>RETAINING WALLS</u>	<u>ANIMALS IN BUILDING</u>
<input type="checkbox"/> STONE	TYPE <u>NO</u>	_____ ?
<input type="checkbox"/> BLOCK		_____
<input checked="" type="checkbox"/> POURED		_____
<input type="checkbox"/> MORTARED		_____

POOL ON PROPERTY (TYPE) NO

CHIMNEY ON HOUSE (TYPE) BRICK - INTERIOR

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

B BASEMENT ONLY CRACKS TO CELLAR WALLS + FLOOR.

ATTACHED 1 CAR GARAGE - CRACKS TO FLOOR

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

O/S IN GOOD CONDITION.

DECK ON REAR OF HSE. IS HEAVY WOOD BADLY SOUTH END CONCRETE POSTS HAVE LISTED END OF DECK APPROX 12" ABOVE ORIGINAL HEIGHT.

TAPE # 111-3987-8

WINDOWS THAT ARE BROKEN (LOCATION) _____

8-10-04 3:47 P.M. PRISCILLA CALLED LEFT V.M.

4:00 P.M. I REC'D CALL LEFT MSG. W/ MY CELL # ? WED.

8-11-04 8:00 P.M. TOM LEFT V.M. "ANY DAY AFTER 4 P.M."

9:30 A.M. LEFT MSG. W/ MY CELL # ? FOR AM. 8-30?

8-13-04 INSPECTED 1/3 BASEMENT ONLY + 0/5

#39

Rec'd 8-12-04

PREBLAST SURVEY CHECKLIST

DATE JULY 2004
LOCATION _____

SAFETY SPECIALIST SKEHAN
JOB NUMBER 111-3987

NAME OF RESIDENT OR OCCUPANT Mary McKenney
ADDRESS OF PROPERTY 86 Murray St PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT) same
TELEPHONE NUMBER HOME (207) 774-6863 WORK () 774-8274

<u>✓</u> WOOD	<u>21</u> YEARS	<u>✓</u> TOWN	<u>600</u> FEET	RADIUS
STEEL		WELL		
<u>60</u> MASONRY				
COMBO				

<u>✓</u> FOUNDATION TYPE	RETAINING WALLS	ANIMALS IN BUILDING
STONE	TYPE <u>NO</u>	<u>Dog (deaf)</u>
BLOCK		
<u>✓</u> POURED		
MORTARED		

POOL ON PROPERTY (TYPE) No

CHIMNEY ON HOUSE (TYPE) No / POWERVANT

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO
BASMENT - 25% FINISHED. CRACKS TO FOUNDATION WALL ON REAR OF HSE. CRACKS TO CONCRETE FLOOR.
1ST FLR. DRYWALL JOINT CRACKS + CEILING CRACK IN KIT/DINING AREA
2ND FLR. DRYWALL JOINT CRACKS.

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO
0% IN GOOD CONDITION.

WINDOWS THAT ARE BROKEN (LOCATION) BATH 1ST FLR (1)
Bed Room 2ND FLR (1)

8-10-04 5:22 P.M. MARY LEFT V.M. "HOME 12+13TH"
8-11-04 9:35 A.M. I CALLED 774-6862 (OUT OF SERVICE)
" " 774-8274 (BUSY)
10:10 A.M. " APPT FOR FRIDAY MIA A.M. 9:30 OR SO?
8-13-04 8:10 A.M. I CALLED ? NOW.

#40

PREBLAST SURVEY CHECKLIST

DATE AUG - 04 SAFETY SPECIALIST STEPHAN
LOCATION M 162 F 3 JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT PAUL F. + MICHELLE M. BIRKEL
ADDRESS OF PROPERTY 104 MURRAY ST PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT) _____
TELEPHONE NUMBER HOME (607) _____ WORK () _____

X WOOD AGE OF BLDG 18 YEARS WATER _____ DIST. TO BLASTING _____ FEET
____ STEEL WELL _____
X MASONRY BRICK FACE ON ST. SIDE. X TOWN
X COMBO

FOUNDATION TYPE X POURED RETAINING WALLS TYPE NO ANIMALS IN BUILDING NO
____ STONE
____ BLOCK
____ MORTARED

POOL ON PROPERTY (TYPE) NO
CHIMNEY ON HOUSE (TYPE) BRICK + BLOCK - INTERIOR

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

1/3 BASEMENT ONLY @ MICHELLE'S REQUEST. 25% FINISHED.
2 CRACKS TO NORTH FOUNDATION WALL. CRACKS TO CONCRETE FLOOR.
NO CRACKS SEEN IN BASEMENT GARAGE FLOOR.

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

0% - MOTAR JOINT CRACKS TO FRONT OF GARAGE
2 LARGE FOUNDATION CRACKS ON NORTH WALL ABOVE + BELOW
CENTRAL WINDOWS.

TAPE # 111-3987-8
WINDOWS THAT ARE BROKEN (LOCATION) _____

8-12-04 7:14 A.M. V.M. FROM MICHELLE
8:30 A.M. I RET CALL APPT. FRI 10 A.M.

#41 8-13-04 I INSPECTED 1/3 BASEMENT + GARAGE ONLY + 0/3

REC'D 8.10.04

PREBLAST SURVEY CHECKLIST

DATE JULY 2004 SAFETY SPECIALIST SKELHAN
 LOCATION 138 Murray St. JOB NUMBER 111-3987
M 162 E 2
 NAME OF RESIDENT OR OCCUPANT Canterbury BURCH + LORRAINE
 ADDRESS OF PROPERTY 138 Murray St. PORTLAND, ME. 04103
 MAILING ADDRESS (IF DIFFERENT) _____
 TELEPHONE NUMBER HOME (207) 772-0517 WORK () 207-591-5996

TYPE OF STRUCTURE AGE OF BLDG WATER DIST. TO BLASTING
 WOOD 40+ YEARS WELL 600 FEET
 STEEL TOWN
 MASONRY
 COMBO

FOUNDATION TYPE RETAINING WALLS ANIMALS IN BUILDING
 STONE TYPE Concrete CAT
 BLOCK 1' to 2 1/2' x 50'
 POURED
 MORTARED

POOL ON PROPERTY (TYPE) no

CHIMNEY ON HOUSE (TYPE) yes brick - INTERIOR

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

None
Basement 60% FINISHED - CRACKS TO CONCRETE FLOOR IN ADDITION (SOUTH END)
+ H₂O STANDING ON FLOOR. UTILITY AREA IN NORTH END ALSO HAS FLOOR
CRACKS + H₂O PROBLEMS.
1st FLR. HAS SOME DRYWALL JOINT CRACKS

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

None
0/5 Good Condition -
CONCRETE RETAINING WALL ON NORTH SIDE OF DRIVEWAY HAS SEVERAL
VERTICAL CRACKS + IS TILTED TOWARDS HOUSE.
TAG #111-3987-9

WINDOWS THAT ARE BROKEN (LOCATION) none

8-10-04 - 10:45 A.M. 591-5996 - "NOT IN SERVICE"
 772-0517 - CALLED LEFT MSG. W/ MY CELL # ? TODAY OR WED?
 8-11-04 9:25 A.M. LEFT MSG. W/ MY CELL # ? TODAY OR FRI. A.M. 10:30

#40 8-13-04 INSPECTED 0/5 + I/5

PREBLAST SURVEY CHECKLIST

DATE 8-3-2004
 LOCATION M 155 - D 3

SAFETY SPECIALIST SKELHAN
 JOB NUMBER 111-3987

NAME OF RESIDENT OR OCCUPANT EDWARD J. STOREY III
 ADDRESS OF PROPERTY 66 TORREY ST. PORTLAND, ME. 04103
 MAILING ADDRESS (IF DIFFERENT) _____
 TELEPHONE NUMBER HOME (307) 772-5310 WORK () _____
 cell 772-8812

<u>TYPE OF STRUCTURE</u>	<u>AGE OF BLDG</u>	<u>WATER</u>	<u>DIST. TO BLASTING</u>
<input checked="" type="checkbox"/> WOOD	<u>57</u> YEARS	<input type="checkbox"/> WELL	<u>450'</u> FEET
<input type="checkbox"/> STEEL		<input checked="" type="checkbox"/> TOWN	<u>NORTH</u>
<input type="checkbox"/> MASONRY			
<input type="checkbox"/> COMBO			

<u>FOUNDATION TYPE</u>	<u>RETAINING WALLS</u>	<u>ANIMALS IN BUILDING</u>
<input type="checkbox"/> STONE	TYPE <u>NO</u>	<u>NO</u>
<input type="checkbox"/> BLOCK		
<input checked="" type="checkbox"/> POURED		
<input type="checkbox"/> MORTARED		

POOL ON PROPERTY (TYPE) NO

CHIMNEY ON HOUSE (TYPE) BRICK - INTERIOR

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

1ST FLR. PLASTER WALLS IN GOOD CONDITION. SOME SHRINKAGE CRACKS BETWEEN PLASTER + WOOD TRIM.

2ND FLR. CRACKED TAPE JOINTS IN CEILING IN WEST END RM.

BASEMENT - UNFINISHED WALLS APPEAR GOOD SOME CRACKS TO FLOOR BOTH WALLS FLOOR PAINTED 2 DAYS AGO.

DETACHED GARAGE. NUMEROUS CRACKS TO CONCRETE FLOOR.

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

0/5 GARAGE - FAIR CONDITION - ROOF IN POOR CONDITION.

2/5 HSE - FAIR TO GOOD CONDITION - LACERATING CRACK TO FOUNDATION WALLS (SOUTH) REAR + WEST END WALL

TAPE # 111-3987-1

WINDOWS THAT ARE BROKEN (LOCATION) HSE (2) GARAGE (6)

8-3-04 INSPECTED 1/5 + 0/5

#5

Rec'd 8-3-04

PREBLAST SURVEY CHECKLIST

DATE 5-16-2004
LOCATION M 155-07

SAFETY SPECIALIST SKEHAN
JOB NUMBER 111-3987

NAME OF RESIDENT OR OCCUPANT Jacqueline Wilks
ADDRESS OF PROPERTY 46 Torrey St Portland, ME. 04103
MAILING ADDRESS (IF DIFFERENT) _____
TELEPHONE NUMBER HOME (007) 774-1108 WORK (007) 580-5082 pager

TYPE OF STRUCTURE	AGE OF BLDG	WATER	DIST. TO BLASTING
<input checked="" type="checkbox"/> WOOD	<u>64</u> YEARS	WELL	<u>600</u> 500 FEET
<input type="checkbox"/> STEEL		<input checked="" type="checkbox"/> TOWN	<u>NORTH</u>
<input type="checkbox"/> MASONRY			
<input type="checkbox"/> COMBO			

FOUNDATION TYPE	RETAINING WALLS	ANIMALS IN BUILDING
<input type="checkbox"/> STONE	TYPE <u>PAVING TIE</u>	<u>2 dogs</u>
<input checked="" type="checkbox"/> BLOCK	<u>1' x 25'</u>	<u>5 cats</u>
<input type="checkbox"/> POURED		
<input type="checkbox"/> MORTARED		

POOL ON PROPERTY (TYPE) No

CHIMNEY ON HOUSE (TYPE) Brick - INTERIOR

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO
1st FLR. PLASTER CRACKS TO WALLS + CEILLINGS -
MOSTLY ABOVE WINDOW + DOOR HEADERS.
2nd FLR. LARGE GAPS IN CORNER JOINTS

BASEMENT - UNFINISHED - CRACKS TO CONCRETE FLOOR NEAR BOILER.
DETACHED GARAGE - UNABLE TO ACCESS I/S.
DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO
2/3 GOOD CONDITION - 1 MINOR BUBBLES TO VINYL JOINTS,

#

TAPE 111-3987-3
WINDOWS THAT ARE BROKEN (LOCATION) Sun porch window (C) of porch door (East)

Home 8-4-04 8:30 A.M. LEFT MSG. w MY CAL # ? THUR OR FRI
PAGER
8-4-04 1:47 P.M. - DOBRA LEFT V.M. OK AFTER-NOON THUR. OR FRI.
#16 8-5-04 INSPECTED I/S + O/S

PREBLAST SURVEY CHECKLIST

DATE 6 - AUG - 04
LOCATION M 155 D 1

SAFETY SPECIALIST SKELHAN
JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT DOROTHY BERTI
ADDRESS OF PROPERTY 70 TORREY ST. PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT) _____
TELEPHONE NUMBER HOME (207) 774-2137 WORK () _____

TYPE OF STRUCTURE AGE OF BLDG WATER DIST. TO BLASTING
 WOOD 65+ YEARS _____ WELL 400' FEET
_____ STEEL _____ TOWN N-E'
_____ MASONRY
_____ COMBO

FOUNDATION TYPE RETAINING WALLS ANIMALS IN BUILDING
_____ STONE TYPE NO _____
_____ BLOCK _____ NO
 POURED _____
_____ MORTARED _____

POOL ON PROPERTY (TYPE) NO

CHIMNEY ON HOUSE (TYPE) BRICK - INTERIOR

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO
1ST FLR PLASTER / CRACKS TO WALLS + CEILINGS THROUGH-OUT
2ND FLR PLASTER CRACKS TO CORRIDOR CEILINGS.

BASEMENT UNFINISHED - 1 REPAIRED CRACK ON FRONT WALL. CRACKS + H₂O
STAINING AT ALL OTHER WINDOWS, CRACK TO BRICK CHIMNEY, H₂O
SEEPAGE ON FLOOR. CRACKS TO ATTACHED GARAGE FLOOR.

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO
GARAGE SOUTH WALL 2 CRACKS. BROKEN DRAIN SPOUTS ON NORTH
END, FOUNDATION WALL CRACK ON REAR OF HSE

TAPE # 111-3987-5
WINDOWS THAT ARE BROKEN (LOCATION) _____

8-6-04 - INSPECTED I/S + O/S

#20

REC'D 8-4-04

PREBLAST SURVEY CHECKLIST

DATE JULY 2004
LOCATION M 155 A 29

SAFETY SPECIALIST SKEHAN
JOB NUMBER 111-3987

NAME OF RESIDENT OR OCCUPANT Ann H. Tibbals
ADDRESS OF PROPERTY 90 Torrey Street PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT) _____
TELEPHONE NUMBER HOME (207) 772-4408 WORK () _____

<u>TYPE OF STRUCTURE</u>	<u>AGE OF BLDG</u>	<u>WATER</u>	<u>DIST. TO BLASTING</u>
<input checked="" type="checkbox"/> WOOD	<u>45 YEARS</u>	<input type="checkbox"/> WELL	<u>600-400 FEET</u>
<input type="checkbox"/> STEEL		<input checked="" type="checkbox"/> TOWN	<u>N-E</u>
<input type="checkbox"/> MASONRY			
<input type="checkbox"/> COMBO			

<u>FOUNDATION TYPE</u>	<u>RETAINING WALLS</u>	<u>ANIMALS IN BUILDING</u>
<input type="checkbox"/> STONE	TYPE <u>NO</u>	<u>1 cat</u>
<input type="checkbox"/> BLOCK		
<input checked="" type="checkbox"/> POURED	<u>No basement-crawl space</u>	
<input type="checkbox"/> MORTARED	<u>(ledge underneath)</u>	

POOL ON PROPERTY (TYPE) NO

CHIMNEY ON HOUSE (TYPE) brick

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO
1ST FLR GOOD CONDITION. UTILITY ROOM HAS CEILING DAMAGE

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO
O/S IN GOOD CONDITION.

TAPE # 111-3987-5
WINDOWS THAT ARE BROKEN (LOCATION) _____

8-4-04 9:00 AM. CALLED ANN - APPT FOR LATE A.M. FRI CALL AHEAD.

8-6-04 INSPECTED I/S + O/S

PREBLAST SURVEY CHECKLIST

DATE 13 - AUG - 04
LOCATION M 155 A 14

SAFETY SPECIALIST STEFAN
JOB NUMBER #111-3987

NAME OF RESIDENT OR OCCUPANT IAN A. + ALISON S MCLAN
ADDRESS OF PROPERTY 39 TORREY ST. PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT) _____
TELEPHONE NUMBER HOME (207) _____ WORK () _____

TYPE OF STRUCTURE AGE OF BLDG WATER DIST. TO BLASTING
___ WOOD ___ YEARS ___ WELL ___ FEET
___ STEEL ___ TOWN
___ MASONRY
___ COMBO

FOUNDATION TYPE RETAINING WALLS ANIMALS IN BUILDING
___ STONE TYPE _____ _____
___ BLOCK _____ _____
___ POURED _____ _____
___ MORTARED _____ _____

POOL ON PROPERTY (TYPE) _____

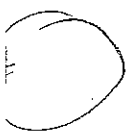
CHIMNEY ON HOUSE (TYPE) _____

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

WINDOWS THAT ARE BROKEN(LOCATION) _____

7-28-04 - NOTIFICATION PACKET MAILED - VIA 1ST CLASS MAIL
8-13-04 - NO RESPONSE



PREBLAST SURVEY CHECKLIST

DATE 13 - AUG - 04
LOCATION M 155 A 15

SAFETY SPECIALIST STEPHAN
JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT ROADLEY A. + JULIAN S. ROLAND
ADDRESS OF PROPERTY 41 TORREY ST., PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT) _____
TELEPHONE NUMBER HOME (607) _____ WORK () _____

TYPE OF STRUCTURE AGE OF BLDG WATER DIST. TO BLASTING
___ WOOD ___ YEARS ___ WELL _____ FEET
___ STEEL ___ TOWN
___ MASONRY
___ COMBO

FOUNDATION TYPE RETAINING WALLS ANIMALS IN BUILDING
___ STONE TYPE _____
___ BLOCK _____
___ POURED _____
___ MORTARED _____

POOL ON PROPERTY (TYPE) _____

CHIMNEY ON HOUSE (TYPE) _____

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

WINDOWS THAT ARE BROKEN (LOCATION) _____

7-28-04 - NOTIFICATION PACKET MAILED - VIA 1ST CLASS MAIL
8-13-04 - NO RESPONSE



PREBLAST SURVEY CHECKLIST

DATE 13 - AUG - 04
LOCATION MISS A 16

SAFETY SPECIALIST SKELAN
JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT ELLEN M. HONAN
ADDRESS OF PROPERTY 45 TROPHY ST. PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT) _____
TELEPHONE NUMBER HOME (207) _____ WORK () _____

TYPE OF STRUCTURE AGE OF BLDG WATER DIST. TO BLASTING
___ WOOD ___ YEARS ___ WELL _____ FEET
___ STEEL ___ TOWN
___ MASONRY
___ COMBO

FOUNDATION TYPE RETAINING WALLS ANIMALS IN BUILDING
___ STONE TYPE _____
___ BLOCK
___ POURED
___ MORTARED

POOL ON PROPERTY (TYPE) _____

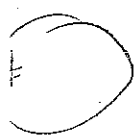
CHIMNEY ON HOUSE (TYPE) _____

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

WINDOWS THAT ARE BROKEN(LOCATION) _____

7-28-04 - NOTIFICATION PACKET MAILED - VIA 1ST CLASS MAIL
8-13-04 - NO RESPONSE



PREBLAST SURVEY CHECKLIST

DATE 13 - AUG - 04
LOCATION M 155 A 17

SAFETY SPECIALIST STEPHAN
JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT WILLIAM J. + AMY M. THORVAULT
ADDRESS OF PROPERTY 49 TORREY ST. PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT)
TELEPHONE NUMBER HOME (607) WORK ()

TYPE OF STRUCTURE AGE OF BLDG WATER DIST. TO BLASTING
WOOD YEARS WELL FEET
STEEL TOWN
MASONRY
COMBO

FOUNDATION TYPE RETAINING WALLS ANIMALS IN BUILDING
STONE TYPE
BLOCK
POURED
MORTARED

POOL ON PROPERTY (TYPE)

CHIMNEY ON HOUSE (TYPE)

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

WINDOWS THAT ARE BROKEN(LOCATION)

7-28-04 - NOTIFICATION PACKET MAILED - VIA 1ST CLASS MAIL
8-13-04 - NO RESPONSE

PREBLAST SURVEY CHECKLIST

DATE 13 - AUG - 04
LOCATION M 155 A 18

SAFETY SPECIALIST STEPHAN
JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT MARY GRIFFIN
ADDRESS OF PROPERTY 57 TORREY ST. PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT) _____
TELEPHONE NUMBER HOME (607) _____ WORK () _____

TYPE OF STRUCTURE AGE OF BLDG WATER DIST. TO BLASTING
____ WOOD _____ YEARS _____ WELL _____ FEET
____ STEEL _____ TOWN
____ MASONRY
____ COMBO

FOUNDATION TYPE RETAINING WALLS ANIMALS IN BUILDING
____ STONE TYPE _____
____ BLOCK _____
____ POURED _____
____ MORTARED _____

POOL ON PROPERTY (TYPE) _____

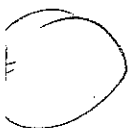
CHIMNEY ON HOUSE (TYPE) _____

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

WINDOWS THAT ARE BROKEN(LOCATION) _____

7-28-04 - NOTIFICATION PACKET MAILED - VIA 1ST CLASS MAIL
8-13-04 - NO RESPONSE



PREBLAST SURVEY CHECKLIST

DATE 13 - AUG - 04
LOCATION M 155 A 20

SAFETY SPECIALIST SKELAN
JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT RONALD E. + GRETCHEN ROAD
ADDRESS OF PROPERTY 65 TORREY ST. PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT) _____
TELEPHONE NUMBER HOME (607) _____ WORK () _____

TYPE OF STRUCTURE AGE OF BLDG WATER DIST. TO BLASTING
____ WOOD _____ YEARS _____ WELL _____ FEET
____ STEEL _____ TOWN
____ MASONRY
____ COMBO

FOUNDATION TYPE RETAINING WALLS ANIMALS IN BUILDING
____ STONE TYPE _____ _____
____ BLOCK _____
____ POURED _____
____ MORTARED _____

POOL ON PROPERTY (TYPE) _____

CHIMNEY ON HOUSE (TYPE) _____

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

WINDOWS THAT ARE BROKEN(LOCATION) _____

7-28-04 - NOTIFICATION PACKET MAILED - VIA 1ST CLASS MAIL
8-13-04 - NO RESPONSE



PREBLAST SURVEY CHECKLIST

DATE 13 - AUG - 04 SAFETY SPECIALIST SKEHAN
 LOCATION M 155 A 22 JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT JAMES W. VAUGHN
 ADDRESS OF PROPERTY 69 TORREY ST. PORTLAND, ME. 04103
 MAILING ADDRESS (IF DIFFERENT) _____
 TELEPHONE NUMBER HOME (207) _____ WORK () _____

<u>TYPE OF STRUCTURE</u>	<u>AGE OF BLDG</u>	<u>WATER</u>	<u>DIST. TO BLASTING</u>
<input type="checkbox"/> WOOD	_____ YEARS	<input type="checkbox"/> WELL	_____ FEET
<input type="checkbox"/> STEEL		<input type="checkbox"/> TOWN	
<input type="checkbox"/> MASONRY			
<input type="checkbox"/> COMBO			

<u>FOUNDATION TYPE</u>	<u>RETAINING WALLS</u>	<u>ANIMALS IN BUILDING</u>
<input type="checkbox"/> STONE	TYPE _____	_____
<input type="checkbox"/> BLOCK		_____
<input type="checkbox"/> POURED		_____
<input type="checkbox"/> MORTARED		_____

POOL ON PROPERTY (TYPE) _____

CHIMNEY ON HOUSE (TYPE) _____

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

WINDOWS THAT ARE BROKEN(LOCATION) _____

7-28-04 - NOTIFICATION PACKET MAILED - VIA 1ST CLASS MAIL
 8-13-04 - NO RESPONSE

PREBLAST SURVEY CHECKLIST

DATE 13 - AUG - 04 SAFETY SPECIALIST SWEHAN
LOCATION M 155 A 23 JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT CYNTHIA M. STOCKS
ADDRESS OF PROPERTY 75 TORREY ST. PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT)
TELEPHONE NUMBER HOME (607) WORK ()

TYPE OF STRUCTURE AGE OF BLDG WATER DIST. TO BLASTING
WOOD YEARS WELL FEET
STEEL TOWN
MASONRY
COMBO

FOUNDATION TYPE RETAINING WALLS ANIMALS IN BUILDING
STONE TYPE
BLOCK
POURED
MORTARED

POOL ON PROPERTY (TYPE)

CHIMNEY ON HOUSE (TYPE)

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

WINDOWS THAT ARE BROKEN (LOCATION)

7-28-04 - NOTIFICATION PACKET MAILED - VIA 1ST CLASS MAIL
8-13-04 - NO RESPONSE

PREBLAST SURVEY CHECKLIST

DATE 13 - AUG - 04 SAFETY SPECIALIST SKELHAN
LOCATION M 155 A 24 JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT JAMES F. FLANAGAN JR + CAROLYN STEVENS
ADDRESS OF PROPERTY 77 TORREY ST. PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT) 171 WALTON ST. PORTLAND, ME. 04103
TELEPHONE NUMBER HOME (607) _____ WORK () _____

TYPE OF STRUCTURE AGE OF BLDG WATER DIST. TO BLASTING
____ WOOD _____ YEARS _____ WELL _____ FEET
____ STEEL _____ TOWN
____ MASONRY
____ COMBO

FOUNDATION TYPE RETAINING WALLS ANIMALS IN BUILDING
____ STONE TYPE _____
____ BLOCK _____
____ POURED _____
____ MORTARED _____

POOL ON PROPERTY (TYPE) _____

CHIMNEY ON HOUSE (TYPE) _____

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

WINDOWS THAT ARE BROKEN(LOCATION) _____

7-28-04 - NOTIFICATION PACKET MAILED - VIA 1ST CLASS MAIL
8-13-04 - NO RESPONSE

PREBLAST SURVEY CHECKLIST

DATE 13 - AUG - 04
LOCATION M 155 A 30

SAFETY SPECIALIST SKELAN
JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT MAEY CONROY
ADDRESS OF PROPERTY 84 TORREY ST. PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT) _____
TELEPHONE NUMBER HOME (607) _____ WORK () _____

TYPE OF STRUCTURE AGE OF BLDG WATER DIST. TO BLASTING
____ WOOD _____ YEARS _____ WELL _____ FEET
____ STEEL _____ TOWN
____ MASONRY
____ COMBO
____ _____

FOUNDATION TYPE RETAINING WALLS ANIMALS IN BUILDING
____ STONE TYPE _____ _____
____ BLOCK _____
____ POURED _____
____ MORTARED _____

POOL ON PROPERTY (TYPE) _____

CHIMNEY ON HOUSE (TYPE) _____

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

WINDOWS THAT ARE BROKEN (LOCATION) _____

7-28-04 - NOTIFICATION PACKET MAILED - VIA 1ST CLASS MAIL
8-13-04 - NO RESPONSE



PREBLAST SURVEY CHECKLIST

DATE 13 - AUG - 04
LOCATION M 155 D 4

SAFETY SPECIALIST SKELHAN
JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT DORIS CLARK ROBINSON
ADDRESS OF PROPERTY 62 TORREY ST. PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT) _____
TELEPHONE NUMBER HOME (607) _____ WORK () _____

TYPE OF STRUCTURE AGE OF BLDG WATER DIST. TO BLASTING
____ WOOD _____ YEARS _____ WELL _____ FEET
____ STEEL _____ TOWN
____ MASONRY
____ COMBO
____ _____

FOUNDATION TYPE RETAINING WALLS ANIMALS IN BUILDING
____ STONE TYPE _____ _____
____ BLOCK _____
____ POURED _____
____ MORTARED _____

POOL ON PROPERTY (TYPE) _____

CHIMNEY ON HOUSE (TYPE) _____

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

WINDOWS THAT ARE BROKEN(LOCATION) _____



7-28-04 - NOTIFICATION PACKET MAILED - VIA 1ST CLASS MAIL
8-13-04 - NO RESPONSE

PREBLAST SURVEY CHECKLIST

DATE 13 - AUG - 04
LOCATION M 155 D 5

SAFETY SPECIALIST SKIFLIAN
JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT ROBERT W. DOMBROS + ELAINE M. O'REILLY
ADDRESS OF PROPERTY 58 TORREY ST. PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT) _____
TELEPHONE NUMBER HOME (607) _____ WORK () _____

TYPE OF STRUCTURE AGE OF BLDG WATER DIST. TO BLASTING
____ WOOD _____ YEARS _____ WELL _____ FEET
____ STEEL _____ TOWN
____ MASONRY
____ COMBO

FOUNDATION TYPE RETAINING WALLS ANIMALS IN BUILDING
____ STONE TYPE _____ _____
____ BLOCK _____
____ POURED _____
____ MORTARED _____

POOL ON PROPERTY (TYPE) _____

CHIMNEY ON HOUSE (TYPE) _____

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

WINDOWS THAT ARE BROKEN(LOCATION) _____

7-28-04 - NOTIFICATION PACKET MAILED - VIA 1ST CLASS MAIL
8-13-04 - NO RESPONSE



PREBLAST SURVEY CHECKLIST

DATE 13 - AUG - 04 SAFETY SPECIALIST SKIFLIAN
LOCATION M 155 D 6 JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT SUSAN F. BROAU
ADDRESS OF PROPERTY 56 TORREY ST, PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT) _____
TELEPHONE NUMBER HOME (607) _____ WORK () _____

TYPE OF STRUCTURE AGE OF BLDG WATER DIST. TO BLASTING
____ WOOD _____ YEARS _____ WELL _____ FEET
____ STEEL _____ TOWN
____ MASONRY
____ COMBO

FOUNDATION TYPE RETAINING WALLS ANIMALS IN BUILDING
____ STONE TYPE _____ _____
____ BLOCK _____
____ POURED _____
____ MORTARED _____

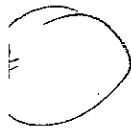
POOL ON PROPERTY (TYPE) _____

CHIMNEY ON HOUSE (TYPE) _____

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

WINDOWS THAT ARE BROKEN(LOCATION) _____



7-28-04 - NOTIFICATION PACKET MAILED - VIA 1ST CLASS MAIL
8-13-04 - NO RESPONSE

PREBLAST SURVEY CHECKLIST

DATE 13 - AUG - 04 SAFETY SPECIALIST STEPHAN
LOCATION M 155 D 8 JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT CHRISTENE M. TOOHEY
ADDRESS OF PROPERTY 44 TORREY ST. PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT) _____
TELEPHONE NUMBER HOME (607) _____ WORK () _____

TYPE OF STRUCTURE AGE OF BLDG WATER DIST. TO BLASTING
____ WOOD _____ YEARS _____ WELL _____ FEET
____ STEEL _____ TOWN
____ MASONRY
____ COMBO

FOUNDATION TYPE RETAINING WALLS ANIMALS IN BUILDING
____ STONE TYPE _____ _____
____ BLOCK _____
____ POURED _____
____ MORTARED _____

POOL ON PROPERTY (TYPE) _____

CHIMNEY ON HOUSE (TYPE) _____

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

WINDOWS THAT ARE BROKEN(LOCATION) _____

7-28-04 - NOTIFICATION PACKET MAILED - VIA 1ST CLASS MAIL
8-13-04 - NO RESPONSE



PREBLAST SURVEY CHECKLIST

DATE AUG - 04
LOCATION M 149 G 37

SAFETY SPECIALIST SKELAN
JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT DANIELLE VAYENAS (VACANT FORMERLY McBOE)
ADDRESS OF PROPERTY 87 TORREY ST. PORTLAND, ME. 04103

MAILING ADDRESS (IF DIFFERENT) _____
TELEPHONE NUMBER HOME (007) _____ WORK (007) 797-7688 EXT 4375
U.N.E.

TYPE OF STRUCTURE AGE OF BLDG WATER DIST. TO BLASTING
 WOOD 8 YEARS WELL _____ FEET
 STEEL _____ TOWN _____
 MASONRY
 COMBO

FOUNDATION TYPE RETAINING WALLS ANIMALS IN BUILDING
 STONE TYPE NO _____
 BLOCK _____ _____
 POURED _____ _____
 MORTARED _____

POOL ON PROPERTY (TYPE) NO

CHIMNEY ON HOUSE (TYPE) POWERVENT

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO
HSE CURRENTLY BEING RE-PAINTED
1ST FLR. NO DAMAGE OBSERVED.
2ND FLR. " " " " / LARGE GAPS BETWEEN SHEETROCK WALLS

BASEMENT - UNFINISHED - NO CRACKS TO WALLS CONCRETE FLOOR HAS 2 CRACKS FROM END TO END, AND SEVERAL CRACKS BRANCHING FROM THEM.

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO
0/5 IN GOOD CONDITION, 1 SMALL BREAK TO VINYL SIDING TOP LEFT OF FRONT DOOR

TAPE # 111-3987-8
WINDOWS THAT ARE BROKEN (LOCATION) _____

8-11-04 12:45 P.M. DANIELLE LEFT V.M.
2:00 P.M. RPT CALL APPT FRI 13 9. A.M

7138

Rec'd 8-11-04

PREBLAST SURVEY CHECKLIST

DATE JULY 2004
LOCATION _____

SAFETY SPECIALIST SKEHAN
JOB NUMBER 111-3987

NAME OF RESIDENT OR OCCUPANT BARBARA Aleggi (H&F FOR SALE)
ADDRESS OF PROPERTY 38 TORREY ST PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT) _____

TELEPHONE NUMBER HOME (207) 773-5358 WORK () _____

**Call any day after 3:00 to schedule appt **

<u>TYPE OF STRUCTURE</u>	<u>AGE OF BLDG</u>	<u>WATER</u>	<u>DIST. TO BLASTING</u>
<input checked="" type="checkbox"/> WOOD	<u>104</u> YEARS	<input type="checkbox"/> WELL	<u>600</u> FEET
<input type="checkbox"/> STEEL		<input checked="" type="checkbox"/> TOWN	
<input type="checkbox"/> MASONRY			
<input type="checkbox"/> COMBO			

<u>FOUNDATION TYPE</u>	<u>RETAINING WALLS</u>	<u>ANIMALS IN BUILDING</u>
------------------------	------------------------	----------------------------

<u>1/2</u> → <input checked="" type="checkbox"/> STONE	<u>TYPE MORTARED BRICK</u>	<u>none</u>
<input type="checkbox"/> BLOCK	<u>3'4" x 4' x 30'</u>	
<input type="checkbox"/> POURED	<u>PAVING TIE</u>	
<u>1/2</u> BRICK & <input checked="" type="checkbox"/> MORTARED	<u>18" x 65'</u>	

POOL ON PROPERTY (TYPE) none

CHIMNEY ON HOUSE (TYPE) BRICK / INTERIOR

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO
8-13-04 0/S ONLY.

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO
EXCELLENT CONDITION / NO VISIBLE CRACKS OR DAMAGE.

F CEDAR RAIL FENCES on WEST SIDE OF PROPERTY VERY OLD & LEANING TOWARDS HOUSE. PROPPED UP BY STICKS.

TAP # 111-3987-9
WINDOWS THAT ARE BROKEN (LOCATION) _____

7-11-04 9:25 A.M. LEFT MSG. w/ MY CELL # ? TODAY OR FRI A.M.?

8-13-04 7:48 A.M. ARNA CALLED 828-3039
11:05 A.M. I RET. CALL ARNA WANTS DONS TUE 17 OR WED 18? I TOLD HER BLASTING WOULD START on 16TH.

8-17-04 SHE AGREED THAT I COULD SURVEY 0/S TODAY.
INSTRUCTED 0/S ONLY

PREBLAST SURVEY CHECKLIST

DATE 5 - AUG - 04
LOCATION M 160 G 18

SAFETY SPECIALIST SKEHAN
JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT RACHEL JOHNSON
ADDRESS OF PROPERTY 67 WELL WOOD RD. PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT) _____
TELEPHONE NUMBER HOME (207) 774-1256 WORK () _____
DAUGHTER FLORENCE GLIDDEN 774-0453

<u>TYPE OF STRUCTURE</u>	<u>AGE OF BLDG</u>	<u>WATER</u>	<u>DIST. TO BLASTING</u>
<input checked="" type="checkbox"/> WOOD	<u>63</u> YEARS	<input type="checkbox"/> WELL	<u>325'</u> FEET
<input type="checkbox"/> STEEL		<input checked="" type="checkbox"/> TOWN	<u>NORTH</u>
<input type="checkbox"/> MASONRY			
<input type="checkbox"/> COMBO			

<u>FOUNDATION TYPE</u>	<u>RETAINING WALLS</u>	<u>ANIMALS IN BUILDING</u>
<input type="checkbox"/> STONE	TYPE <u>NO</u>	<u>NO</u>
<input type="checkbox"/> BLOCK		
<input checked="" type="checkbox"/> POURED		
<input type="checkbox"/> MORTARED		

POOL ON PROPERTY (TYPE) NO

CHIMNEY ON HOUSE (TYPE) BRICK - INTERIOR

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO
1ST FLR. KITCHEN PLASTER CRACKS TO WALLS + CEILING, LIV RM. PLASTER
CRACKS TO WALLS + CEILING.
BASEMENT - UNFINISHED. 1 CRACK ON 1/2 FOUNDATION WALL @
BOTTOM LEFT CORNER OF CELLAR WINDOW ABOVE WASHER.
CRACKS TO CONCRETE FLOOR.

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO
0/5 IN GOOD CONDITION.
BRICK MISSING FROM TOP OF CHIMNEY.

TAPE # 111-3987-2
WINDOWS THAT ARE BROKEN (LOCATION) _____

#

#10 8-5-04 INSPECTED - 1/2 KIT, LIV, + BASEMENT + 0/5.
@ MRS. JOHNSON'S REQUEST.

PREBLAST SURVEY CHECKLIST

DATE 13 - AUG - 04
LOCATION M 155 B 25

SAFETY SPECIALIST STEPHAN
JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT EQR PLANTATION VISTAS INC.
ADDRESS OF PROPERTY WASHINGTON AVE. PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT) P.O. BOX 19301 CHICAGO, IL. 60680
TELEPHONE NUMBER HOME (607) _____ WORK () _____

TYPE OF STRUCTURE AGE OF BLDG WATER DIST. TO BLASTING
___ WOOD _____ YEARS ___ WELL _____ FEET
___ STEEL
___ MASONRY _____ TOWN
___ COMBO

FOUNDATION TYPE RETAINING WALLS ANIMALS IN BUILDING
___ STONE TYPE _____
___ BLOCK
___ POURED
___ MORTARED

POOL ON PROPERTY (TYPE) _____

CHIMNEY ON HOUSE (TYPE) _____

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

WINDOWS THAT ARE BROKEN(LOCATION) _____

7-28-04 - NOTIFICATION PACKET MAILED - VIA 1ST CLASS MAIL
8-13-04 - NO RESPONSE RETURNED TO SENDER

PREBLAST SURVEY CHECKLIST

DATE 13 - AUG - 04
LOCATION M 155 A 1

SAFETY SPECIALIST STEPHAN
JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT REBECCA S. STRAUSS
ADDRESS OF PROPERTY 76 WELLMOOD RD. PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT)
TELEPHONE NUMBER HOME (607) WORK ()

TYPE OF STRUCTURE AGE OF BLDG WATER DIST. TO BLASTING
WOOD YEARS WELL FEET
STEEL TOWN
MASONRY
COMBO

FOUNDATION TYPE RETAINING WALLS ANIMALS IN BUILDING
STONE TYPE
BLOCK
POURED
MORTARED

POOL ON PROPERTY (TYPE)

CHIMNEY ON HOUSE (TYPE)

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

WINDOWS THAT ARE BROKEN(LOCATION)

7-28-04 - NOTIFICATION PACKET MAILED - VIA 1ST CLASS MAIL
8-13-04 - NO RESPONSE

PREBLAST SURVEY CHECKLIST

DATE 13 - AUG - 04
LOCATION M 155 A 6

SAFETY SPECIALIST SKEHAN
JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT CORA EDWARDS
ADDRESS OF PROPERTY 64 WELLMOOD RD. PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT)
TELEPHONE NUMBER HOME (607) WORK ()

TYPE OF STRUCTURE AGE OF BLDG WATER DIST. TO BLASTING
WOOD YEARS WELL FEET
STEEL TOWN
MASONRY
COMBO

FOUNDATION TYPE RETAINING WALLS ANIMALS IN BUILDING
STONE TYPE
BLOCK
POURED
MORTARED

POOL ON PROPERTY (TYPE)

CHIMNEY ON HOUSE (TYPE)

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

WINDOWS THAT ARE BROKEN(LOCATION)

7-28-04 - NOTIFICATION PACKET MAILED - VIA 1ST CLASS MAIL
8-13-04 - NO RESPONSE

PREBLAST SURVEY CHECKLIST

DATE 13 - AUG - 04
LOCATION M 155 A 1

SAFETY SPECIALIST SIGHEAN
JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT PENELOPE D. SIBOIS
ADDRESS OF PROPERTY WELLWOOD RD. PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT) 171 SWIFTY LN SACO, ME. 04072
TELEPHONE NUMBER HOME (607) _____ WORK () _____

<u>TYPE OF STRUCTURE</u>	<u>AGE OF BLDG</u>	<u>WATER</u>	<u>DIST. TO BLASTING</u>
<input type="checkbox"/> WOOD	_____ YEARS	<input type="checkbox"/> WELL	_____ FEET
<input type="checkbox"/> STEEL		<input type="checkbox"/> TOWN	
<input type="checkbox"/> MASONRY			
<input type="checkbox"/> COMBO			

<u>FOUNDATION TYPE</u>	<u>RETAINING WALLS</u>	<u>ANIMALS IN BUILDING</u>
<input type="checkbox"/> STONE	TYPE _____	_____
<input type="checkbox"/> BLOCK		_____
<input type="checkbox"/> POURED		_____
<input type="checkbox"/> MORTARED		_____

POOL ON PROPERTY (TYPE) _____

CHIMNEY ON HOUSE (TYPE) _____

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

WINDOWS THAT ARE BROKEN(LOCATION) _____

7-28-04 - NOTIFICATION PACKET MAILED - VIA 1ST CLASS MAIL
8-13-04 - NO RESPONSE

PREBLAST SURVEY CHECKLIST

DATE 13 - AUG - 04
LOCATION M 155 A 8

SAFETY SPECIALIST STEPHAN
JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT STEPHEN J. + CHRISTINE D. McDUFFIE
ADDRESS OF PROPERTY 52 WELLWOOD RD. PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT) _____
TELEPHONE NUMBER HOME (607) _____ WORK () _____

TYPE OF STRUCTURE AGE OF BLDG WATER DIST. TO BLASTING
___ WOOD _____ YEARS ___ WELL _____ FEET
___ STEEL _____ ___ TOWN
___ MASONRY
___ COMBO

FOUNDATION TYPE RETAINING WALLS ANIMALS IN BUILDING
___ STONE TYPE _____ _____
___ BLOCK _____ _____
___ POURED _____ _____
___ MORTARED _____ _____

POOL ON PROPERTY (TYPE) _____

CHIMNEY ON HOUSE (TYPE) _____

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

WINDOWS THAT ARE BROKEN (LOCATION) _____

7-28-04 - NOTIFICATION PACKET MAILED - VIA 1ST CLASS MAIL
8-13-04 - NO RESPONSE

PREBLAST SURVEY CHECKLIST

DATE 13 - AUG - 04
LOCATION M 155 A 11

SAFETY SPECIALIST STEPHAN
JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT ERNEST S. + DOBOTHY A. VALANTE
ADDRESS OF PROPERTY 44 WELLMOOD RD. PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT)
TELEPHONE NUMBER HOME (607) WORK ()

TYPE OF STRUCTURE AGE OF BLDG WATER DIST. TO BLASTING
WOOD YEARS WELL FEET
STEEL TOWN
MASONRY
COMBO

FOUNDATION TYPE RETAINING WALLS ANIMALS IN BUILDING
STONE TYPE
BLOCK
POURED
MORTARED

POOL ON PROPERTY (TYPE)

CHIMNEY ON HOUSE (TYPE)

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

WINDOWS THAT ARE BROKEN(LOCATION)

7-28-04 - NOTIFICATION PACKET MAILED - VIA 1ST CLASS MAIL
8-13-04 - NO RESPONSE

PREBLAST SURVEY CHECKLIST

DATE 13 - AUG - 04
LOCATION M 155 A 13

SAFETY SPECIALIST STEPHAN
JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT PHYLLIS L. CROWE
ADDRESS OF PROPERTY 36 WELWOOD RD. PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT) _____
TELEPHONE NUMBER HOME (607) _____ WORK () _____

TYPE OF STRUCTURE AGE OF BLDG WATER DIST. TO BLASTING
___ WOOD ___ YEARS ___ WELL ___ FEET
___ STEEL
___ MASONRY ___ TOWN
___ COMBO

FOUNDATION TYPE RETAINING WALLS ANIMALS IN BUILDING
___ STONE TYPE _____
___ BLOCK
___ POURED
___ MORTARED

POOL ON PROPERTY (TYPE) _____

CHIMNEY ON HOUSE (TYPE) _____

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

WINDOWS THAT ARE BROKEN(LOCATION) _____

7-28-04 - NOTIFICATION PACKET MAILED - VIA 1ST CLASS MAIL
8-13-04 - NO RESPONSE



PREBLAST SURVEY CHECKLIST

DATE 13 - AUG - 04
LOCATION M 160 F 36

SAFETY SPECIALIST STEPHAN
JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT JOHN R. + LISA C. DARLING
ADDRESS OF PROPERTY 79 WALWOOD RD. PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT)
TELEPHONE NUMBER HOME (607) WORK ()

TYPE OF STRUCTURE AGE OF BLDG WATER DIST. TO BLASTING
WOOD YEARS WELL FEET
STEEL TOWN
MASONRY
COMBO

FOUNDATION TYPE RETAINING WALLS ANIMALS IN BUILDING
STONE TYPE
BLOCK
POURED
MORTARED

POOL ON PROPERTY (TYPE)

CHIMNEY ON HOUSE (TYPE)

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

WINDOWS THAT ARE BROKEN(LOCATION)

7-28-04 - NOTIFICATION PACKET MAILED - VIA 1ST CLASS MAIL
8-13-04 - NO RESPONSE



PREBLAST SURVEY CHECKLIST

DATE 13 - AUG - 04
LOCATION M 160 G 19

SAFETY SPECIALIST SKELAN
JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT JAMES L. WATSON
ADDRESS OF PROPERTY WILLOW RD. PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT) 11 HUNTS POINT RD. CAPE ELIZABETH, ME. 04107
TELEPHONE NUMBER HOME (607) _____ WORK () _____

TYPE OF STRUCTURE AGE OF BLDG WATER DIST. TO BLASTING
____ WOOD _____ YEARS _____ WELL _____ FEET
____ STEEL _____ TOWN
____ MASONRY
____ COMBO

FOUNDATION TYPE RETAINING WALLS ANIMALS IN BUILDING
____ STONE TYPE _____
____ BLOCK _____
____ POURED _____
____ MORTARED _____

POOL ON PROPERTY (TYPE) _____

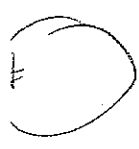
CHIMNEY ON HOUSE (TYPE) _____

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

WINDOWS THAT ARE BROKEN(LOCATION) _____

7-28-04 - NOTIFICATION PACKET MAILED - VIA 1ST CLASS MAIL
8-13-04 - NO RESPONSE



PREBLAST SURVEY CHECKLIST

DATE 13 - AUG - 04 SAFETY SPECIALIST STEPHAN
LOCATION M 160 G 20 JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT DAVID W. JAMISON
ADDRESS OF PROPERTY 61 WELLSWOOD RD. PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT) _____
TELEPHONE NUMBER HOME (607) _____ WORK () _____

TYPE OF STRUCTURE AGE OF BLDG WATER DIST. TO BLASTING
___ WOOD ___ YEARS ___ WELL ___ FEET
___ STEEL ___ TOWN
___ MASONRY
___ COMBO

FOUNDATION TYPE RETAINING WALLS ANIMALS IN BUILDING
___ STONE TYPE _____ _____
___ BLOCK _____ _____
___ POURED _____ _____
___ MORTARED _____ _____

POOL ON PROPERTY (TYPE) _____

CHIMNEY ON HOUSE (TYPE) _____

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

WINDOWS THAT ARE BROKEN(LOCATION) _____

7-28-04 - NOTIFICATION PACKET MAILED - VIA 1ST CLASS MAIL
8-13-04 - NO RESPONSE



PREBLAST SURVEY CHECKLIST

DATE 13 - AUG - 04
LOCATION M 160 G 21

SAFETY SPECIALIST STEPHAN
JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT MURIEL FELT FOSTER
ADDRESS OF PROPERTY 55 WELLWOOD RD. PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT) 4832 N. GLEN ARDEN COVINA, CA. 91724
TELEPHONE NUMBER HOME (607) _____ WORK () _____

TYPE OF STRUCTURE AGE OF BLDG WATER DIST. TO BLASTING
____ WOOD _____ YEARS _____ WELL _____ FEET
____ STEEL _____ TOWN
____ MASONRY
____ COMBO
____ _____

FOUNDATION TYPE RETAINING WALLS ANIMALS IN BUILDING
____ STONE TYPE _____
____ BLOCK _____
____ POURED _____
____ MORTARED _____

POOL ON PROPERTY (TYPE) _____

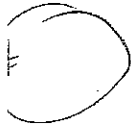
CHIMNEY ON HOUSE (TYPE) _____

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

WINDOWS THAT ARE BROKEN(LOCATION) _____

7-28-04 - NOTIFICATION PACKET MAILED - VIA 1ST CLASS MAIL
8-13-04 - NO RESPONSE



PREBLAST SURVEY CHECKLIST

DATE 13 - AUG - 04
LOCATION M 160 H 21

SAFETY SPECIALIST STEPHAN
JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT CHRISTINE GRAVENOR
ADDRESS OF PROPERTY 43 WELWOOD RD. PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT)
TELEPHONE NUMBER HOME (607) WORK ()

TYPE OF STRUCTURE AGE OF BLDG WATER DIST. TO BLASTING
WOOD YEARS WELL FEET
STEEL TOWN
MASONRY
COMBO

FOUNDATION TYPE RETAINING WALLS ANIMALS IN BUILDING
STONE TYPE
BLOCK
POURED
MORTARED

POOL ON PROPERTY (TYPE)

CHIMNEY ON HOUSE (TYPE)

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

WINDOWS THAT ARE BROKEN(LOCATION)

7-28-04 - NOTIFICATION PACKET MAILED - VIA 1ST CLASS MAIL
8-13-04 - NO RESPONSE



PREBLAST SURVEY CHECKLIST

DATE 13 - AUG - 04 SAFETY SPECIALIST SKELAN
LOCATION M 160 H 22 JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT DONALD B. + CAROLE ANN DUNPHE
ADDRESS OF PROPERTY 35 WILLOW RD. PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT) _____
TELEPHONE NUMBER HOME (607) _____ WORK () _____

TYPE OF STRUCTURE AGE OF BLDG WATER DIST. TO BLASTING
____ WOOD _____ YEARS _____ WELL _____ FEET
____ STEEL _____ TOWN
____ MASONRY
____ COMBO

FOUNDATION TYPE RETAINING WALLS ANIMALS IN BUILDING
____ STONE TYPE _____
____ BLOCK _____
____ POURED _____
____ MORTARED _____

POOL ON PROPERTY (TYPE) _____

CHIMNEY ON HOUSE (TYPE) _____

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

WINDOWS THAT ARE BROKEN (LOCATION) _____

7-28-04 - NOTIFICATION PACKET MAILED - VIA 1ST CLASS MAIL
8-13-04 - NO RESPONSE



PREBLAST SURVEY CHECKLIST

DATE AUG - 04
LOCATION _____

SAFETY SPECIALIST STEFAN
JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT POLLY WILSON
ADDRESS OF PROPERTY 72 WILLOWOOD RD. PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT) _____
TELEPHONE NUMBER HOME (207) 774-0337 WORK () _____

<u>TYPE OF STRUCTURE</u>	<u>AGE OF BLDG</u>	<u>WATER</u>	<u>DIST. TO BLASTING</u>
<input type="checkbox"/> WOOD	_____ YEARS	<input type="checkbox"/> WELL	_____ FEET
<input type="checkbox"/> STEEL		<input type="checkbox"/> TOWN	
<input type="checkbox"/> MASONRY			
<input type="checkbox"/> COMBO			

<u>FOUNDATION TYPE</u>	<u>RETAINING WALLS</u>	<u>ANIMALS IN BUILDING</u>
<input type="checkbox"/> STONE	TYPE _____	_____
<input type="checkbox"/> BLOCK		_____
<input type="checkbox"/> POURED		_____
<input type="checkbox"/> MORTARED		_____

POOL ON PROPERTY (TYPE) _____

CHIMNEY ON HOUSE (TYPE) _____

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

WINDOWS THAT ARE BROKEN (LOCATION) _____

8-2-04 V.M. FROM POLLY

8-3-04 9:50 A.M. I RETURNED CALL. SPOKE w/ GUS GOODWIN, + ANSWERED QUESTIONS "WILL CALL BACK IF SURVEY WANTED"

PREBLAST SURVEY CHECKLIST

DATE AUG - 04
LOCATION _____

SAFETY SPECIALIST SKELHAN
JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT LISA SCHULTZ
ADDRESS OF PROPERTY _____
MAILING ADDRESS (IF DIFFERENT) PORTLAND, ME. 04103

TELEPHONE NUMBER HOME (607) 232-9170 WORK () _____

<u>TYPE OF STRUCTURE</u>	<u>AGE OF BLDG</u>	<u>WATER</u>	<u>DIST. TO BLASTING</u>
<input type="checkbox"/> WOOD	_____ YEARS	<input type="checkbox"/> WELL	_____ FEET
<input type="checkbox"/> STEEL		<input type="checkbox"/> TOWN	
<input type="checkbox"/> MASONRY			
<input type="checkbox"/> COMBO			

<u>FOUNDATION TYPE</u>	<u>RETAINING WALLS</u>	<u>ANIMALS IN BUILDING</u>
<input type="checkbox"/> STONE	TYPE _____	_____
<input type="checkbox"/> BLOCK		_____
<input type="checkbox"/> POURED		_____
<input type="checkbox"/> MORTARED		_____

POOL ON PROPERTY (TYPE) _____

CHIMNEY ON HOUSE (TYPE) _____

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

WINDOWS THAT ARE BROKEN(LOCATION) _____

8-12-04 11:57 A.M. LIZA LEFT V.M.
8-13-04 7:45 A.M. I GOT CALL LEFT MSG w/ MY CELL # ? ADDRESS + ? TODAY

PREBLAST SURVEY CHECKLIST

DATE 13 - AUG - 04 SAFETY SPECIALIST STEPHAN
LOCATION M 15th A 17 JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT ALLAN + SALLY HYBORG
ADDRESS OF PROPERTY 15 DUDLEY ST. PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT) _____
TELEPHONE NUMBER HOME (607) _____ WORK () _____

TYPE OF STRUCTURE AGE OF BLDG WATER DIST. TO BLASTING
___ WOOD ___ YEARS ___ WELL ___ FEET
___ STEEL ___ TOWN
___ MASONRY
___ COMBO

FOUNDATION TYPE RETAINING WALLS ANIMALS IN BUILDING
___ STONE TYPE _____ _____
___ BLOCK _____
___ POURED _____
___ MORTARED _____

POOL ON PROPERTY (TYPE) _____

CHIMNEY ON HOUSE (TYPE) _____

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

WINDOWS THAT ARE BROKEN (LOCATION) _____

7-28-04 - NOTIFICATION PACKET MAILED - VIA 1ST CLASS MAIL
8-13-04 - NO RESPONSE

PREBLAST SURVEY CHECKLIST

DATE 13 - AUG - 04
LOCATION M 159 A 29

SAFETY SPECIALIST SKELHAN
JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT PORTLAND TRAILS
ADDRESS OF PROPERTY DUDLEY ST. PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT) 1 INDIA ST. PORTLAND, ME. 04101
TELEPHONE NUMBER HOME (607) _____ WORK () _____

TYPE OF STRUCTURE AGE OF BLDG WATER DIST. TO BLASTING
___ WOOD _____ YEARS ___ WELL _____ FEET
___ STEEL _____ ___ TOWN
___ MASONRY
___ COMBO

FOUNDATION TYPE RETAINING WALLS ANIMALS IN BUILDING
___ STONE TYPE _____ _____
___ BLOCK _____ _____
___ POURED _____ _____
___ MORTARED _____ _____

POOL ON PROPERTY (TYPE) _____

CHIMNEY ON HOUSE (TYPE) _____

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

WINDOWS THAT ARE BROKEN(LOCATION) _____



7-28-04 - NOTIFICATION PACKET MAILED - VIA 1ST CLASS MAIL
8-13-04 - NO RESPONSE

PREBLAST SURVEY CHECKLIST

DATE 13-AUG-04
LOCATION M 159 B 1

SAFETY SPECIALIST STEPHAN
JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT ROBERT C. HAINS
ADDRESS OF PROPERTY DUDLEY ST. PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT) 250 HOLM AVE. PORTLAND, ME. 04102
TELEPHONE NUMBER HOME (607) WORK ()

TYPE OF STRUCTURE AGE OF BLDG WATER DIST. TO BLASTING
WOOD YEARS WELL FEET
STEEL TOWN
MASONRY
COMBO

FOUNDATION TYPE RETAINING WALLS ANIMALS IN BUILDING
STONE TYPE
BLOCK
POURED
MORTARED

POOL ON PROPERTY (TYPE)

CHIMNEY ON HOUSE (TYPE)

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

WINDOWS THAT ARE BROKEN(LOCATION)

7-28-04 - NOTIFICATION PACKET MAILED - VIA 1ST CLASS MAIL
8-13-04 - NO RESPONSE

PREBLAST SURVEY CHECKLIST

DATE 13 - AUG - 04
LOCATION M 160 D 32

SAFETY SPECIALIST STEPHAN
JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT PAUL J. BURKE
ADDRESS OF PROPERTY DUDLEY ST. PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT) MONICA BURKE 19 GROVE ST. BANGOR, ME. 04401
TELEPHONE NUMBER HOME (607) _____ WORK () _____

TYPE OF STRUCTURE AGE OF BLDG WATER DIST. TO BLASTING
____ WOOD _____ YEARS _____ WELL _____ FEET
____ STEEL _____ TOWN
____ MASONRY
____ COMBO

FOUNDATION TYPE RETAINING WALLS ANIMALS IN BUILDING
____ STONE TYPE _____
____ BLOCK _____
____ POURED _____
____ MORTARED _____

POOL ON PROPERTY (TYPE) _____

CHIMNEY ON HOUSE (TYPE) _____

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

WINDOWS THAT ARE BROKEN(LOCATION) _____

7-28-04 - NOTIFICATION PACKET MAILED - VIA 1ST CLASS MAIL
8-13-04 - NO RESPONSE

PREBLAST SURVEY CHECKLIST

DATE 13 - AUG - 04
LOCATION M 160 D 38

SAFETY SPECIALIST SKIFAN
JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT THOMAS F. KANE III
ADDRESS OF PROPERTY DUDLEY ST. PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT) 71 CHELSEY AVE. PORTLAND, ME. 04103
TELEPHONE NUMBER HOME (607) _____ WORK () _____

TYPE OF STRUCTURE AGE OF BLDG WATER DIST. TO BLASTING
____ WOOD _____ YEARS _____ WELL _____ FEET
____ STEEL _____ TOWN
____ MASONRY
____ COMBO

FOUNDATION TYPE RETAINING WALLS ANIMALS IN BUILDING
____ STONE TYPE _____ _____
____ BLOCK _____
____ POURED _____
____ MORTARED _____

POOL ON PROPERTY (TYPE) _____

CHIMNEY ON HOUSE (TYPE) _____

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

WINDOWS THAT ARE BROKEN(LOCATION) _____

7-28-04 - NOTIFICATION PACKET MAILED - VIA 1ST CLASS MAIL
8-13-04 - NO RESPONSE

PREBLAST SURVEY CHECKLIST

DATE 13 - AUG - 04
LOCATION M 160 G 7

SAFETY SPECIALIST SKIFAN
JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT FREDERICK E. ISBISTER
ADDRESS OF PROPERTY DUDLEY ST. PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT) 188 RAINBOW LANE SIDNEY, ME. 04330
TELEPHONE NUMBER HOME (607) _____ WORK () _____

<u>TYPE OF STRUCTURE</u>	<u>AGE OF BLDG</u>	<u>WATER</u>	<u>DIST. TO BLASTING</u>
<input type="checkbox"/> WOOD	_____ YEARS	<input type="checkbox"/> WELL	_____ FEET
<input type="checkbox"/> STEEL		<input type="checkbox"/> TOWN	
<input type="checkbox"/> MASONRY			
<input type="checkbox"/> COMBO			

<u>FOUNDATION TYPE</u>	<u>RETAINING WALLS</u>	<u>ANIMALS IN BUILDING</u>
<input type="checkbox"/> STONE	TYPE _____	_____
<input type="checkbox"/> BLOCK		_____
<input type="checkbox"/> POURED		_____
<input type="checkbox"/> MORTARED		_____

POOL ON PROPERTY (TYPE) _____

CHIMNEY ON HOUSE (TYPE) _____

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

WINDOWS THAT ARE BROKEN(LOCATION) _____

7-28-04 - NOTIFICATION PACKET MAILED - VIA 1ST CLASS MAIL
8-13-04 - NO RESPONSE

PREBLAST SURVEY CHECKLIST

DATE 13 - AUG - 04
LOCATION M 161 E 12

SAFETY SPECIALIST SKELAN
JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT CHARLES A. THOMPSON
ADDRESS OF PROPERTY GERALD AVE. PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT) 984 WASHINGTON AVE PORTLAND, ME 04103
TELEPHONE NUMBER HOME (607) _____ WORK () _____

<u>TYPE OF STRUCTURE</u>	<u>AGE OF BLDG</u>	<u>WATER</u>	<u>DIST. TO BLASTING</u>
<input type="checkbox"/> WOOD	_____ YEARS	<input type="checkbox"/> WELL	_____ FEET
<input type="checkbox"/> STEEL		<input type="checkbox"/> TOWN	
<input type="checkbox"/> MASONRY			
<input type="checkbox"/> COMBO			

<u>FOUNDATION TYPE</u>	<u>RETAINING WALLS</u>	<u>ANIMALS IN BUILDING</u>
<input type="checkbox"/> STONE	TYPE _____	_____
<input type="checkbox"/> BLOCK		_____
<input type="checkbox"/> POURED		_____
<input type="checkbox"/> MORTARED		_____

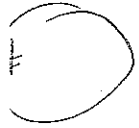
POOL ON PROPERTY (TYPE) _____

CHIMNEY ON HOUSE (TYPE) _____

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

WINDOWS THAT ARE BROKEN(LOCATION) _____



7-28-04 - NOTIFICATION PACKET MAILED - VIA 1ST CLASS MAIL
8-13-04 - NO RESPONSE

PREBLAST SURVEY CHECKLIST

DATE 13 - AUG - 04
LOCATION M 159 A

SAFETY SPECIALIST STEPHAN
JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT KEVIN P. + MELBA J. BURNS
ADDRESS OF PROPERTY 29 HALL ST. PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT)
TELEPHONE NUMBER HOME (607) WORK ()

TYPE OF STRUCTURE AGE OF BLDG WATER DIST. TO BLASTING
WOOD YEARS WELL FEET
STEEL TOWN
MASONRY
COMBO

FOUNDATION TYPE RETAINING WALLS ANIMALS IN BUILDING
STONE TYPE
BLOCK
POURED
MORTARED

POOL ON PROPERTY (TYPE)

CHIMNEY ON HOUSE (TYPE)

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

WINDOWS THAT ARE BROKEN(LOCATION)

7-28-04 - NOTIFICATION PACKET MAILED - VIA 1ST CLASS MAIL
8-13-04 - NO RESPONSE

PREBLAST SURVEY CHECKLIST

DATE 13 - AUG - 04
LOCATION M 159 A3

SAFETY SPECIALIST STEPHAN
JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT KENNETH C. + MIRIAM J. HAWLEY
ADDRESS OF PROPERTY 35 HALL ST. PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT) _____
TELEPHONE NUMBER HOME (607) _____ WORK () _____

<u>TYPE OF STRUCTURE</u>	<u>AGE OF BLDG</u>	<u>WATER</u>	<u>DIST. TO BLASTING</u>
<input type="checkbox"/> WOOD	_____ YEARS	<input type="checkbox"/> WELL	_____ FEET
<input type="checkbox"/> STEEL		<input type="checkbox"/> TOWN	
<input type="checkbox"/> MASONRY			
<input type="checkbox"/> COMBO			

<u>FOUNDATION TYPE</u>	<u>RETAINING WALLS</u>	<u>ANIMALS IN BUILDING</u>
<input type="checkbox"/> STONE	TYPE _____	_____
<input type="checkbox"/> BLOCK		_____
<input type="checkbox"/> POURED		_____
<input type="checkbox"/> MORTARED		_____

POOL ON PROPERTY (TYPE) _____

CHIMNEY ON HOUSE (TYPE) _____

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

WINDOWS THAT ARE BROKEN(LOCATION) _____

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7-28-04 - NOTIFICATION PACKET MAILED - VIA 1ST CLASS MAIL
8-13-04 - NO RESPONSE

PREBLAST SURVEY CHECKLIST

DATE 13 - AUG - 04
LOCATION M 159 A 4

SAFETY SPECIALIST STEPHAN
JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT EDWARD OR THELMA F. BOJARCZUK
ADDRESS OF PROPERTY 39 HALL ST PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT)
TELEPHONE NUMBER HOME (607) WORK ()

TYPE OF STRUCTURE AGE OF BLDG WATER DIST. TO BLASTING
WOOD YEARS WELL FEET
STEEL TOWN
MASONRY
COMBO

FOUNDATION TYPE RETAINING WALLS ANIMALS IN BUILDING
STONE TYPE
BLOCK
POURED
MORTARED

POOL ON PROPERTY (TYPE)

CHIMNEY ON HOUSE (TYPE)

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

WINDOWS THAT ARE BROKEN(LOCATION)

7-28-04 - NOTIFICATION PACKET MAILED - VIA 1ST CLASS MAIL
8-13-04 - NO RESPONSE

PREBLAST SURVEY CHECKLIST

DATE 13 - AUG - 04
LOCATION M 159 A 6

SAFETY SPECIALIST STEPHAN
JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT DONALD H. + CATHERINE G. BORKILL
ADDRESS OF PROPERTY 43 HALL ST PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT)
TELEPHONE NUMBER HOME (607) WORK ()

TYPE OF STRUCTURE AGE OF BLDG WATER DIST. TO BLASTING
WOOD YEARS WELL FEET
STEEL TOWN
MASONRY
COMBO

FOUNDATION TYPE RETAINING WALLS ANIMALS IN BUILDING
STONE TYPE
BLOCK
POURED
MORTARED

POOL ON PROPERTY (TYPE)

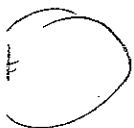
CHIMNEY ON HOUSE (TYPE)

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

WINDOWS THAT ARE BROKEN(LOCATION)

7-28-04 - NOTIFICATION PACKET MAILED - VIA 1ST CLASS MAIL
8-13-04 - NO RESPONSE



PREBLAST SURVEY CHECKLIST

DATE 13 - AUG - 04 SAFETY SPECIALIST STEPHAN
LOCATION M 160 4 24 JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT JOHN L. + SUS R. FAIRWEATHER
ADDRESS OF PROPERTY 12 HALL ST PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT) _____
TELEPHONE NUMBER HOME (67) _____ WORK () _____

TYPE OF STRUCTURE AGE OF BLDG WATER DIST. TO BLASTING
___ WOOD ___ YEARS ___ WELL ___ FEET
___ STEEL ___ TOWN
___ MASONRY
___ COMBO

FOUNDATION TYPE RETAINING WALLS ANIMALS IN BUILDING
___ STONE TYPE _____ _____
___ BLOCK _____ _____
___ POURED _____ _____
___ MORTARED _____ _____

POOL ON PROPERTY (TYPE) _____

CHIMNEY ON HOUSE (TYPE) _____

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

WINDOWS THAT ARE BROKEN(LOCATION) _____

7-28-04 - NOTIFICATION PACKET MAILED - VIA 1ST CLASS MAIL
8-13-04 - NO RESPONSE



PREBLAST SURVEY CHECKLIST

DATE 13 - AUG - 04
LOCATION M 160 H 25

SAFETY SPECIALIST SKEHAN
JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT James + Carolyn L. WALSH
ADDRESS OF PROPERTY 16 HAW ST. PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT)
TELEPHONE NUMBER HOME (207) WORK ()

TYPE OF STRUCTURE AGE OF BLDG WATER DIST. TO BLASTING
WOOD YEARS WELL FEET
STEEL TOWN
MASONRY
COMBO

FOUNDATION TYPE RETAINING WALLS ANIMALS IN BUILDING
STONE TYPE
BLOCK
POURED
MORTARED

POOL ON PROPERTY (TYPE)

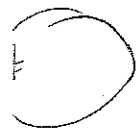
CHIMNEY ON HOUSE (TYPE)

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

WINDOWS THAT ARE BROKEN (LOCATION)

7-28-04 - NOTIFICATION PACKET MAILED - VIA 1ST CLASS MAIL
8-13-04 - NO RESPONSE



PREBLAST SURVEY CHECKLIST

DATE 13 - AUG - 04
LOCATION M 160 H 26

SAFETY SPECIALIST STEPHAN
JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT ELIZABETH J. + LOUIS E. CYR
ADDRESS OF PROPERTY 20 Hall PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT)
TELEPHONE NUMBER HOME (607) WORK ()

TYPE OF STRUCTURE AGE OF BLDG WATER DIST. TO BLASTING
WOOD YEARS WELL FEET
STEEL TOWN
MASONRY
COMBO

FOUNDATION TYPE RETAINING WALLS ANIMALS IN BUILDING
STONE TYPE
BLOCK
POURED
MORTARED

POOL ON PROPERTY (TYPE)

CHIMNEY ON HOUSE (TYPE)

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

WINDOWS THAT ARE BROKEN(LOCATION)

7-28-04 - NOTIFICATION PACKET MAILED - VIA 1ST CLASS MAIL
8-13-04 - NO RESPONSE

PREBLAST SURVEY CHECKLIST

DATE 13 - AUG - 04 SAFETY SPECIALIST STEPHAN
LOCATION M 160 H 27 JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT CINDY J. LESSARD
ADDRESS OF PROPERTY 24 HALL PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT) _____
TELEPHONE NUMBER HOME (607) _____ WORK () _____

<u>TYPE OF STRUCTURE</u>	<u>AGE OF BLDG</u>	<u>WATER</u>	<u>DIST. TO BLASTING</u>
<input type="checkbox"/> WOOD	<u> </u> YEARS	<input type="checkbox"/> WELL	<u> </u> FEET
<input type="checkbox"/> STEEL		<input type="checkbox"/> TOWN	
<input type="checkbox"/> MASONRY			
<input type="checkbox"/> COMBO			

<u>FOUNDATION TYPE</u>	<u>RETAINING WALLS</u>	<u>ANIMALS IN BUILDING</u>
<input type="checkbox"/> STONE	TYPE <u> </u>	_____
<input type="checkbox"/> BLOCK		_____
<input type="checkbox"/> POURED		_____
<input type="checkbox"/> MORTARED		_____

POOL ON PROPERTY (TYPE) _____

CHIMNEY ON HOUSE (TYPE) _____

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

WINDOWS THAT ARE BROKEN(LOCATION) _____



7-28-04 - NOTIFICATION PACKET MAILED - VIA 1ST CLASS MAIL
8-13-04 - NO RESPONSE

PREBLAST SURVEY CHECKLIST

DATE 13 - AUG - 04
LOCATION M 160 H 29

SAFETY SPECIALIST SKELHAN
JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT DANIEL J. MITCHELL + CAROLYN F. DIGRENI
ADDRESS OF PROPERTY 30 HAW ST. PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT) _____
TELEPHONE NUMBER HOME (607) _____ WORK () _____

<u>TYPE OF STRUCTURE</u>	<u>AGE OF BLDG</u>	<u>WATER</u>	<u>DIST. TO BLASTING</u>
<input type="checkbox"/> WOOD	_____ YEARS	<input type="checkbox"/> WELL	_____ FEET
<input type="checkbox"/> STEEL		<input type="checkbox"/> TOWN	
<input type="checkbox"/> MASONRY			
<input type="checkbox"/> COMBO			

<u>FOUNDATION TYPE</u>	<u>RETAINING WALLS</u>	<u>ANIMALS IN BUILDING</u>
<input type="checkbox"/> STONE	TYPE _____	_____
<input type="checkbox"/> BLOCK		_____
<input type="checkbox"/> POURED		_____
<input type="checkbox"/> MORTARED		_____

POOL ON PROPERTY (TYPE) _____

CHIMNEY ON HOUSE (TYPE) _____

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

WINDOWS THAT ARE BROKEN(LOCATION) _____

7-28-04 - NOTIFICATION PACKET MAILED - VIA 1ST CLASS MAIL
8-13-04 - NO RESPONSE



PREBLAST SURVEY CHECKLIST

DATE 13 - AUG - 04 SAFETY SPECIALIST STEFAN
 LOCATION M 160 H 30 JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT JEAN M. COLLINS
 ADDRESS OF PROPERTY 34 HALL ST. PORTLAND, ME. 04103
 MAILING ADDRESS (IF DIFFERENT) _____
 TELEPHONE NUMBER HOME (00?) _____ WORK () _____

<u>TYPE OF STRUCTURE</u>	<u>AGE OF BLDG</u>	<u>WATER</u>	<u>DIST. TO BLASTING</u>
<input type="checkbox"/> WOOD	_____ YEARS	<input type="checkbox"/> WELL	_____ FEET
<input type="checkbox"/> STEEL		<input type="checkbox"/> TOWN	
<input type="checkbox"/> MASONRY			
<input type="checkbox"/> COMBO			

<u>FOUNDATION TYPE</u>	<u>RETAINING WALLS</u>	<u>ANIMALS IN BUILDING</u>
<input type="checkbox"/> STONE	TYPE _____	_____
<input type="checkbox"/> BLOCK		_____
<input type="checkbox"/> POURED		_____
<input type="checkbox"/> MORTARED		_____

POOL ON PROPERTY (TYPE) _____

CHIMNEY ON HOUSE (TYPE) _____

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

WINDOWS THAT ARE BROKEN (LOCATION) _____



7-28-04 - NOTIFICATION PACKET MAILED - VIA 1ST CLASS MAIL
 8-13-04 - NO RESPONSE

PREBLAST SURVEY CHECKLIST

DATE 13 - AUG - 04
LOCATION M 160 H 31

SAFETY SPECIALIST STEFAN
JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT WILLARD R. BLANCHET JR.
ADDRESS OF PROPERTY 38 HALL ST. PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT) _____
TELEPHONE NUMBER HOME (607) _____ WORK () _____

TYPE OF STRUCTURE AGE OF BLDG WATER DIST. TO BLASTING
___ WOOD ___ YEARS ___ WELL ___ FEET
___ STEEL ___ TOWN
___ MASONRY
___ COMBO

FOUNDATION TYPE RETAINING WALLS ANIMALS IN BUILDING
___ STONE TYPE _____
___ BLOCK
___ POURED
___ MORTARED

POOL ON PROPERTY (TYPE) _____

CHIMNEY ON HOUSE (TYPE) _____

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

WINDOWS THAT ARE BROKEN(LOCATION) _____

7-28-04 - NOTIFICATION PACKET MAILED - VIA 1ST CLASS MAIL
8-13-04 - NO RESPONSE

PREBLAST SURVEY CHECKLIST

DATE 13 - AUG - 04
LOCATION M 160 H 33

SAFETY SPECIALIST STEPHAN
JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT JOHN L. CAHILL + LESLIE R. NOYES
ADDRESS OF PROPERTY 44 HALL ST, PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT) _____
TELEPHONE NUMBER HOME (607) _____ WORK () _____

TYPE OF STRUCTURE AGE OF BLDG WATER DIST. TO BLASTING
____ WOOD _____ YEARS _____ WELL _____ FEET
____ STEEL _____ TOWN
____ MASONRY
____ COMBO

FOUNDATION TYPE RETAINING WALLS ANIMALS IN BUILDING
____ STONE TYPE _____ _____
____ BLOCK _____
____ POURED _____
____ MORTARED _____

POOL ON PROPERTY (TYPE) _____

CHIMNEY ON HOUSE (TYPE) _____

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

WINDOWS THAT ARE BROKEN(LOCATION) _____

7-28-04 - NOTIFICATION PACKET MAILED - VIA 1ST CLASS MAIL
8-13-04 - NO RESPONSE



PREBLAST SURVEY CHECKLIST

DATE 13 - AUG - 04 SAFETY SPECIALIST STEPHAN
LOCATION M 155 D 27 JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT JOHN + CYNTHIA SARGENT
ADDRESS OF PROPERTY 103 ROAD ST. PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT) _____
TELEPHONE NUMBER HOME (607) _____ WORK () _____

TYPE OF STRUCTURE AGE OF BLDG WATER DIST. TO BLASTING
____ WOOD _____ YEARS _____ WELL _____ FEET
____ STEEL _____ TOWN
____ MASONRY
____ COMBO

FOUNDATION TYPE RETAINING WALLS ANIMALS IN BUILDING
____ STONE TYPE _____ _____
____ BLOCK _____
____ POURED _____
____ MORTARED _____

POOL ON PROPERTY (TYPE) _____

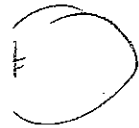
CHIMNEY ON HOUSE (TYPE) _____

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

WINDOWS THAT ARE BROKEN(LOCATION) _____

7-28-04 - NOTIFICATION PACKET MAILED - VIA 1ST CLASS MAIL
8-13-04 - NO RESPONSE



PREBLAST SURVEY CHECKLIST

DATE 13 - AUG - 04 SAFETY SPECIALIST STEPHAN
LOCATION M 160 B 7 JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT PATRICIA A. + ROCCO T. ACETO
ADDRESS OF PROPERTY ROSEDALE ST PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT) 54 HILLS ST. PORTLAND, ME. 04103
TELEPHONE NUMBER HOME (607) WORK ()

TYPE OF STRUCTURE AGE OF BLDG WATER DIST. TO BLASTING
WOOD YEARS WELL FEET
STEEL TOWN
MASONRY
COMBO

FOUNDATION TYPE RETAINING WALLS ANIMALS IN BUILDING
STONE TYPE
BLOCK
POURED
MORTARED

POOL ON PROPERTY (TYPE)

CHIMNEY ON HOUSE (TYPE)

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

WINDOWS THAT ARE BROKEN(LOCATION)

7-28-04 - NOTIFICATION PACKET MAILED - VIA 1ST CLASS MAIL
8-13-04 - NO RESPONSE

Rec'd 7-9-04

PREBLAST SURVEY CHECKLIST

DATE JULY 2004
LOCATION _____

SAFETY SPECIALIST SKELHAN
JOB NUMBER 111-3987

NAME OF RESIDENT OR OCCUPANT LEROY G. REILLY
ADDRESS OF PROPERTY ROSEDALE ST VACANT PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT) 2386 SUMATRAN WAY #8 CLEARWATER FL 3376
TELEPHONE NUMBER HOME (007) 1-727-6698458 WORK () _____

<u>TYPE OF STRUCTURE</u>	<u>AGE OF BLDG</u>	<u>WATER</u>	<u>DIST. TO BLASTING</u>
<input type="checkbox"/> WOOD	_____ YEARS	<input type="checkbox"/> WELL	_____ FEET
<input type="checkbox"/> STEEL		<input type="checkbox"/> TOWN	
<input type="checkbox"/> MASONRY			
<input type="checkbox"/> COMBO			

<u>FOUNDATION TYPE</u>	<u>RETAINING WALLS</u>	<u>ANIMALS IN BUILDING</u>
<input type="checkbox"/> STONE	TYPE _____	_____
<input type="checkbox"/> BLOCK		_____
<input type="checkbox"/> POURED		_____
<input type="checkbox"/> MORTARED		_____

POOL ON PROPERTY (TYPE) _____

CHIMNEY ON HOUSE (TYPE) _____

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

VACANT LOT

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

WINDOWS THAT ARE BROKEN (LOCATION) _____

#

CENCA RD

WOODS AT CENCA

LEE ST THIS IS A PAPER ST.

LEROY G REILLY

2386 SUMATRAN WAY #8

CLEAR WATER FL

337163

TEL 1-727-669-8456

MURPHY

VACANT
REILLY LOT

ROSEDALE ST

VACANT
REILLY LOT

HOMES

HOMES

MURPHY ST

PREBLAST SURVEY CHECKLIST

DATE 13 - AUG - 04
LOCATION M 160 D 7

SAFETY SPECIALIST SKEHAN
JOB NUMBER # 111-3987

NAME OF RESIDENT OR OCCUPANT HELEN L. LUNN
ADDRESS OF PROPERTY ROSEDALE ST. PORTLAND, ME. 04103
MAILING ADDRESS (IF DIFFERENT) 17 LINWOOD TOR. LEXINGTON, MA. 02420
TELEPHONE NUMBER HOME (607) _____ WORK () _____

TYPE OF STRUCTURE AGE OF BLDG WATER DIST. TO BLASTING
___ WOOD ___ YEARS ___ WELL ___ FEET
___ STEEL ___ TOWN
___ MASONRY
___ COMBO

FOUNDATION TYPE RETAINING WALLS ANIMALS IN BUILDING
___ STONE TYPE _____ _____
___ BLOCK _____ _____
___ POURED _____ _____
___ MORTARED _____ _____

POOL ON PROPERTY (TYPE) _____

CHIMNEY ON HOUSE (TYPE) _____

DAMAGE TO INTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

DAMAGE TO EXTERIOR IF UNABLE TO DOCUMENT WITH VIDEO

WINDOWS THAT ARE BROKEN(LOCATION) _____

7-28-04 - NOTIFICATION PACKET MAILED - VIA 1ST CLASS MAIL
8-13-04 - NO RESPONSE

39	87,830	40
41	86,667	42
43	84,500	

EQ-R PLANTATION VISTAS
 B-25
 TOTAL AREA 830,689
 161-B-25
 162-B-10



- Pre-BLAST Survey Done
- LEDGE AREAS
- DECLINED SURVEY

PBM1

Memorandum
Department of Planning and Development
Planning Division



To: Chair Caron and Members of the Portland Planning Board

From: Kandice Talbot, Planner

Date: November 18, 2003

Re: The Woods at Canco – Phase II
Assisted Living Facility; Holiday Retirement Corp., Applicant

Holiday Retirement Corp. is proposing to develop an 80-suite assisted living facility with four cottage suites on the Phase II portion of the Woods at Canco Retirement Residence site along Canco Road. The site is approximately 20.97 acres in size and zoned R-5A and ROS Conditional. The project will be reviewed for compliance with the site plan ordinance of the land use code and Site Location of Development Act.

The Assisted Living Facility is an 80-suite facility for seniors who do not require the specialized services of a nursing home, yet are in need of some assistance with their daily routine. Services and activities at the facility are provided to maintain or improve the capabilities of each resident.

History

In July, 1997 the Planning Board recommended to the City Council an R-5A and ROS Conditional rezoning and an R-5A text amendment to allow intermediate care facilities in the R-5A zone. The Council approved the text amendment and conditional rezoning on August 4, 1997.

Phase I consisted of the construction of 114 retirement suites, 8 cottage units, and 5 garden suites for a total of 127 units. It also included the construction of a walking path from Canco Road to Murray Street through the ROS space.

Conditional Rezoning

The rezoning of the site was subject to the following conditions:

- that the development shall be substantially in accordance with the site plan.

- that in the event this property is transferred to a non-profit entity, or is otherwise determined to be exempt from municipal taxation, the owner shall make a payment in lieu of taxes in the full amount of the taxes that would be due and payable on the property as if it were taxable. Such payments shall be made at the same time that property tax bills are due;
- that public access shall be provided and areas shown as open space park and easement areas shall remain undeveloped and shall not be disturbed;
- that the rezoning shall run with the land and shall be binding upon the owner, its successors and assigns, and any users of the property; and
- that a copy of this conditional rezoning order shall be recorded in the Cumberland County Registry of Deeds.

The conditional rezoning order is included as Attachment 5.

Site Plan

Phase I was coordinated with the Phase II design to allow future extension of utilities and access to roadways to the Phase II area.

At this point, the applicant has submitted a preliminary plan to reacquaint the staff and the Planning Board with the project and to introduce the Phase II development. Another workshop would have to take place to discuss issues such as drainage, lighting, etc.

Presently, there are two (2) drives that access the site. During the Phase I approval, the applicant proposed constructing granite curb and sidewalk between the existing two drives and requested a "temporary waiver" for the remaining sidewalk and granite curb. The Planning Board granted a condition of approval which stated "that the remaining sidewalk and granite curb be installed at such time that the abutting property be developed or at the time that Phase II is developed or within five (5) years, whichever is first." The applicant installed sidewalk and granite curb along the entire frontage of the site.

The applicant is proposing fifty-two (52) parking spaces for the Phase II proposal. Because Phase II consists of buildings totaling 72,000 sq. ft., the Planning Board determines the number of parking spaces needed. Residents, since they are in need of assistance, typically do not drive. The applicant believes that one parking space per two suites is sufficient for visitor and staff parking. Included, as Attachment _ is a list of the retirement facilities that the applicant has developed and the number of parking spaces for each. The Traffic Engineer is currently reviewing the information regarding traffic and parking implications for Assisted Living Residences conducted by the American Seniors Housing Association. The Traffic Engineer is also reviewing the traffic study, which was submitted as part of Phase I. The traffic study included traffic counts for the

full build out of the site. The traffic study submitted for Phase I is included as Attachment 4.

A landscaping plan has been submitted. The City Arborist is currently reviewing the landscape plan.

The Fire Department has reviewed the plans and is recommending that the applicant show a fire hydrant with 500 ft. on the plans.

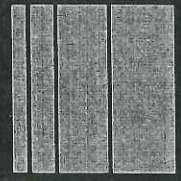
Public Works has reviewed the plans and is requesting that the applicant submit information regarding sanitary sewer flows for the added development. Public Works also has concerns regarding stormwater management and downstream impact, as it relates to this development.

The Development Review Coordinator will need to have specific data regarding grading, drainage and utilities.

As stated previously, a second workshop will be necessary for this proposed project.

Attachments:

1. Application Letter dated September 18, 2003
2. Holiday Retirement Application Submittal
3. Parking Information
4. Traffic Study and Addendum
5. Conditional Rezoning
6. DRC's Memo dated October 8, 2003
7. Fire's Memo dated September 30, 2003
8. Public Works' Memo dated October 2, 2003
9. Plans



Att. 1

sebagotechnics.com

One Chabot Street
P.O. Box 1339
Westbrook, Maine
04098-1339
Ph. 207-856-0277
Fax 856-2206

September 18, 2003
96592

Kandice Talbot, Planner
City of Portland
389 Congress Street
Portland, ME 04101

Application for Site Plan Review - The Woods at Canco Road, Phase II Development

Dear Kandice:

Thank you for taking the time to meet with Melissa LeClair of Curry Brandaw Architects and me earlier this summer to review the Phase II development plans for The Woods at Canco Road. As we discussed, XL Management Company, LLC/Holiday Retirement Corp. is proposing to move forward with the Phase II development plans for the assisted living facility off Canco Road.

In 1997, Holiday Retirement Corp. received a zone change and site plan approval for Phase I development of this master plan project that included an assisted living facility and cottage units. As depicted on the enclosed overall development plan, this project was to be developed in two separate phases beginning with Phase I. The applicants completed the Phase I development in the late 1990s and would now like to move forward with Phase II development. The applicants would like to begin the review process with a Planning Board workshop meeting to reacquaint the staff and Board with the project and to introduce the Phase II development. Phase II of this project is the last phase of an overall master plan developed for this project as presented to the Council and Planning Board during the zone change process and Phase I development approvals.

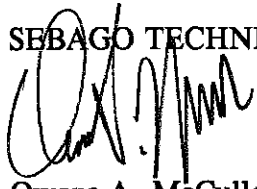
Curry Brandaw Architects, who completed the design work for Phase I, has assembled the enclosed application package for planning staff and Planning Board review. The enclosed information includes a narrative describing the project with supporting information, a completed application form, photographs of comparable facilities completed by the applicant, schematic site drawings, building elevations, and floor plan. In addition, an application fee in the amount of \$3,000.00 (Site Location of Development Act permit application) and \$1,000.00 (major site plan review) is also enclosed.

On behalf of the applicants, we look forward to working with the planning staff and Planning Board to complete the design and permitting for Phase II. XL Management Company, LLC/Holiday Retirement Corp. is hopeful to complete the design and permitting to allow for a spring 2004 construction start.

Upon the staff's review of this application, please feel free to contact me if you have any questions or would like to set up a meeting.

Sincerely,

SEBAGO TECHNICS, INC.



Owens A. McCullough, P.E.
Sr. Project Manager

OAM:jc
Enc.

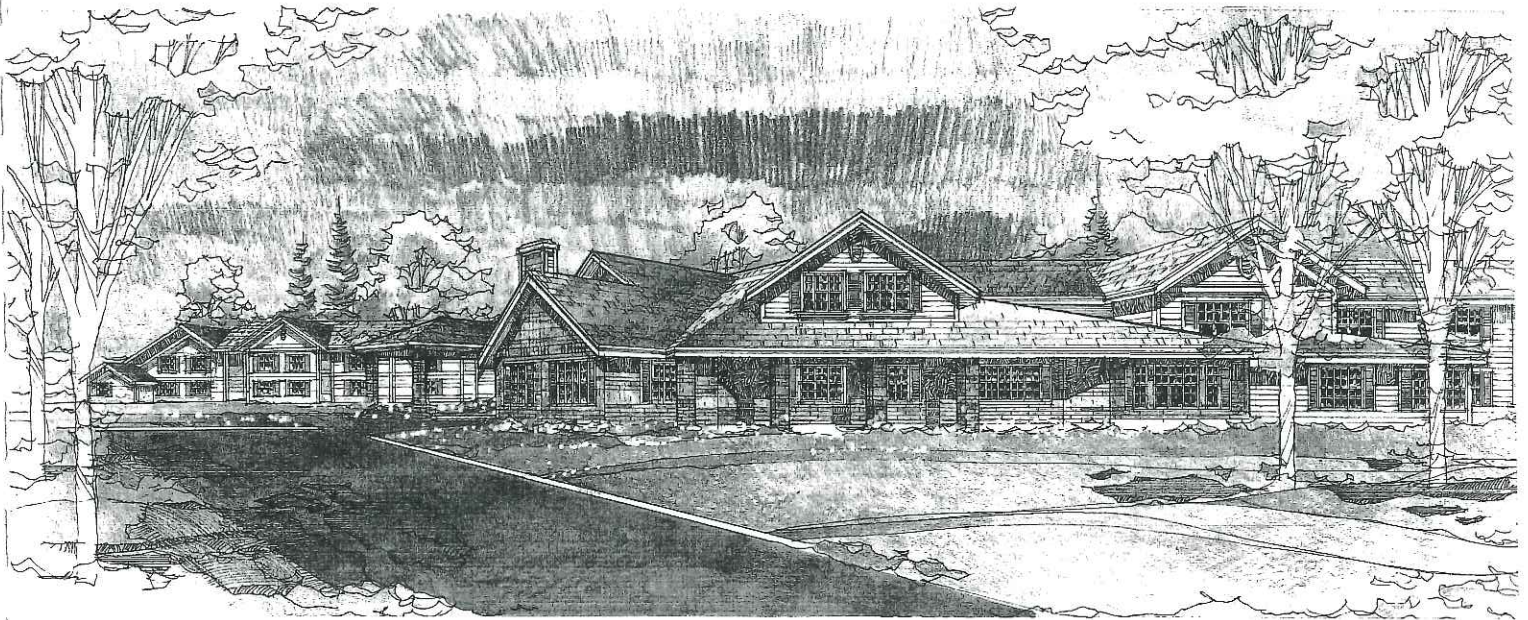
cc: Kristen Newland, Curry Brandaw Architects



Att. 2

Curry Brandaw Architects

■ ■
PARTNERSHIP



Portland Assisted Living Facility
Portland, Maine



Management Company L.L.C.



HOLIDAY RETIREMENT CORP.

2250 McGilchrist St. SE, Suite 200 • Salem, Oregon 97302
P.O. Box 14111 • Salem, Oregon 97309-5026 • (503) 370-7070



Curry Brandaw Architects

PARTNERSHIP

Portland Assisted Living Facility Portland, Maine Site Plan Approval Application

I. PROPOSAL

XL Management Company, L.L.C./Holiday Retirement Corp. proposes to develop an 80-suite assisted living facility with four cottage suites on the Phase II portion of the Woods at Canco Retirement Residence site along Canco Road.

II. REQUEST

The request is to obtain a Site Plan approval to allow the assisted living project to be developed on the site, which is zoned R-5A Residential.

III. OVERVIEW

Existing Zoning: R-5A
Land Area: 5.0 acres
Existing Use: Undeveloped Land
Proposed Use: 80-suite Assisted Living Facility
Proposed Parking: 48 total spaces consisting of 46 open, 2 handicap accessible

IV. CONCEPT

The Assisted Living Facility is an 80-suite facility for seniors who do not require the specialized services of a nursing home, yet are in need of some assistance with their daily routine. Services and activities at the facility are provided to maintain or improve the capabilities of each resident, with an emphasis on abilities rather than disabilities.

Services include three prepared meals daily, housekeeping, laundering, and private bus transportation. The monthly rent payment covers the private room, the afore-mentioned services and utilities. In addition to these services, a Service Plan detailing the services a resident requests or requires is determined. These services include assistance with medications, bathing, grooming, dressing and other areas of need. These services are offered 24 hours a day.

Private rooms afford the advantages of independent living while the services included provide support, security and friendship. The private suites include

studio, one and two bedroom versions. Each is similar to a dwelling unit except a kitchen is not included.

Typically our resident will be a single person in their late 70's or 80's. Approximately 10% of the rooms will be rented by couples making a total building population of 95. Fewer than 5% of the residents will be driving their own cars.

The site is ideally suited for our senior housing use. The site is in close proximity to services such as shopping, recreation and medical needs while still being part of an established residential area.

This proposal would offer several benefits to the area, which include:

- Large open spaces and generous setbacks. Over 60% of the site will be landscaped open space providing large open spaces and ample setbacks to create a park-like setting, and help buffer neighboring properties.
- Quiet Senior Residential Use - The proposed assisted living facility has 80 suites and four cottage units, which include studios, one bedroom, and two bedroom types. The suites do not have kitchens and are not considered full dwelling units. They are different from conventional senior apartment units with full kitchens, in that the density effect would be negligible. In addition, only about 10 percent of the suites will be occupied by couples, keeping the overall building population low. This project will not create the problems typically associated with higher density developments, such as traffic, noise or increased demand on public services.
- Low Traffic Generation - Residents, since they are in need of assistance, will seldom drive. We expect less than two trips per day per suite for visitor and staff purposes, but without the peak hour trip generation. This is based on the Institute of Transportation Engineers report and is far below equivalent trips per unit for a multi-family project.
- Increases Local Tax Base - This project is privately funded with no publicly funded assistance.
- Low Impact on Public Services - Including parks, schools, libraries, and transportation system.
- Fulfills Need for Assisted Living Housing - Our research has found that there is a strong need for the XL/Holiday program in this area.

V. STAFFING PLAN

The facility will employ approximately 32 full-time equivalent positions, which include administrative, food services, housekeeping and maintenance, and health care staff. The facility will maintain a health services staff on duty 24-hours a day.

VI. TRAFFIC/PARKING

Residents, since they are in need of assistance, typically do not drive. One parking space per two suites is sufficient for visitor and staff parking. Since residents do not drive, we expect less than two trips per day per suite for visitor and staff purposes. This is based on the Institute of Transportation Engineers informational report and is far below equivalent trips per unit for a multifamily project. Enclosed is a study of traffic and parking implications for Assisted Living Residences conducted by the American Seniors Housing Association. This study explains in detail the traffic and parking generation a project like ours will produce.

CONCLUSION

In conclusion, we feel that this site is ideally suited for our use and would be a nice addition to the Canco Road area and the existing Retirement Residence development

2000 American Seniors Housing Association 25 OWNERS

(25 LARGEST U.S. SENIORS HOUSING OWNERS AS OF JUNE 1, 2000)

2000 RANK	1999 RANK	COMPANY	HEADQUARTERS	CEO	1999 UNITS OWNED	1999 PROPERTIES OWNED	2000 UNITS OWNED	2000 PROPERTIES OWNED
1	1	COLSON & COLSON/HOLIDAY RETIREMENT CORP.	Salem, OR	William E. Colson	25,975	216	27,427	229
2	2	ALTERRA HEALTHCARE CORP.	Brookfield, WI	William F. Lasky	16,435	274	21,119	453
3	4	NATIONWIDE HEALTH PROPERTIES, INC.	Newport Beach, CA	R. Bruce Andrews	9,500	124	11,529	125
4	3	ATRIA, INC.	New York, NY	Mark Ticoftin	11,010	114	9,704	100
5	5	SENIOR LIFESTYLE CORP.	Chicago, IL	William B. Kaplan	9,424	60	9,646	62
6	6	HEALTH CARE REIT, INC.	Toledo, OH	George L. Chapman	8,345	132	8,066	128
7	11	SUNRISE ASSISTED LIVING, INC.	Fairfax, VA	Paul J. Klaassen	6,776	111	7,966	120
8	8	CRESTLINE CAPITAL CORP.	Bethesda, MD	Bruce D. Wardinski	7,468	31	7,497	31
9	9	HEALTH CARE PROPERTY INVESTORS, INC.	Newport Beach, CA	Kenneth B. Roath	7,021	85	7,297	92
10	21	AMERICAN RETIREMENT CORPORATION	Brentwood, TN	William E. Sheriff	4,457	19	7,217	41
11	10	ASSISTED LIVING CONCEPTS, INC.	Portland, OR	Keren Brown Wilson	6,942	178	7,148	185
12	7	GRAND COURT LIFESTYLES, INC.	Boca Raton, FL	John W. Luciani, III	7,640	56	6,942	52
13	18	CLASSIC RESIDENCE BY HYATT/ ENCORE SENIOR LIVING	Chicago, IL	Penny S. Pritzker	4,938	45	6,354	53
14	14	ACTS RETIREMENT/LIFE COMMUNITIES, INC.	West Point, PA	George R. Gunn, Jr.	5,654	15	6,095	16
15	12	MEDTRUST CORP.	Needham Heights, MA	Michael F. Bushee	6,160	126	5,868	105
16	17	MARRIOTT SENIOR LIVING SERVICES	Washington, DC	Jeff Ferguson	5,214	43	5,400	43
17	---	MERRILL GARDENS LLC	Seattle, WA	Charles B. Wright III	---	---	5,195	52
18	16	FIRST CENTRUM, LLC	Sterling, VA	Mark L. Washinsky	5,268	85	5,079	84
19	23	LEISURE CARE, INC.	Bellevue, WA	Dan B. Madsen	3,995	27	4,607	33
20	19	THE FOUNTAINS	Tucson, AZ	David J. Freshwater	4,719	17	4,719	17
21	22	COVENANT RETIREMENT COMMUNITIES	Chicago, IL	David A. Dwight	4,075	14	4,137	14
22	15	SENIOR HOUSING PROPERTIES TRUST (FORMERLY KNOWN AS HRPT PROPERTIES TRUST)	Newton, MA	David J. Hegarty	5,416	27	4,040	15
23	24	NATIONAL BENEVOLENT ASSOCIATION	St. Louis, MO	Cynthia R. Dougherty	3,980	14	3,955	14
24	---	SIMPSON HOUSING SOLUTIONS, LLC	Long Beach, CA	Michael A. Costa	---	---	3,761	40
25	25	RETIREMENT HOUSING FOUNDATION	Long Beach, CA	Laverne R. Joseph	3,510	19	3,510	19

2000 American Seniors Housing Association 25 MANAGERS

(25 LARGEST U.S. SENIORS HOUSING MANAGERS AS OF JUNE 1, 2000)

2000 RANK	1999 RANK	COMPANY	HEADQUARTERS	CEO	1999 UNITS MANAGED	1999 PROPERTIES MANAGED	2000 UNITS MANAGED	2000 PROPERTIES MANAGED
1	1	COLSON & COLSON/HOLIDAY RETIREMENT CORP.	Salem, OR	William E. Colson	26,400	220	27,862	233
2	2	MARRIOTT SENIOR LIVING SERVICES	Washington, DC	Jeff Ferguson	22,663	128	25,100	149
3	3	PROFESSIONAL COMMUNITY MANAGEMENT	Lake Forest, CA	Jeffrey B. Olsen	22,690	9	22,864	9
4	5	ALTERRA HEALTHCARE CORP.	Brookfield, WI	William F. Lasky	16,951	389	21,719	470
5	4	LIFE CARE SERVICES CORP.	Des Moines, IA	Stan Thurston	17,572	64	20,513	87
6	7	AMERICAN RETIREMENT CORP.	Brentwood, TN	William E. Sheriff	11,328	30	12,163	57
7	8	EMERITUS CORP.	Seattle, WA	Daniel R. Baly	10,919	123	11,800	128
8	9	SENIOR LIFESTYLE CORP.	Chicago, IL	William B. Kaplan	10,103	64	10,762	69
9	10	SUNRISE ASSISTED LIVING INC.	Fairfax, VA	Paul J. Klaassen	8,229	130	9,989	152
10	6	ATRIA, INC.	New York, NY	Mark Ticoftin	12,114	126	9,794	101
11	13	ASSISTED LIVING CONCEPTS, INC.	Portland, OR	Keren Brown Wilson	6,942	178	7,148	185
12	19	CLASSIC RESIDENCE BY HYATT/ ENCORE SENIOR LIVING	Chicago, IL	Penny S. Pritzker	5,414	48	6,960	56
13	11	GRAND COURT LIFESTYLES, INC.	Boca Raton, FL	John W. Luciani, III	7,640	127	6,924	52
14	16	ERICKSON RETIREMENT COMMUNITIES, LLC (FORMERLY KNOWN AS SENIOR CAMPUS LIVING, LLC)	Baltimore, MD	John C. Erickson	5,873	5	6,120	7
15	17	ACTS RETIREMENT/LIFE COMMUNITIES, INC.	West Point, PA	George R. Gunn, Jr.	5,654	15	6,095	16
16	14	GREYSTONE COMMUNITIES, INC.	Irving, TX	Michael Lanahan	5,981	29	5,683	20
17	---	MERRILL GARDENS LLC	Seattle, WA	Charles B. Wright III	NA	NA	5,657	58
18	18	CO-OPERATIVE RETIREMENT SERVICES OF AMERICA, INC. (CRSA)	Memphis, TN	Earl Waide	5,500	25	5,612	19
19	15	CAREMATRIX CORP.	Needham, MA	Abraham Gosman	5,891	47	5,569	47
20	21	BROOKDALE LIVING COMMUNITIES, INC.	Chicago, IL	Mark J. Schulle	4,600	21	5,314	24
21	25	LEISURE CARE, INC.	Bellevue, WA	Dan B. Madsen	4,172	28	4,977	34
22	23	CAPITAL SENIOR LIVING, INC.	Dallas, TX	Lawrence A. Cohen	4,545	31	4,808	34
23	20	THE FOUNTAINS	Tucson, AZ	David J. Freshwater	4,719	17	4,719	17
24	24	BALANCED CARE CORP.	Mechanicsburg, PA	Brad E. Hollinger	4,411	63	4,677	69
25	---	AMERICAN LIFESTYLES, INC.	Cleveland, TN	Barry Ray	3,394	30	4,343	36

Holiday Retirement Corp.

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Facility Name	Units	Phone Number	Street	City, State
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UNITED STATES

ALABAMA (4)

EASTDALE ESTATES	107	(334) 260-8911	5801 EASTDALE DRIVE	MONTGOMERY, AL 36117
MONARCH ESTATES	114	(334) 502-0977	1550 E. UNIVERSITY DRIVE	AUBURN, AL 36830
ROCKY RIDGE	115	(205) 989-6500	3517 LORNA ROAD	HOOVER, AL 35216
UNIVERSITY OAKS	110	(251) 661-7733	650 UNIVERSITY BOULEVARD SOUTH	MOBILE, AL 36609

ARIZONA (5)

DESERT ROSE	113	(928) 343-0807	1545 S. 14TH AVENUE	YUMA, AZ 85364
MADISON, The	193	(623) 584-1999	18626 SPANISH GARDEN DRIVE	SUN CITY WEST, AZ 85375
MANOR at MIDVALE, The	112	(520) 294-3200	6250 S. COMMERCE COURT	TUCSON, AZ 85746
VISTA de la MONTANA	113	(623) 975-4250	18510 N. PARKVIEW PLACE	SURPRISE, AZ 85374
VISTA del RIO	118	(623) 977-7007	13619 N. 94TH DRIVE	PEORIA, AZ 85381

ARKANSAS (6)

ANDOVER PLACE	111	(501) 224-0441	2601 ANDOVER COURT	LITTLE ROCK, AR 72227
APPLE BLOSSOM	117	(479) 636-7739	2501 N. 22ND STREET	ROGERS, AR 72756
BUTTERFIELD PLACE	115	(479) 484-5200	8420 PHOENIX AVENUE	FORT SMITH, AR 72903
COUNTRY CLUB VILLAGE	165	(501) 624-6435	1925 MALVERN AVENUE	HOT SPRINGS, AR 71901
GARDENS at ARKANSHIRE, The	130	(501) 750-1131	5000 ARKANSHIRE CIRCLE	SPRINGDALE, AR 72764
SOUTH WIND HEIGHTS	114	(870) 932-9288	2305 BERNARD STREET	JONESBORO, AR 72401

CALIFORNIA (37)

ARCADIA PLACE	114	(760) 945-5555	1080 ARCADIA AVENUE	VISTA, CA 92084
BAY PARK	96	(510) 223-7977	2621 APPIAN WAY	PINOLE, CA 94564
BRIDGECREEK	108	(626) 332-1135	3601 HOLT AVENUE	WEST COVINA, CA 91791
CAMELOT, The	134	(909) 929-0145	800 WEST OAKLAND	HEMET, CA 92543
CANTERBURY COURT	205	(619) 585-8585	336 C STREET	CHULA VISTA, CA 91910
CARRIAGE HOUSE ESTATES	124	(661) 663-8393	8200 WESTWOLD DRIVE	BAKERSFIELD, CA 93311
COLUMBUS ESTATES	124	(661) 872-5855	3201 COLUMBUS	BAKERSFIELD, CA 93306
CREEKSIDE OAKS	109	(916) 983-3397	1715 CREEKSIDE DRIVE	FOLSOM, CA 95630
DEER PARK	84	(415) 897-0054	646 CANYON ROAD	NOVATO, CA 94947
FEATHER CANYON	126	(530) 877-2207	5900 CANYON VIEW DRIVE	PARADISE, CA 95969
FIG GARDEN	101	(559) 432-6213	6035 N. MARKS AVENUE	FRESNO, CA 93711
HAMPSHIRE, THE	113	(209) 383-3500	3460 R STREET	MERCED, CA 95348
HILLTOP ESTATES	95	(530) 241-4444	451 HILLTOP DRIVE	REDDING, CA 96003
LAS BRISAS	100	(805) 543-0144	1299 BRIARWOOD DRIVE	SAN LUIS OBISPO, CA 93401
LEISURE POINTE	131	(909) 888-9991	1371 PARKSIDE DRIVE	SAN BERNARDINO, CA 92404
MAGNOLIA	96	(909) 354-0230	8537 MAGNOLIA AVENUE	RIVERSIDE, CA 92504
MISSION COMMONS	141	(909) 793-8691	10 TERRACINA BLVD	REDLANDS, CA 92373
MISTYWOOD	115	(916) 771-8606	1275 PLEASANT GROVE BOULEVARD	ROSEVILLE, CA 95747
OAKMONT, The	91	(530) 895-0123	2801 COHASSET	CHICO, CA 95973
OAKS of AUBURN, The	107	(530) 888-1144	3250 BLUE OAKS DRIVE	AUBURN, CA 95602
PALMS, The	162	(562) 944-1800	13001 LA MIRADA BLVD	LA MIRADA, CA 90638
QUAIL LODGE	123	(925) 778-7453	4850 DEER VALLEY ROAD	ANTIOCH, CA 94509
REDWOOD	97	(707) 257-0333	2350 REDWOOD ROAD	NAPA, CA 94558
REMINGTON, The	116	(559) 587-9999	2727 NORTH 11th AVENUE	HANFORD, CA 93230
SIERRA HILLS	110	(559) 788-0311	2500 W. HENDERSON AVENUE	PORTERVILLE, CA 93257
SPRINGS of EL CAJON	100	(619) 444-9470	444 PRESCOTT AVENUE	EI CAJON, CA 92020
SPRINGS of ESCONDIDO	103	(760) 743-4200	1261 E. WASHINGTON AVENUE	ESCONDIDO, CA 92027
SPRINGS of NAPA, The	100	(707) 224-7855	3460 VILLA LANE	NAPA, CA 94558
STANDIFORD PLACE	118	(209) 521-7000	3420 SHAWNEE DRIVE	MODESTO, CA 95350
VALENCIA COMMONS	113	(909) 481-5440	6729 HERMOSA AVENUE	RANCHO CUCAMONGA, CA 91701
VILLA SERENA	108	(408) 261-8350	1340 POMEROY AVENUE	SANTA CLARA, CA 95051
VINEYARD COMMONS	114	(707) 578-8400	3585 ROUND BARN BLVD	SANTA ROSA, CA 95403
VINTAGE, The	117	(209) 339-1500	2145 WEST KETTLEMAN LANE	LODI, CA 95242
WALNUT PARK	101	(559) 739-1339	4119 W. WALNUT	VISALIA, CA 93277
WATERFORD TERRACE	90	(619) 463-2111	5580 AZTEC DRIVE	LA MESA, CA 91942
WESTMONT, The	136	(408) 984-0605	1675 SCOTT BOULEVARD	SANTA CLARA, CA 95050
name pending	115	(800) 322-0999		VENTURA, CA

COLORADO (10)

ATRIUM of GRAND VALLEY, The	142	(970) 256-0006	3260 N. 12th STREET	GRAND JUNCTION, CO 81506
COURTYARD at LAKEWOOD	121	(303) 239-0740	7100 W. 13th AVENUE	LAKEWOOD, CO 80215
GREELEY PLACE	102	(970) 351-0683	1051 6th STREET	GREELEY, CO 80631
LAKEWOOD ESTATES	90	(303) 987-3888	8585 W. DAKOTA AVENUE	LAKEWOOD, CO 80226
LONGMONT REGENT	96	(303) 651-7022	2210 MAIN STREET	LONGMONT, CO 80501
MESA VIEW	102	(970) 241-0772	601 HORIZON PLACE	GRAND JUNCTION, CO 81506

Holiday Retirement Corp.

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Facility Name	Units	Phone Number	Street	City, State
PARKWOOD ESTATES	110	(970) 482-3924	2201 S. LEMAY	FT. COLLINS, CO 80525
PUEBLO REGENT	97	(719) 566-0111	100 SAN CARLOS ROAD	PUEBLO, CO 81005
QUINCY PLACE	117 + ~	(303) 770-7775	7200 EAST QUINCY AVENUE	DENVER, CO 80237
SUNRIDGE	90 ~	(719) 590-1247	5820 FLINTRIDGE DRIVE	COLORADO SPRINGS, CO 80918

CONNECTICUT (4)

CEDAR WOODSICREST	111	(203) 481-6028	80 CEDAR STREET	BRANFORD, CT 06405
GABLES AT GUILFORD, The	128 * ~	(203) 458-3337	201 GRANITE ROAD	GUILFORD, CT 06437
VILLAGE GATE OF FARMINGTON	162 * ~	(860) 676-8626	88 SCOTT SWAMP ROAD	FARMINGTON, CT 06032
WINDHAM FALLS ESTATES	160	(860) 446-2889	425 DROZDYK DRIVE	GROTON, CT 06340

FLORIDA (15)

ATRIUM at GAINESVILLE, The	241 ~	(352) 378-0773	2431 NW 41st STREET	GAINESVILLE, FL 32606
AUGUSTINE LANDING	109 ~	(904) 880-1116	10141 OLD ST. AUGUSTINE ROAD	JACKSONVILLE, FL 32257
AZALEA PARK	115 ~	(863) 413-0908	1325 GRASSLANDS BLVD	LAKELAND, FL 33803
BELLEAIR TOWERS	56	(727) 581-6540	1100 PONCE de LEON BLVD	CLEARWATER, FL 33756
BUENA VIDA	153 * ~	(239) 775-2233	8901 TAMiami TRAIL EAST	NAPLES, FL 34113
CHERRY LAUREL	115 ~	(850) 656-8758	1009 CONCORD ROAD	TALLAHASSEE, FL 32308
COURT at PALM-AIRE, The	235 * ~	(954) 975-8900	2701 N. COURSE DRIVE	POMPANO BEACH, FL 33069
ISLES of VERO BEACH	210 * ~	(561) 778-7888	1700 WATERFORD DRIVE	VERO BEACH, FL 32966
LAKE RIDGE VILLAGE	108 ~	(352) 589-2353	353 ARDICE AVENUE	EUSTIS, FL 32726
MARION WOODS	115 ^ ~	(352) 671-1700	1661 SE 31ST STREET	OCALA, FL 34471
ORMOND in the PINES	214 * ~	(386) 676-7463	101 CLYDE MORRIS BLVD	ORMOND BEACH, FL 32174
REGENCY RESIDENCE	133 ~	(727) 849-9335	6711 EMBASSY BLVD	PORT RICHEY, FL 34668
TREMONT, The	118 ~	(407) 359-5787	7015 RED BUG LAKE ROAD	OVIDEO, FL 32765
UNIVERSITY PINES	110 ~	(850) 476-6333	8991 UNIVERSITY PARKWAY	PENSACOLA, FL 32514
WOODLANDS VILLAGE	169 * ~	(941) 758-9590	1055 301 BOULEVARD EAST	BRADENTON, FL 34203

GEORGIA (9)

ATRIUM at GEORGETOWN PARK, The	197 ~	(770) 986-1100	4355 GEORGETOWN SQUARE RD	ATLANTA, GA 30338
IRIS PLACE	140 ~ +	(706) 425-0301	755 EPPS BRIDGE PARKWAY	ATHENS, GA 30606
PINEGATE	115 ~	(478) 757-0610	300 CHARTER BLVD	MACON, GA 31210
REGENCY HOUSE, The	102	(404) 296-1152	341 WINN WAY	DECATUR, GA 30030
RIVER'S EDGE	119 + ~	(912) 354-6146	6206 WATERS AVENUE	SAVANNAH, GA 31406
RIVERPLACE	112 ~	(706) 324-0100	6850 RIVER ROAD	COLUMBUS, GA 31904
SMOKY SPRINGS	115 ~	(770) 535-8349	940 SOUTH ENOTA DRIVE	GAINESVILLE, GA 30501
WASHINGTON COMMONS	115 + ~	(706) 860-0402	100 WASHINGTON COMMONS DRIVE	EVANS, GA 30809
name pending	^ ~	(800) 322-0999		ALPHARETTA, GA

HAWAII (3)

HAWAII KAI	193 * + ~	(808) 395-9599	428 KAWAIHAE DRIVE	HONOLULU, HI 96825
HAWAII KAI II	177 * + ~	(808) 396-0720	446 KAWAIHAE DRIVE	HONOLULU, HI 96825
KALAMA HEIGHTS	110 ~	(808) 879-1500	101 KANANI RD	KIHEI MAUI, HI 96753

IDAHO (1)

CHATEAU de BOISE	96 + ~	(208) 322-7277	7250 POPLAR STREET	BOISE, ID 83704
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ILLINOIS (6)

BLAIR HOUSE	109	(309) 454-8900	1200 EAST COLLEGE	NORMAL, IL 61761
BRENDEN GARDENS	110	(217) 529-4586	900 SOUTHWIND ROAD	SPRINGFIELD, IL 62703
ESSINGTON PLACE	112	(615) 744-4488	901 ESSINGTON ROAD	JOLIET, IL 60435
MONTVALE ESTATES	119 +	(217) 546-5577	2601 MONTVALE DRIVE	SPRINGFIELD, IL 62704
TAMARACK	133 ~	(847) 991-4700	55 S. GREELEY	PALATINE, IL 60067
name pending	^ ~	(800) 322-0999		QUINCY, IL

INDIANA (4)

ARBOR GLEN	118 + ~	(260) 492-2202	5202 SAINT JOE ROAD	FORT WAYNE, IN 46835
PARKSIDE COURT	118 ~ *	(812) 378-9795	3660 CENTRAL AVENUE	COLUMBUS, IN 47203
REDBUD HILLS	112 ~	(812) 335-0089	3211 EAST MOORES PIKE ROAD	BLOOMINGTON, IN 47401
WILLOW PARK	109 ~	(812) 473-5828	5050 LINCOLN AVENUE	EVANSVILLE, IN 47715

IOWA (5)

BEAVERDALE ESTATES	102 ~	(515) 278-1715	4610 DOUGLAS AVENUE	DES MOINES, IA 50310
ILLAHEE HILLS	107 +	(515) 251-4604	8308 COLBY PARKWAY	URBANDALE, IA 50322
MALLARD POINT	122 + ~	(319) 277-6111	2603 ORCHARD DRIVE	CEDAR FALLS, IA 50613
PALMER HILLS	104 ~	(563) 332-5955	2617 MAPLECREST ROAD	BETTENDORF, IA 52722
WALDEN PLACE	102	(319) 337-7277	2423 WALDEN ROAD	IOWA CITY, IA 52246

Holiday Retirement Corp.

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Facility Name	Units	Phone Number	Street	City, State
KANSAS (3)				
GREENWOOD TERRACE	115	^~ (913) 345-9969	11150 S. GREENWOOD STREET	LENEXA, KS 66215
GRASSLANDS ESTATES	115	~ (316) 722-4817	10665 W. 13TH STREET N.	WICHITA, KS 67212
THORNTON PLACE	119	+~ (785) 228-0555	2901 SW ARMSTRONG	TOPEKA, KS 66614
KENTUCKY (5)				
ASHWOOD PLACE	103	+ (502) 223-5551	102 LEONARDWOOD	FRANKFORT, KY 40601
HARTLAND HILLS	117	~ (859) 273-1212	1005 TANBARK ROAD	LEXINGTON, KY 40515
JACKSON OAKS	115	^~ (270) 554-8122	2500 MARSHALL AVENUE	PADUCAH, KY 42003
OXMOOR LODGE	118	+~ (502) 425-2402	8021 CHRISTIAN COURT	LOUISVILLE, KY 40222
PONDER CREEK ESTATES	118	~ (502) 995-4010	620 VALLEY COLLEGE DRIVE	LOUISVILLE, KY 40272
LOUISIANA (4)				
LANDING at BEHRMAN PLACE	106	(504) 361-1088	3601 BEHRMAN PLACE	NEW ORLEANS, LA 70114
NOUVEAU MARC	111	~ (504) 469-7988	1101 SUNSET BLVD	KENNER, LA 70065
SUMMERFIELD ESTATES	101	~ (318) 688-9525	9133 BAIRD ROAD	SHREVEPORT, LA 71118
WHEALDON ESTATES	98	(225) 927-7557	8680 JEFFERSON HWY	BATON ROUGE, LA 70809
MAINE (2)				
SUNBURY VILLAGE	115	~ (207) 262-9600	922 OHIO STREET	BANGOR, ME 04401
WOODS AT CANCO, THE	115	+~ (207) 772-4777	257 CANCO ROAD	PORTLAND, ME 04103
MASSACHUSETTS (3)				
DEVONSHIRE ESTATES	128	+~ (413) 637-1700	329 PITTSFIELD ROAD	LENOX, MA 01240
QUAIL RUN ESTATES	121	+~ (413) 786-9688	50 CARDINAL DRIVE	AGAWAM, MA 01001
SUMMER PLACE	110	~ (978) 256-9977	20 SUMMER STREET	CHELMSFORD, MA 01824
MICHIGAN (8)				
AURORA POND	132	+~ (616) 530-2511	2380 AURORA POND DRIVE	WYOMING, MI 49509
BLUE WATER LODGE	119	+~ (810) 385-4131	2840 KEEWAHDIN ROAD	FORT GRATIOT, MI 48059
GENESEE GARDENS	117	~ (810) 720-4159	4495 CALKINS ROAD	FLINT TOWNSHIP, MI 48532
GLEN EAGLE	119	+~ (231) 935-4553	3950 SUMAC DRIVE	TRAVERSE CITY, MI 49684
INN AT CASS LAKE	110	~ (248) 681-8229	900 N. CASS LAKE ROAD	WATERFORD, MI 48328
LINCOLN SQUARE	115	^~ (616) 791-7460	3121 LAKE MICHIGAN DRIVE NW	GRAND RAPIDS, MI 49504
MARQUETTE, THE	115	(517) 339-1532	5968 PARK LAKE ROAD	EAST LANSING, MI 48823
WESCOURT	118	+~ (989) 797-3600	4141 McCARTY ROAD	SAGINAW, MI 48603
MINNESOTA (1)				
LODGE AT WHITE BEAR, THE	115	~ (651) 779-9255	3666 E. COUNTY LINE N.	WHITE BEAR LAKE, MN 55110
MISSISSIPPI (1)				
CHATEAU RIDGELAND	105	*~ (601) 956-1331	745 S. PEAR ORCHARD ROAD	RIDGELAND, MS 39157
MISSOURI (7)				
BRIARCREST ESTATES	90	(636) 391-5300	14525 CLAYTON ROAD	BALLWIN, MO 63011
CAMBRIDGE, The	113	~ (417) 882-2223	2900 S. JEFFERSON	SPRINGFIELD, MO 65807
CARLYLE, The		^~ (800) 322-0999	1098 NE INDEPENDENCE AVENUE	LEE'S SUMMIT, MO 64086
COUNTRY SQUIRE	109	(816) 233-4200	1602 BUCKINGHAM STREET	ST. JOSEPH, MO 64506
GARDEN VILLAGE	182	+~ (816) 436-5555	8550 N. GRANBY AVENUE	KANSAS CITY, MO 64154
LAKEVIEW PARK	112	~ (636) 326-9606	1393 BOWLES AVE	FENTON, MO 63026
name pending		^~ (800) 322-0999		COLUMBIA, MO
MONTANA (3)				
ASPEN VIEW	125	+~ (406) 652-7788	3075 AVENUE C	BILLINGS, MT 59102
GRIZZLY PEAK	113	~ (406) 721-2292	3600 AMERICAN WAY	MISSOULA, MT 59802
HUNTERS POINTE	115	+~ (406) 443-4222	2801 COLONIAL DRIVE	HELENA, MT 59601
NEBRASKA (1)				
BRENTWOOD ESTATES	103	(402) 489-1112	1111 SOUTH 70th	LINCOLN, NE 68510
NEVADA (3)				
CARSON PLAZA	96	(775) 883-1221	2120 EAST LONG	CARSON CITY, NV 89706
MONTARA MEADOWS	172	~ (702) 435-3150	3150 EAST TROPICANA AVENUE	LAS VEGAS, NV 89121
SKY PEAKS	119	~ (775) 747-9555	1520 SKY VALLEY DRIVE	RENO, NV 89503
NEW MEXICO (2)				
BEAR CANYON ESTATES	124	+~ (505) 292-9191	4440 MORRIS STREET NE	ALBUQUERQUE, NM 87111
GOLDEN MESA	129	+~ (505) 522-4219	151 N. ROADRUNNER PKWY	LAS CRUCES, NM 88011

Holiday Retirement Corp.

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Facility Name	Units	Phone Number	Street	City, State
NEW YORK (4)				
MAPLE DOWNS	115	^ ~ (315) 637-0297	7220 GENESEE STREET EAST	FAYETTEVILLE, NY 13066
MAPLEWOOD ESTATES	119	+ ~ (716) 218-9570	55 AYRAULT ROAD	FAIRPORT, NY 14450
MONTGOMERY PARK	115	^ ~ (716) 688-7880	6363 TRANSIT ROAD	EAST AMHERST, NY 14051
name pending		^ ~ (800) 322-0999		GREECE, NY
NORTH CAROLINA (9)				
CARMEL PLACE	93	(704) 541-8012	5512 CARMEL ROAD	CHARLOTTE, NC 28226
CREEKSIDE TERRACE	115	~ (336) 768-5350	3895 OLD VINEYARD ROAD	WINSTON-SALEM, NC 27104
DURHAM REGENT	122	+ (919) 490-6224	3007 PICKETT ROAD	DURHAM, NC 27705
EMERALD POND	119	~ (919) 493-4713	205 EMERALD POND LANE	DURHAM, NC 27705
JORDAN OAKS	115	^ ~ (919) 387-8250	10820 PENNY ROAD	RALEIGH, NC 27606
LAKE SHORE COMMONS	120	~ + (910) 251-0067	1402 HOSPITAL PLAZA DRIVE	WILMINGTON, NC 28401
STRATFORD, THE	115	~ (336) 841-1746	1573 SKEET CLUB ROAD	HIGH POINT, NC 27265
PINECREST	118	~ (828) 325-4795	915 29TH AVENUE NE	HICKORY, NC 28601
WOODS AT HOLLY TREE, The	115	~ (910) 793-1300	4610 HOLLY TREE ROAD	WILMINGTON, NC 28409
OHIO (4)				
ALEXIS GARDENS	115	~ (419) 472-7115	4560 W. ALEXIS ROAD	TOLEDO, OH 43623
NEW ENGLAND CLUB	249	* ~ (513) 474-2582	8135 BEECHMONT AVENUE	CINCINNATI, OH 45255
PEARL CROSSING	115	~ (440) 268-9555	19201 PEARL ROAD	STRONGSVILLE, OH 44136
OKLAHOMA (3)				
SILVER ARROW ESTATES	125	+ ~ (918) 451-0383	2601 S. ELM PLACE	BROKEN ARROW, OK 74012
TALLGRASS ESTATES	113	~ (918) 331-5251	2633 MISSION ROAD SE	BARTLESVILLE, OK 74006
name pending		(800) 322-0999		TULSA, OK
OREGON (19)				
ASTOR HOUSE at Springbook Oaks	119	+ ~ (503) 537-2658	3801 HAYES STREET	NEWBERG, OR 97132
EDGEWOOD DOWNS	124	~ (503) 643-5418	7799 SW SCHOLLS FERRY ROAD	BEAVERTON, OR 97008
GARDEN VALLEY	91	(541) 673-1774	1800 HUGHWOOD	ROSEBURG, OR 97470
GRESHAM MANOR	102	~ (503) 667-9330	2895 E. POWELL BLVD	GRESHAM, OR 97080
HIDDEN LAKES	134	+ ~ (503) 588-2922	400 MADRONA AVENUE SE	SALEM, OR 97302
MADRONA HILLS	103	+ (503) 362-9141	707 MADRONA AVENUE SE	SALEM, OR 97302
PARKROSE CHATEAU	107	+ (503) 257-6777	3141 NE 148th AVENUE	PORTLAND, OR 97230
REGENT, The	82	~ (541) 752-2222	440 ELKS DRIVE	CORVALLIS, OR 97330
ROCK CREEK	108	~ (503) 617-1900	19295 NW CORNELL ROAD	HILLSBORO, OR 97124
ROGUE VALLEY	90	~ (541) 479-6400	1001 NE A STREET	GRANTS PASS, OR 97526
ROYAL MARC	77	(503) 653-1854	5555 SE KING ROAD	MILWAUKIE, OR 97222
ROYAL OAK	88	~ (541) 779-0790	2180 POPLAR DRIVE	MEDFORD, OR 97504
SHELDON OAKS	110	~ (541) 341-3700	2525 CAL YOUNG ROAD	EUGENE, OR 97401
SOLVANG	99	(541) 461-0490	1202 JACOBS DRIVE	EUGENE, OR 97402
SOMERSET LODGE	122	+ ~ (503) 657-5659	8330 CASON ROAD	GLADSTONE, OR 97027
STONE LODGE	112	~ (541) 318-0450	1460 NE 27TH	BEND, OR 97701
STONEBROOK LODGE	120	+ ~ (541) 754-1961	4700 SW HOLLYHOCK CIRCLE	CORVALLIS, OR 97333
SUMMERFIELD CLUBHOUSE EST	154	~ (503) 620-8160	11205 SW SUMMERFIELD DRIVE	TIGARD, OR 97224
VINEYARD PLACE	130	~ (503) 659-0552	4017 SE VINEYARD ROAD	MILWAUKIE, OR 97267
PENNSYLVANIA (6)				
BETHEL PARK	116	~ (412) 833-3220	2960 BETHEL CHURCH ROAD	BETHEL PARK, PA 15102
ESSEX HOUSE	115	(717) 730-7302	20 N 12TH STREET	LEMOYNE, PA 17043
MANOR AT OAKRIDGE, The	113	~ (717) 540-1895	4500 OAKHURST BOULEVARD	HARRISBURG, PA 17110
NIAGARA VILLAGE	112	~ (814) 838-1699	2380 VILLAGE COMMON DRIVE	ERIE, PA 16506
WALNUT WOODS OF BOYERTOWN	112	~ (610) 367-6616	35 NORTH WALNUT	BOYERTOWN, PA 19512
WHISPERING OAKS	120	~ (724) 347-3050	260 SOUTH BUHL FARM DRIVE	HERMITAGE, PA 16148
RHODE ISLAND (1)				
POCASSET LODGE	172	* ~ (401) 421-6610	12 OLD POCASSET LANE	JOHNSTON, RI 02919
SOUTH CAROLINA (5)				
DEEPWOOD ESTATES	120	~ (803) 996-3301	203 OLD CHAPIN ROAD	LEXINGTON, SC 29072
FOREST PINES	115	~ (803) 252-3444	1720 DEVONSHIRE DRIVE	COLUMBIA, SC 29204
HAYWOOD ESTATES	112	(864) 288-8093	1180 HAYWOOD ROAD	GREENVILLE, SC 29615
INDIGO PINES	118	~ + (843) 342-3228	110 GARDNER DRIVE	HILTON HEAD ISLAND, SC 29926
WESTMINSTER	115	~ (864) 370-9030	11 EAST AUGUSTA PLACE	GREENVILLE, SC 29605

Holiday Retirement Corp.

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Facility Name	Units	Phone Number	Street	City, State
SOUTH DAKOTA (1)				
HOLIDAY HILLS ESTATES	113 ~	(605) 348-4999	2620 HOLIDAY LANE	RAPID CITY, SD 57702
TENNESSEE (10)				
CREEKSIDE @ SHALLOWFORD	118 + ~	(423) 485-9933	7511 SHALLOWFORD ROAD	CHATTANOOGA, TN 37421
ECHO RIDGE	109 ~	(865) 769-0111	8458 GLEASON DRIVE	KNOXVILLE, TN 37919
FRANKLIN PARK	128 ~	(901) 366-6665	3393 KIRBY ROAD	MEMPHIS, TN 38115
HERITAGE PLACE	157 ~	(901) 794-8857	2990 HICKORY HILL ROAD	MEMPHIS, TN 38115
JACKSON MEADOW	113 ~	(901) 661-0095	25 MAX LANE DRIVE	JACKSON, TN 38305
KENNINGTON POINTE	153 ~ *	(901) 366-6200	6301 VILLAGE GROVE DRIVE	MEMPHIS, TN 38115
MANOR AT STEEPLECHASE, The	118 ~	(615) 778-9011	314 COOL SPRINGS BLVD.	FRANKLIN, TN 37067
UFFELMAN ESTATES	108 +	(931) 645/7850	215 UFFELMAN DRIVE	CLARKSVILLE, TN 37043
WINDLANDS EAST	179	(615) 860-2189	200 EAST WEBSTER	MADISON, TN 37115
WINDLANDS SOUTH	180	(615) 834-1951	3800 SAM BONEY DRIVE	NASHVILLE, TN 37211
TEXAS (24)				
ARLINGTON PLAZA	96 ~	(817) 478-7591	6801 W. POLY WEBB ROAD	ARLINGTON, TX 76016
BENTLEY, The	117 + ~	(972) 481-1484	3362 FOREST LANE	DALLAS, TX 75234
BROOK RIDGE	106 ~	(956) 787-3933	1001 W. RIDGE ROAD	PHARR, TX 78577
CLAIRMONT, The	96	(806) 353-0052	4707 BELL STREET	AMARILLO, TX 79109
CLAIRMONT, The	148 ~	(512) 331-7195	12463 LOS INDIOS DRIVE	AUSTIN, TX 78729
CONTINENTAL, The	128 ~	(512) 892-5995	4604 S. LAMAR	AUSTIN, TX 78745
COTTONWOOD ESTATES	113	(972) 517-1977	1940 W. SPRINGCREEK PKWY	PLANO, TX 75023
COWHORN CREEK ESTATES	112 ~	(903) 223-6666	5415 COWHORN CREEK ROAD	TEXARKANA, TX 75503
EL DORADO	102 ~	(972) 783-8600	714 W. ARAPAHO ROAD	RICHARDSON, TX 75080
ENGLEWOOD ESTATES	128 +	(512) 892-7226	2603 JONES ROAD	AUSTIN, TX 78745
FOX RUN ESTATES	102 ~	(817) 492-8600	2315 LITTLE ROAD	ARLINGTON, TX 76016
HERITAGE PLAZA	89 +	(512) 836-7213	9121 NORTH PLAZA	AUSTIN, TX 78753
LAKESHORE ESTATES	115 + ~	(254) 399-0109	3209 VILLAGE GREEN DRIVE	WACO, TX 76710
LINCOLN TOWER	110	(915) 333-1106	311 WEST 4th STREET	ODESSA, TX 79761
MADISON ESTATES	157 ~	(210) 694-7000	8645 FREDERICKSBURG ROAD	SAN ANTONIO, TX 78240
POLO PARK ESTATES	116 +	(432) 682-5772	2100 CASTLEFORD ROAD	MIDLAND, TX 79705
RENAISSANCE - AUSTIN	157 * ~	(512) 338-0995	11279 TAYLOR DRAPER LANE	AUSTIN, TX 78759
RENAISSANCE - SHERMAN	167 * ~	(903) 868-2200	3701 LOY LAKE ROAD	SHERMAN, TX 75090
RIO NORTE	119 + ~	(915) 856-6655	1941 SAUL KLEINFELD DRIVE	EL PASO, TX 79936
ROSEWOOD ESTATES	110 ~	(903) 509-9010	506 RICE ROAD	TYLER, TX 75703
TARRYTOWNE ESTATES	183 * ~	(281) 531-1905	1815 ENCLAVE PARKWAY	HOUSTON, TX 77077
VENTURA PLACE	136 + ~	(806) 785-5565	3026 54TH STREET	LUBBOCK, TX 79413
WESTBRAE COURT	178 * ~	(713) 541-9991	10680 WESTBRAE PKWY	HOUSTON, TX 77031
WHITEROCK COURT	115 ~	(214) 503-7223	9215 WHITEROCK TRAIL	DALLAS, TX 75238
UTAH (4)				
HARRISON REGENT	90	(801) 479-1653	4481 HARRISON BLVD	OGDEN, UT 84403
PIONEER VALLEY LODGE	115 ~	(435) 792-0353	2351 N 400 E	NORTH LOGAN, UT 84341
SEVILLE, The	97	(801) 224-8044	325 WEST CENTER	OREM, UT 84057
SOUTH TOWNE RANCH	115 ~	(801) 944-0082	310 E 10600 S	SANDY, UT 84070
VIRGINIA (4)				
ELM PARK ESTATES	110	(540) 989-2010	4230 ELM VIEW ROAD	ROANOKE, VA 24014
FAIRMONT, The	99 ~	(703) 257-7111	9852 FAIRMONT AVENUE	MANASSAS, VA 20109
VIRGINIAN, The	117 + ~	(804) 330-4252	300 TWINRIDGE LANE	RICHMOND, VA 23235
name pending		(800) 322-0999		CHESAPEAKE, VA
WASHINGTON (14)				
BEDFORD, The	~	(360) 891-6898	13303 SE MCGILLIVRAY	VANCOUVER, WA 98683
CAPITAL PLACE	111 ~ +	(360) 357-9922	700 BLACK LAKE BOULEVARD	OLYMPIA, WA 98502
CASCADIAN PLACE	102	(425) 339-2225	3915 COLBY AVENUE N	EVERETT, WA 98201
CHARBONNEAU	118 ^ ~	(509) 734-4331	8264 W GRANDRIDGE BOULEVARD	KENNEWICK, WA 99336
EVERGREEN PLACE	110 +	(425) 226-3312	1414 MONROE AVENUE NE	RENTON, WA 98056
FERNWOOD at the PARK	107	(206) 242-1455	17623 FIRST AVENUE SOUTH	NORMANDY PARK, WA 98148
GARDEN CLUB, The	103 ~	(425) 643-7111	13350 SE 26th STREET	BELLEVUE, WA 98005
HARVARD PARK	105	(509) 747-2703	1616 E. 30th AVENUE	SPOKANE, WA 99203
KAMLU-VANCOUVER	84	(360) 695-9281	1000 NE 82nd AVENUE	VANCOUVER, WA 98664
ORCHARD PARK	99 ~	(509) 575-0095	620 N. 34th AVENUE	YAKIMA, WA 98902
PARK PLAZA	98 + ~	(509) 525-6513	1400 DALLES MILITARY ROAD	WALLA WALLA, WA 99362
PARKWAY CHATEAU	109	(360) 671-6060	2818 OLD FAIRHAVEN PARKWAY	BELLINGHAM, WA 98225
POINT DEFIANCE VILLAGE	165 + ~	(253) 759-8908	6414 N. PARK WAY	TACOMA, WA 98407
WILLOW GARDENS	144 +	(253) 848-4430	4502 6TH STREET SE	PUYALLUP, WA 98374

Holiday Retirement Corp.

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Facility Name	Units	Phone Number	Street	City, State
WISCONSIN (1)				
OAKWOOD HILLS	114	^ ~ (715) 552-1500	4316 OAKWOOD HILLS PARKWAY	EAU CLAIRE, WI 54701
XL MANAGEMENT (10)				
BENTLEY MANOR	88	* (972) 247-2266	3344 FOREST LANE	DALLAS, TX 75234
EDGEWOOD POINT	68	* (503) 671-9474	7733 SW SCHOLLS FERRY ROAD	BEAVERTON, OR 97008
HUNTER'S GLEN	101	* (406) 542-7009	3620 AMERICAN WAY	MISSOULA, MT 59808
KAMLU-HAZEL DELL	71	* (360) 693-2402	7514 NE 13th AVENUE	VANCOUVER, WA 98665
MADISON MEADOWS	122	~ (602) 944-4222	7211 N. 7th STREET	PHOENIX, AZ 85020
MANOR @ ESSINGTON	101	* (815) 729-4773	3320 EXECUTIVE DRIVE	JOLIET, IL 60431
MOUNTAIN VIEW	111	+* (541) 482-3292	548 NORTH MAIN	ASHLAND, OR 97520
PEPPERTREE SQUARE	115	* (623) 878-5115	10420 N 89TH AVENUE	PEORIA, AZ 85345
SOMERSET		* (503) 723-7868	8360 CASON ROAD	GLADSTONE, OR 97027
STONEBROOK		* (541) 758-2026	4650 SW HOLLYHOCK CIRCLE	CORVALLIS, OR 97333

CANADA

ALBERTA (5)

ARBOUR LAKE	113	~ (403) 374-0955	900 ARBOUR LAKE ROAD NW	CALGARY, AB T3G 5J1
CANYON MEADOWS	110	~ (403) 278-4004	12 DEERVIEW TERRACE SE	CALGARY, AB T2J 7E6
CHURCHILL MANOR	111	~ (780) 466-2961	5815 34TH AVENUE	EDMONTON, AB T6L 7B8
IRONWOOD ESTATES	109	~ (780) 459-0770	40 IRONWOOD POINT	ST. ALBERT, AB T8N 6R1
VICTORIA PARK	112	~ (403) 309-1957	9 AVERY STREET	RED DEER, AB T4R 2S8

BRITISH COLUMBIA (6)

IMPERIAL PLACE	102	~ (604) 581-1555	13853 102nd AVENUE	SURREY, BC V3T 5P6
LOGLAKE CHATEAU	110	~ (250) 756-1411	3035 ROSS ROAD	NANAIMO, BC V9T 5S8
OKANAGAN CHATEAU	106	~ (250) 862-9088	2100 BENOULIN	KELOWNA, BC V1W 3A4
VICTORIAN, The	91	~ (250) 477-1912	1773 FELTHAM ROAD	VICTORIA, BC V8N 6E8
VICTORIAN AT MCKENZIE, The name pending	114	~ (250) 381-9496 (800) 322-0999	4000 DOUGLAS STREET	VICTORIA, BC V8X 5K5 PRINCE GEORGE, BC

MANITOBA (3)

AMBER MEADOW	114	~ (204) 633-5467	320 PIPELINE ROAD	WINNIPEG, MB R2P 2X5
RIVERHEIGHTS TERRACE	117	~ (204) 725-2225	4525 VICTORIA AVE	BRANDON, MB R7B 4A6
WESTHAVEN	113	~ (204) 831-6742	3033 PORTAGE AVENUE	WINNIPEG, MB R3K 2E3

NEW BRUNSWICK (2)

CHATEAU DE CHAMPLAIN	114	~ (506) 633-1195	300 BOARS HEAD ROAD	SAINT JOHN, NB E2K 5C2
STE. ANNE'S COURT	114	~ (506) 450-9433	81 DUNCAN LANE	FREDERICTON, NB E3B 9T1

ONTARIO (12)

ANCHOR POINTE	125	+ ~ (905) 938-7070	540 ONTARIO STREET	ST. CATHARINES, ON L2N 7S2
COURT AT BARRHAVEN, The	114	^ ~ (613) 823-2763	1111 LONGFIELDS DRIVE	NEPEAN, ON K2J 5A9
COURT AT BROOKLIN, The	115	^ ~ (905) 655-7718	5909 ANDERSON STREET	BROOKLIN, ON L1M 2H1
COURT AT PRINGLE CREEK, The	119	+ ~ (905) 665-4837	3975 ANDERSON STREET	WHITBY, ON L1N 5R5
COURT AT RUSHDALE, The	115	^ ~ (905) 575-6832	1360 UPPER SHERMAN AVENUE	HAMILTON, ON L8W 3Z6
CRYSTAL VIEW LODGE	119	+ ~ (613) 225-4560	6 MERIDIAN PLACE	NEPEAN, ON K2G 6L9
FAIRWINDS LODGE	111	~ (519) 542-8814	1218 MICHIGAN AVENUE	SARNIA, ONT N7S 6L1
KENSINGTON COURT	114	~ (519) 966-8558	1953 CABANA ROAD W.	WINDSOR, ON N9G 2X6
KINGSDALE CHATEAU	114	~ (613) 547-4884	520 KINGSDALE AVENUE	KINGSTON, ON K7M 9B6
MASONVILLE MANOR	112	~ (519) 663-0220	350 NORTH CENTRE ROAD	LONDON, ON N6G 5G3
SHERBROOKE HEIGHTS name pending	114	~ (705) 750-1020 ^ ~ (800) 322-0999	1434 SHERBROOKE STREET	PETERBOROUGH, ON K9K 2L7 NIAGARA FALLS, ON

QUEBEC (2)

SAINTE PATRICK, Residence le STEGER, Residence la	354 103	~* (418) 522-6444 * (514) 337-0000	130 GRANDE - ALLEE EST 2450 THIMENS BLVD	QUEBEC CITY, QC G1R 5N2 SAINT-LAURENT, QC H4R 2M2
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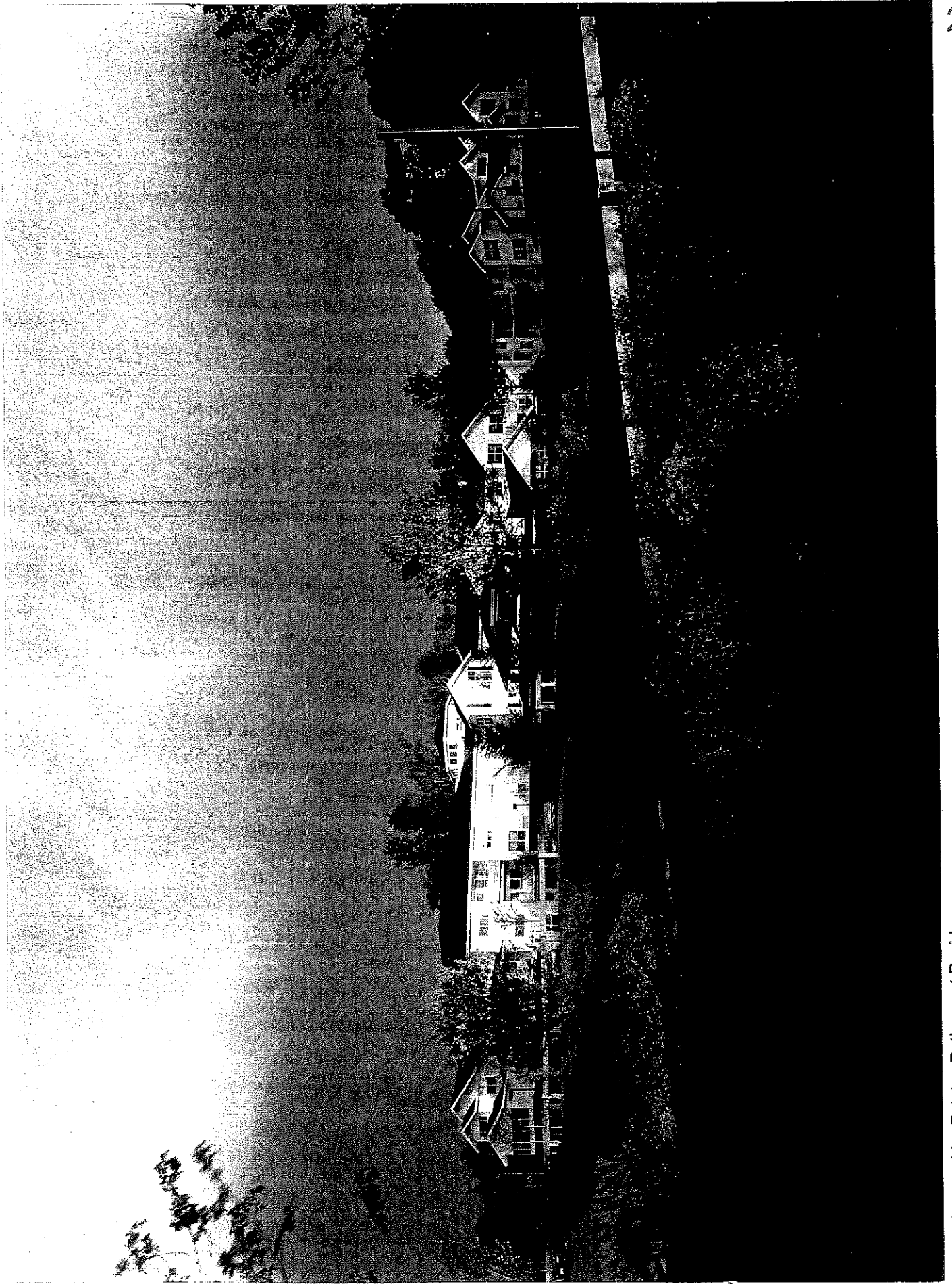
SASKATCHEWAN (3)

MULBERRY ESTATES	114	~ (306) 694-5020	220 MULBERRY LANE	MOOSE JAW, SK S6H 1N1
PRIMROSE CHATEAU	114	~ (306) 975-0663	310 CREE CRESCENT	SASKATOON, SK S7K 8C7
QUEEN VICTORIA ESTATES	114	~ (306) 790-1900	2025 HESELTINE ROAD	REGINA, SK S4V 2Z4

Holiday Retirement Corp.

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Facility Name	Units	Phone Number	Street	City, State
EUROPE				
ENGLAND (2)				
HAWTHORNS, The	109 ~	127/579-0060 (011) (44)	18-19 ELTON ROAD	CLEVEDON, N. SOMERSET BS21 7EH
HAWTHORNS-EASTBOURNE, The	102 ~	132/364-4111 (011) (44)	4 CAREW ROAD	EASTBOURNE, E. SUSSEX BN21 2BF
FRANCE (34)				
GROUPE SERIENCE				
HOTELIA (21 TOTAL)				
HOTELIA BORDEAUX		05 56 99 43 43	1, RUE J.R. DANDICOLLE	33000 BORDEAUX
HOTELIA CANNES MOUGINS		04 92 92 29 28	886, AV. DE TOURNAMY	06250 MOUGINS
HOTELIA EAUBONNE		01 34 06 13 13	2, RUE HENRI BARBUSSE	95600 EAUBONNE
HOTELIA FREJUS ST RAPHAEL		04 94 51 72 20	301, AVENUE ANDREI SAKHAROV	83600 FREJUS
HOTELIA HYERES		04 94 38 49 49	AVENUE JEAN MOULIN	83400 HYERES LAS PALMIERS
HOTELIA LYON		04 78 60 23 23	PARC GAMBETTA RUE DU DIAPASON	69003 LYON
HOTELIA MARCQ EN BAROEUL		03 20 74 12 13	68, RUE NATIONALE	59700 MARCQ EN BAROEUL
HOTELIA MARSEILLE VITROLLES		04 42 89 93 79	"LES ALPILLES" CENTRE URBAIN	13127 VITROLLES
HOTELIA MEUDON		01 46 23 27 00	"RESIDENCE LES TYBILLES" 1, RUE DES TYBILLES	92190 MEUDON BELLEVUE
HOTELIA MONTPELLIER		04 67 65 50 24	"LA POMPIGNANE" 662, AVENUE DE LA POMPIGNANE	34000 MONTPELLIER
HOTELIA NANCY		03 83 96 46 02	"LA SAONE" 8, RUE DE LA SAONE	54520 LAXOU
HOTELIA NOISY LE GRAND		01 48 15 54 00	LE CLOS SAINT VINCENT RUE DU DOCTEUR JEAN VAQUIER	93160 NOISY LE GRAND
HOTELIA PARIS MAINE ALESIA		01 53 90 28 28	187 BIS, AVENUE DU MAINE	75014 PARIS
HOTELIA PARIS CHAMP DE MARS		01 56 58 33 33	64, RUE DE LA FEDERATION	75015 PARIS
HOTELIA PARIS PARC MONCEAU		01 42 12 95 95	26, RUE MEDERIC	75017 PARIS
HOTELIA PAU		05 59 30 66 55	45, AVENUE FEDERICO GARCIA LORCA	64000 PAU
HOTELIA PERPIGNAN		04 68 35 15 00	18, COURS LAZARE ESCARGUEL	66000 PERPIGNAN
HOTELIA REIMS		03 26 88 79 79	10-12, RUE CERES	51100 REIMS
HOTELIA ROUBAIX		03 20 45 06 06	7, GRAND RUE	59100 ROUBAIX
HOTELIA ROUEN		02 35 03 20 02	21, PLACE DE L'EGLISE SAINT SEVER	76100 ROUEN
HOTELIA SURESNES		01 41 38 15 00	36, RUE CARNOT	92150 SURESNES
HOTELIA VERSAILLES LE CHESNAY		01 39 23 34 34	14-16, BD SAINT ANTOINE	78150 LE CHESNAY
LES VILLANDIERES (11 TOTAL)				
LES VILLANDIERES AMIENS		03 22 22 26 00	30, RUE SAINT GERMAIN	80000 AMIENS
LES VILLANDIERES BREST		02 98 03 96 00	12, RUE JEAN BON SAINT ANDRE	29200 BREST
LES VILLANDIERES BRETEUIL SUR ITON		02 32 24 83 00	175, RUE NEUVE DE BEMECOURT	27160 BRETEUIL SUR ITON
LES VILLANDIERES CHALON		03 85 41 77 00	12, IMPASSE DU CARLOUP	71331 CHALON SUR SAONE CEDEX
LES VILLANDIERES GRENOBLE		04 76 63 63 00	50, RUE DE MORTILLET	38000 GRENOBLE
LES VILLANDIERES MAISONS-LAFFITTE		01 34 93 50 00	5, AVENUE FAVART	78600 MAISONS LAFFITTE
LES VILLANDIERES OUISTREHAM		02 31 36 42 00	40, BOULEVARD BOVIN CHAMPEAUX	14150 OUISTREHAM
LES VILLANDIERES VALENCE		04 75 82 38 00	9, RUE JULES MASSENET	26000 VALENCE
CENTRES DE SOINS DE SUITE ET DE READAPTATION				
LA BOISSIERE		02 37 33 49 00	22, RUE DE LA BOISSIERE	28630 NOGENT LE PHAYE
CHATEAU DE SAINT PIERE OURSIN		02 31 20 19 00		14370 VIMONT
RESIDENCES AVEC SERVICES				
LES FLORIALES NARBONNE	*	04 68 90 35 35	10-11, QUAI D'ALSACE	11100 NARBONNE
LES FLORIALES SETE	*	04 67 46 22 22	16, RUE VOLTAIRE	34200 SETE

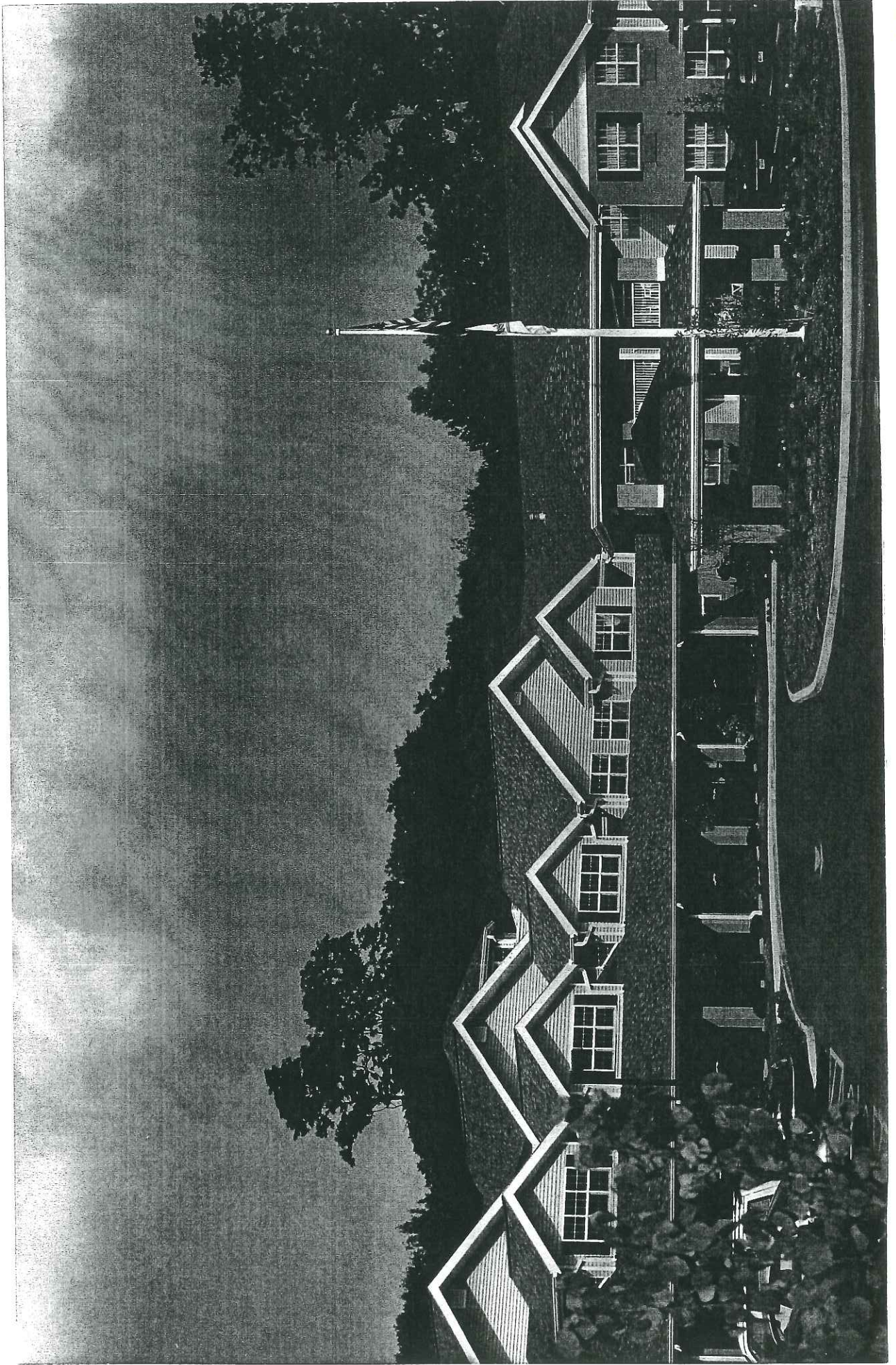


Devonshire Estates Retirement Residence
Lenox, Massachusetts

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Devonshire Estates Retirement Residence
Lenox, Massachusetts

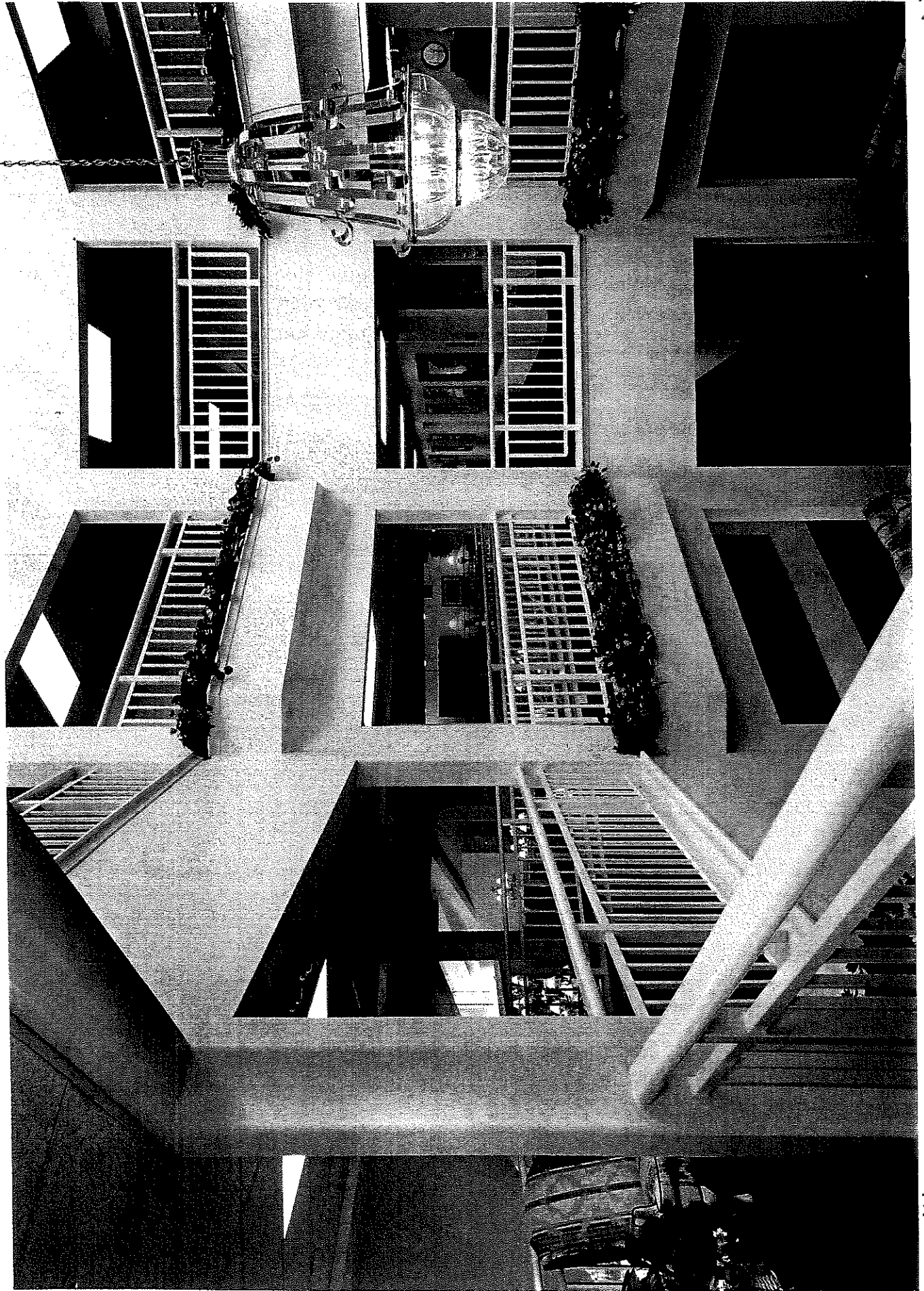


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Maplewood Estates Retirement Residence
Fairport, New York



Dining Room
Westminster Retirement Residence
Greenville, South Carolina



Atrium
Westminster Retirement Residence
Clemsonville, South Carolina

2g



Private Suite
Westminster Retirement Residence
Greenville, South Carolina

FACILITY NAME	ADDRESS	SUITES	GARDEN SUITES	COTTAGES	ALZ UNITS	TOTAL SUITES	PARKING SPACES	PER SUITE
Canyon Meadows	12 Deerview Terrace SE, Calgary, Alberta T2J 7E6	100	0	0	0	100	60	0.6
Churchill Manor	5815 34th Avenue, Edmonton, Alberta T6L 7B8							
Victoria Park	#9 Avery Street, Red Deer, Alberta T4R 2S6	112	0	0	0	112	70	0.625
Ironwood Estates	40 Ironwood Point, St. Albert, Alberta T8N 5C7	109	0	0	0	109	57	0.5229
Okanagan Chateau	2100 Benvoulin, Kelowna, BC V1W3A4	106	0	0	0	106	63	0.59
Longlake Chateau	3033 Ross Rd., Nanaimo, BC V9T 5S8	111	0	0	0	111	60	0.54
Imperial Place	13853 102nd Ave., Surrey, BC V3T 1P2	102	0	0	0	102	73	0.72
Victorian, The	1773 Faltham Rd., Victoria, BC V8N 2A4	91	0	0	0	91	43	0.47
Riverheights Terrace	4525 Victoria Ave., Brandon, Manitoba R7B 4A6	117	0	0	0	117	70	0.60
Amber Meadow	320 Pipeline Rd., Winnipeg, Manitoba R2P 2X5	114	0	0	0	114	72	0.63
Saint Anne's Court	81 Duncan Lane, Fredericton, NB E3B 4S2	114	0	0	0	114	72	0.63
Chateau de Champlain	300 Boars Head Rd., St. John, New Brunswick E2L 3W2	114	0	0	0	114	70	0.61
Kingsdale Chateau	520 Kingsdale Ave., Kingston, ONT K7M 9B6	114	0	0	0	114	72	0.50
Masonville Manor	350 North Centre Rd., London, ONT N6X 3N1	112	0	0	0	112	65	0.5893
Crystal View Lodge	#6 Meridian Place, Nepean, ONT K2G 6L9	114	2	3	0	119	70	0.6195
Sherbrooke Heights	1434 Sherbrooke St. West, Peterborough, ONT	114	0	0	0	114	70	0.614
Fairwinds Lodge	1218 Michigan Ave., Sarnia, ONT N7S 6J4	111	0	0	0	111	61	0.5495
Anchor Pointe	540 Ontario St., St. Catharines, ONT L2N 6J7	123	2	0	0	125	109	0.872
The Cr. @ Pringle Creek	3975 Anderson St., Whitby, ONT L1N 8R5	114	5	0	0	119	70	0.5882
Kensington Court	1953 Cabana Rd. West, Windsor, Ontario	114	0	0	0	114	67	0.5977
Queen Victoria Estates	2025 Heseltine Road, Regina Sask SK S4N 7L2	114	0	0	0	114	67	0.5877
Primrose Chateau	310 Cree Crescent, Saskatoon, Sask S7K 8C	114	0	0	0	114	72	0.53
Hawthorns, The	18-21 Elton Road, Clevedon, N. Somerset BS21	109	0	0	0	109		
The Hawthornes - Eastbol	Carney Road, Eastbourne, BN21 2AX	102	0	0	0	102	46	0.45
Monarch Estates	E. University Drive Auburn, AL	114	0	0	0	114	87	0.76
University Oaks	850 University Blvd S., Mobile, AL 36609	110	0	0	0	110	54	0.49
Eastdale Estates	5801 Eastdale Dr., Montgomery, AL 36117	107	0	0	0	107	52	0.49
Andover Place	2601 Andover Ct., Little Rock, AR 72207	111	0	0	0	111	56	0.50
Gardens at Arkanshire	5000 Arkanshire Circle, Springdale, AR 72674	111	20	0	0	131	98	0.75
Vista Del Rio	32679 - N. 94th Dr., Peoria, AZ 85381	112	5	0	0	118	65	0.55
Vista de la Montana	18510 N. Parkview Place, Surprise, AZ 85374	110	3	0	0	113	72	0.64
Desert Rose	1545 S. 14th Ave., Yuma, AZ 85364	113	0	0	0	113	56	0.50
Quail Lodge	4840 Deer Valley Road, Antioch, CA 94509	121	2	0	0	123	76	0.62
Oaks of Auburn, The	3250 Blue Oaks Dr., Auburn, CA 95602	110	0	0	0	110	63	0.57
Carriage House Estates	8200 Westwood Dr., Bakersfield, CA 93311	112	6	6	0	124	88	0.79

PROPERTY DEVELOPED AND MANAGED BY HOLIDAY RETIREMENT CORP.

FACILITY NAME	ADDRESS	SUITES	GARDEN SUITES	COTTAGES	ALZ UNITS	TOTAL SUITES	PARKING SPACES	PER SUITE
Columbus Estates	3201 Columbus, Bakersfield, CA 93306	125	0	0	0	125	75	0.60
Oakmont	2801 Cohasset, Chico, CA 95926	91	0	0	0	91	51	0.56
Creekside Oaks	1745 Creekside Rd., Folsom, CA 95630	105	0	0	0	105	72	0.65
Fig Garden	6095 N. Marks Ave., Fresno, CA 93711	101	0	0	0	101	46	0.46
Wishfire, The	2727 N. 11th Ave., Hanford, CA 93230	112	0	4	0	116	57	0.52
Waterford Terrace	5580 Aztec Dr., La Mesa, CA 91942	90	0	0	0	90	42	0.47
Palms, The	13001 La Mirada Blvd., La Mirada, CA 90638	152	0	0	0	152	90	0.44
Vintage, The	2145 W. Kettleman Dr., Lodi, CA 95240	108	9	0	0	117	62	0.53
Hampshire, The	3460 R St., Merced, CA 95348	105	4	0	0	113	57	0.55
Standford Place	3420 Shawnee Dr., Modesto, CA 95350	102	0	0	0	102	65	0.64
Redwood	2350 Redwood Rd., Napa, CA 94558	97	0	0	0	97	52	0.54
Deer Park	646 Canyon Rd., Novato, CA 94947	85	0	0	0	85	43	0.51
Feather Canyon	5900 Canyon View Drive, Paradise, CA 95969	115	5	5	0	125	84	0.74
Bay Park	2621 Appian Wy., Pinole, CA 94564	96	0	0	0	96	51	0.53
Sierra Hills	2508 W. Henderson Ave., Porterville, CA 93257	112	7	0	0	119	75	0.64
Valencia Commons	6729 Hermosa, Rancho Cucamonga, CA	114	0	0	0	114	72	0.63
Hilltop	451 Hilltop Dr., Redding, CA 96003	96	0	0	0	96	41	0.43
Mission Commons	10 Terracina Blvd., Redlands, CA 92373	139	0	0	0	139	104	0.75
Magnolia	3537 Magnolia, Riverside, CA 92573	96	0	0	0	96	35	0.35
Las Brisas	1299 Briarwood Dr., San Luis Obispo, CA 93401	100	0	0	0	100	45	0.45
Westmont	1675 Scott Blvd., Santa Clara, CA 95050	136	0	0	0	136	90	0.65
Walnut Park	4119 W. Walnut, Visalia, CA 93277	101	0	0	0	101	63	0.52
Arcadia Place	1000 Arcadia Ave., Vista, CA 92084	114	0	0	0	114	65	0.57
Bridgecreek	3601 Holt Ave., West Covina, CA 91791	108	0	0	0	108	54	0.50
Sunridge	3820 Flintridge Dr., Colorado Springs, CO 80918	90	0	0	0	90	45	0.50
Quincy Place	7200 Quincy Ave. East, Denver, CO 80202	113	4	0	0	117	74	0.63
Parkwoods Estates	2201 S. Lemay, Ft. Collins, CO 80525	110	0	0	0	110	168	1.53
Atrium of Grand Valley, The	3260 N. 12th, Grand Junction, CO 81506	126	0	0	0	126	79	0.63
Mesa View	501 Horizon Place, Grand Junction, CO 81506	101	0	0	0	101	39	0.39
Greeley Place	1051 6th St., Greeley, CO 80631	102	0	0	0	102	46	0.45
Courtyard at Lakewood	7400 West 13th Ave., Lakewood, CO 80215	121	0	0	0	121	41	0.34
Lakewood Estates	8585 W. Dakota Ave., Lakewood, CO 80226	90	0	0	0	90	52	0.58
Longmont Regent	2210 Main St., Longmont, CO 80501	96	0	0	0	96	57	0.70
Pueblo Regent	100 San Carlos, Pueblo, CO 81005	97	0	0	0	97	41	0.42
Augustine Landing	10141 Old St. Augustine Rd., Jacksonville, FL 32257	109	0	0	0	109	65	0.60

PROPERTY DEVELOPED AND MANAGED BY HOLIDAY RETIREMENT CORP.

FACILITY NAME	ADDRESS	SUITES	GARDEN SUITES	COTTAGES	ALZ UNITS	TOTAL SUITES	PARKING SPACES	PER SUITE
Azalea Park	1325 Grasslands Blvd. Lakeland, FL 33813	115	0	0	0	115	79	0.69
University Pines	8991 University Parkway, Pensacola, FL 32514	110	3	0	0	113	54	0.48
Cherry Laurel	1009 Concord Dr., Tallahassee, FL	115	0	0	0	115	67	0.58
Iris Place	755 Epps Bridge Rd., Athens, GA	118	5	15	0	140	138	1.23
Washington Commons	4100 Washington Road, Augusta, GA 30909	115	0	10	0	125	74	0.70
Riverplace	8850 River Rd., Columbus, GA 31904	112	0	0	0	112	63	0.56
The Regency House	341 Winn Wy., Decatur, GA 30030	102	0	0	0	102	60	0.59
Smoky Springs	940 South Enota Drive, Gainesville, GA 30601	115	0	0	0	115	70	0.61
Pinegate	4207 Forsythe Rd., Macon, GA	115	0	0	0	115	82	0.71
River's Edge	5206 Waters Ave. Savannah, GA 31405	115	0	4	0	119	74	0.62
Hawaii Kai - Phase I	428 Kawaihae Dr., Honolulu, HI 96825	139	0	13	43	195	173	1.02
Hawaii Kai - Phase II	428 Kawaihae St. Honolulu, HI 96825	135	0	2 DPLX	38	175	145	0.82
Palmer Hills	2617 Maplecrest Rd., Bettendorf, IA 52722	104	0	0	0	104	63	0.61
Beaverdale Estates	4610 Douglas Ave., Des Moines, IA 50310	102	0	0	0	102	58	0.57
Walden Place	2423 Walden Rd., Iowa City, IA 52246	102	0	0	0	102	60	0.59
Illahae Hills	8308 Colby Parkway, Urbandale, IA 50922	104	3	0	0	107	76	0.71
Chateau de' Boise	7250 Poplar St., Boise, ID 83704	98	0	0	0	98	42	0.43
Essington Estates	901 Essington Rd., Joliet, IL 60435	110	0	0	0	110	56	0.51
Blair House	1200 East College, Normal, IL 61761	109	0	0	0	109	66	0.61
Montvale Estates	2501 Montvale Dr., Springfield, IL 62704	109	10	0	0	119	64	0.54
Redbud Hills	333 E. Moores Pike, Bloomington, IN 47401	112	0	0	0	112	64	0.57
Parkside Court	3560 Central Ave., Columbus, IN 47203	89/80	0	0	0	118	75	0.64
Willow Park	5050 Lincoln Ave., Evansville, IN 47715	98	0	0	0	98	49	0.50
Arbor Glen	5202 St. Joe Rd., Ft. Wayne, IN 46835	110	5	0	0	118	59	0.50
Thornton Place	2901 SW Armstrong, Topeka, KS 66614-5632	112	7	0	0	119	70	0.59
Grasslands Estates	W of SWC OF 13th St. W. & Maize	115	0	0	0	115	72	0.63
Ashwood Place	102 Leonardwood, Frankfort, KY 40601	99	0	0	0	99	71	0.72
Hartland Hills	4470 Tates Creek Rd., Lexington, KY 40515	117	0	0	0	117	69	0.59
Oxmoor Lodge	8021 Christian Way, Louisville, KY 40222	112	4	2	0	118	80	0.70
Ponder Creek Estates	527 Yalfry College Drive Louisville, KY 40272	118	0	0	0	118	84	0.71
Whealdon Estates	8680 Jefferson Hwy., Baton Rouge, LA 70809	98	0	0	0	98	48	0.49
Nouveau Marc	1101 Sunset Blvd., Kenner, LA 70065	108	0	0	0	108	33	0.31
Landing at Behrman Place	3601 Behrman Place, New Orleans, LA 70114	107	0	0	0	107	38	0.36
Summerfield Estates	9133 Baird Rd., Shreveport, LA 71118	101	0	0	0	101	52	0.51
Quail Run Estates	50 Cardinal Drive Agawam, MA 01001	107	5	9	0	121	75	0.73

PROPERTY DEVELOPED AND MANAGED BY HOLIDAY RETIREMENT CORP.

FACILITY NAME	ADDRESS	SUITES	GARDEN SUITES	COTTAGES	ALZ UNITS	TOTAL SUITES	PARKING SPACES	PER SUITE
Summer Place	20 Summer St., Chelmsford, MA 01824	110	0	0	0	110	62	0.56
Devonshire Estates	329 Pittsfield Rd., Lenox, MA 01240	108	10	10	0	128	110	0.70
Sunbury Village	922 Ohio St., Bangor, ME 04401	115	0	0	0	115	78	0.68
The Woods at Canco	219 Canco Rd., Portland, ME 04103	115	5	8	0	128	91	0.81
Genesee Gardens	4505 of Calkins Rd., Flint, MI	117	0	0	0	117	78	0.67
The Marquette	5968 Park Lake Rd., Meridian, MI 48823	115	0	0	0	115	69	0.60
Blue Water Lodge	2840 Keevabudin Road, Post Huron, MI 48059	115	0	4	0	119	78	0.70
Wescourt	4141 McCarty Rd., Saginaw, MI 48603	109	5	4	0	118	73	0.66
Glen Eagle	Silver Lake @ South Airport Rd., Traverse City, MI	115	0	4	0	119	78	0.70
The Inn at Cass Lake	900 N. Cass Lake Rd., Waterford, MI 48328	110	0	0	0	110	64	0.58
Aurora Pond	5516 Byron Center Ave. S.W., Wyoming, MI 49509	115	7	10	0	132	120	1.07
Lodge at White Bear	3666 East County Line Rd., White Bear Lake, MN 55110	115	0	0	0	115	69	0.60
Briarcrest Estates	14525 Clayton Rd., Ballwin, MO 63011	90	0	0	0	90	53	0.59
Cambridge, The	2900 S. Jefferson, Springfield, MO 65807	113	0	0	0	113	0	0.00
Country Square	1502 Buckingham St., St. Joseph, MO 64506	110	0	0	0	110	64	0.58
Lakeview Park	1391 Bowles Ave., St. Louis, MO	112	0	0	0	112	72	0.64
Aspen View	3075 Avenue C, Billings, MT 59102	109	12	4	0	125	97	0.83
Hunter's Pointe	2901 Colonial Dr., Helena, MT 59601	109	0	6	0	115	90	0.87
Durham Regent	3007 Pickett Rd., Durham NC 27705	122	0	0	0	122	39	0.32
Emerald Pond	205 Emerald Pond Lane, Durham NC 27705	112	0	6	0	118	74	0.70
Lakeshore Commons	1402 Hospital Plaza Dr., Wilmington, NC 28401	118	0	0	0	118	67	0.57
The Woods at Holly Tree	4610 Holly Tree Rd., Wilmington, NC 28403	115	0	0	0	115	59	0.51
Creekside Terrace	N. side of Old Vineyard Rd., Winston-Salem, NC	115	0	0	0	115	87	0.76
Brentwood Estates	1111 So. 70th, Lincoln, NE 68510	103	0	0	0	103	62	0.60
Bear Canyon Estates	4440 Morris St. NE, Albuquerque, NM 87111	110	14	0	0	124	77	0.62
Golden Mesa	150 N. Roadrunner Parkway Las Cruces, NM 88001	110	10	9	0	129	104	0.94
Carson Plaza	2120 E. Long, Carson City, NV 89705	96	0	0	0	96	58	0.60
Maplewood Estates	55 Ayrault Rd., Fairport, NY 14450	111	0	8	0	119	91	0.88
Taigress Estates	Camelot Dr., Bartlesville, OK 74095	113	0	0	0	113	65	0.58
Silver Arrow Estates	S. Elm Place, Broken Arrow, OK 74012	115	0	5	0	120	81	0.74
Mountain View	548 North Main, Ashland, OR 97520	110	0	0	0	110	58	0.53
Edgewoods Downs	7799 SW Scholls Ferry Rd., Beaverton, OR 97005	124	0	0	0	124	46	0.37
Edgewood Down ALF	7233 S.W. Scholls Ferry Rd., Beaverton, OR 97005	46 ALF	0	4	16	66	49	0.84
Stone Lodge	1460 N.E. 27th St., Bend, OR 97701	112	0	0	0	112	66	0.59
The Regent	440 Elks Dr., Corvallis, OR 97330	82	0	0	0	82	53	0.77

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FACILITY NAME	ADDRESS	SUITES	GARDEN SUITES	COTTAGES	ALZ UNITS	TOTAL SUITES	PARKING SPACES	PER SUITE
Stoneybrook Lodge	49th St. & S.W. Country Club Dr., Corvallis, OR 97333	115	0	5	0	120	80	0.73
Sheiden Oaks	2525 Cal Young Rd., Eugene, OR 97402	110	0	0	0	110	71	0.65
Somerset Lodge	8330 Cason Rd., Gladstone, OR 97027	115	7	0	0	122	80	0.66
Rougue Valley	1001 A St. NE., Grams Pass, OR 97526	90	0	0	0	90	40	0.44
Gresham Manor	2895 E. Powell Blvd., Gresham, OR 97080	102	0	0	0	102	46	0.45
Rock Creek	19295 NW Cornell Rd., Hillsboro, OR 97124	108	0	0	0	108	56	0.52
Royal Oak	2180 Poplar Dr., Medford, OR 97501	90	0	0	0	90	45	0.50
Parkrose Chateau	3141 NE 146th Ave., Portland, OR 97230	107	0	0	0	107	75	0.71
Garden Valley	1800 Hughwood, Roseburg, OR 97470	92	0	0	0	92	45	0.49
Hidden Lakes	400 Madrona Ave. SE., Salem, OR 97302	123	0	0	0	123	80	0.65
Bethel Park	2999 Bethel Church Rd., Bethel Park, PA 15102	116	0	0	0	116	70	0.60
The Manor @ Oakridge	4500 Oakhurst Blvd., Susquehanna Township, PA 17111	113	0	0	0	113	74	0.65
Pocasset Lodge	12 Old Pocasset Lane, Johnston, RI 02919	172	0	0	0	172	102	0.59
Forest Pines	1720 Devonshire Dr., Columbia, SC 29204	116	0	0	0	116	69	0.60
Haywood Estates	1180 Haywood Rd., Greenville, SC 29615	110	0	0	0	110	53	0.48
Westminster	11 E. Augusta Pl., Greenville, SC 29605	115	0	0	0	115	70	0.61
Indigo Pines	110 Gardner Drive, Hilton Head Is., SC 29926	113	5	0	0	118	88	0.58
Deepwood Estates	202 Old Chapel Rd., Lexington, SC 29072	115	0	0	0	115	72	0.63
Holiday Hills Estates	2620 Holiday Lane, Rapid City, SD 57702	113	0	0	0	113	69	0.61
Rosewood Estates	505 Rice Rd., Tyler, TX 75703	110	0	0	0	110	54	0.49
Creekside @ Shallowford	7511 Shallowford Rd., Chattanooga, TN 37421	114	0	4	0	118	65	0.59
Uffelman Estates	125 Uffelman Dr., Clarksville, TN 37043	104	3	0	0	107	61	0.57
Manor at Steeplechase	314 Cool Springs Blvd., Franklin, TN 37067	118	0	0	0	118	71	0.60
Jackson Meadow	25 Max Lane Dr., Jackson, TN 38305	113	0	0	0	113	78	0.69
Echo Ridge	8458 Gleason Dr., Knoxville, TN 37919	109	0	0	0	109	63	0.58
Franklin Park	3333 Kirby Rd., Memphis, TN 38115	129	0	0	0	129	67	0.52
Clairmont	4707 Bell St., Amarillo, TX 79109	96	0	0	0	96	47	0.49
Arlington Plaza	6801 W. Poly Webb Rd., Arlington, TX 76016	95	0	0	0	95	58	0.71
Fox Run	2315 Little Rd., Arlington, TX 76016	102	0	0	0	102	54	0.53
Englewood Estates	2503 Jones Rd., Austin, TX 78745	110	0	0	0	110	64	0.59
Bentley, The	3362 Forest Lane, Dallas, TX 75234	109	8	0	0	117	81	0.69
Whiterock Court	8900 Block of Whiterock Trail, Dallas, TX 75204	115	0	0	0	115	78	0.68
Rio Norte	1941 Saul Kleinfeld Dr., El Paso, TX 79936	110	5	4	0	119	53	0.57
Vertura Plaza	3026 54th St., Lubbock, TX 79413	112	18	6	0	136	56	0.71
Polo Park	2100 Castleford Rd., Midland, TX 79706	107	0	0	0	107	65	0.61

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FACILITY NAME	ADDRESS	SUITES	GARDEN SUITES	COTTAGES	ALZ UNITS	TOTAL SUITES	PARKING SPACES	PER SUITE
Brook Ridge	1001 W. Ridge Rd., Pharr, TX 78577	107	0	0	0	107	57	0.63
Cottonwood Estates	1940 West Spring Creek Parkway, Plano, TX 75086	113	0	0	0	113	68	0.60
El Dorado	714 W. Arapaho Rd., Richardson, TX 75080	102	0	0	0	102	53	0.52
Cowhorn Creek Estates	5353 Cowhorn Creek Rd., Texarkanna, TX 75503	112	0	0	0	112	67	0.60
Rosewood Estates	505 Rice Rd., Tyler, TX 75703	110	0	0	0	110	54	0.49
Lakeshore Estates	3209 Village Green Dr., Waco, TX 76710	110	5	0	0	115	70	0.61
Pioneer Valley Lodge	400 East St. & 2150 North St.	115	0	0	0	115	72	0.63
Harrison Regent	481 Harrison Blvd., Ogden, UT 84403	90	0	0	0	90	39	0.43
Seville, The	315 W. Center, Orem, UT 84058	97	0	0	0	97	54	0.56
Fairmont, The	9852 Fairmont Ave., Manassas, VA 22110	100	0	0	0	100	32	0.32
Virginian, The	300 Twinridge Lane, Richmond, VA 23235	117	0	0	0	117	72	0.62
Elm Park	4230 Elm View Rd., Roanoke, VA 24014	110	0	0	0	110	63	0.57
Garden Club, Bellevue	13350 SE 26th, Bellevue, WA 98005	103	0	0	0	103	43	0.42
Parkway Chateau	2818 Old Fairhaven Pkwy., Bellingham, WA 98225	109	0	0	0	109	60	0.55
Cascadian	3915 Golby Ave., Everett, WA 98201	102	0	0	0	102	52	0.51
Capitol Place	700 Black Lake Blvd., Olympia, WA 98502	104	0	0	0	104	56	0.54
Evergreen Plaza	1415 Monroe Ave. NE, Renton, WA 98056	110	0	0	0	110	55	0.53
Harvard Park	1516 E. 30th Ave., Spokane, WA 99203	105	0	0	0	105	39	0.37
Pt. Defiance	5414 N. Park Way, Tacoma, WA 98407	136	0	0	0	136	71	0.52
Park Plaza	1400 Dalles Military Rd., Walla Walla, WA 99362	99	0	0	0	99	55	0.56
The Inn at Cass Lake	900 N. Cass Lake Rd., Waterford, MI 48328	110	0	0	0	110	64	0.58

Traffic Impact Study

HOLIDAY RETIREMENT VILLAGE
Canco Road - Portland, Maine

Prepared for:

Sebago Technics
Westbrook, Maine



EATON
TRAFFIC
ENGINEERING

Brunswick, Maine

November 1997

**HOLIDAY RETIREMENT VILLAGE
Canco Road - Portland, Maine
Traffic Impact Study**

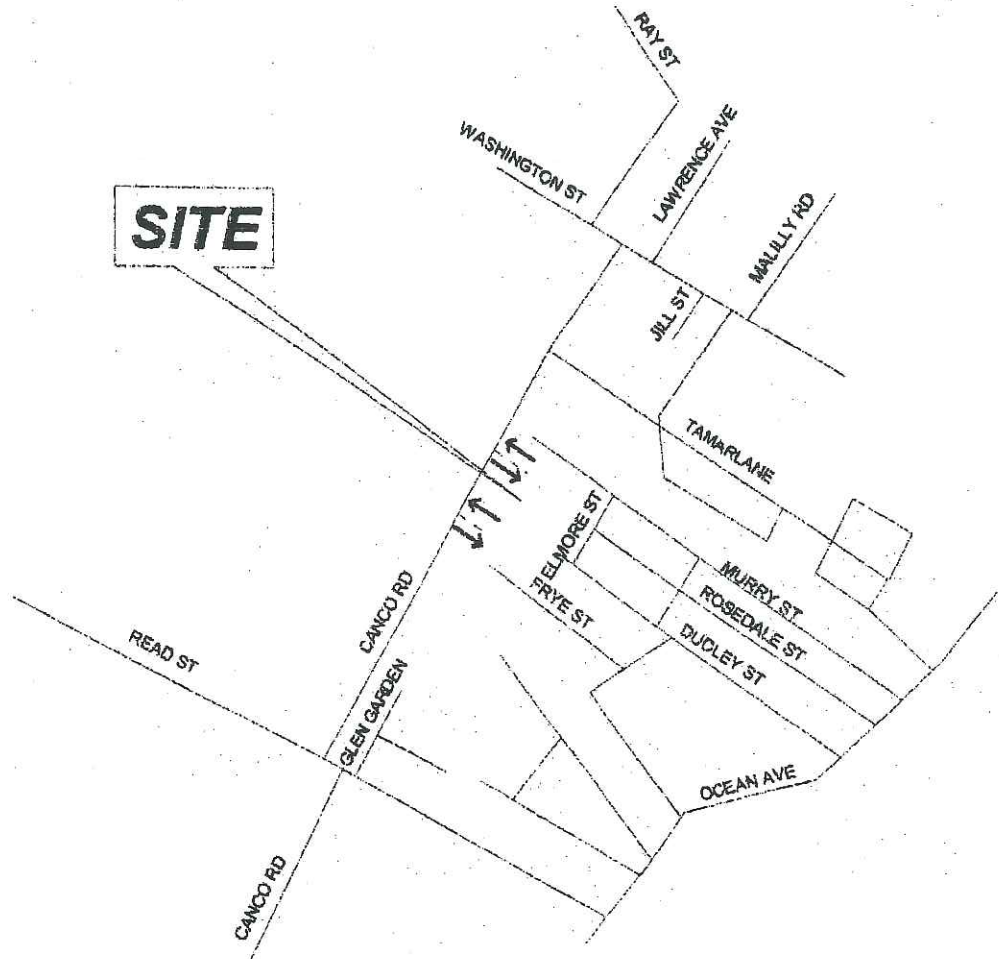
Introduction

Holiday Retirement Corp. of Salem, Oregon proposes to construct a 211 unit retirement complex consisting of 114 Retirement Suites (Apartments), 12 Cottage Suites, 5 Garden Suites, and 80 Assisted Living Suites on the easteriy side of Canco Road in Portland, Maine. Proposed access to the site will be via two two-way driveways on Canco Road, one being located at the crest of a vertical curve opposite the Granite Heights office facility, and one opposite the Seltzer & Rydholm exit driveway. Figure 1 on the following page presents the site location and proposed access points. The development is proposed to occur in two phases. Phase 1, to be completed in 1998, will consist of the 114 Retirement Suites, 8 Cottage Suites, and 5 Garden Suites. Phase 2, to be completed in 2000, will consist of the 80 Assisted Living Suites and 4 additional Cottage Suites.

The purpose of this traffic impact study is to evaluate the impact of new traffic generated by the proposed facility on roadway in the vicinity of the site.

Area Characteristics

Canco Road is a 2 lane roadway with a paved travelway 44 feet in width. In the vicinity of the proposed north access driveway, there is a 5 foot sidewalk on the westerly side of Canco Road, with a 4 foot grass strip separating the sidewalk from Canco Road. The shoulder on the easterly side of the street is gravel and 6 - 8 feet in width. There are no recent MDOT traffic counts on Canco Road. Based upon PM peak hour traffic counts conducted for this study, daily traffic volume is estimated at 6,500 - 7,000 vehicles. Land use on Canco Road is primarily commercial in nature, with the exception of a Church located near the Washington Avenue/Canco Road intersection. The intersection of Washington Avenue with Canco Road is controlled by a fully actuated traffic signal, which also controls traffic on nearby Ray and Lawrence Streets. Washington Avenue is basically a two lane roadway, however auxillary turn lanes are provided at the signal controlled intersection. The posted speed limit on Canco Road is 40 MPH.



NOT TO SCALE

Figure 1
Site Location and Access

HOLIDAY RETIREMENT VILLAGE - CANCO ROAD - PORTLAND, MAINE

Estimated 1998 and 2000 PM Peak Hour Traffic - Pre-Development

Traffic impact analysis is typically conducted for a peak one hour period of time when traffic flow on streets adjacent to a proposed development are at their highest level. Normally this peak one hour will occur in the late afternoon within the period 4:00 - 6:00 PM. Accordingly, a manual count was conducted at the Washington/Canco/Ray/Lawrence intersection from 4:00 - 6:00 PM on Wednesday, October 29, 1997. Turning movement count data is normally adjusted to reflect a seasonal peak traffic condition using MDOT adjustment factors derived from their statewide continuous traffic counting program. In this particular case, an increase in the October count of 10 percent was necessary to reflect peak seasonal traffic flow. In past studies in Portland, use of seasonal factors has resulted in traffic volume estimates that are higher than actually occur. This is particularly true in areas where seasonal variation is minimal, which would be expected for Washington Avenue and Canco Road, as they are not generally used by summer visitors.

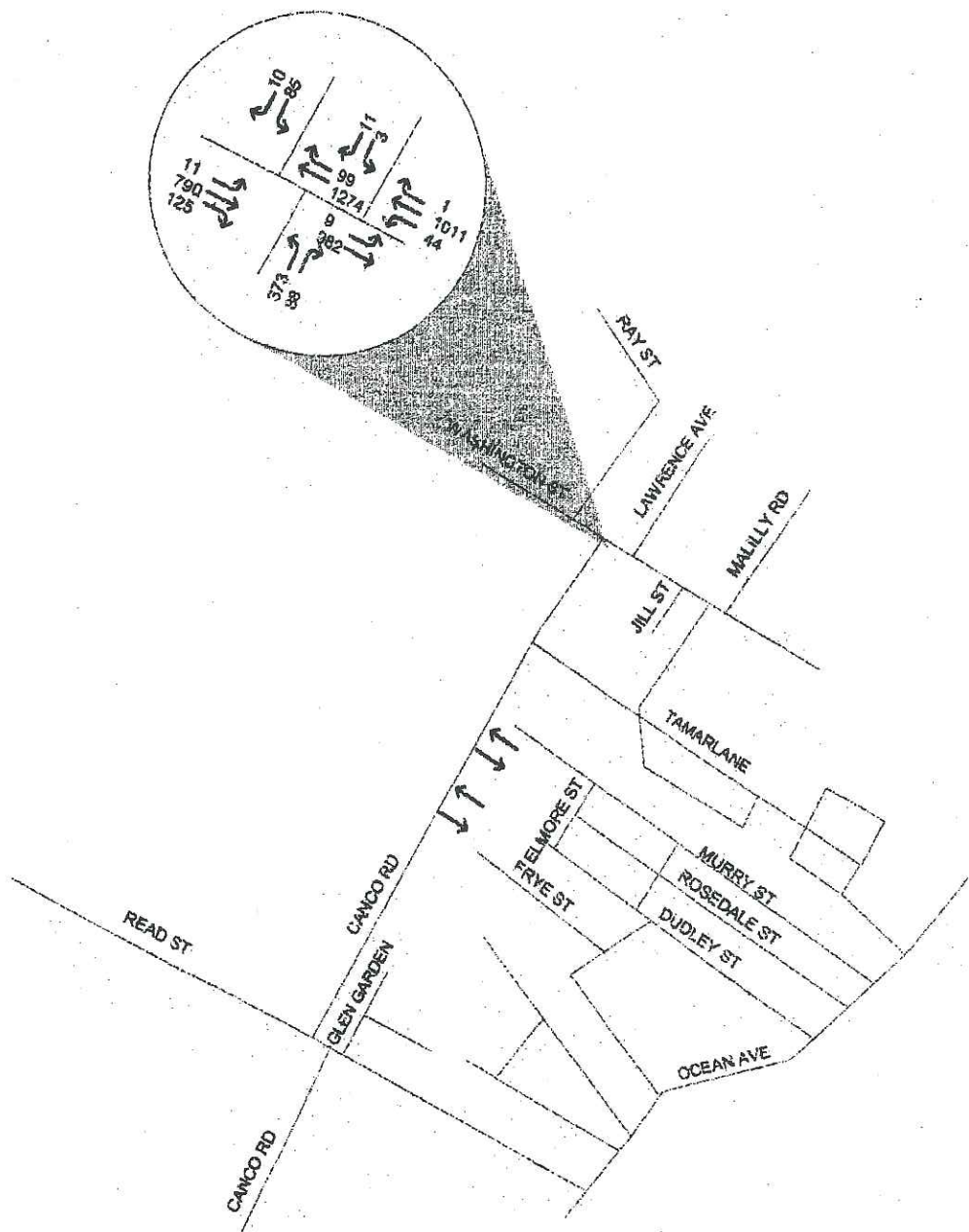
Traffic counts on Washington Avenue northwest of Canco Road for the period 1992 to 1994 showed a decline in traffic volume. To provide a conservative (i.e. high) estimate of 1998 and 2000 peak hour traffic in the area, a growth rate of 1 percent per year was applied to the seasonally adjusted 1997 estimate. Figures 2A and 2B on the following pages present the estimated 1998 and 2000 PM peak hour traffic volumes for the pre-development, or base condition.

Site Generated Traffic

Site generated PM peak hour traffic for the proposed development was estimated using the statistics contained in the publication Trip Generation - Fifth Edition¹, and a report entitled Assisted Living Residences - A Study of Traffic And Parking Implications². The tables on the following page summarizes the estimation of PM peak hour traffic generation for Phases 1 and 2.

¹ Institute of Transportation Engineers, 1991 and February 1995 Update

² American Seniors Housing Association, 1997



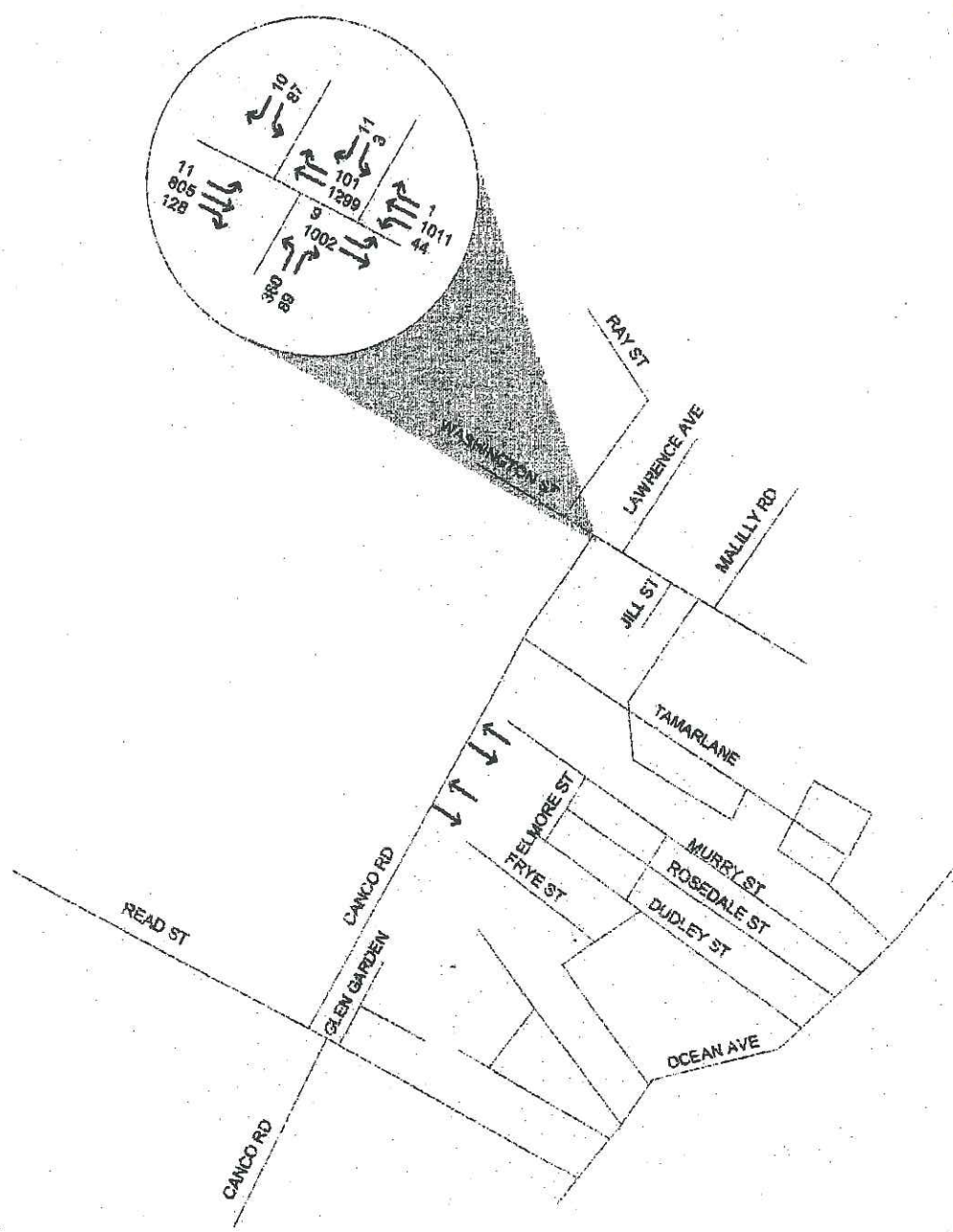
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ete EATON
TRAFFIC
ENGINEERING
23 Main St - Brunswick, Maine
(207) 725-0005 Fax (207) 725-0113

Figure 2A
Estimated 1998 PM Peak Hour Traffic - Pre-Development

HOLIDAY RETIREMENT VILLAGE - CANCO ROAD - PORTLAND, MAINE

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ENGINEERING
21 Merwin St. - Brunswick, Maine
(207) 725-0883 Fax (207) 725-0773

Figure 2B
Estimated 2000 PM Peak Hour Traffic - Pre-Development

HOLIDAY RETIREMENT VILLAGE - CANCO ROAD - PORTLAND, MAINE

Holiday Retirement Village - Site Generated PM Peak Hour Traffic
Phase 1

Unit Type	Number of Units	Rate	Trips
Retirement Suite	114	0.28	32
Cottage Suite	8	0.55	4.4
Garden Suite	5	0.28	1.4
Total	127	na	37.8 ~ 38

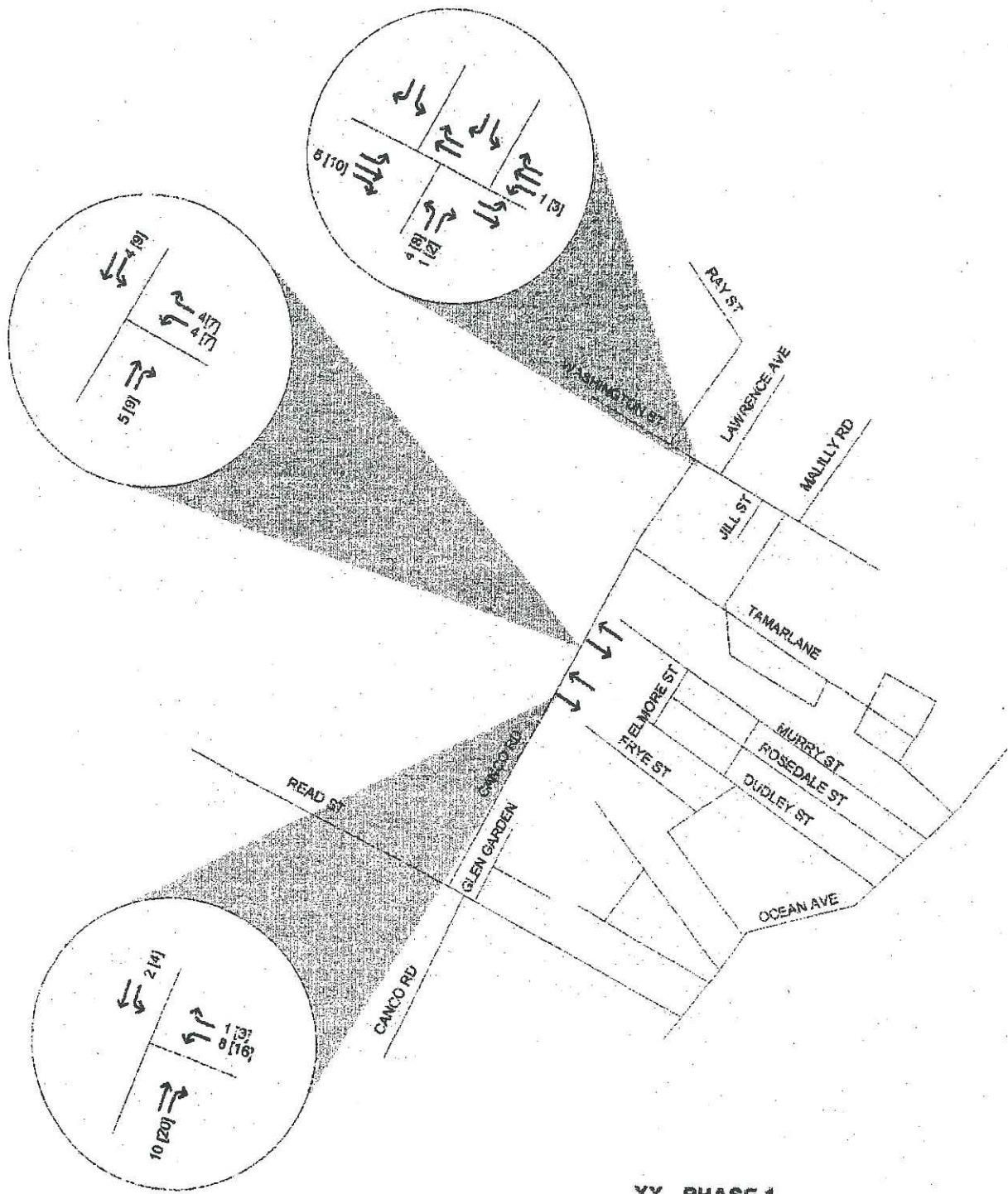
Holiday Retirement Village - Site Generated PM Peak Hour Traffic
Phase 2

Unit Type	Number of Units	Rate	Trips
Assisted Living Suites	80	0.43	34.4
Cottage Suites	4	0.55	2.2
Total	84	na	36.6 ~ 37

Holiday Retirement Village - Site Generated PM Peak Hour Traffic
Phases 1 & 2

Phase	Number of Units	Trips
1	127	38
2	84	37
Total	211	75

Directional distribution of the PM peak hour traffic, according to ITE data for facilities for retired people, is approximately 55 percent entering and 45 exiting. Traffic for Phase 1 and Phase 2 was assigned to Canco Road and the Washington/Canco Intersection based upon existing directional patterns on Canco Street, which indicate that 70 percent of the traffic will be oriented to the south, and 30 percent to the north. This is generally consistent with traffic patterns observed in a previous traffic study at the Department of Motor Vehicles/DEP Regional Office located on the west side of Canco Road north of the proposed Holiday site (the directional split was 75 percent south 25 percent north in that study). Figure 3 on the following page presents the assignment of 1998 (Phase 1) and 2000 (Phase 2) site generated PM peak hour traffic.



XX - PHASE 1
[XX] - PHASES 1 & 2

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Projected 1998 and 2000 Post-Development PM Peak Hour Traffic

Projected 1998 and 2000 post-development PM peak hour traffic is the arithmetic combination of the estimated 1998 and 2000 pre-development volumes shown in Figures 2A and 2B and the estimated PM peak hour site generated traffic shown in Figure 3. Figures 4A and 4B present projected 1998 and 2000 post-development PM peak hour traffic volumes in the study area.

Operational Assessment of Pre- and Post-Development Traffic Volumes

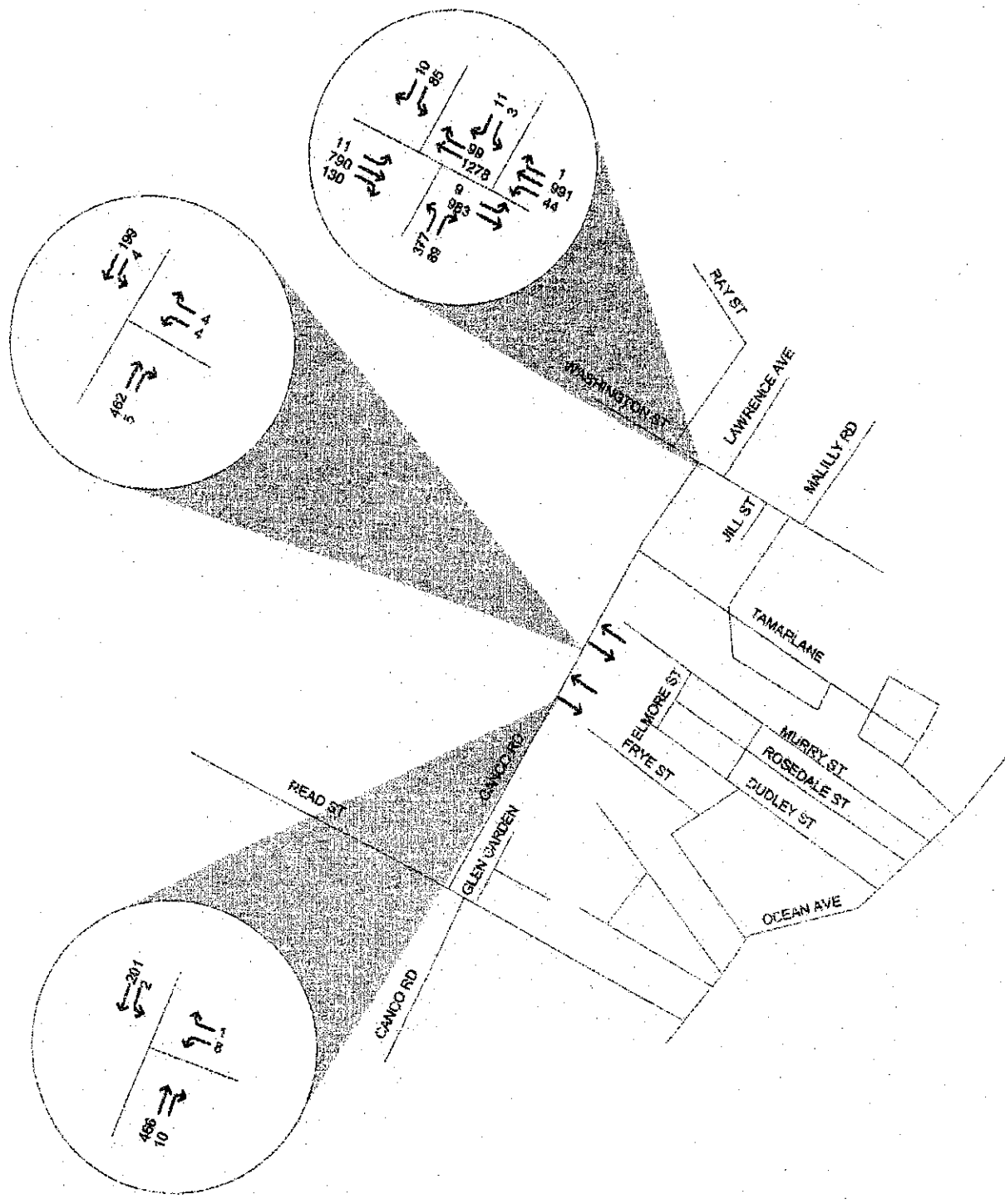
Capacity analysis for pre- and post-development 1998 and 2000 PM peak hour traffic estimates/projections for the Washington Avenue @ Canco/Ray/Lawrence intersection was conducted per the procedures contained in the Highway Capacity Manual³. Capacity analysis provides a quantitative assessment of the quality of traffic flow at an intersection, and "rates" this quality in terms of its Level of Service (LOS). LOS ratings range from A to F, and much like a school rank card, A indicates very good conditions, and F indicates extremely congested conditions. For signalized intersections, LOS is related to average stopped delay incurred by vehicles using the intersection. The table below presents the relationship between delay and LOS.

Signalized Intersection Level of Service Measures

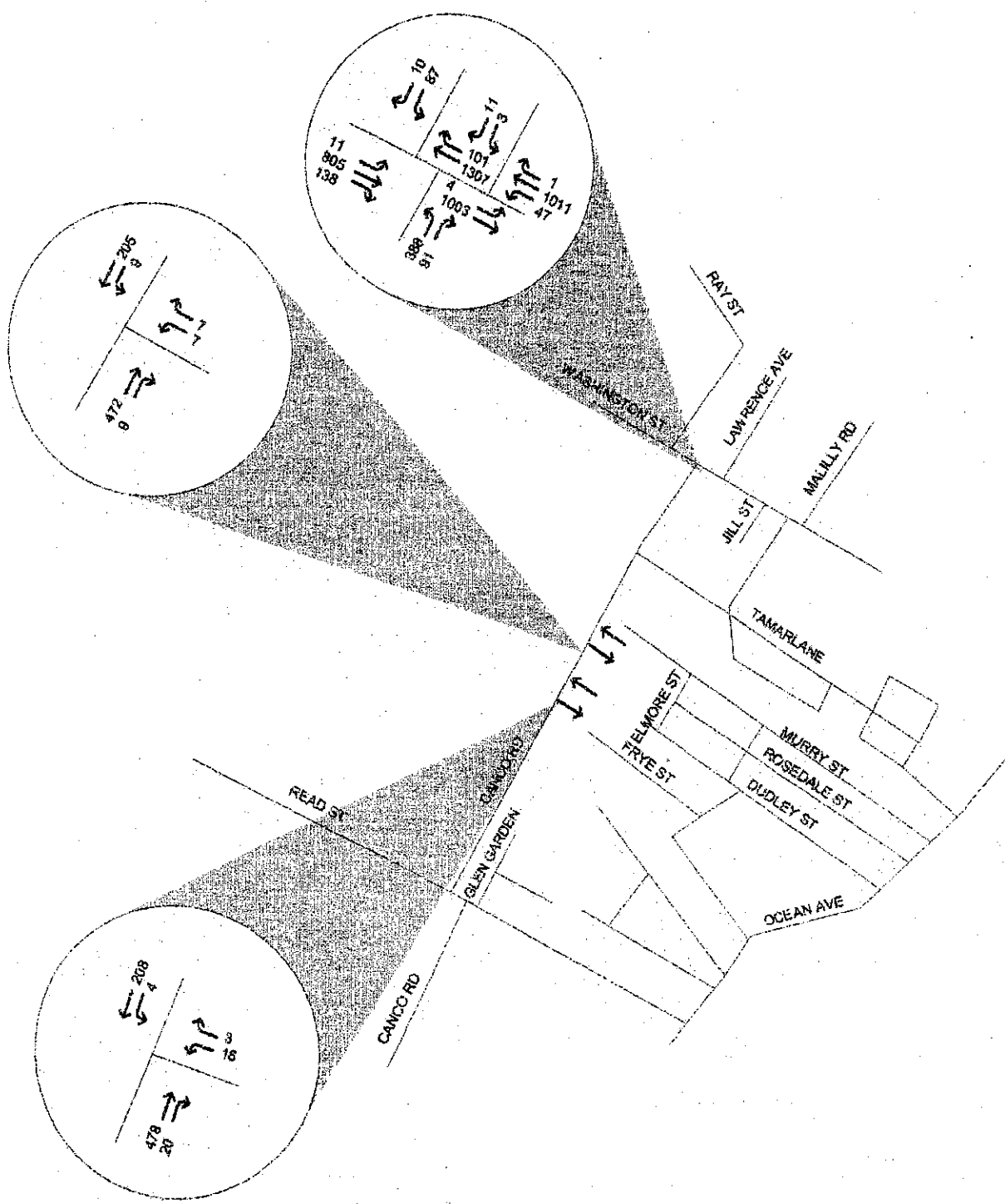
Level of Service	Average Stopped Delay Per Vehicle
A	≤ 5.0 Seconds
B	5.1 - 15.0 Seconds
C	15.1 - 25.0 Seconds
D	25.1 - 40.0 Seconds
E	40.1 - 60.0 Seconds
F	> 60.0 Seconds

The results of analysis for the signalized intersection are summarized below:

³ Special Report 209, Highway Capacity Manual, Transportation Research Board, 1994



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ete EATON
 TRAFFIC
 ENGINEERING
 230 State St. - Brunswick, Maine
 (603) 725-9805 Fax (207) 725-9873

Figure 4B
 Projected Post-Development PM Peak Hour Traffic - 2000/Phase 1 & 2
HOLIDAY RETIREMENT VILLAGE - CANCO ROAD - PORTLAND, MAINE

4k

Signalized Intersection Analysis 1998

Location	Pre-Development		Post-Development	
	LOS	Stopped Delay (sec)	LOS	Stopped Delay (sec)
Washington/Canco/Ray/Lawrence	D	31.4	D	32.3

Signalized Intersection Analysis 2000

Location	Pre-Development		Post-Development	
	LOS	Stopped Delay (sec)	LOS	Stopped Delay (sec)
Washington/Canco/Ray/Lawrence	D	35.6	D	37.7

The intersection is heavily travelled and has some inherent inefficiencies due to the size of the control area, which requires lengthy vehicle clearance intervals. In order to get the analysis to work properly, some relatively liberal assumptions regarding lost time on the Washington Avenue were made (normal lost time is assumed to be 3 seconds - in this case it was reduced to 1 second for the through movements). While the LOS overall is considered to be acceptable, it should be noted that some of the movements at the intersection operate at LOS E or F. As can also be seen, the impact of the new traffic generated by the proposed facility is relatively minimal.

Analysis of the unsignalized intersections of the proposed access driveways on Canco Road uses a different procedure and has different standards for determining LOS. LOS for unsignalized intersections is based upon average total delay for vehicles using an intersection, which takes into account the delay involved in waiting in a vehicle queue. The relationship between LOS and average total delay is shown below:

Level of Service Measurement for Unsignalized Intersections

Level of Service	Average Total Delay Per Vehicle
A	≤ 5.0 Seconds
B	5.1 - 10.0 Seconds
C	10.1 - 20.0 Seconds
D	20.1 - 30.0 Seconds
E	30.1 - 45.0 Seconds
F	≥ 45.0 Seconds

The results of analysis for the unsignalized intersections of are summarized below:

Unsignalized Intersection Analysis

Location	1998 Post-Development		2000 Post-Development	
	LOS	Average Total Delay (sec)	LOS	Average Total Delay (sec)
Canco Road @ North Drive				
SB Left from Canco	A	3.7	A	3.8
All moves from Driveway	B	7.1	B	7.4
Total Intersection		0.1		0.2
Canco Road @ South Drive				
SB Left from Canco	A	3.8	A	3.9
All Moves from Driveway	B	9.0	B	9.4
Total Intersection		0.3		0.3

As can be seen, both driveways are projected to operate satisfactorily.

Safety

Safety data for the most recent available 3 year period (1994-96) was obtained from the Accident Records Section of the MDOT Bureau of Planning for roadways in the vicinity of the site. A summary of the accident history in the area is presented in the table below.

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1994-96 Accident History in Site Vicinity*

LOCATION	1994-96 ACCIDENTS	ANNUAL AVERAGE	CRITICAL RATE FACTOR ⁴
Canco Road @ Read	13	4.33	2.23
Canco Road/ Read to Washington	5	1.67	0.26
Canco Road @ Washington	24	8.00	0.64
Washington Ave/ Canco to Ray	5	1.67	1.07
Washington Ave @ Ray	13	4.33	0.38
Washington Ave/ Canco to Lawrence	5	1.67	1.41
Washington Ave @ Lawrence	3	1.00	0.23

MDOT guidelines for identification of a High Accident Location (HAL - indicating a potential safety deficiency) is that a location must experience 8 or more accidents in a 3 year period and have a Critical Rate Factor of 1.00 or greater. One of the locations above - Canco Road @ Read Street satisfies these criteria. Accordingly a detailed collision diagram of this location was prepared from accident reports on file at MDOT, and analyzed. A summary of the findings is as follows:

Canco Road @ Read Street: One accident occurred in 1994, two in 1995 and ten in 1996. The accidents in 1994 and 1995 all occurred in snow or ice conditions where vehicles could not stop. The jump from 1 to 2 accidents a year to 10 is rather significant and may simply be an anomaly. Five of the 10 accidents in 1996 did occur when pavement conditions were poor - snow, ice, et cetera. Of the remaining five accidents, one occurred on Read Street north of the Canco/Read Intersection and should not have been included with accidents at the intersection. One collision involved a vehicle backing on Canco Road to enter a driveway that the driver had driven by. Two accidents involved vehicles turning left from Read Street eastbound and hitting vehicles stopped at the stop sign on Canco Road (one of these a hit-and-run), and the final non-climatic accident was an angle collision where a driver on Canco Road entered the intersection and was struck by a vehicle westbound on Read. Overall it appears that pavement condition has a major

⁴ The Critical Rate Factor is a statistical measure which compares the accident frequency at a location to similar locations throughout the State. A Critical Rate Factor of 1.00 or greater indicates that the location has a higher frequency of accidents than would be expected due to random occurrence, with a 99 percent level of confidence.

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impact on safety at this location, with 8 of 12 accidents occurring on slippery pavement. Of the 4 accidents not involving poor pavement conditions, there simply is no pattern that would indicate a physical or operational deficiency. It is recommended that this location be monitored to determine whether the significant increase in accidents in 1996 represents a new trend or simply a fluke occurrence.

An additional safety consideration is the amount of sight distance available for vehicles exiting the proposed site driveways. Field measurements indicate available sight distance along Canco Road in excess of 750 feet both north and south of the north driveway (near Granite Heights). At the south driveway distance to the south exceeds 750 feet, and to the north is limited to 525 feet by the crest vertical curve near Granite Heights. These sight distances are adequate for speeds in excess of 50 MPH for low and medium volume driveway sight distance guidelines. The posted speed limit on Canco Road is 40 MPH.

Summary of Findings

The proposed Holiday Retirement Village is projected to generate 38 PM peak hour vehicle trips in Phase 1 of the development (1998) and an additional 37 vehicle trips in Phase 2 (2000) for a total PM peak hour traffic generation of 75 vehicle trips. Analysis of the operation of the intersection of Washington Avenue @ Canco/Ray/Lawrence indicates that the additional PM peak hour traffic generated by both phases of the proposed development will have a minimal impact on the Level of Service at the intersection during peak seasonal traffic flow periods. It should be noted that the intersection is currently handling a very large volume of traffic, and significant delays are incurred on several of the approaches to the intersection. The intersections of the proposed site driveways and Canco Road are projected to operate at a satisfactory level of service for both Phases 1 and 2. An investigation of the accident history in the vicinity of the site indicates that there is one High Accident Location in the area - the intersection of Canco Road @ Read Street. Of the 12 accidents occurring at this location, 9 occurred in 1996, representing a major increase in frequency. Detailed analysis of the accidents indicated that the majority (8) occur when pavement conditions are poor. Those not related to pavement condition do not evidence any pattern that would identify any inherent deficiency. Monitoring of the intersection is recommended. Sight distance for vehicles exiting the access driveways on Canco Road is more than adequate for the posted speed limit of 40 MPH.

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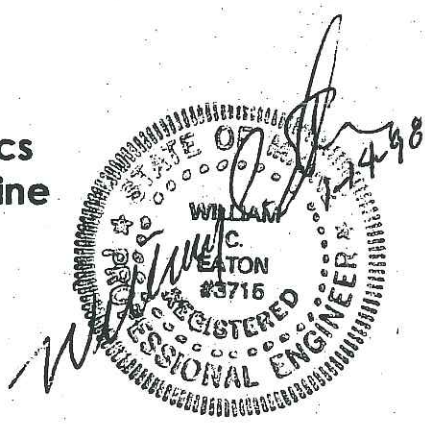
40

Traffic Impact Study Addendum

HOLIDAY RETIREMENT VILLAGE
Canco Road - Portland, Maine

Prepared for:

Sebago Technics
Westbrook, Maine



Brunswick, Maine

January 1998

4P

HOLIDAY RETIREMENT VILLAGE
Canco Road - Portland, Maine
Traffic Impact Study Addendum - January 1998

Introduction

This addendum has been prepared to address the request for additional information as noted in the City Traffic Engineer's (Larry Ash) memorandum to Kandice Talbot, Planner dated November 20, 1997. The remainder of this addendum responds to each of the eight issues raised in the 11/20/97 memorandum.

1. Peak hour traffic count for Canco Road @ Read Street:

Figure A1A in the appendix of this addendum presents the PM peak hour traffic volumes at the Canco @ Read intersection on Wednesday, December 3, 1997. Figure A1B presents the same count data assuming that the east leg of Canco Road operates as a "T" intersection (the jogged alignment of the east and west legs of Canco essentially create 2 "T" intersections). Figures A2A and A2B present estimated pre-development PM peak design hour traffic volumes (adjusted using MDOT seasonal factors and accounting for background growth) for 1998 (Phase 1) and 2000 (Phase 2).

2. Estimated PM peak hour site generated and post-development traffic at Canco @ Read:

Figure A3 presents estimated site generated PM peak hour traffic for 1998 (Phase 1) and 2000 (Phase 2) at the Canco @ Read intersection. Figures A4A and A4B present 1998 (Phase 1) and 2000 (Phase 2) post-development PM peak hour traffic projections.

3. Accident collision diagrams:

A summary collision diagram for the Canco @ Read intersection for the period 1994-96 is contained in the Appendix, and has been amended to include 1 new accident that occurred in 1997. Larry Ash, City Traffic Engineer, provided two accident reports for accident history for 1997 from Portland Police Department files. One of these accidents actually occurred on the road segment just northwest of the Canco @ Read intersection, and was not an intersection accident. Mr. Ash also had requested copies of the 1994-96 accident reports at the Canco/Read intersection. Copies of the reports on file at MDOT

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are generally not available to consultants - except at great expense - but are available to municipalities that request copies. In this case Eaton Traffic Engineering respectfully requests that the City of Portland formally request copies of the 1994-96 reports from MDOT if the information in the collision diagram is not sufficient for the City's needs in this matter.

In review of all the accidents at the Canco/Read intersection from 1994 through 1997, it should be noted that the year 1996 stands out as a clear anomaly, with 10 accidents occurring as compared to 1 accident in 1994, 2 in 1995 and 1 in 1997. This intersection should probably be monitored, but it does appear that normal accident frequency is typically 1 to 2 accidents annually.

4. Warrant analysis for traffic signals - especially as relates to accident experience:

Based upon PM peak period/hourly traffic volumes (copy included in appendix), a traffic signal is not warranted at the intersection of Canco @ Read. The accident experience warrant does not appear applicable. In 1996, when 10 accidents occurred, 4 appear to be correctable through installation of a traffic signal. This is not sufficient to meet the accident warrant. In considering the relatively low levels of accident experience in 1994, 1995 and 1997, a traffic signal is not warranted at this time.

5. Warrant analysis for all-way stop control:

Traffic volumes should be reasonably equal on all approaches of an intersection considered for all-way stop control. In addition, accident problems and eighth hour volume of 500 vehicles per hour entering the intersection should also exist. The accident conditions are not met for the intersection of Canco Road @ Read Street, but it appears that over 500 vehicles would enter the intersection for eight hours each day (peak hour traffic entering is in excess of 1000 vehicles and typically represents 10 percent of daily traffic flow - eighth hour traffic volume "rule of thumb" estimates are 6.25 percent of daily flow, which for this case could be estimated at over 600 vehicles). However, given the jogged alignment of the two Canco Road approaches, use of all-way stop control is not recommended.

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6. Level of Service for Canco Road @ Read Street:

Calculation of the level of service for pre- and post-development traffic for Phases 1 and 2 was performed and is summarized below (assuming the Canco @ Read intersection functions as a four-way intersection).

Unsignalized Intersection Analysis
Canco Road @ Read Street - Four-Way analysis

Location	1998		2000	
	LOS	Average Total Delay (sec)	LOS	Average Total Delay (sec)
Canco Rd @ Read St - Pre-Dev				
SB Left from Read	A	3.0	A	3.0
NB Left from Read	A	3.8	A	3.9
Canco Rd Westbound	F	61.0	F	79.8
Canco Rd Eastbound	D	23.6	D	26.7
Total Intersection		16.6		21.3
Canco Rd @ Read St - Post-Dev				
SB Left from Canco	A	3.0	A	3.0
NB Left from Read	A	3.9	B	3.9
Canco Rd Westbound	F	89.4	F	148.2
Canco Rd Eastbound	D	25.7	D	30.2
Total Intersection		23.7		38.7

In addition to evaluating the Canco/Read intersection as a 4-way intersection, it was also evaluated as a T intersection for the east (highest volume) approach. The table below summarizes the results of this analysis.

Unsignalized Intersection Analysis
Canco Road @ Read Street - T-Intersection Analysis

Location	1998		2000	
	LOS	Average Total Delay (sec)	LOS	Average Total Delay (sec)
Canco Rd @ Read St - Pre-Dev				
SB Left from Read	A	4.2	A	4.3
All moves from Canco	F	93.2	B	117.4
Total Intersection		23.1		28.9
Canco Rd @ Read St - Post-Dev				
SB Left from Read	A	4.3	A	4.4
All Moves from Canco	F	119.4	B	132.8
Total Intersection		29.6		34.7

As can be seen for both analyses scenarios, the Canco Road approaches are projected to operate at LOS F with or without the proposed development. To a great extent, the LOS and delay results are felt to be much worse than actual field conditions due to the delay estimation equations used. The analysis procedures are due to be revised in early 1998 in response to this problem. In all likelihood, the relatively minor increases in PM peak hour traffic volumes associated with the proposed development will not result in any noticeable (qualitative) increase in vehicle delay at the intersection.

7. Pedestrian Issues - On-Site:

The site plan will provide for walking paths on-site that will connect the development to Frye or Murry Street for use by tenants and area residents.

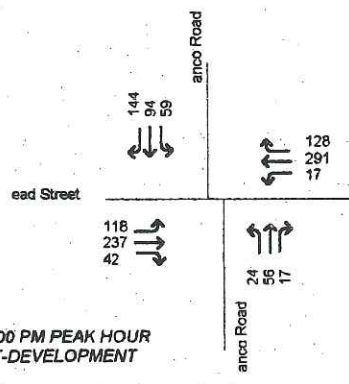
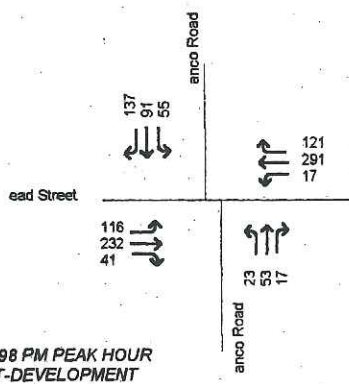
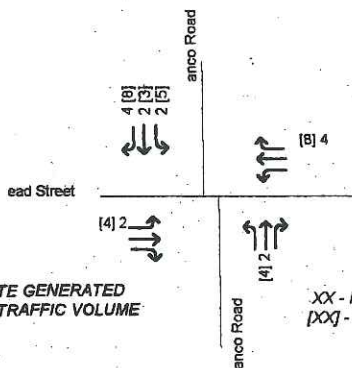
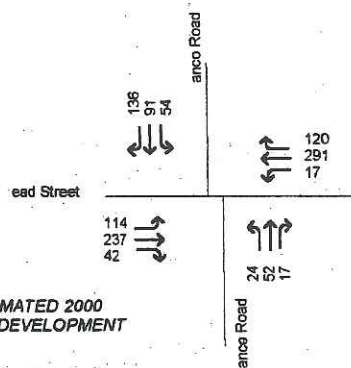
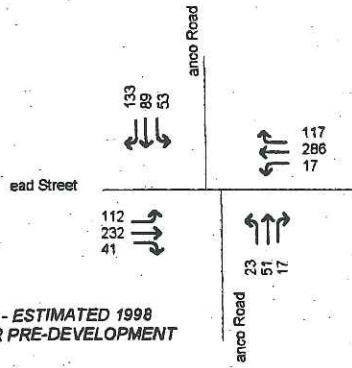
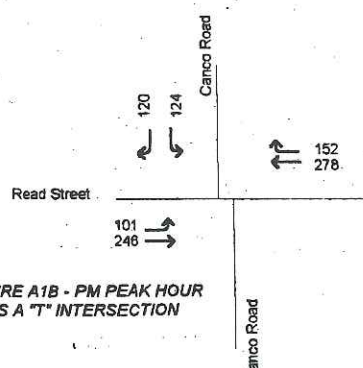
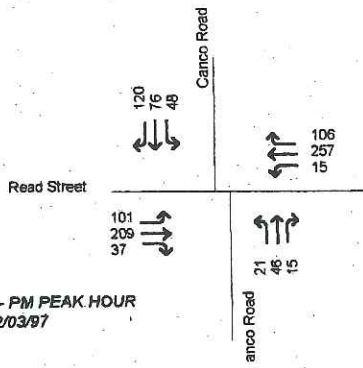
8. Pedestrian Facilities on Washington Avenue and Canco Road:

A crosswalk from the westerly site access on Canco Road to the sidewalk on the northerly side of Canco Road will be provided. This crosswalk will be at the crest of a vertical curve and provide for excellent sight distance in each direction along Canco Road. The Canco Road sidewalk continues easterly to Washington Street where pedestrian crossing signals are provided.

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APPENDIX

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2 Miranda St. - Brunswick, Maine
(207) 725-8825 Fax (207) 725-8773

Figures A1 - A4
HOLIDAY RETIREMENT VILLAGE TRAFFIC STUDY ADDENDUM

HOLIDAY RETIREMENT VILLAGE - PORTLAND, MAINE



EATON
TRAFFIC
ENGINEERING

ACCIDENT COLLISION DIAGRAM

4v

MUNICIPALITY PORTLAND LOCATION ROAD @ CANCO
 NODE NO(S) 3781 YEARS 94-96 + 97 PAGE 1 OF 2
 PREPARED BY BOBK DATE 11/18 JOB # 9749

CODE KEY

TRAFFIC CONTROL (P)

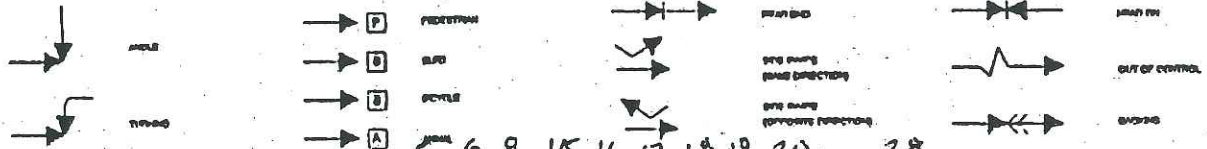
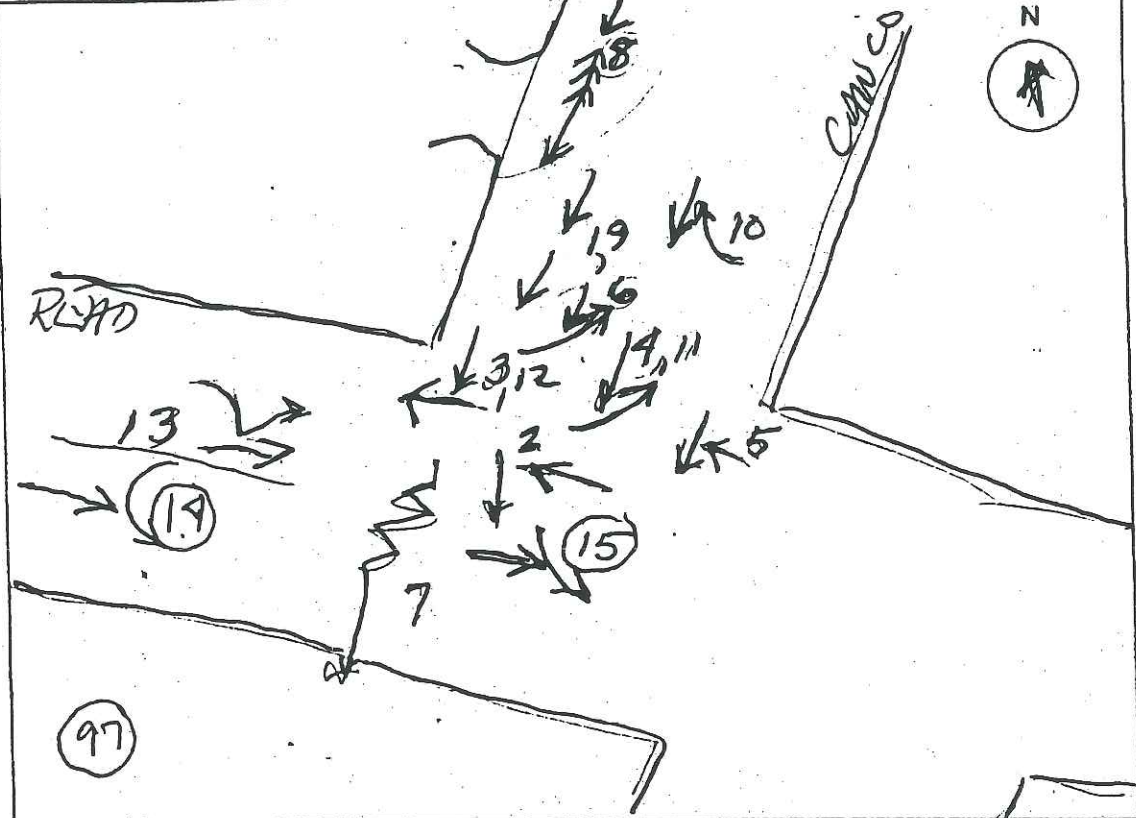
LIGHT CONDITION (P)

ROAD CONDITION (P)

CONTRIBUTING FACTOR (P)

PHYSICAL CONDITION (P)

OTHER (P)



ITEM #	REPORT NUMBER	DATE	TIME	TRAFFIC CONTROL		CONTRIBUTING FACTOR				PHYSICAL CONDITION		DAMAGES				OTHER
				1	2	1	2	3	4	1	2	1	2	3	4	
1	04824	1/28/94	1145	5	2	9	1	15	-	-	1	1				ICE
2	43719	2/9/95	1528	5	2	9	1	2	-	-	1	1			1	ICE
3	42715	2/20/95	1342	5	2	4	1	14	5	5	1	1				
4	15822	4/29/96	700	5	2	1	1	14	-	-	1	1				
5	1-1410	12/14/96	1006	5	2	2	7	5	1	2	1	1			1	PULL SP OUT
6	39071	11/15/96	1615	5	3	1	7	31	-	-	1	?				HAR
7	46456	12/31/96	1310	5	2	9	15	-	-	-	1	-				
8	08542	2/28/96	1033	19	2	1	1	20	5	15	1	1				ODW
9	09892	3/5/96	1258	5	2	9	1	30	-	-	1	1			1	ICE
10	3781	05/08	700	5	2	3	1	11	-	-	1	1				icy



EATON
TRAFFIC
ENGINEERING

ACCIDENT COLLISION DIAGRAM

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MUNICIPALITY WILSON LOCATION Read / Curran
 NODE NO(S) 3781 YEARS 94/96 PAGE 2 OF 2
 PREPARED BY WCS DATE 11/10 JOB # 9749

ITEM #	REPORT NUMBER	DATE	TIME	TRAF CONTR			CONTRIBUTING FACTORS				PHYSICAL COND		INJURIES #28				OTHER	
				05	06	08	016	018	017	018	019	020	1	2	3	4		
11	3781																	
12	00165	1-2-96	730	5	2	8	1	1	-	-	1	1						ICE
12	02611	11/6/96	1355	5	2	8	1	14	-	-	1	1						ICE
13	27148	8/5/96	1531	5	2	1	1	14	-	-	1	1		1				??
K1	97-2085	1-17-97	1305	13	2	1	10	1	5	1	5	9	1					NGT INTERSECTION
15	97-	11-20-97	1458	5	2	1	3	1	-	-	1	1						

4x

12/3/97 PM TMC
Read/Canco Rds
Portland, ME

Eaton Traffic Engineering
2 Miranda Street
Brunswick, ME 04011
207-725-9805/FAX 207-725-9773

Site Code : 0000000
Start Date: 12/03/97
File I.D. : 9749READ
Page : 1

Date 12/03/97	READ From North				CANCO From East				READ From South				CANCO From West				Total
	Left	Thru	Right	Truck	Left	Thru	Right	Truck	Left	Thru	Right	Truck	Left	Thru	Right	Truck	
15:00	29	58	8	6	6	12	24	5	2	61	34	1	7	13	5	3	274
15:15	24	48	8	5	11	19	39	9	8	56	28	1	4	6	6	1	273
15:30	26	35	10	7	18	24	34	3	2	75	23	0	5	7	2	0	271
15:45	22	68	11	6	7	10	20	7	3	65	21	1	5	20	2	1	269
Hr Total	101	209	37	24	42	65	117	24	15	257	106	3	21	46	15	5	1087
16:00	24	58	14	4	12	23	27	3	3	56	28	2	6	11	2	0	273
16:15	27	38	9	5	16	18	21	3	2	76	29	1	9	11	4	3	272
16:30	22	49	5	4	8	18	13	4	1	49	21	0	5	14	3	0	216
16:45	24	49	13	6	12	12	23	2	2	73	52	1	2	10	2	2	285
Hr Total	97	194	41	19	48	71	84	12	8	254	130	4	22	46	11	5	1046
17:00	22	46	8	2	14	19	24	1	0	57	33	0	6	23	7	0	262
17:15	24	48	9	1	11	28	16	1	1	51	38	1	2	19	1	1	252
17:30	20	37	8	2	16	18	11	1	2	60	30	0	3	15	4	2	229
17:45	17	37	6	2	10	15	11	1	1	35	22	1	2	10	5	2	177
Hr Total	83	168	31	7	51	80	62	4	4	203	123	2	13	67	17	5	920
TOTAL	281	571	109	50	141	216	263	40	27	714	359	9	56	159	43	15	3053

Peak Hour Analysis By Individual Approach for the Period: 15:00 to 18:00 on 12/03/97

Peak start	15:00				15:15				16:45				17:00			
Volume	101	209	37	24	48	76	120	22	5	241	153	2	13	67	17	5
Percent	27%	56%	10%	6%	18%	29%	45%	8%	1%	60%	38%	0%	13%	66%	17%	5%
Pk total	371				266				401				102			
Highest	15:45				15:30				16:45				17:00			
Volume	22	68	11	6	18	24	34	3	2	73	52	1	6	23	7	0
Hi total	107				79				128				36			
PHF	.87				.84				.78				.71			

Peak Hour Analysis By Entire Intersection for the Period: 15:00 to 18:00 on 12/03/97

Peak start	15:00				15:00				15:00							
Volume	101	209	37	24	42	65	117	24	15	257	106	3	21	46	15	5
Percent	27%	56%	10%	6%	17%	26%	47%	10%	4%	67%	28%	1%	24%	53%	17%	6%
Pk total	371				248				381				87			
Highest	15:45				15:30				15:30				15:00			
Volume	22	68	11	6	18	24	34	3	2	75	23	0	7	13	5	3
Hi total	107				79				100				28			
PHF	.87				.78				.95				.78			

**AMENDMENT TO ZONING MAP
RE: R-5A CONDITIONAL REZONING/VICINITY CANCO ROAD**

**BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF PORTLAND, MAINE
IN CITY COUNCIL ASSEMBLED AS FOLLOWS:**

That the Zoning Map of the City of Portland, dated March 1958, as amended and on file in the Department of Planning and Urban Development, and incorporated by reference into the Zoning Ordinance by §14-49 of the Portland City Code, be and hereby is amended by adopting the map change amendments shown on Attachment A.

BE IT FURTHER ORDAINED that such rezoning shall be subject to the following conditions:

1. The development shall be substantially as shown on the plan attached hereto as Attachment B, subject to final approval by the Planning Board.

2. In the event that the property is transferred to a non-profit entity, the current owner attains non-profit status, or the property, together with any improvements thereon, is otherwise determined to be exempt from municipal taxation, the owner shall make a payment in lieu of taxes in the full amount of the taxes that would be due and payable on the property if it were taxable. Such payments shall be made at the same time that property tax bills are due. Notwithstanding the foregoing, any present or future owner of the property who may be obligated by reason of this conditional rezoning to make a payment in lieu of taxes may appeal the valuation of the property, but not the obligation to make such a payment, pursuant to 36 M.R.S.A. §841. Failure to make payments required under this section shall result in a rezoning of the property to O-P, or a successor zone, after notice to the then owner of the property and a hearing by the City Council.

In the event that this condition is determined by a court of law to be unenforceable, then the use of the property permitted in the R-5A zone shall cease and the zoning classification shall revert to O-P or any successor zone after notice to the owner and a hearing by the City Council.

3. Public access shall be provided as shown on Attachment B. The Owner shall provide a deed for such access, in a form acceptable to the City's Corporation Counsel. Areas shown on

Attachment B as open space park and easement areas shall remain undeveloped and shall not be disturbed, except for removal of dead or diseased trees or other vegetation or planting of new vegetation.

4. This rezoning shall run with the land and shall be binding upon the owner, its successors and assigns, and any users of the property.

5. An attested copy of this conditional rezoning order shall be recorded in the Cumberland County Registry of Deeds.

Att. 6

From: "Steve Bushey" <SBushey@DelucaHoffman.com>
To: "Kandi Talbot (E-mail)" <KCOTE@ci.portland.me.us>
Date: Wed, Oct 8, 2003 11:33 AM
Subject: Portland Retirement Residence

Kandi,

I have briefly reviewed the materials submitted by Curry Brandaw Architects for the Portland retirement Residence project. The submission includes only a conceptual plan layout for the project and does not include any specific data regarding grading, drainage or utilities. I trust these materials will be forthcoming in a subsequent submission, at which point I will be able to provide more substantive review comments.

I fyou have any questions for me please call.

thanks

Stephen Bushey, P.E.
Senior Engineer
DeLuca-Hoffman Associates, Inc.
Tel. 207-775-1121
Fax 207-879-0896
sbushey@delucahoffman.com

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Fire Copy**

Att. 7

2003-0196
Application I. D. Number

09/18/2003
Application Date

Holiday Retirement - Phase 2
Project Name/Description

Portland Retirement Residence
Applicant
PO Box 14111, Salem, OR 97302
Applicant's Mailing Address

Consultant/Agent
Applicant Ph: (503) 370-7070 Agent Fax:
Applicant or Agent Daytime Telephone, Fax

217 - 217 Canco Rd, Portland, Maine
Address of Proposed Site
149 B001001
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

72,000 s.f. _____ R3/OP
Proposed Building square Feet or # of Units _____ Acreage of Site _____ Zoning _____

Check Review Required:

- Site Plan (major/minor) Subdivision # of lots _____ PAD Review 14-403 Streets Review
- Flood Hazard Shoreland Historic Preservation DEP Local Certification
- Zoning Conditional Use (ZBA/PB) Zoning Variance Other _____

Fees Paid: Site Plan \$1,000.00 Subdivision _____ Engineer Review _____ Date 09/23/2003

Fire Approval Status:

Reviewer Lt. MacDougal

- Approved Approved w/Conditions See Attached Denied

Approval Date 09/30/2003 Approval Expiration 09/30/2004 Extension to _____ Additional Sheets Attached

Condition Compliance Lt. MacDougal 09/30/2003
signature date

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input type="checkbox"/> Building Permit Issue	_____		
	date		
<input type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	_____
	date		expiration date
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____		
	date		
<input type="checkbox"/> Performance Guarantee Released	_____	_____	
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date
<input type="checkbox"/> Defect Guarantee Released	_____	_____	
	date	signature	

CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM

7a

Portland Retirement Residence

Applicant

PO Box 14111, Salem, OR 97302

Applicant's Mailing Address

Consultant/Agent

Applicant Ph: (503) 370-7070 Agent Fax:

Applicant or Agent Daytime Telephone, Fax

2003-0196

Application I. D. Number

09/18/2003

Application Date

Holiday Retirement - Phase 2

Project Name/Description

217 - 217 Canco Rd, Portland, Maine

Address of Proposed Site

149 B001001

Assessor's Reference: Chart-Block-Lot

Approval Conditions of Fire

- 1 Application requires State Fire Marshal approval.
- 2 Applicant must show hydrant within 500' path of travel.

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Engineering Copy**

Att. 8

2003-0196
Application I. D. Number

09/18/2003
Application Date

Holiday Retirement - Phase 2
Project Name/Description

Portland Retirement Residence
Applicant
PO Box 14111, Salem, OR 97302
Applicant's Mailing Address

Consultant/Agent
Applicant Ph: (503) 370-7070 Agent Fax:
Applicant or Agent Daytime Telephone, Fax

217 - 217 Canco Rd, Portland, Maine
Address of Proposed Site
149 B001001
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

72,000 s.f. _____ _____ R3/OP
Proposed Building square Feet or # of Units Acreage of Site Zoning

Check Review Required:

<input checked="" type="checkbox"/> Site Plan (major/minor)	<input type="checkbox"/> Subdivision # of lots _____	<input type="checkbox"/> PAD Review	<input type="checkbox"/> 14-403 Streets Review
<input type="checkbox"/> Flood Hazard	<input type="checkbox"/> Shoreland	<input type="checkbox"/> Historic Preservation	<input type="checkbox"/> DEP Local Certification
<input type="checkbox"/> Zoning Conditional Use (ZBA/PB)	<input type="checkbox"/> Zoning Variance		<input type="checkbox"/> Other _____

Fees Paid: Site Plan \$1,000.00 Subdivision _____ Engineer Review _____ Date 09/23/2003

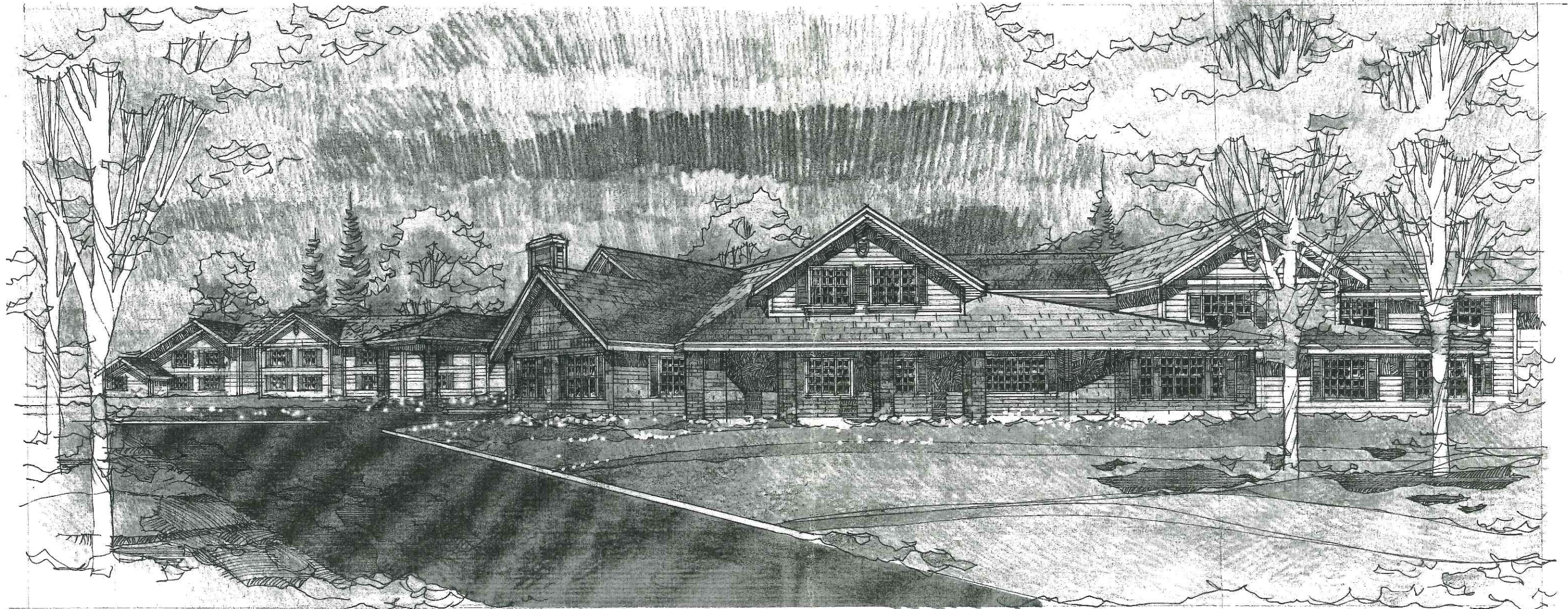
Engineering Comments

PUBLIC WORKS ENGINEERING REVIEW...10/02/03

I have reviewed the conceptual plans and application 9/18/03 and offer the following general comments:

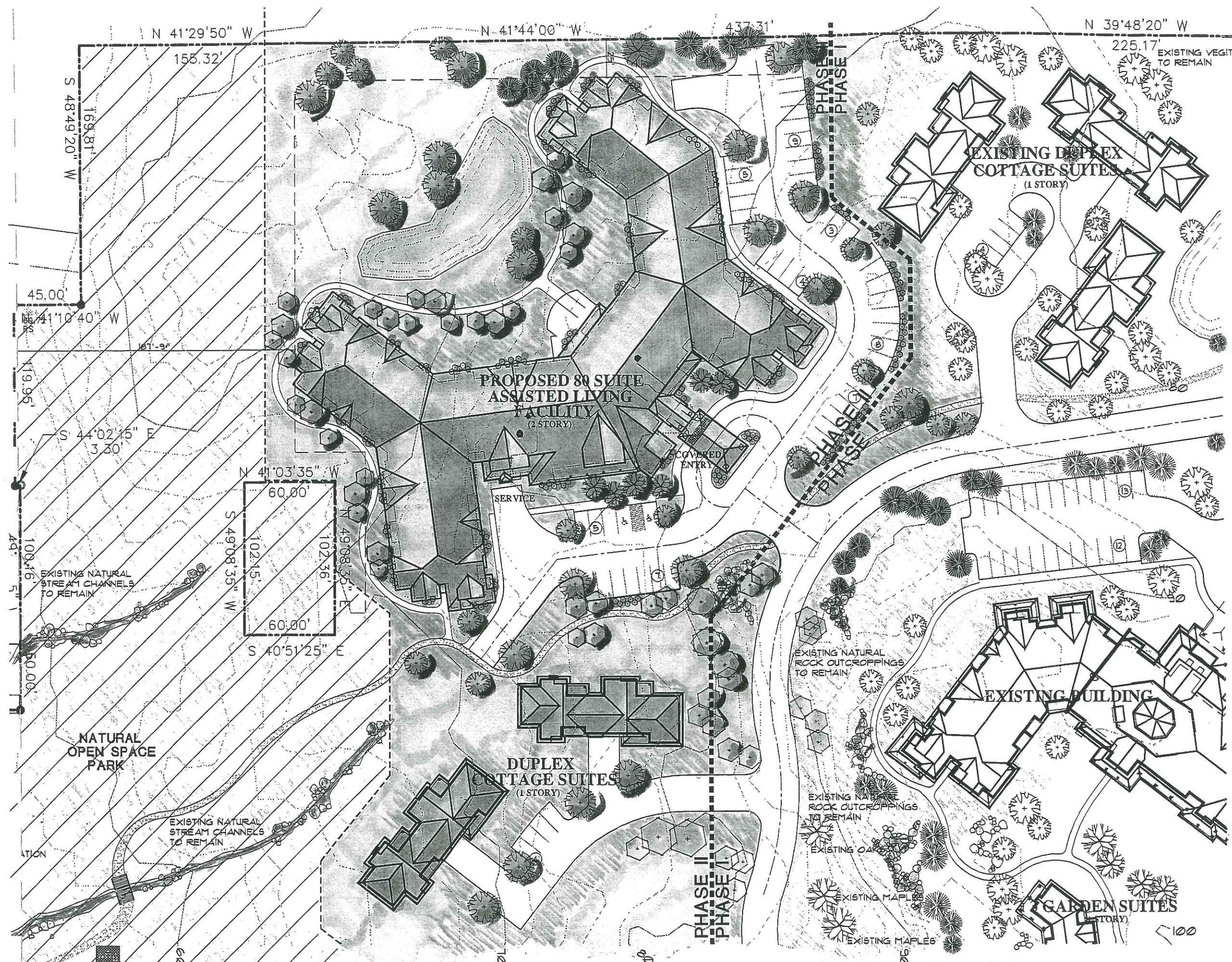
1. Public Works will require information regarding sanitary sewer flows for the added development.
2. We will also have concerns regarding stormwater management and downstream impact, as it relates to this development.

Performance Guarantee	<input type="checkbox"/> Required*	<input type="checkbox"/> Not Required	
* No building permit may be issued until a performance guarantee has been submitted as indicated below			
<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input type="checkbox"/> Building Permit Issue	_____		
	date		
<input type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	_____
	date		expiration date
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____		
	date		
<input type="checkbox"/> Performance Guarantee Released	_____	_____	
	date	signature	



View of Dining Room

9a



LANDSCAPE LEGEND

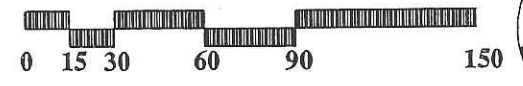
- LARGE DECIDUOUS TREE**
(TYPICAL BUT NOT LIMITED TO)
RED MAPLE, TULIP POPLAR,
OAK---LIVE, RED, SCARLET, OR SHUMARD,
SOUTHERN MAGNOLIA 25" CALIPER
- MEDIUM / SMALL DECIDUOUS TREE**
(TYPICAL BUT NOT LIMITED TO)
FLOWERING CHERRY, FLOWERING PEAR,
CRAPE MYRTLE 2" CALIPER
- CONIFER TREE**
(TYPICAL BUT NOT LIMITED TO)
DEODAR CEDAR, VIRGINIA PINE,
BALD CYPRESS 8'-1' HEIGHT
- SHRUBS**
(TYPICAL BUT NOT LIMITED TO)
JAPANESE & CHINESE HOLLY,
BARBERRY VARIETIES, AZALEA,
CRAPE MYRTLE, GARDINIA, HYDRANGEA
1 GAL, 3 GAL, 24"-30"
- GROUND COVER**
(TYPICAL BUT NOT LIMITED TO)
ANNUAL FLOWERS, ASIATIC JASMINE,
DAYLILY, JUNIPER, LIRIOPE
- LAWN** 4" PCT, 1 GAL.

LANDSCAPE NOTE:

1. THIS LANDSCAPE PLAN IS SCHEMATIC AND IS MEANT TO DESCRIBE THE CHARACTER OF THE PROJECT. A DETAILED PLANTING PLAN WILL BE SUBMITTED UPON APPROVAL OF SITE AND SCHEMATIC LANDSCAPE PLANS.
2. IRRIGATION WILL BE PROVIDED BY A FULLY AUTOMATIC UNDERGROUND SYSTEM.

SITE PLAN

SCALE 1"=30'-0"
DATE 08/26/2003



PROJECT STATISTICS:

PROJECT AREA:		
Total Area: 5.0 ACRES		218,312 SQ. FT.
AREA CALCULATIONS:		
MAIN BUILDING:	36,213 SQ. FT.	
PATIOS:	5,300 SQ. FT.	
COTTAGES:	6,302 SQ. FT.	
TOTAL COVERAGE:	47,815 SQ. FT.	21.9%
DRIVES / PARKING:	32,912 SQ. FT.	15.1%
WALKS:	5,480 SQ. FT.	2.5%
OPEN SPACE:	132,105 SQ. FT.	60.5%

PARKING:
2 ACCESSIBLE SPACES
46 OPEN SPACES
48 SPACES PROVIDED

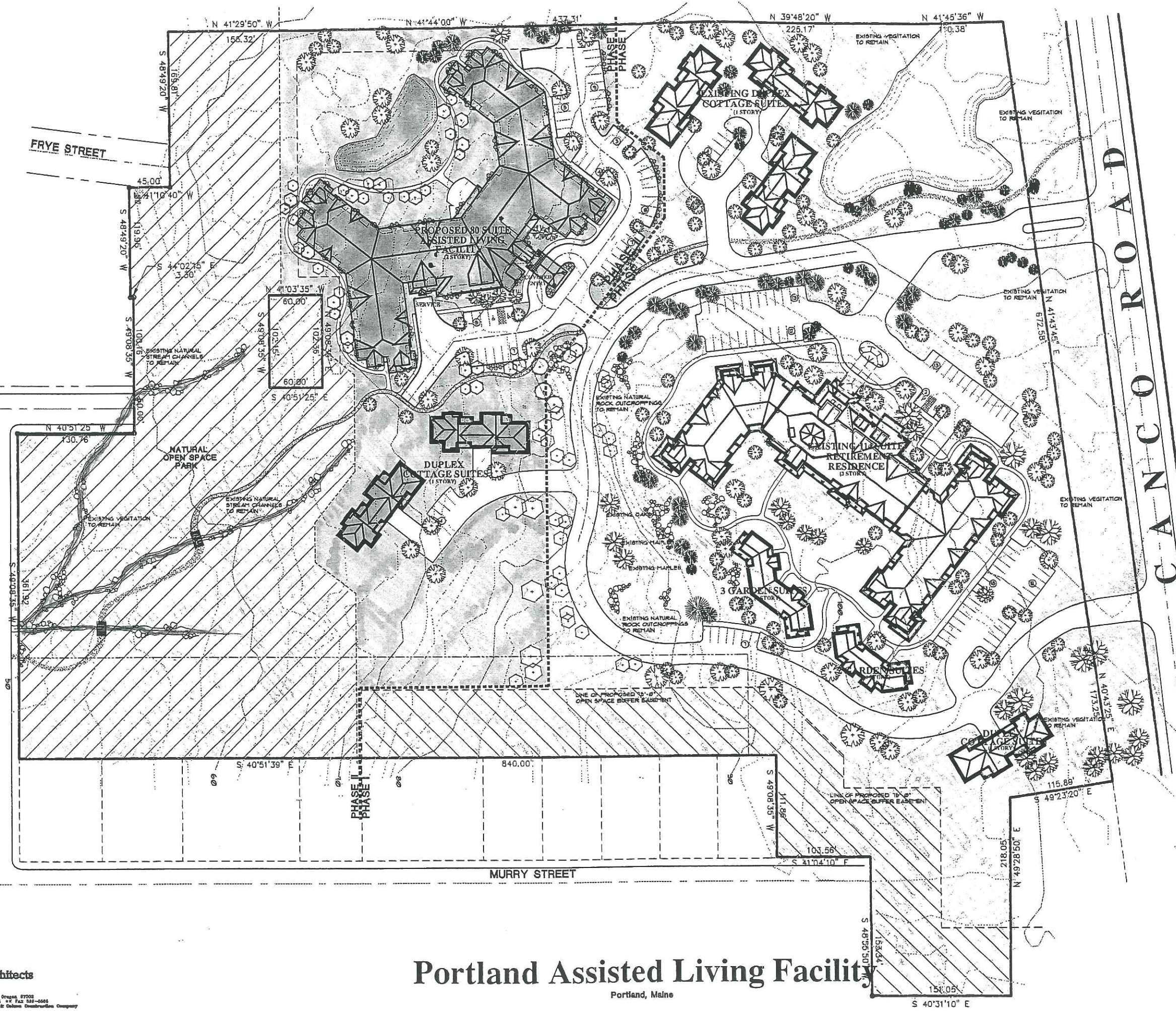
Holiday
RETIREMENT CORP.
220 McLellan St., Ste. 200, Portland, ME 04102
P.O. Box 14111, Salmon Falls, ME 04179-0111
(409)770-1770 Fax: (409)341-0715

Curry Brandaw Architects
P.A.T.H.B.C. 0077
3801 24th Street SE, Suite 200, Salem, Oregon 97302
503.585-0260 Fax: 503.585-1844 or Fax 503-585-0262
©2003 Curry Brandaw Architects / Affiliates in Oregon, California, and Washington

Portland Assisted Living Facility

Portland, Maine

96



SITE PLAN

1"=50'-0"
08/20/03 MCF



PROJECT STATISTICS:

AREA CALCULATIONS:

20.97 ACRES GROSS	
913,394 SQ FT GROSS	
20% REDUCTION	172,401 SQ FT
SETBACKS	88,120 SQ FT
WETLANDS/STREAMS	34,613 SQ FT
	295,134 SQ FT
566,873 SQ FT NET AREA	
1,600 SQ FT PER DWELLING UNIT	
354 DWELLING UNITS ALLOWED	
EASEMENT	71,145.7 SQ FT
	1.63 ACRES
OPEN SPACE PARK	209,759.6 SQ FT
	4.81 ACRES

PHASE I (Completed)

- 114 RETIREMENT SUITES
- 8 COTTAGE SUITES
- 5 GARDEN SUITES
- 127 TOTAL SUITES

PARKING:
90 PARKING SPACES

PHASE II

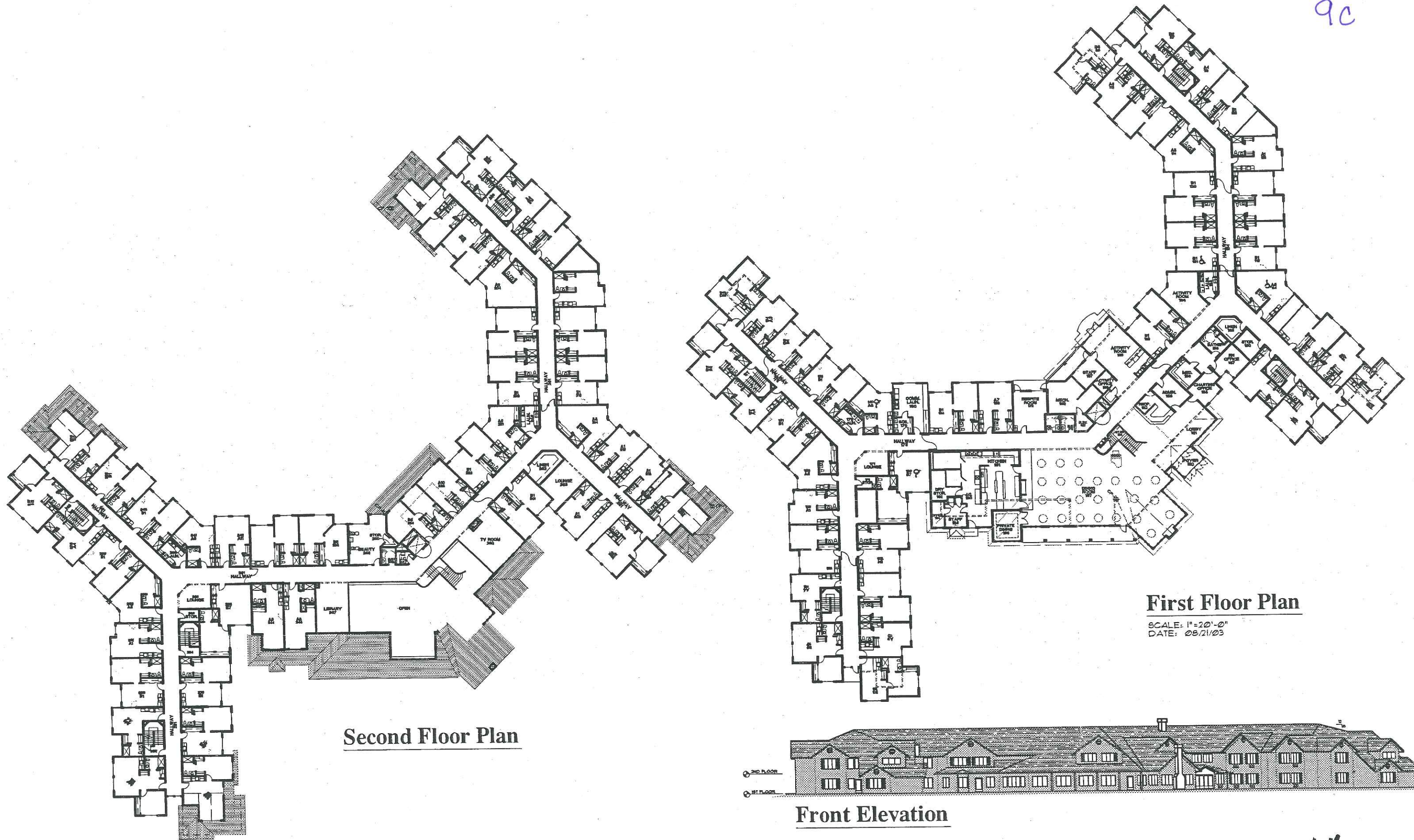
- 80 ASSISTED LIVING SUITES
- 4 COTTAGE SUITES
- 84 TOTAL SUITES

PARKING:
65 PARKING SPACES

TOTAL ALL PHASES

- 211 RETIREMENT SUITES
- 155 PARKING SPACES

9c



Second Floor Plan

First Floor Plan

SCALE: 1"=20'-0"
DATE: 08/21/03

Front Elevation

Portland Assisted Living Facility

Portland, Maine

Curry Brandaw Architects
PARTNERSHIP

2001 24th Street, SE, Suite 200 of Salem, Oregon 97302
503.398-1090 Fax 503.398-1844 Tel 503-398-1844
1998 Curry Brandaw Architects / Dalton & Dalton Construction Company

Holiday
RETIREMENT CORP.
250 Washington St., 2nd Floor, Portland, ME 04101
P.O. Box 14211, Portland, ME 04111
603.779-7079 Fax 603.779-9716

Memorandum
Department of Planning and Development
Planning Division



To: Chair Delogu and Members of the Portland Planning Board
From: Kandice Talbot, Planner
Date: January 9, 2004
Re: The Woods at Canco – Phase II
Assisted Living Facility; Holiday Retirement Corp., Applicant

Holiday Retirement Corp. is proposing to develop an 80-suite assisted living facility with four cottage suites on the Phase II portion of the Woods at Canco Retirement Residence site along Canco Road. The site is approximately 20.97 acres in size and zoned R-5A and ROS Conditional. The project will be reviewed for compliance with the site plan ordinance of the land use code and Site Location of Development Act. Attachment 7B, which was the plan submitted during the conditional rezoning process in 1997, can be compared with Attachment 13B, which is the proposed Phase II plan.

The Assisted Living Facility is an 80-suite facility for seniors who do not require the specialized services of a nursing home, yet are in need of some assistance with their daily routine. Services and activities at the facility are provided to maintain or improve the capabilities of each resident.

The Planning Board requested more information regarding the history of the rezoning and site plan process. This workshop will be to acquaint the Board with the history of this project, regarding the zone change, pedestrian access, street vacations, etc.

Conditional Rezoning

In 1997, Holiday Retirement Corp. requested an R-5A and ROS conditional zone change in the vicinity of 185 Canco Road to accommodate a retirement residence and an assisted living facility. The proposed was previously zoned O-P Office Park. The applicant also requested an R-5A text amendment to allow intermediate care facilities in the R-5A zone.

A neighborhood meeting was held and the three main concerns of the neighborhood included (but not limited to): 1) drainage and sewer problems; 2) that the open space easement along Murray Street remain as is and not be cleared; and 3) a 75 foot open space easement on the south side of the property.

The proposal was a two phased project with a total of 211 retirement suites and 155 parking spaces. Also proposed was a 75 foot open space buffer along the Murray Street neighborhood, which would total 1.63 acres and a natural open space park along the east portion of the site, which would total 4.81 acres. These areas were to be rezoned ROS.

Due to neighborhood issues and concerns of the city, it was determined that this project may be appropriate as an R-5A conditional rezoning.

In July, 1997 the Planning Board recommended to the City Council an R-5A and ROS Conditional rezoning and an R-5A text amendment to allow intermediate care facilities in the R-5A zone. The Council approved the text amendment and conditional rezoning on August 4, 1997.

The rezoning of the site was subject to the following conditions:

- that the development shall be substantially in accordance with the site plan.
- that in the event this property is transferred to a non-profit entity, or is otherwise determined to be exempt from municipal taxation, the owner shall make a payment in lieu of taxes in the full amount of the taxes that would be due and payable on the property as if it were taxable. Such payments shall be made at the same time that property tax bills are due;
- that public access shall be provided and areas shown as open space park and easement areas shall remain undeveloped and shall not be disturbed;
- that the rezoning shall run with the land and shall be binding upon the owner, its successors and assigns, and any users of the property; and
- that a copy of this conditional rezoning order shall be recorded in the Cumberland County Registry of Deeds.

Site Plan

City staff reviewed the first phase of this project. Phase I consisted of the construction of 114 retirement suites, 8 cottage units, and 5 garden suites for a total of 127 units. It also included the construction of a walking path from Canco Road to Murray Street through the ROS space and a walking path through the development to Frye Street.

Review

The project was reviewed as an intermediate/long-term care facility. The Retirement Residence is designed for elderly residents who are still ambulatory, but in need of support. The private suites include studio, one and two bedroom versions, and are similar to apartments except that a kitchen is not needed. Services provided include three prepared meals daily, housekeeping, laundering, private bus transportation and various activities. Staff are "in house" 24 hours a day. This proposal was reviewed as a site plan.

Access

Initially, the applicant has proposed one entrance onto Canco Road, but because of concerns by the Fire Department regarding access, two entrances onto Canco Road were proposed. The applicant was proposing to construct and pave the drive to approximately the back of the 114 unit building and complete the loop during Phase II, however the Fire Department requested that the remaining loop be constructed of gravel for emergency access.

Access to the site was from Canco Road over property owned by the City of Portland. The applicant requested that the City grant an easement over the property. At the January 5, 1998 Council meeting, the City Council approved the request for two easements over the City property.

Open Space and Pedestrian Access

The Planning Board was concerned with the deed for public access for the ROS area, the open space buffer area and the pedestrian access through the site. There was also some discussion about having the applicant convey the ROS portion of the property to the City. The applicant decided to retain ownership of the ROS area.

Language was created for the public access deed for the property, which stated:

1. Public access will be provided to the open space park and easement areas and these areas shall remain undeveloped and cannot be disturbed except for the removal of dead or diseased trees or other vegetation, planting of new vegetation, installation and maintenance of utilities (areas must be appropriately restored), and the construction, maintenance and repair of pedestrian trails.
2. The City of Portland and/or its designees will have the right to access the property and to construct additional trails at their own expense. The owner of the property shall have the right to approve/disapprove any and all trail locations.
3. The City of Portland and/or its designees shall have the right to install trail signage. The owner of the property shall have the right to approve/disapprove trail signage for locations and their placements.
4. The trail to be constructed as part of the development shall be limited to hours of use between sunrise and sunset each day. Passive recreational uses within these areas shall include only foot traffic and shall exclude any and all mechanized or wheeled/track recreational vehicles. Wheelchairs or other similar non-recreational vehicles shall be permitted. Portland Retirement Residence Limited Liability Company reserves the right to enforce these restrictions, supplement or modify these restrictions, (with the approval of the City of Portland Planning Board) and to remove anyone they believe is acting inappropriate, as it deems necessary to protect the residents of the Portland Retirement Residence and to maintain, protect and enhance the residential community surrounding the Portland Retirement Residence project.
5. The natural open space park shall be limited to hours of use between sunrise and sunset each day. Passive recreational uses within this area shall be defined to include pedestrian foot, bicycle, skateboard, roller blade, roller skate or other similar uses and shall exclude any and all mechanized or wheeled/track recreational vehicles. Wheelchairs or other similar non-recreational vehicles shall be permitted. Portland Retirement Residence Limited Liability Company reserves the right to enforce these restrictions, supplement or modify these restrictions, (with the approval of the City of Portland Planning Board) and to remove anyone they believe is acting inappropriate, as it deems necessary to protect the residents of the Portland Retirement Residence and to maintain, protect and enhance the residential community surrounding the Portland Retirement Residence project. This restriction will apply to the proposed trail by Portland Trails.

The Access Easement over the City of Portland land is included as Attachment 10. The Pedestrian Access and Recreational Open Space Easement Deed is included as Attachment 11.

Vacated Streets

There were a number of paper streets that ran through this property. They were Elmore Street, Dudley Street, Frye Street and Rosedale Street. The portions of these streets that were within the property were vacated.

Traffic

The applicant is proposing fifty-two (52) parking spaces for the Phase II proposal. Because Phase II consists of buildings totaling 72,000 sq. ft., the Planning Board determines the number of parking spaces needed. Residents, since they are in need of assistance, typically do not drive. The applicant believes that one parking space per two suites is sufficient for visitor and staff parking. Included, as Attachment 3 is a list of the retirement facilities that the applicant has developed and the number of parking spaces for each. The traffic study, which was submitted as part of Phase I, included traffic counts for the full build out of the site. The traffic study submitted for Phase I is included as Attachment 4.

At the last workshop meeting, the Planning Board requested that the applicant provide an updated traffic study, with information on accident data at the intersections of Canco/Washington and Canco/Read. The Planning Board also requested information as to the number of residents in Phase I who actually use vehicles. The applicant is currently working on a revised traffic study for the project.

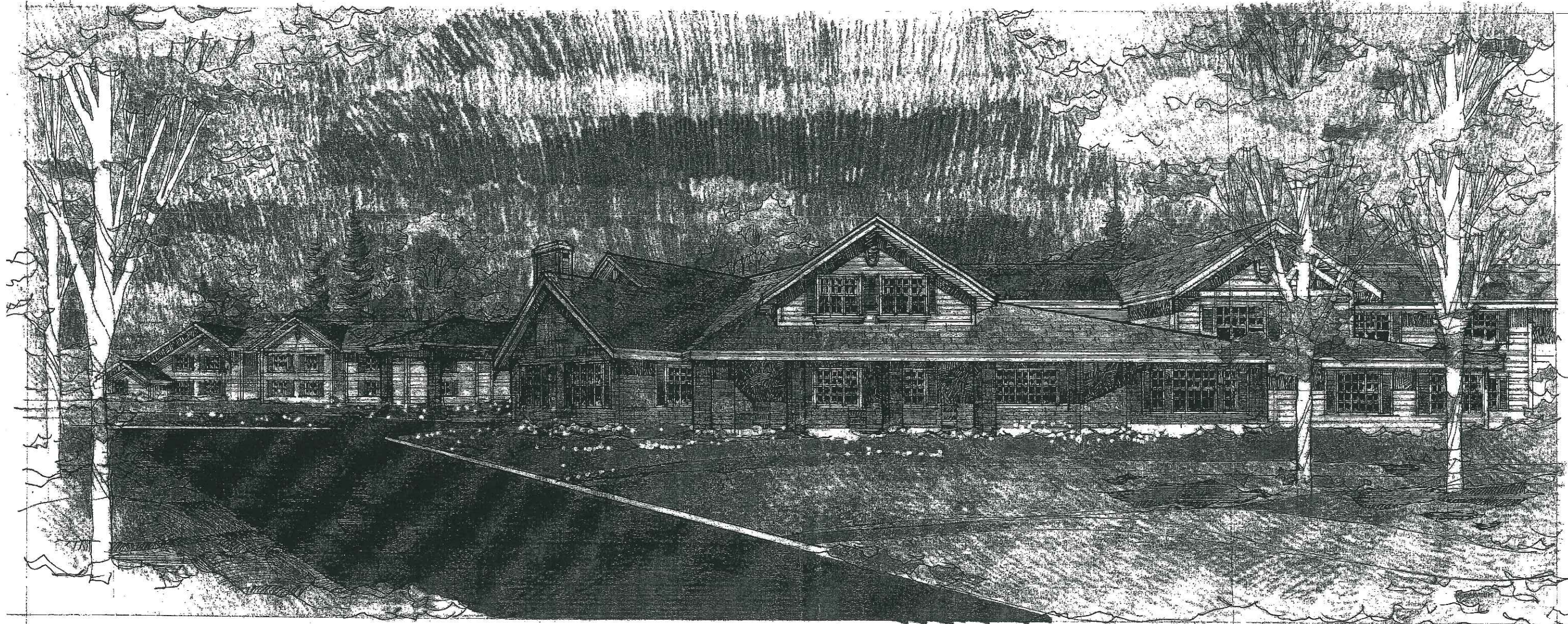
Drainage

The stormwater management plan for Phase I was designed with two ponds and wooded buffers for stormwater quality and detention. The first pond collects the first one-half inch of runoff over the majority of the development areas and then releases it over a 24-hour period. This allows times for the suspended solids to settle before being discharged into the wetland area. Pond 1 was designed to remove 60 – 90% of the suspended solids. Drainage will be discharged through three different level spreaders and wooded buffer with a suspended solids removal rate of 55%. Pond 2 utilizes the existing wetland area for detention. This is achieved by a berm around the perimeter of the wetland. Runoff from the detention pond is controlled through a control structure below pre-development peak rates. This stormwater plan was designed for Phase I only.

Phase II stormwater will include a detention basin in the southeasterly corner of the development. The applicant is currently working on the stormwater plans for Phase II. Public Works also has concerns regarding stormwater management and downstream impact, as it relates to this development.

Attachments:

1. Application Letter dated September 18, 2003
2. Holiday Retirement Application Submittal
3. Parking Information
4. Traffic Study and Addendum from Phase I
5. Current Zoning Map
6. R-5A Text Amendment
7. Conditional Rezoning from OP to R-5A/ROS
8. Council Decision
9. March 10, 1998 Planning Board Site Plan and Site Location Approval Letter
10. Easement Deed for Access over City Property
11. Pedestrian Access and Recreational Open Space Easement Deed
12. Map Showing Applicant's Trail and Potential Portland Trails Trail
13. Current Plan Submittals



View of Dining Room

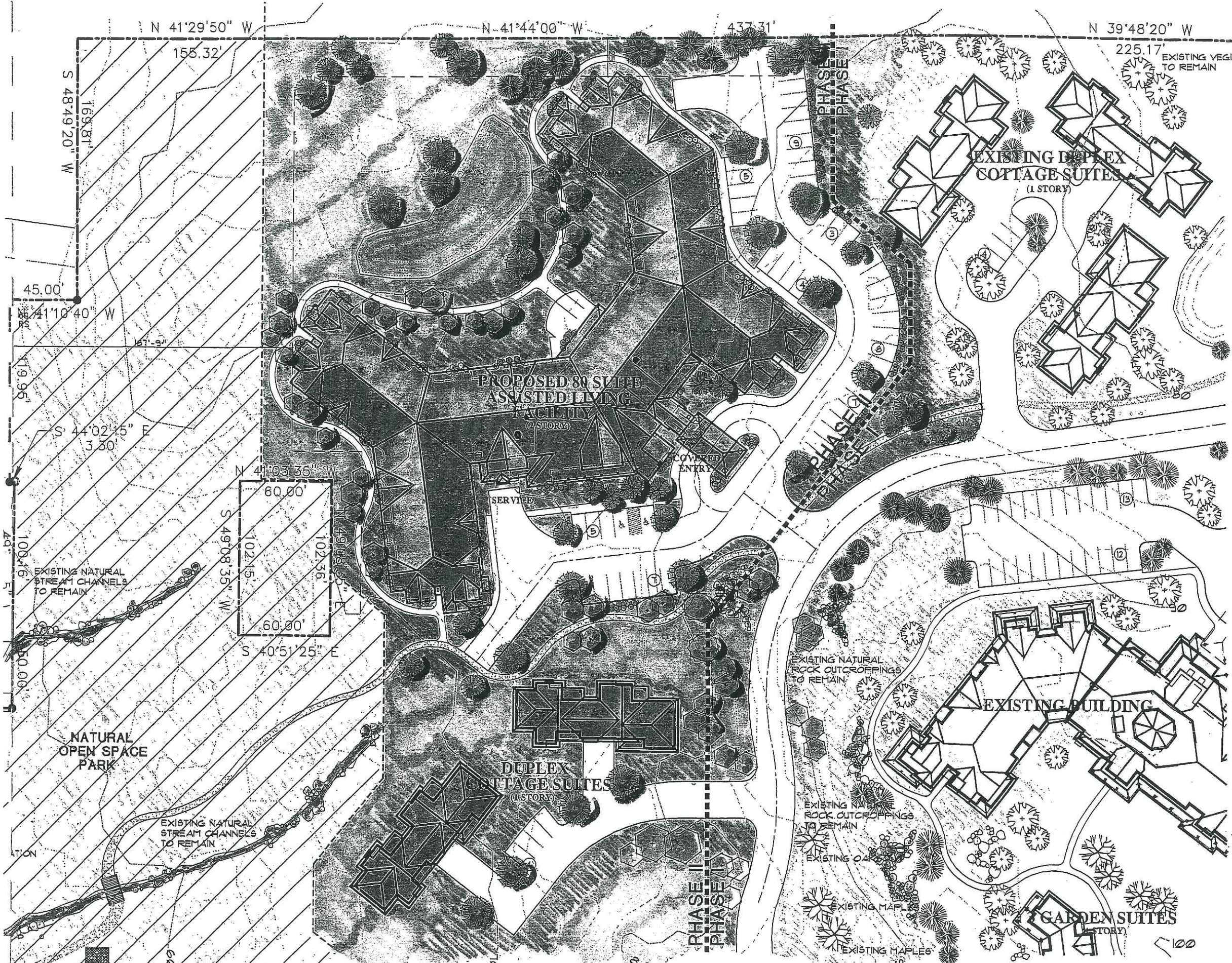

Curry Brandaw Architects
PARTNERSHIP

Portland Assisted Living Facility

Portland, Maine


Management Company L.L.C.
Holiday
HOLIDAY RETIREMENT CORE

131a



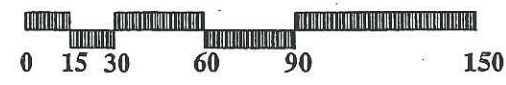
LANDSCAPE LEGEND

- LARGE DECIDUOUS TREE**
(TYPICAL BUT NOT LIMITED TO)
RED MAPLE, TULIP POPLAR,
OAK---LIVE, RED, SCARLET, OR SHUMARD
SOUTHERN MAGNOLIA 2.5" CALIFER
- MEDIUM / SMALL DECIDUOUS TREE**
(TYPICAL BUT NOT LIMITED TO)
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- CONIFER TREE**
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(TYPICAL BUT NOT LIMITED TO)
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BARBERRY VARIETIES, AZALEA,
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(TYPICAL BUT NOT LIMITED TO)
ANNUAL FLOWERS, ASIATIC JASMINE,
DAYLILY, JUNIPER, LIRIOPE
4" POT, 1 GAL.
- LAWN**

LANDSCAPE NOTE:
1. THIS LANDSCAPE PLAN IS SCHEMATIC AND IS MEANT TO DESCRIBE THE CHARACTER OF THE PROJECT. A DETAILED PLANTING PLAN WILL BE SUBMITTED UPON APPROVAL OF SITE AND SCHEMATIC LANDSCAPE PLANS.
2. IRRIGATION WILL BE PROVIDED BY A FULLY AUTOMATIC UNDERGROUND SYSTEM.

SITE PLAN

SCALE 1"=30'-0"
DATE 08/26/2003



PROJECT STATISTICS:

PROJECT AREA:
Total Area: 5.0 ACRES 218,312 SQ. FT.

AREA CALCULATIONS:

MAIN BUILDING:	36,213 SQ. FT.	
PATIOS:	5,300 SQ. FT.	
COTTAGES:	6,302 SQ. FT.	
TOTAL COVERAGE:	47,815 SQ. FT.	21.9%
DRIVES / PARKING:	32,912 SQ. FT.	15.1%
WALKS:	5,480 SQ. FT.	2.5%
OPEN SPACE:	132,105 SQ. FT.	60.5%

PARKING:
2 ACCESSIBLE SPACES
46 OPEN SPACES
48 SPACES PROVIDED

Curry Brandaw Architects

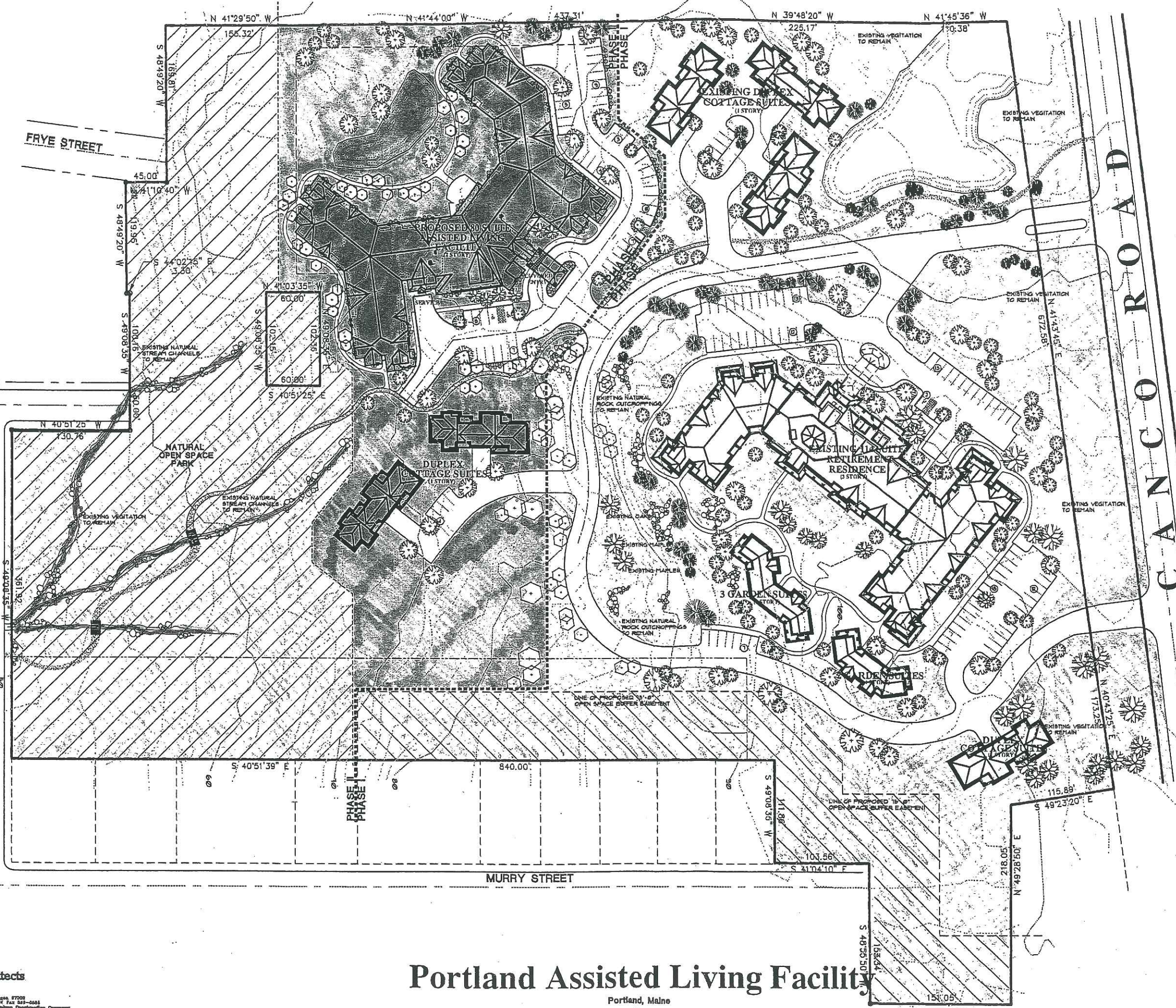
2401 24th Street, Portland, Oregon 97205
503.585.1510 • Fax 503.585.1511 • www.currybrandaw.com
1998 Curry Brandaw Architects / Wilson & Deane Construction Company

Portland Assisted Living Facility

Portland, Maine

Holiday RETIREMENT CORP.
2000 Washington St., Suite 200, Portland, ME 04103
P.O. Box 14111, Portland, ME 04119-1111
(603)776-7070 Fax (603)264-4718

136



SITE PLAN
 1" = 50'-0"
 03/20/03 MCF



PROJECT STATISTICS:
AREA CALCULATIONS:

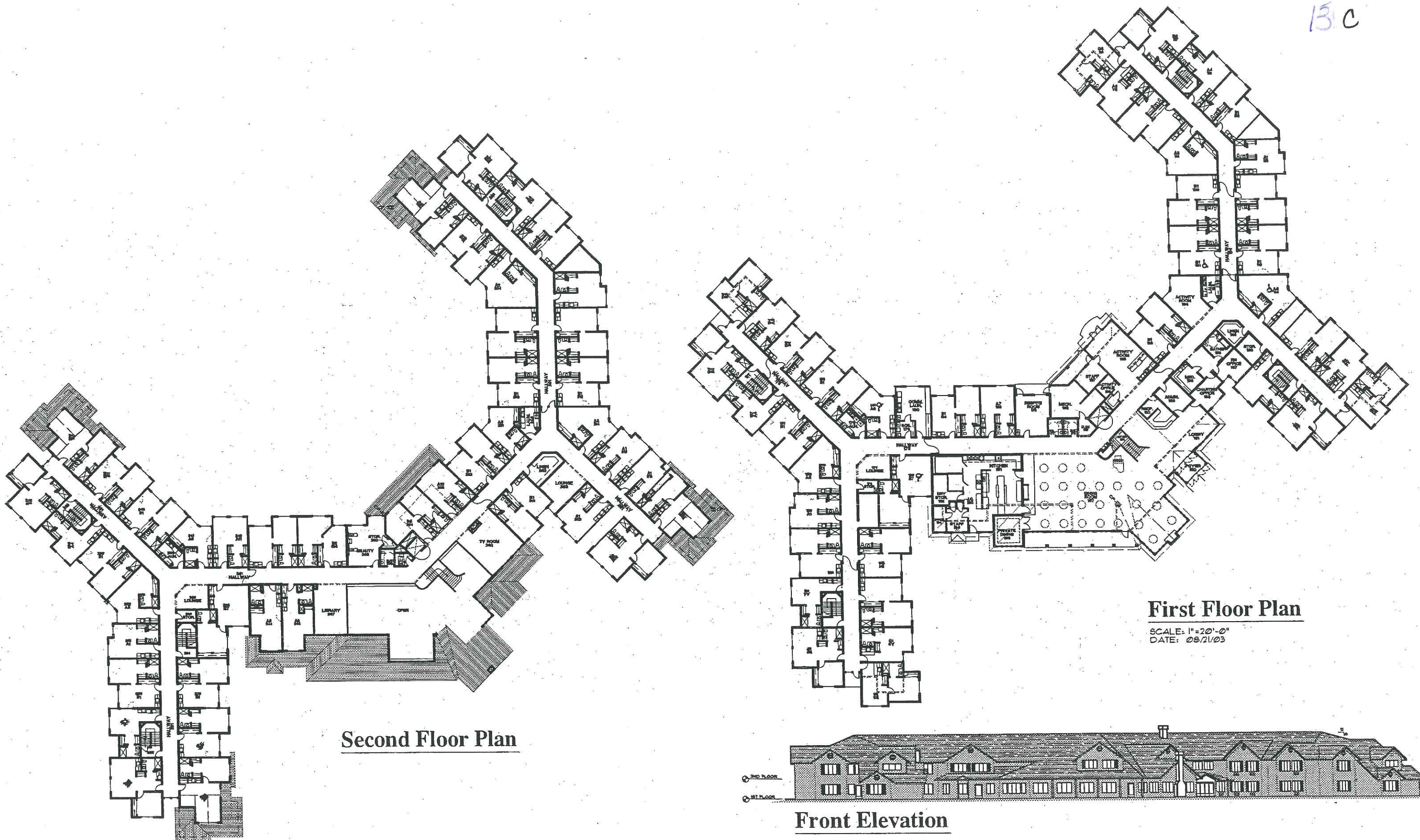
20.97 ACRES GROSS	
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SETBACKS	88,120 SQ FT
WETLANDS/STREAMS	34,613 SQ FT
	295,134 SQ FT
566,873 SQ FT NET AREA	
1,600 SQ FT PER DWELLING UNIT	
354 DWELLING UNITS ALLOWED	
EASEMENT	71,145.7 SQ FT
	1.63 ACRES
OPEN SPACE PARK	209,759.6 SQ FT
	4.81 ACRES

PHASE I (Completed)
 114 RETIREMENT SUITES
 8 COTTAGE SUITES
 5 GARDEN SUITES
 127 TOTAL SUITES
 PARKING:
 90 PARKING SPACES

PHASE II
 80 ASSISTED LIVING SUITES
 4 COTTAGE SUITES
 84 TOTAL SUITES
 PARKING:
 65 PARKING SPACES

TOTAL ALL PHASES
 211 RETIREMENT SUITES
 155 PARKING SPACES

13C



First Floor Plan

SCALE: 1"=20'-0"
DATE: 08/21/03

Second Floor Plan

Front Elevation

Portland Assisted Living Facility

Portland, Maine

PBR1

Memorandum
Department of Planning and Development
Planning Division



To: Chair Delogu and Members of the Portland Planning Board

From: Kandice Talbot, Planner

Date: March 23, 2004

Re: The Woods at Canco – Phase II
Assisted Living Facility; Holiday Retirement Corp., Applicant

Due to outstanding issues, staff is recommending that the Planning Board table this project to the April 27th public hearing at 7:30 p.m.

I. INTRODUCTION

The Planning Board is forwarding a recommendation to the City Council a request for a R-5A text amendment and a zone change from O-P Office Park to a R-5A Residential and ROS Recreation Open Space Conditional Zone for the property located in the vicinity of 185 Canco Road.

Holiday Retirement Corp. is requesting a R-5A and ROS conditional zone change in the vicinity of 185 Canco Road to accommodate a Retirement Residence and an Assisted Living Facility. Attachment 1 is the zone change application, Attachment 3 and 4 is the R-5A Text Amendment and Conditional Rezoning Amendment, and Attachment 10 is the zone change map. Letters from the public are included as Attachment 6.

II. FINDINGS

Current Zoning:	O-P Office Professional
Proposed Zoning:	R-5A Residential and ROS Recreation Open Space Conditional Zone
Land Area:	20.97 acres
Existing Use:	Vacant
Proposed Use:	211 Retirement Residence and Assisted Living Facility
Proposed Parking:	155 parking spaces
Land Uses in the Vicinity:	The area east and north of the site is predominantly residential. To the south of the site is an IL zone which is currently vacant. To the west of the property are office and industrial uses.

III. PROPOSED ZONE CHANGE

Holiday Retirement Corp. is requesting a R-5A and ROS conditional zone change in the vicinity of 185 Canco Road to accommodate a Retirement Residence and an Assisted Living Facility. The 20.97 acre site is currently zoned O-P Office park and is a vacant, wooded lot. The lot is bounded by Canco Road, Frye Street, Dudley Street, Rosedale Street and Murray Street.

The applicant is proposing a two phased project with a total of 211 retirement suites and 155 parking spaces. Also proposed, would be a 75 foot open space buffer along the Murray Street neighborhood, which would total 1.63 acres, and a natural open space park along the east portion of the site, which would total 4.81 acres. The applicant is requesting that the open space park and easement be rezoned ROS.

IV. ZONING POLICY ANALYSIS

The applicant is seeking a R-5A and ROS conditional zone to allow a Retirement Residence and an Assisted Living Facility. The purpose of the R-5A Residential Zone states:

The purpose of the R-5A residential zone is to provide for moderate-density residential development in off-peninsula sections that can provide a unique residential living experience with a high degree of natural site amenities; and to provide areas of the city in the general proximity of the peninsula that have the capability for adequate municipal services, including traffic corridors with

adequate traffic capacity, that can appropriately accommodate a more intensive use of land than other lower-density zoned land and be compatible with surrounding neighborhoods; and to increase affordable housing opportunities in off-peninsula locations by providing a moderate-density zone.

The site is a vacant wooded lot. The applicant is proposing to retain approximately 7 acres of the 20 acre site for open space. This project would also create a moderate-density residential development in an off-peninsula area.

The Comprehensive Plan states as a goal "to ensure that the housing needs of a growing and diverse elderly population are met." This project would offer an independent style of living to a variety of income levels and people with different needs.

At the workshop the applicant submitted a letter discussing the zoning policy for this site. Attachment 7 is the letter.

As one of the last large undeveloped commercially zoned sites in the City, the future of this parcel is an important policy consideration for the City of Portland. This site is the last undeveloped Office Park O-P zone in Portland. An Office Park development and an elderly housing proposal vary greatly in impact on neighbors, infrastructure and natural resources and these issues should be considered by the Planning Board during its deliberations.

The applicant has submitted an economic impact study that estimates between Phase I and Phase II, this project will be approximately an \$11 million project. The economic impact study is included as Attachment 2.

At the last workshop meeting, the Board asked the Department of Economic Development for their opinion on this zone change and proposal. The Department of Economic Development would like to lend strong support to this development. Economic Development is currently engaged in efforts to attract and expand companies that offer higher-than-average wages, using technologically . This industry requires office space designed to meet the needs associated with 24-hour telemarketing call centers, back office services and other computer related users. Given the type of industries that are emerging and their need for real estate, there may be future zoning request for O-P office park land in Portland. A memo from Tony Donovan has been included as Attachment 5.

V. DEVELOPMENT PLAN

The applicant is proposing two phases. The first phase will consist of the Retirement Residence with approximately 127 suites. The second phase will be the Assisted Living Facility and will have approximately 84 suites.

The Retirement Residence is designed for elderly residents who are still ambulatory, but in need of support. The private suites include studio, one and two bedroom versions, and are similar to apartments except that a kitchen is not included. Services provided include three prepared meals daily, housekeeping, laundering, private bus transportation and various activities. Staff are "in house" 24 hours a day.

The Assisted Living Facility is designed for the elderly who do not require a nursing home, but need some support. The suites will be set up the same as the Retirement Residence. Services provided include licensed nurse on site, personal care attendant coverage, assistance with essential personal activities, ancillary service, monthly health screening, dietary consultation, and three prepared meals daily.

The building construction will be wood frame with stucco siding, and an asphalt shingle roof. The building interior design has common areas for a variety of uses. Both buildings will have a common dining room and kitchen, multi-purpose room, beauty shop, and lounge. The Retirement Residence will have a crafts room, TV room, lounges and an exercise room.

Access will be from Canco Road. The applicant has proposed 90 parking spaces for the first phase and 65 parking spaces for the second phase.

If this zone change is approved, some issues that will need to be resolved at the site plan stage are:

- 1) Status of papers streets. If paper streets run into this site they will need to be vacated.
- 2) Traffic issues. A traffic study will be required.
- 3) Stormwater/sanitary sewer issues. There are serious drainage and sewer issues that will need to be dealt with for this site.

VI. NEIGHBORHOOD ISSUES

A neighborhood meeting was held on May 28, 1997. The three main concerns of the neighborhood include (but are not limited to):

- drainage and sewer problems already existing in the area and how would this development affect this problem;
- that the open space easement along Murray Street remain as is and not be cleared; and
- a neighbor abutting the southeast corner of the site would like to see the 75 foot open space easement continue on the south side of the property. The applicant has considered this request and has added some open space on the south side of the property.

Attachments 6a - 6n are correspondence from the neighbors. Please note that Attachment 6k is Mary Conroy's letter to Kathi Staples, City Engineer, and Ms. Staples response is included as Attachment 6n.

VII. Conditions For Rezoning

This property is one of the last large undeveloped sites left in the city. Due to neighborhood issues and concerns of the city it was determined that this project may be appropriate as an R-5A conditional rezoning. This rezoning shall be subject to the following proposed conditions:

- that the development shall be substantially as shown on the site plan;

- that in the event this property is transferred to a non-profit entity, or is otherwise determined to be exempt from municipal taxation, the owner shall make a payment in lieu of taxes in the full amount of the taxes that would be due and payable on the property as if it were taxable. Such payments shall be made at the same time that property tax bills are due;
- that public access shall be provided and areas shown as open space park and easement areas shall remain undeveloped and shall not be disturbed, except for removal of dead or diseased trees or other vegetation, planting of new vegetation, installation and maintenance of utilities if areas are appropriately restored after such work, and construction and maintenance of trails;
- that the rezoning shall run with the land and shall be binding upon the owner, its successors and assigns, and any users of the property; and
- that a copy of this conditional rezoning order shall be recorded in the Cumberland County Registry of Deeds.

VIII. R-5A TEXT AMENDMENT

The applicant is also requesting a text amendment to the R-5A zoning text. This amendment will allow intermediate, extended and long-term care facilities as permitted uses in the R-5A zone with a minimum lot size of one and one-half acres. Attachment 3 is the R-5A Text Amendment.

IX. MOTIONS FOR THE BOARD TO CONSIDER

On July 22, 1997 the Planning Board voted 6-0 (Carroll absent) to recommend the proposed R-5A text amendment and proposed rezoning from O-P Office Park to R-5A Residential and ROS Recreation Open Space Conditional Zone in the vicinity of 185 Canco Road to the City Council.

Attachments:

1. Zone Change Application
2. Letter from Applicant
3. R-5A Text Amendment
4. Conditional Rezoning Amendment
5. Memo from Economic Development
- 6a-6n. Letters from neighbors and responses
7. Zoning Policy Submitted by Applicant
8. Site Plan
9. Zoning Map and Uses in the Area

APPLICATION FOR ZONING AMENDMENT
CITY OF PORTLAND, MAINE

Attachment 1

DATE March 19, 1997

TO THE CITY PLANNING BOARD, CITY HALL, PORTLAND, MAINE 04101:

The undersigned hereby requests that you consider whether it would be consistent with the comprehensive plan of the City of Portland, Maine, and make appropriate recommendation for action by the City Council concerning the following proposed amendments to the Zoning Ordinance of the City of Portland, Maine:

A. ZONING MAP AMENDMENT:

FROM O-P ZONE TO R-5A ZONE
w/ amendment to allow I - use

The property situated on Canco Rd. Street/Avenue
between Murray Street/Avenue and Frye Street/Avenue
on Southeast side(s).

Assessor's Reference (Chart, Block and Lot) for the property is as follows:

Parcel II, III, and IV of attached record owner information.

1. What original deed restrictions, if any, concerning the type of improvements and class of uses permitted were placed on the property involved? Give date restrictions expire:

N/A

2. Description of the existing use of property: Vacant land

3. Description of the proposed use of property: See attached concept information for both the retirement residence and assisted living facility

4. Area of Lot(s): 19.3 acres (gross)

Total Floor Area: N/A

Street Address of Property Involved	Property Owner and/or Name of Option Holder	Date of Acquisition
<u>Unknow at this time</u>	<u>Black Bear Development</u>	
	<u>Colson & Colson Const. Co.</u>	

6. Submission of a site plan, as required in Article V of the Municipal Code.
7. Submission of plans and addresses of property owners abutting the subject property.


B. ZONING TEXT AMENDMENT:

1. Section of Ordinance to be amended: 14-127
2. Proposed text amendment - Attach on separate sheet the exact language being proposed, including existing relevant text, in which language to be deleted is depicted as crossed out (example), and language to be added is depicted with underlined (example).
3. Brief statement of the purpose of the proposed amendment.
4. If the amendment is intended to facilitate a development, reuse, alteration, addition or modification to a specific property, fill out the sections above under ZONING MAP AMENDMENT.

A fee for this application for a zoning amendment will be charged in accordance with Section 14-54 of the Municipal Code (see copy attached). The applicant also agrees to pay all costs of publication (or advertising) of the Public Hearing Notice as required for this application. Such amount will be billed to the applicant following the appearance of the advertisement.

The above information and the attached lists of property -- owners in the vicinity are true and accurate to the best of my knowledge.

3/19/97
Date of Filing


Signature of Applicant
Curry Brandaw Architects

2260 McGilchrist St. SE, Suite 100
Address of Applicant

Salem, OR 97302
City State ZIP

WITHDRAWAL: In the event of withdrawal of the zoning amendment application by the applicant prior to the submission of the advertisement copy to the newspaper to announce the public hearing, a refund of two-thirds of the amount of the zone change fee will be made to the applicant by the City of Portland.

Portland Planning Board
Portland, Maine

Effective: April 11, 1988

Sec. 14-54. Zone Change Fees

The following schedule of fees will be charged by the City for applications for changes of zon according to the following major zoning classifications and pertinent data relating to the specific zone change:

(1) Zoning Map Changes

	<u>1-25 Units</u>	<u>26-50 Units</u>	<u>51-75 Units</u>	<u>75 & Over</u>
Residence Zones	\$150.00	\$200.00	\$250.00	\$300.00
Nonresidential Zones	0-15,000 sq. ft. or 0-5 acres (which-ever is less)	15,000-30,000 sq. ft. or 6-10 acres (which-ever is less)	30,000-45,000 sq. ft. or 10-15 acres (which-ever is less)	45,000-60,000 sq. ft. or 15-20 acres (which-ever is less)
	\$150.00	\$200.00	\$250.00	\$300.00

Applicant shall assume payment of cost of all notices, including newspaper publication.

- (2) Text Changes: Minimum fee of one hundred dollars (\$100.00). Applicant shall assume payment of cost of all notices, including newspaper publication.

Administrative Policy: All ordinances that would cost more than the maximum to public should be printed in separate pamphlet form and advertised only by reference.

- (3) Waiver of Fees: The fee for zone change applications will be waived in the case of an application submitted by any governmental body.
- (4) Withdrawal of Application: If a zone change application is withdrawn by an applicant prior to the submission of the advertisement copy to the newspaper to announce the public hearing, a refund of two-thirds of the amount of the zone change fee will be made to the applicant by the City. (Code 1968, * 602.1.F; Ord. No. 589-75, * 1, 10-20-75; Ord. No. 590-75, * 1, 11-19-75; Ord. No. 693-81, 5-18-81; Ord. No. 523-87, 5-18-87)

N/F	BARBARA A. ACETO	5036/277
N/F	DARRYL JOHNSON	8193/22
N/F	LORRAINE L. JOY	9248/267
N/F	RICHARD W. LEIGHTON	6881/341
N/F	CHARLES W. BOYCE DONNA J. BOYCE	3564/88

RECORD OWNER INFORMATION:

**DESCRIPTION
PROPERTY/ROW**

1. RECORD OWNER OF THE PROPERTY IS BLACK BEAR DEVELOPMENT CORPORATION BY DEED FROM FOUR EIGHTY-ONE CORP. DATED MARCH 29, 1995, RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 11866, PAGE 7.

IRON PIPE/ROD
DRILLHOLE
BUILDING
WETLANDS
EDGE WETLAND

PARCEL I:
BEING LOTS 414 AND 415 SHOWN ON PLAN FOREST HILLS PORTLAND MAINE OWNED BY A.H. CHAPMAN LAND CO.
PREPARED BY E.N. SHEFFIELD, RECORDED IN PLAN BOOK 15, PAGE 41.

WETLANDS
EDGE WETLAND

PARCEL II:
BEING LOTS 258 THROUGH 284 SHOWN ON PLAN FOREST HILLS PORTLAND, MAINE OWNED BY A.H. CHAPMAN LAND CO.
PREPARED BY E.N. SHEFFIELD, RECORDED IN PLAN BOOK 15, PAGE 41.

STREAM
ROCK OUTCROP
EDGE PAVEMENT
GRAVEL ROAD

PARCEL III:
BEING A PORTION OF DUDLEY STREET SHOWN ON PLAN FOREST HILLS PORTLAND, MAINE OWNED BY A.H. CHAPMAN
PREPARED BY E.N. SHEFFIELD, RECORDED IN PLAN BOOK 15, PAGE 34.

GATE VALVE
UTILITY POLE
HYDRANT
MANHOLE
STONE WALL

PARCEL IV:
BEING THE 17.59 ACRES AS SHOWN ON PLAN STANDARD BOUNDARY SURVEY OF LAND ON MURRAY STREET FOR HOUSING RESOURCES CORP. PREPARED BY OWEN HASKELL, INC., RECORDED IN PLAN BOOK 159, PAGE 66. SAID 17.59 ACRES BEING SEVERAL LOTS SHOWN ON PLAN FOREST HILLS PORTLAND, MAINE OWNED BY A.H. CHAPMAN PREPARED BY E.N. SHEFFIELD, RECORDED IN PLAN BOOK 15, PAGES 34 AND 41. AND LOTS SHOWN PLAN MONTCLAIR, THE OTIS H. PERRY CO. OWNERS. PREPARED BY PERCY H. RICHARDSON, C.E., RECORDED IN PLAN BOOK 16, PAGE 13.

2. RIGHT OF WAYS WITHIN LOCUS PARCEL:

FRYE STREET, DUDLEY STREET, AND ROSENDALE STREET SHOWN AS DASHED LINES WITHIN THE LOCUS PARCEL. DEPICT THE APPROXIMATE LOCATION OF POSSIBLE PRIVATE RIGHTS OF OTHERS WHO PURCHASED LOTS AS SHOWN ON PLANS RECORDED IN PLAN BOOK 15, PAGES 34, 41 AND PLAN BOOK 16, PAGE 13. THE CITY OF PORTLAND APPEARS TO HAVE CONVEYED ITS INTEREST IN SAID STREETS AS APPEARS IN SEVERAL DEEDS REFERENCED IN DEED 7548, PAGE 96. A REVIEW BY LEGAL COUNCIL IS RECOMMENDED.



Curry Brandaw Architects

PARTNERSHIP
June 4, 1997

To: Kandice Talbot
From: Cliff Curry
Re: Plan revisions to discuss at the June 10th meeting
Portland Retirement Residence
Canco Road, Portland, ME

We have had several neighborhood meetings and discussions with city officials. This plan has been revised to include their suggestions. The primary differences are to limit our total development size to 211 units and to create a large permanent open space between us and the adjacent single family.

The current proposal is to re-zone the land into two zones, Recreational Open Space (ROS) and R5A with a P.U.D. and contract. We want to use the contract zone provisions. The contract zone provisions are very important to us because it conveys a clear commitment between us and the city. It guarantees the neighborhood and the city generally that they will receive what has been promised. We plan to be a long term owner/operator. This will make a good start.

COMPARISON

PROJECT STATISTICS:

Original Site Plan

Land Area Calculations:
19.93 Acres Gross
No park area

Number Of Units: Phase I

114 Retirement Suites
10 Cottage Suites
5 Gardens Suites
129 Total Suites

Phase II

80 Assisted Living Suites
6 Cottage Suites
86 Total

Phase III

100 Retirement Apartments

315 Total

Current Site Plan

Land Area Calculations:
*20.97 Acres Gross
Includes 4.81 Acres of Park land

Number Of Units: Phase I

114 Retirement Suites
8 Cottage Suites
5 Garden Suites
127 Total Suites

Phase II

80 Assisted Living Suite
5 Cottage Suites
84 Total

211 Total

Open Space: No Park Land Was Included

*The area is larger because the land at the end of Murry Street has been included.

c:\me\port\sitecomp\gs



Curry Brandaw Architects

PARTNERSHIP

Economic Impact
Portland Retirement Residence
Canco Rd.
Portland, Maine

BUILDING / LAND -

Phase I: \$7,500,892.00	Phase II: \$3,750,000.00	Total: \$11,250,000.00
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LOCAL EMPLOYMENT -

Phase I: 16 full time equivalents total monthly wage including benefits \$22,000.00	Phase II: 26 full time 12 part time total monthly wage \$40,645.00	Total: \$62,645.00
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MAINTENANCE -

Phase I: Local wages & expenses \$5,000.00 monthly	Phase II: Local wages & expenses \$1,500.00 monthly	Total: \$6,500.00
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FOOD -

Phase I: purchased locally monthly \$9,410.64	Phase II: purchased locally monthly \$7,110.68	Total: \$16,521.32
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Also consider:
This use pays a great deal more in taxes than it receives in services. No school use and very little park, library, road, public bus, and other public services are used.

currybrandaw.com/portland_econrep.q3

HOLIDAY RETIREMENT CORP. COMPANY PROFILE

Holiday Retirement Corp. (the "Company") and its related entities are the largest owners and operators of retirement housing in the United States. Holiday currently manages over 160 retirement facilities consisting of over 19,500 units, located in 31 states, Canada, and the United Kingdom. Virtually all of the retirement centers managed by Holiday are owned or controlled by the principals of the Company via partnerships or other entities.

The Company was founded in 1971, as Holiday Management Company, a general partnership consisting of three of the current shareholders of the Company. In 1987, the Company in its current structure was formed and purchased the then existing 31 management contracts. Since 1983, affiliates of the Company, including Colson & Colson Construction Co., have developed and constructed retirement facilities through partnerships or limited liability companies. Holiday Retirement Corp. typically assumes management responsibility for these properties as they are completed and ready for occupancy.

The Company currently employs approximately 110 people in its company headquarters in Salem, Oregon. There are approximately 20 staff accountants and 40 persons responsible for data processing, risk management, general administrative and other accounting functions. The Company also has approximately 40 full-time employees who are responsible for the day-to-day management tasks associated with the retirement facilities, including four divisional managers and 19 regional managers. The balance of the corporate staff perform facility maintenance, marketing, resident relations, human resources, finance, budgeting, legal, and dietary services functions.

Holiday Retirement Corp., and its predecessor, Holiday Management Company, have spent the last 24 years developing the infrastructure for the management of multiple retirement projects on a national basis while maintaining a consistently high quality of service to their residents. The key ingredients of Holiday's management success has been a focus on simple systems, common purchasing, dietary planning, consistent operating policies and procedures and divisional and regional facility management.



Curry Brandaw Architects

PARTNERSHIP

Portland Retirement Residence Portland, Maine

CONCEPT

The Retirement Residence is a 114 suite facility with four cottage units for the elderly. Our concept is designed for those who are still ambulatory, but in need of some support. Private rooms afford the advantages of independent living while the services included provide support, security and friendship. The private suites include studio, one and two bedroom versions. Each is similar to an apartment except a kitchen is not included.

Services include three prepared meals daily, housekeeping, laundering, private bus transportation and various activities. Staff are "in house" 24 hours a day. The monthly rent payment covers the private room, all services and utilities.

Typically our resident will be a single person in their late 70's or 80's. Approximately 10% of the rooms will be rented by couples making a total building population of 127. Fewer than 25% of the residents will be driving their own cars.

TRAFFIC

To help you understand the traffic loadings, we have prepared these estimates based on 113 suites.

- 10 service trips per day
- 8 van trips
- 60 resident trips (20% may have cars; 3 trips per day each)
- 60 visitors to residents (if 20% have visitors per day)
- 40 other visitors per day
- 24 staff trips per day to and from work

This would result in an average total of 215 trips generated per day by the retirement residence.

These numbers coincide with the published Institute of Transportation Engineers "Trip Generation" report. This report concludes that our project would generate only 35% of the total trips per day of a standard apartment building.

PARKING

Because most of our residents do not drive, we provide private van transportation for their use. The van is available to take the residents to places they need to visits, such as banks, medical offices, shopping areas, etc.

Normally we ask for a ratio of .50, or one parking space per two suites. We have developed over 150 retirement residences. We know from our experience that .50 parking spaces per suite is adequate for our residents, staff and visitors.

The reduction in parking spaces allows us to increase landscaping and open space to create a better residential environment for our residents and adjacent property owners.

Attached is data we have gathered from our facilities which supports our request for reduced parking. We have been granted parking variances in many cities as shown on our list of projects and their zoning. Also shown is the number of parking spaces approved by various local governments at each retirement facility. The average requirement of local governments is .53 spaces per suite. As indicated in a parking survey done by the management company, less than 25% of the residents own a car.

SITE DESIGN

Neighborhood compatibility is achieved in the site planning and building design. The wing ends and building center step down from three to one story. This arrangement provides for privacy and a gentle change of scale. Care is taken to minimize the impact to the existing community.

BUILDING DESIGN

The building construction will be wood frame with stucco siding, and an asphalt shingle roof.

The building interior design has common areas for a variety of uses. There is common dining room and kitchen for shared meals. There will be a multi-purpose room, beauty shop, crafts room, TV room, lounges and an exercise room. The circulation is organized around a central atrium.

Each room will be connected to the manager with both emergency pull cords and voice communications. The building will be fully fire sprinklered.

The site is to be extensively landscaped. Usable outdoor spaces include extensive lawn and a partially covered patio off the craft/exercise room. There are paths which connect all exits from the building to provide walking areas for the residents.



Curry Brandaw Architects

PARTNERSHIP

Portland Assisted Living Facility Portland, Maine

CONCEPT

The Assisted Living Facility is designed for the elderly. Typically our resident will be a single person in their late 70's or 80's. Approximately 10% of the rooms will be rented by couples. Our concept is designed for those who do not require a nursing home, but are in need of some support. Private rooms afford the advantages of independent living while the services included provide support, security and friendship. The private suites include studio, one and two bedroom versions. Each is similar to an apartment except a kitchen is not included.

Staff are "in house" 24 hours a day. The monthly rent payment covers the private room, all services and utilities.

The Assisted Living Program offers an array of important design features and support services to assist elderly residents carry out the more strenuous activities of daily living. Wheelchair accessibility throughout will allow for maximum independence. Handrails on one side of the hallway will provide secure passage to accessible recreation and dining areas within the complex. Services provided through this Assisted Living Program include the following:

- A. Licensed nurse on site.
- B. Personal care attendant coverage developed on an individual basis.
- C. Assistance with essential personal activities of daily living.
 - 1. Bathing
 - 2. Dressing
 - 3. Eating
 - 4. Personal hygiene
 - 5. Ambulation
- D. Ancillary service.
 - 1. Transportation
 - 2. Housekeeping
 - 3. Personal Laundry
 - 4. Barber/Beauty
 - 5. Wellness Counseling
 - 6. Social, Spiritual, and Recreational Activities

- E. Monthly health screening to ensure the most effective personal care.
- F. Dietary consultation to maintain a healthy lifestyle.
- G. Three meals prepared in the commercial kitchen and served daily in the central dining room.

The underlying basis of the program is to maximize individuality, independence, privacy and dignity by providing the resident with the opportunity to continue to make choices that are so often deprived those who are patients in an institutional medical model. This concept strives to create an environment that is residential in nature rather than the institutional and sterile environment currently provided by nursing homes, due to excessive and overprotective regulations governing building and programmatic design.

TRAFFIC

Residents, since they are in need of assistance, typically do not drive. One parking space per two suites is sufficient for visitor and staff parking. Because residents do not drive we expect less than two trips per day per suite for visitor and staff purposes. This is based on the Institute of Transportation Engineers informational report and is far below equivalent trips per unit of a multifamily project.

SITE & BUILDING DESIGN

Neighborhood compatibility is achieved in the site planning and building design. The wing ends and building center step down from two to one story. This arrangement provides for privacy and a gentle change of scale. Care is taken to minimize the impact to the existing community.

The building interior design has common areas for a variety of uses. There is common dining room and kitchen for shared meals. There will be a multi-purpose room, beauty shop, and lounge.

Each room will be connected to the manager with both emergency pull cords and voice communications. The building will be fully fire sprinklered.

The site is to be extensively landscaped. Usable outdoor spaces include extensive lawn and a partially covered patio off the public areas. There are paths which connect all exits from the building to provide walking areas for the residents.

c.me/portland atcon gs

RETIREMENT RESIDENCE
 FIRE DEPARTMENT ACCESS AND FIRE FLOW REQUIREMENTS

A. FIRE DEPARTMENT ACCESS

The majority of our exterior walls will have access within 150' for fire department purposes. The Uniform and Standard Fire Codes allow exceptions to this requirement when the building is equipped with a NFPA 13 fire sprinkler system or when topography limits access. Access lanes around the entire building are generally not feasible due to topography constraints and the desire to preserve landscaped areas.

In addition to a fully equipped fire sprinkler system, the building features one hour protected construction, area separation/fire walls, an atrium smoke exhaust system, and fully integrated alarm system.

B. SITE FIRE FLOW AND HYDRANT LOCATIONS

Fire flow requirements are primarily determined by the local fire officials. Specific fire code minimums include 1500 gpm under the Uniform Fire Code and 500 gpm under the Standard Fire Prevention Code. Minimum hydrant spacing varies between 500' (UBC) and 1,000' (SBC).

Below is a summary of the model code requirements.

TABLE OF FIRE ACCESS, HYDRANT SPACING AND
 FLOW REQUIREMENTS FOR RETIREMENT RESIDENCES

	UBC (UFC)	SBC (SFPC)	BOCA (BFPC)
A. Fire Department Access	Within 150' of all exterior walls with exceptions for sprinklered buildings and topographic constraints	Per Fire Department. (602.6)	Per Fire Department. (F-311.0)
B. Fire Hydrant Locations	500' average spacing. (Appendix III-B)	1,000' maximum spacing, 500' maximum from all building locations. (603.1.3.2)	Per Fire Department, 6" minimum line size. (916.0)
C. Fire Flow 1. Site	1500 gpm at 20 psi residual minimum. (Appendix III-A)	Per Fire Department.	500 gpm minimum, 1250 gpm maximum based on # of risers. (914.4)
2. Building	Based upon our experience, the sprinkler flow would be approximately 800gpm		

RETIREMENT RESIDENCE

WATER USAGE

The Retirement Residence will provide the following services: Three daily meals for everyone, housekeeping service, linens, utilities and free transportation. All these serves are part of basic rent. When needed, health care services are arranged through local health organizations. Studies show that the average resident will be 83 years old, lives alone and no longer drives.

We have analyzed our water usage based on actual water bills from four of our comparable California retirement residences. The conclusion is: The average flow has been 69/gal/day/suite. It will probably be less here because this building will comply with new code requirements such as 1.5 gallon toilets. This average is considerably lower than a standard apartment dwelling unit.

These residences were analyzed:

Deer Park Retirement Residence, 646 Canyon Road, Novato, California
Redwood Retirement Residence, 2350 Redwood Rd., Napa, California
Standiford Place, 3420 Shawnee Dr., Modesto, California
Fig Garden Retirement Residence, 6035 N. Marks Ave., Fresno, California

Standiford Place has two meters which enable us to know the percentage of facility and irrigation use. Using these percentages (52% facility and 48% irrigation) we were able to assign the facility usage. See attached water usage configuration.

WATER SYSTEM DESIGN

The Retirement Residence water distribution system design will be based on the number of fixture units. There will be approximately 1080 fixture units in the main building and 15 fixture units for each garden suite or cottage.

c:general/wateruse.gs

**SUITES /APPROVED PARKING SPACES
MANAGED BY HOLIDAY RETIREMENT CORP.**

RETIREMENT RESIDENCE	SUITES	PARKING SPACES	SPACES PER SUITE	LOT ACRE SIZE	SUITES PER ACRE	BUILDING SQUARE FEET
ALABAMA						
Eastdale Estates, Montgomery 1991	107	52	0.49			92,391
ALBERTA						
Canyon Meadows, Calgary 1994	100	60	0.60	2.32	43	83,321
ARIZONA						
La Villita, Phoenix						
Madison Meadows, Pheonix 1992	122		0.00	3.85	32	69,760
Manor at Midvale, Tucson 1988	138		0.00			129,000
Peppertree Square, Peoria 1992	115		0.00			54,904
The Madison, Sun West City 1992	194		0.00	14	14	199,239
ARKANSAS						
Andover Place, Little Rock 1991	111	56	0.50	1.33	83	98,746
Country Club Village, Hot Springs 1992	164		0.00	21.36	8	184,408
BRITISH COLUMBIA, CANADA						
Okanagan Chateau, Kelowna 1990	106	63	0.59	2.36	45	85,213
Imperial Place, Surrey 1988	102	73	0.72	4.25	24	90,877
Longlake Chateau, Nanaimo 1989	111	60	0.54	4.15	27	86,304
Victorian, Victoria 1987	91	43	0.47			74,731
CALIFORNIA						
Arcadia Place, Vista 1989	114	58	0.51	4.25	27	89,926
Bay Park, Pinole 1988	96	51	0.53	2.84	34	79,121
Bridgreek, West Covina 1986	108	54	0.50			86,143

Canterbury Court, Chula Vista 1994	202			0.00									102,258
Columbus Estates, Bakersfield	126	75		0.60									80,911
Deer Park, Novato	85	43		0.51			7.554		11				82,455
Fig Garden, Fresno	101	46		0.46					23				72,991
Hilltop, Redding	96	41		0.43			4.25						55,500
Holiday Gardens, Fresno	77			0.00					31				70,612
Waterford Terrace, La Mesa	90	42		0.47			2.87						81,570
Las Brisas, San Luis Obispo	100	45		0.45									107,562
Leisure Pointe, San Bernardino	131			0.00									263,417
Lodge-Paulin Creek, Santa Rosa	245			0.00									71,284
Magnolia, Riverside	97	35		0.36			2.34		41				136,600
Mission Commons, Redlands	139	104		0.75			6.59		21				66,242
Oakmont, Chico	92	51		0.55			2.7		34				72,211
Redwood, Napa	97	52		0.54			2.75		35				135,290
The Palms, La Mirada	162	80		0.49					43				77,930
Springs of El Cajon, El Cajon	100			0.00			2.34		45				58,720
Springs of Escondido, Escondido	103			0.00			2.28		45				90,950
Springs of Napa, Napa	100			0.00			2.97		34				91,667
Standiford Place, Modesto	102	65		0.64									64,000
VDR-Escondido, Escondido	82			0.00									60,000
VDR-Napa	79			0.00									88,470
Villa Serena, Santa Clara	108			0.00			3.74		29				79,017
Walnut Park, Visalia	101	53		0.52			2.6		39				107,692
Westmont, Santa Clara	136	90		0.66									
COLORADO													
Courtyard at Lakewood, Lakewood	121	41		0.34			3.804		32				107,359
Greeley Place, Greeley	102	46		0.45			1.75		58				82,288
Lakewood Estates, Lakewood	90	52		0.58			1.88909		48				77,294
Longmont Regent, Longmont	96	67		0.70			6.38		15				74,456
Mesa View, Grand Junction	101	39		0.39			5.85		17				79,816
Parkwoods Estates, Fort Collins	110	168		1.53			3.21		34				90,667
Sunridge, Colorado Springs	90	45		0.50			3.02		30				74,155
The Pueblo Regency, Pueblo	97	41		0.42			2.18		44				77,486

CONNECTICUT									
Cedar Woods, Brandford	111								107,001
Gables at Guilford, Guilford	126								142,141
Village Gate, Farmington	165								185,900
Windham Estates, Groton	160								120,000
FLORIDA									
Atrium at Gainsville, Gainsville	241		9.65	25					250,000
Bellair Towers, Clearwater	56								61,270
Buena Vida, Naples	166		8	37					107,990
Court at Palm Aire, Pompano Beach	294								331,469
Lake Ridge Village, Eustis	97								63,360
Ormand in the Pines, Ormond Beach	208		11.38	18					179,750
GEORGIA									
Atrium at Georgetown, Atlanta	209	62	0.30						153,820
The Regency House, Decatur	102	60	0.59	34					76
IDAHO									
Chateau de' Boise, Boise	98	42	2.47	40					69,515
ILLINOIS									
Essington Estates, Joliet	110	56	2.62	42					92,200
Blair House, Normal	109	66	3.73	29					86,450
Montvale Estates, Springfield	119		7.89	15					97,277
Tamarack, Palatine	133		1.9	70					122,000
INDIANA									
Willow Park, Evansville	98		2.624	37					79,553
IOWA									
Beaverdale, Des Moines	102	58	3.21	32					83,964
Palmer Hills, Bettendorf	104	63							95,000
Walden Place, Iowa City	102	60							83,788

KENTUCKY									
Ashwood Place, Frankfort	99	71	10.027	0.72	10	81,529			
LOUISIANA									
Nouveau Marc, Kenner	111	43	1.93	0.39	58	83,910			
Landing at Behrman Place, New Orleans	107	38	3	0.36	36	111,168			
Summerfield Estates, Shreveport	101	52		0.51		80,526			
Whealdon Estates, Baton Rouge	98	48	2.48	0.49	40	79,553			
MANITOBA									
Westhaven, Winnipeg	113		1.45	0.00	78	103,010			
MISSISSIPPI									
Chateau Ridgeland, Ridgeland	106			0.00		72,000			
MISSOURI									
Briarcrest, Ballwin	90		2.79	#VALUE!	32	79,098			
Cambridge, Springfield	113		4.48	0.00	25	101,250			
Country Squire, St. Joseph	110	64	2.95	0.58	37	85,607			
St. Louis, St. Louis	90	53		0.59					
NEBRASKA									
Brentwood Estates, Lincoln	103	62		0.60		86,380			
NEVADA									
Carson Plaza, Carson City	96	58	2.92	0.60	33	75,793			
Reno Camlu, Reno	69			0.00		51,000			
NORTH CAROLINA									
Carmel Place, Charlotte	122	39	9.31	#DIV/0!	0	102,750			
Durham Regent, Durham		67	1	0.32	122				
Lakeshore Commons, Wilmington	119		5.19	0.56	23	107,559			
OHIO									
New England Club, Cinnicinnatti									

OREGON									
Edgewoods Downs, Beaverton	124	46	0.37	3.78	33	99,000			
Edgewood Place, Beaverton	61		0.00	1.28	48	40,000			
Garden Valley, Roseburg	92	45	0.49	2.64	35	72,722			
Gresham Manor, Gresham	102	46	0.45	3.94	26	82,420			
Hidden Lakes, Salem	123	80	0.65	19.11	6	125,592			
Junction City, Junction City	67	19	0.28						
Madrona Hills, Salem	103		0.00	4.89	21	84,500			
Parkrose Chateau, Portland	107	76	0.71	5.96	18	87,694			
Regent, Corvallis	82	53	0.65	3.63	23	69,760			
Rogue Valley, Grants Pass	90	40	0.44	2.06	44	74,917			
Royal Oak, Medford	90	45	0.50	4.5	20	69,400			
Royal Marc, Milwaukie	77		0.00			56,000			
Solvang, Eugene	97		0.00			78,767			
Summerfield Clubhouse, Tigard	153		0.00	5.4	28	117,152			
PENNSYLVANIA									
Seneca Hills, Verona	103		0.00	11	9				
QUEBEC									
Saint Patrick, Quebec	177		0.00						
RHODE ISLAND									
Pocasset, Johnston	172		0.00			133,105			
SOUTH CAROLINA									
Haywood Estates, Greenville	110	53	0.48	3.1	35	95,822			
TENNESSE									
Franklin Park, Memphis	129	67	0.52	16.09	8	112,051			
Heritage Place, Memphis	160		0.00	13.06	12	159,751			
Uffelman Estates, Clarksville	101	63	0.62			86,594			
Windlands East, Madison	191		0.00	3.24	59	162,000			
Windlands South, Nashville	177		0.00	12.61	14	167,000			

TEXAS

Arlington Plaza, Arlington	96	68	0.71	2.51	38	76,207
Clairmont, Amarillo	96	41	0.43			75,793
Clairmont, Austin	149		0.00	8.52	17	74,000
Continental, Austin	128		0.00	7.506	17	120,673
Englewood Estates, Austin	110	64	0.58	20.738	5	102
Lincoln Towers, Odessa	110		0.00			110,000
Renaissance, Austin	157		0.00	7.11	22	160,196
Renaissance, Sherman	146		0.00	7.74	19	163,159
Tarrytowne Estates, Houston	187		0.00	7.1581	26	142,756
Westbrae, Houston	179		0.00	6.5911	27	168,681

UTAH

Chateau Brickyard, Salt Lake City	107		0.00	2.01	53	77,985
Harrison Regent, Ogden	90	39	0.43	2.03	44	69,843
The Seville, Orem	97	54	0.56			78,767

VIRGINIA

Elm Park, Roanoke	110	63	0.57	11.087	10	95,625
Fairmont, Manassas	100	32	0.32	4	25	83,720
The Virginian, Richmond	117	72	0.62	3.728	31	96,510

WASHINGTON

Capitol Place, Olympia	104	56	0.54	3.26	32	91,276
Cascadian, Everett	102	52	0.51	1.94	53	85,606
Evergreen Place, Renton	110		#VALUE!	3.25	34	98,152
Garden Club, Bellevue	103	43	0.42	9.29	11	91,500
Harvard Park, Spokane	105	39	0.37	4	26	83,259
Kamlu-Hazel Dell, Vancouver	71		0.00			32,000
Kamlu-Vancouver, Vancouver	102		0.00			90,877
Orchard Park, Yakima	99		0.00			79,121
Park Plaza, Walla Walla	99	55	0.56	7.31	14	71,413
Parkway Chateau, Bellingham	109	60	0.55	3.25	34	84,359
Pt. Defiance, Tacoma	116	71	0.61	25.9	4	133,578

0.29

The average number of parking spaces approved per suite is :

\\office\parking.xls

AMENDMENT TO PORTLAND CITY CODE
§§14-127, 14-130 (ZONING ORDINANCE)
RE: INTERMEDIATE, EXTENDED AND LONG-TERM CARE
FACILITIES IN THE R-5A ZONE

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF PORTLAND, MAINE
IN CITY COUNCIL ASSEMBLED AS FOLLOWS:

1. That Section 14-127(2) of the Portland City Code is hereby amended to add a new subsection e, said subsection to read as follows:

Sec. 14-127. Permitted uses.

The following uses are permitted in the R-5A residential zone:

(2) Other:

d. Municipal uses;

e. Intermediate, extended and long-term care facilities.

2. That Section 14-130(1) is hereby amended to read as follows:

Sec. 14-130. Dimensional requirements.

In addition to the provisions of division 25 (space and bulk regulations and exceptions) of this article, lots in the R-5A zone shall meet or exceed the following requirements:

(1) Minimum lot size:

Residential: Six thousand (6,000) square feet except as provided for lots of record in section 14-433 (lots of record and accessory structure setbacks for existing buildings) of this article. A lot in an unsewered residential district shall meet the provisions of the state Minimum Lot Size Law, 12 M.R.S.A. §4807-A, or the applicable zoning lot size, whichever is the largest.

Planned residential unit development (PRUD): Three (3) acres, gross area, as defined in section 14-47 (definitions) of this article, of contiguous land.

Intermediate, extended or long-term care facilities: One and one-half (1 1/2) acres.

AMENDMENT TO ZONING MAP
RE: R-5A CONDITIONAL REZONING/VICINITY CANCO ROAD

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF PORTLAND, MAINE
IN CITY COUNCIL ASSEMBLED AS FOLLOWS:

That the Zoning Map of the City of Portland, dated March 1958, as amended and on file in the Department of Planning and Urban Development, and incorporated by reference into the Zoning Ordinance by §14-49 of the Portland City Code, be and hereby is amended by adopting the map change amendments shown on Attachment A.

BE IT FURTHER ORDAINED that such rezoning shall be subject to the following conditions:

1. The development shall be substantially as shown on the plan attached hereto as Attachment B, subject to final approval by the Planning Board.

2. In the event that the property is transferred to a non-profit entity, the current owner attains non-profit status, or the property, together with any improvements thereon, is otherwise determined to be exempt from municipal taxation, the owner shall make a payment in lieu of taxes in the full amount of the taxes that would be due and payable on the property if it were taxable. Such payments shall be made at the same time that property tax bills are due. Notwithstanding the foregoing, any present or future owner of the property who may be obligated by reason of this conditional rezoning to make a payment in lieu of taxes may appeal the valuation of the property, but not the obligation to make such a payment, pursuant to 36 M.R.S.A. §841. Failure to make payments required under this section shall result in a rezoning of the property to O-P, or a successor zone, after notice to the then owner of the property and a hearing by the City Council.

In the event that this condition is determined by a court of law to be unenforceable, then the use of the property permitted in the R-5A zone shall cease and the zoning classification shall revert to O-P or any successor zone after notice to the owner and a hearing by the City Council.

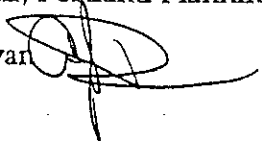
3. Public access shall be provided as shown on Attachment B. The Owner shall provide a deed for such access, in a form acceptable to the City's Corporation Counsel. Areas shown on

Attachment B as open space park and easement areas shall remain undeveloped and shall not be disturbed, except for removal of dead or diseased trees or other vegetation or planting of new vegetation.

4. This rezoning shall run with the land and shall be binding upon the owner, its successors and assigns, and any users of the property.

5. An attested copy of this conditional rezoning order shall be recorded in the Cumberland County Registry of Deeds.

Memorandum

To: Cyrus Hagge, Chair, Portland Planning Board
From: Anthony J. Donovan 
Date: June 25, 1997
Subject: Conditional Rezoning on Canco Rd. From Office Park to R-5A & ROS

This memo has been prepared in response to a request by the Planning Board at the June 10, 1997 workshop, that the Department of Economic Development respond to the R-5A and ROS conditional rezoning on Canco road.

The Holiday Retirement Corporation request for a zoning change of this site will reduce the available, undeveloped office park zones, in Portland City limits to none.

However, from an economic development perspective, the investment in the community is significant. The Department of Economic Development wishes to lend strong support to this development.

The proposed project, fully built-out, is expected to add an estimated \$11 Million to the City's tax base, with little impact on municipal services. The development will benefit jobs in the construction industry in addition to the creation of 16 full-time health care jobs. Providing retirement housing for elderly residents in the City, rather than in the suburbs, adds to the City's mix of personal incomes and investment capital.

The Department must offer this support with a small caveat. The City of Portland, as you know, has a limited land supply. The Department of Economic Development is currently engaged in efforts to attract and expand those companies that offer higher-than-average wages, using technologically-skilled labor. This industry requires office space designed to meet the needs associated with 24-hour telemarketing call centers, back office services and other, computer-related users. Given the type of industries that are emerging, and their need for real estate, there may be future zoning requests for additional O-P Office park land with Portland City limits.

The Department of Economic development thanks the Planning Board and Planning Department staff for their thorough and timely review of this development. We look forward to providing guidance in your deliberations and in working with the Board in identifying future land-use activities.

Attachment 6a

4/6/97

Dear Mr. Gray,

We are writing to you to voice our concerns about the plans to build a long term care facility off Canco Rd. in Portland.

We would like to see a detailed plan on where this will be situated and where the access roads will be located.

As you are aware, this area is very residential and should remain as such. We are not against this plan but we would **not** want **any** access to it from Murray or surrounding streets. All entrances and exits should be on Canco Road. Thank you for listening to our concerns.

Sincerely,

John Carol MacVane
95 Munnery St
Portland, Me

04/03

773-4892

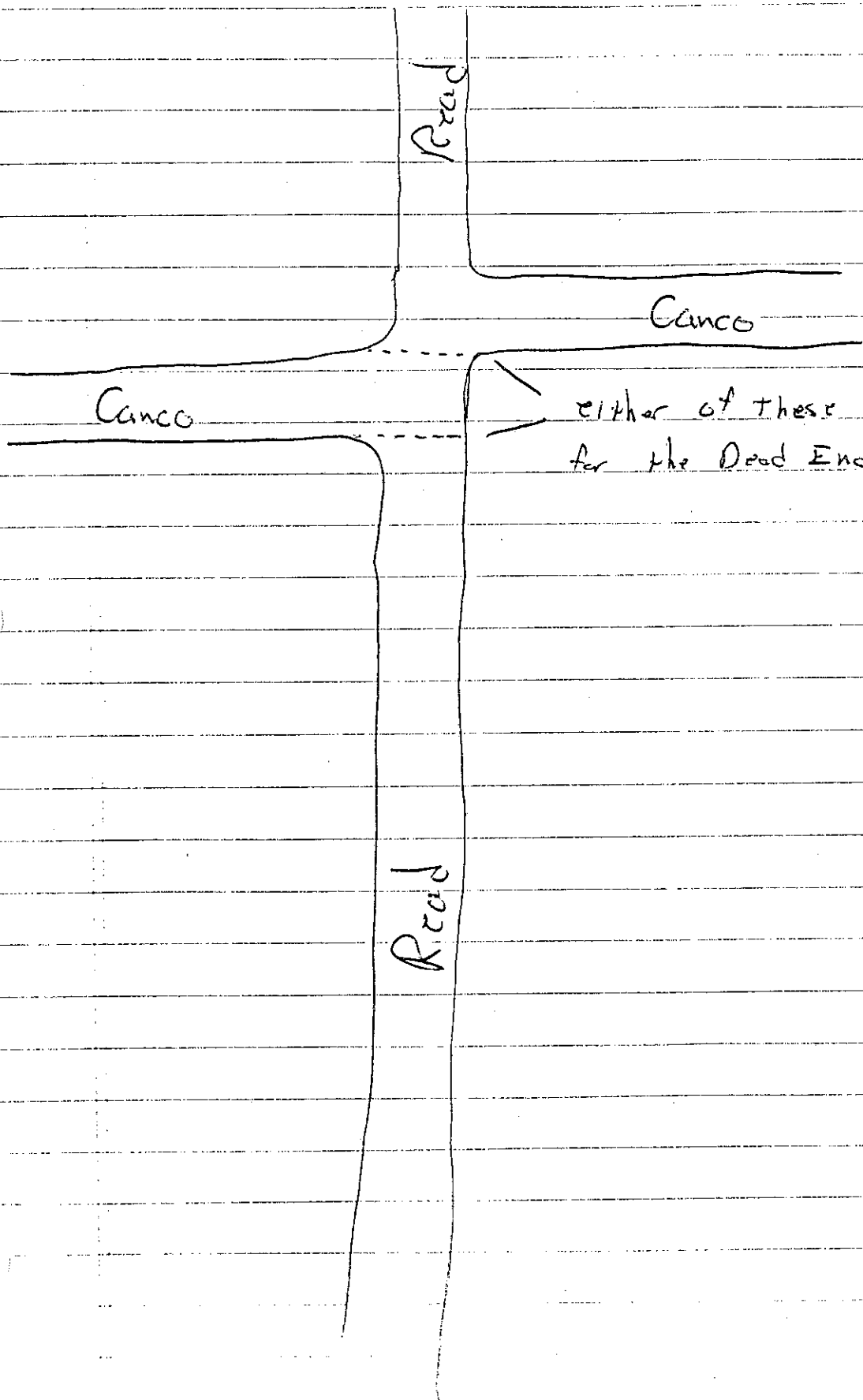
4/16/07

Mr Gray

I'm writing to you regarding the proposed Office Park and Elderly Housing projects on Conco Rd and the proposal to allow Cheverus High to hold Football games on Saturdays. As a Resident of Read St my concern is the increase in traffic and parking on this street, that these projects will develop. As it is now at morning and evening rush hours there is a steady stream of cars and 'trucks' going up and down Read St. These proposed projects and variances will only make a bad situation worse. The current traffic is primarily commuters going to and from intown Portland. To them Read St is a convient 'SHORT CUT' to the people who live on it its our neighborhood. I would like to propose dead ending Read St at Conco Rd. By doing this traffic would be forced to use the main arteries (which are better capable of handling the traffic) and restore peace to a once peaceful neighborhood. I am open to any other suggestions you or the traffic engineer have and would gladly meet to discuss them

Sincerely

Stephen Pickert
50 Read St
775-5875



Road

Canco

Canco

either of these locations
for the Dead End

Road

April 17, 1997

City Planners Office:

I am writing this letter in regards to public comment on the Canco Road plans. I am not so opposed to the plan, I am opposed to the size of it and the very possible impact to our neighborhood. I live on the corner of Kineo and Frye St. this area is always wet in some places and drainage is and always have been the fact that there are no storm drains at all from Wellwood St. on to Kineo and Frye. The woods in the area provide not only a buffer strip from the industry on Canco Road, but more importantly, they absorb alot of the water we would see in our yards or cellar's. How is this going to affect our area? I assume there would be blasting, how is this going to affect the natural drainage that now occurs? Does the city plan on upgrading already existing areas, such as ours? What will be the effect on property values? We need some assurance from the city to address the taxpayers from Read Street to Murray Street.. We already have some bad feelings about this project,. The whole plan was not on the table, not until a neighbor obtained the copy was the magnitude of the impact on our neighborhood realized. There are natural stream beds in the area, a brook that dumps into the estuary. Not to mention the buffer strip that has always provided the area with the natural landscape, how can we trust that this project will be done right from both the developer and first and foremost, the City of Portland. I look forward to hearing from you on this matter.

Thank You

A handwritten signature in black ink, appearing to read "Michael A. Lotfey". The signature is written in a cursive style with a long horizontal flourish extending to the right.

Michael A. Lotfey

Linda Lavoie
48 Hall St
Port., ME 04103
7723322

Attachment C-d

4/20/97

Dear Joseph E. Gray, Jr.

I am writing to you to express my concerns regarding the proposed construction of an office park and elderly housing facility in the vicinity of 155-217 Canco Road. I live at the end of Hall St, near the proposed sites of development.

My concern is about the impact on the environment that these facilities will impose on it should they be developed. There is a gully that runs the length of our property; in our back yard that provides the surrounding neighborhood their water runoff after a good rain or spring thaw. There is some erosion to the area which I'm deeply concerned about. I feel if these facilities were constructed this problem of erosion would worsen and we would eventually lose our backyard and perhaps our home. We live on one income and could not afford extensive repairs and maintenance to prevent erosion and loss of our backyard. We have two children who have many years left to grow and play in their yard. We don't even want to deny them of that.

Thanks for listening.

Sincerely,
Linda Lavoie

FARM HOUSE CONDO ASSOCIATION
1024 Washington Avenue
Portland, ME 04103

Joseph E. Gray, Jr.,
Director of Planning and Urban Development
City of Portland

Dear Mr. Gray,

On behalf of the Farm House Condo Association I am writing concerning the notice we received about the hearing on 8 April 1997 about a plan by Curry Brandaw Architects for an R-5A conditional rezoning on Canco Road.

A representative of the Association attended the hearing. We appreciate the opportunity to make our preliminary views known to you as invited in the Notice of the meeting. At later stages and depending on the development of this proposal the Association may make other interventions, in writing or orally at a public hearing.

Our initial view is in favor of the proposal as presented and we would urge the Board to recommend the rezoning and amendment to the R-5A zoning text to permit the Retirement Residence and Assisted Living Facility project to go ahead. We are concerned that this side of "Canco Road be kept in as much of a residential character as possible. Putting a retirement community on the property in question would in our view enhance the quality of this area in a way that no strictly commercial or office park development could. We would refer to the Cedars of Lebanon residence on Ocean Avenue and the dignified addition it has made to that area.

We are also deeply concerned about any activity which would create additional traffic problems on Canco Road and Washington Ave. An office park would add a significant and unwanted additional volume of truck and car traffic which we strongly oppose. A retirement residence will have little impact on traffic.

During the hearing we heard expressions of concern about employment opportunities from the use of that site. Are not there other ways to look at this? A retirement community will provide regular, decent quality employment for its maintenance and running = steady jobs and ones likely to continue indefinitely. An office park would guarantee no local employment since those working there could very well live in many other communities than Portland; indeed an office park can produce results exactly against your objectives. The more the quality of living in Portland is denegated by the intrusion of business/commercial uses into residential areas the more people are driven out of Portland to live. That marvelous wooded area on Canco is a great enhancement to the quality of life in this part of Portland and its proposed use as a site for a retirement community would do much to keep its present wooded, tranquil nature. An office park could be unsightly office structures and acres paved over for parking.

This Condo has been here for nine years now. That parcel was on the market when we first came here and there has been, so far as we know, no valid proposition for its use in all these years. Does this not raise the question as to whether there is

-2-

need for another office park in Portland? Were there a real and active demand that parcel would have been taken years ago. Is not the City better off if it permits this retirement community to go ahead in that the project will ensure employment, property tax revenue and will help keep the parklike quality of the area which those of us who live in the neighborhood so appreciate?

We have other views, such as the need for the City to be flexible in its zoning changes, responsive to changing conditions and needs and not holding rigid to ideas whose time may have passed. But we will wait to present additional views until this project moves a bit further. We appreciate the opportunity to submit these preliminary observations. You are, of course, free to make our views known.

Sincerely yours,

A handwritten signature in cursive script that reads "Marianne Gray".

Marianne Gray, President

Attachment 6f

May 11, 1997

Cyrus Hagge, Chairman
389 Congress St. Portland, Me. 04101

Dear Mr. Hagge:

I am writing to express my concerns and fears regarding the wooded area on Canco Road.

1. There is no transportation in that area, therefore traffic on Forest and Ocean Aves., Read, Walton, and other small streets would be greatly increased.

2. Stormwater would further inundate the surrounding areas which already have problems. What will happen when a huge area is paved?

3. We have heard many times that the sewers are at capacity now. What will happen in the future?

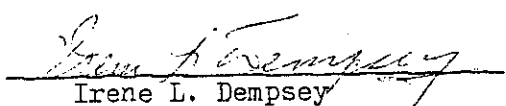
4. I would like to see the IL (low-impact) status remain, as it seems to be more compatible with the neighborhood environment.

5. After reviewing the Holiday Retirement Plan I find it would not have the impact of a large office complex. I would like to see the area considered for a contract zone.

I have been a resident of this area for 45 years and would hate to see this neighborhood destroyed.

Please consider the wishes of the residents of this area.

Thank you for your consideration.


Irene L. Dempsey
10 Kineo St.
Portland, Me. 04103

ILD/km
cc Board Members

Attachment 6g

Patrick and Beth O'Donnell
87 Torrey Street
Portland, Maine 04103

June 6, 1997

Mr. Cyrus Hagge, Chairman
Portland Planning Board
Portland City Hall
389 Congress Street
Portland, Maine 04101

RE: Holiday Retirement Corp./Canco Road

Dear Mr. Hagge:

As a residential abutter to the proposed Phase Two of Holiday Retirement Corp. project on Canco Road we want the same consideration as all residential abutters to the project.

A minimum of 75 feet of untouched "Natural Open Space Buffer Easement" adjacent and diagonally adjacent to our property should be given. All Murray Street, Rosedale Street, Dudley Street and Frye Street abutters have at least 75 feet of untouched "Natural Open Space Buffer Easement" protecting their property from the development's impact. We were not informed of the negotiating as it was taking place with Holiday and therefore are requesting this minor change be reflected on the proposed contract zone site plan.

This letter in no way reflects our support of this project.

Sincerely,



Beth O'Donnell

Attachment 6h

84 Torrey Street
Portland, Maine 04103
April 4, 1997

Mr. Joseph E. Gray, Jr.,
Director of Planning and Urban Development
City Hall 4th Floor
389 Congress Street
Portland, Maine 04101

Re: Rezoning on Canco Road to allow intermediate, extended
and long-term care facilities, Meeting Tuesday, April 8,
1997.

Dear Mr. Gray:

I would appreciate a written reply to the following
questions regarding the above named proposal.

1. Is the sewer system adequate to handle the additional
waste water from the project?
2. Do the plans include opening up Torrey Street into
the development? (I am aware that Torrey Street will
never be opened up through to Canco Road. CORRECT?)
3. What provisions are being made to deal with "the pond"
and "the stream" that is located on this property?
4. A survey was made recently on this property by men
who referred to the "wetlands". Were they working for
the EPA or Curry Brandaw Architects?

Please send a copy of your reply to my neighbor:

Newell Tibbals, Jr.
90 Torrey Street
Portland, Maine 04103

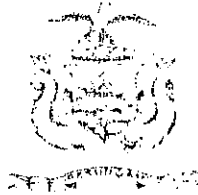
Thank you in advance for your courtesy in making this
information available to us.

Sincerely,


Mary McGann Conroy

cc::Newell Tibbals,
City Councilor Cheryl Leeman

Planning & Urban Development



Joseph E. Gray Jr.
Director

CITY OF PORTLAND

April 7, 1997

Mary McCann Conroy
84 Torrey Street
Portland, ME 04103

Dear Mrs. McCann:

Thank you for your letter of April 4, 1997 regarding the proposed congregate care facility on Canco Road.

The Holiday Corporation will be meeting with the Planning Board tomorrow during a workshop session to discuss their plans for the site.

At this point, the development plans are in the preliminary design phase and do not show much of the detail or information that you have inquired about. However, in our meetings with the applicant, we have suggested that sewer capacity, stormwater management, natural resources (wetland, ponds), and traffic are important concerns for this area of Portland. The applicant will be required to supply the Planning Board with information regarding these items prior to any site plan approval of the development.

(To answer one of your questions, there are no plans to extend Torrey Street through to Canco Rd., at this time, either by the developer or the City.)

Throughout the process, there will be a number of opportunities for public comment. You will receive postcards in the mail announcing the dates. I urge you to attend the meetings and please do not hesitate to call our office with any questions during the process. Kandice Talbot is the Planner assigned to review this proposal (874-8719).

Sincerely,

A handwritten signature in black ink, appearing to read "Joseph E. Gray, Jr.", written over a printed name and title.

Joseph E. Gray, Jr.
Director of Planning and Urban Development

cc: Newell Tibbals, Jr., 90 Torrey Street, Portland ME 04103

O:\PLAN\ORDAMEND\HOLIDAY\LETTERS\CONROY4-WPD

Attachment 6j

84 Torrey Street
Portland, Maine 04103
April 10, 1997

Ms. Kandice Talbot
Planner, Dept. Planning & Urban Development
City Hall
389 Congress Street
Portland, Maine 04101

Re: The proposed congregate care facility on Canco Road.

Dear Ms. Talbot:

Mr. Joseph E. Gary, Jr. has indicated that you are the planner in charge of this project.

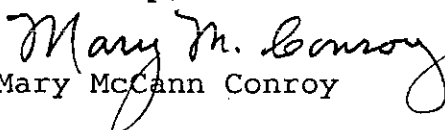
I would appreciate your reply to the following questions. If you do not have the answers, please refer my questions to the proper person or persons for the correct answers. I would appreciate a written reply.

1. Is the sewer system adequate to handle the additional waste water from the project?
2. What provisions are being made to deal with "the pond" and "the stream" that are located on this property?
3. A survey was made recently on this property by men who referred to "the wetlands". Were they working for the Department of Environmental Protection or Curry Brandaw Architects?

Please send a copy of your reply to my neighbor:

Newell Tibbals, Jr.
90 Torrey Street
Portland, Maine 04103

Sincerely,


Mary McCann Conroy

cc: Newell Tibbals, Jr.
Cyrus Hagge, Chr. Portland Planning Committee
Cheryl Leeman, City Councilor
Mary Beth Richardson, Environmental Specialist, D.E.P.

84 Torrey Street
Portland, Maine 04103
May 25, 1997

Katherine A. Staples, P.E.
City Engineer
Department of Public Works
55 Portland, Street
Portland, Maine 04101

Re: Wastewater System Torrey Street

Dear Kathi:

Thank you for your thorough report of May 24, 1996, and the up-dated report of May 23, 1997.

We do have one "engineering type person" working on the Neighborhood Task Force evaluating the capacity of the present sewers to accomodate additional discharge. I appreciate your efforts to simplify the measurement formula for me.

I conclude the following from having read and reread your letters carefully.

In 1980, the City made modifications in and around Canco Road which removed a substantial amount of stormwater from the combined Torrey Street Sewer, and redirected it into surface ditches and natural water courses which eventually runoff into the "Ice Pond", down a little brook to Bay Street and the "Ocean Avenue & Read Street Interceptor" combined sewer. IN A WORD, "PETER WAS ROBBED TO PAY PAUL."

Has the storm water thus redirected to flow over surface added to the water problems experienced by the entire neighborhood on their streets and in their yards over the years, accomplishing very little or nothing as the flow eventually goes back into the the "interceptor sewer" operating inadequately and way beyond its capacity to process the effluence?

- X Any additional building on Canco Road would surely spell disaster for anyone adjacent to the "Ocean Avenue & Read Street Interceptor" combined sewer as the system now exists, regardless of where the surface runoff is channeled.
- X I do not hear any discussion with either of the two developers of the proposed projects on Canco Road indicating that "ANY SIGNIFICANT IMPACT OF THESE SEWERS BY PROPOSED DEVELOPMENT WILL BE ALLEVIATED AT THE DEVELOPER'S COST." I cannot believe that the developers are unaware of the vast extent of the problems on the sewer they appear eager to utilize in building their projects.

Kathi Staples
Page 2
May 25, 1997

Am I mistaken in understanding that a situation developed within the last year or so wherein water accumulated under Nelson & Small building creating enough pressure to cause the floor to explode?

If this incident occurred as told to me, what was the source of this water? How was the water released after the explosion? If it happened, could it happen again in any location? It sounds similar to the explosion of the basement floor in one home on Torrey Street on 1963.

It was a pleasure meeting both you and Mr. Bray on Friday afternoon, May 23. The entire neighborhood is grateful for your assistance and vigilance

Sincerely,

Mary McCann Conroy

cc: John Darling, Chair, Neighborhood Task Force
Andrew Forgit, Chair, Neighborhood Task Force, Comm. Sewers
Cheryl Leeman, District Council, Portland City Council
Mayor John McDonough, Portland City Council
✓ Cyrus Hagge, Chair, Portland Planning Board
Nadeen M. Daniels, Asst. City Manager
Marge Schumckal, Zoning Administrator
William Bray, P.E., Deputy Director of Public Works
Joseph E. Gray, Director of Planning & Urban Development
William B. Goodwin, P.E. Environmental Engineer
Anthony W. Lombardo, Project Engineer

PRESERVE RURAL STATUS

Portland Press Herald, Thursday, June 5, 1997

Vote for Falmouth's open space

I wish to urge all Falmouth residents to vote on Tuesday in favor of the open space referendum, which will authorize a \$1 million bond for acquisition of Falmouth land for the purposes of preserving the rural character of the town and of providing recreational opportunities for its citizens.

Despite its location as Portland's most proximate suburb, Falmouth still enjoys the status of a semi-rural community and still affords lovely views of open fields, woods, rivers and ocean. Those who are fortunate enough to claim life-long residency in Falmouth are as keenly interested in the preservation of the town's rural status as those "from away," who dread the town's transformation into a carbon copy of the out-of-state suburbs and strip malls they recently fled.

In the short term, it may seem easier, more tempting to do nothing, to take refuge in the "less government" mantra. Such inaction, however, will guarantee the continued build-out in Falmouth.

Individual citizens can make a difference; for example, had Gov. Percival Perdue done nothing, the citizens of Maine would not now proudly claim Mount Katahdin as their own. Each Falmouth voter now has the opportunity to act in this proud tradition of foresight for future generations. Moreover, a vote for the open-space referendum will also benefit current Falmouth property owners in the increased value of their own properties.

By our votes, give the gift that keeps on giving. Vote for the Falmouth open space referendum on Tuesday.

Elizabeth Burns
Falmouth

Canco Road building must consider sewerage

Regarding development of vacant land on Canco Road: The most serious concern with the future development of this area is the lack of a proper sewage system. There is no sewage disposal system in place on Canco Road.

Each building and each new project is simply attached to the nearest residential street sewer - never designed for heavy effluence.

Central Maine Power dumps waste on Bay Street. The huge storm drain at base of Rocky Hill empties down Torrey Street, which has suffered the devastation of a sewer backup.

Torrey Street sewer and possibly Bay Street sewer are now scheduled to be tied

TO OUR READERS

Editorial board meetings are open to the public and are held at 9:30 a.m. weekdays in the fourth-floor editorial office at 390 Congress St., Portland.

Letters to the editor should be exclusive to this paper, contain no more than 250 words and include the writer's name, address and home and work telephone numbers. Those selected for publication are edited only for spelling, punctuation and grammar.

Letters should be addressed to:

Voice of the People
Portland Press Herald
P.O. Box 1460
Portland, ME 04104-5009

Letters also may be sent by e-mail to

letters@portland.com or faxed to (207) 791-6924.

Editorials, which appear in the left column of this page, are written by the editorial staff of the newspaper and represent the newspaper's traditions and the views of the editorial board.

Members of the editorial board are Bruce Gensmer, president; George Neavoll, editorial page editor; and M.D. Harmon, editorial writer.

Opinion columns and cartoons that carry a byline reflect the views of the individual author or artist and not necessarily the views of the newspaper.

into two large developments presently being considered on Canco Road. Development on Canco Road should be halted until an adequate sewage system can be developed to meet the needs of this future growth.

I quote R. Bruce Ringrose, former city engineer, Nov. 21, 1989: "Any significant impact of these sewers by proposed development will be alleviated at the developer's cost."

Torrey Street and Bay Street sewers converge into an antiquated interceptor sewer on Torrey Street. During a heavy rainfall, this interceptor cannot handle the flow which is pumped to Baxter Boulevard. The Baxter Boulevard station is said to be unable to handle the volume it receives during heavy rain. The overflow would naturally go into Back Bay.

Even the Portland Planning Board cannot fit a size 12 foot into a size 5 shoe. Is anybody listening?

Mary McCann Conroy
Portland

Militias: What causes massive anger at U.S.?

As the lead editorial in the Press Herald on May 14 notes, the Oklahoma City bombing trial "reminds us of how vulnerable Americans were and are to terrorism." Here are some disturbing developments:

The "patriot" and militia groups in America have grown to 857, a 6 percent increase since 1995.

Since the Oklahoma City bombing there have been over 100 arrests and prosecutions in the patriot movement.

"Patriot" groups are developing a nationwide intelligence gathering network. This information comes from Klanwatch, a project of the Southern Poverty Law Center at Montgomery, Ala. In fact, Morris Dees, the group's chief trial counsel, has written a book, "The Gathering Storm, America's Militia Threat" (Harper Collins, 1996). This is powerful stuff about which all Americans should become aware.

What has caused this massive surge in focused anger in our country? What prompts wanton disregard for our traditional values and why are so many deciding that our government is evil? How do the militia people decide that our system cannot redeem itself where needed as it has in our imperfect history, or that they can do better?

I urge serious pondering of these hard question and I offer three starting observations:

1. The political conservatives see little responsibility toward those who are less fortunate and fall through the economic cracks.

2. The Christian right would have us return to a harsh God who sees only black and white and an unchanging world.

3. The rest of us too often observe no God except our own interests and passions.

Harold L. Wagner
Brunswick

Attachment 6m

84 Torrey Street
Portland, Maine 04103
May 28, 1997

Mr. Alex Jaegerman,
Chief Planner
City of Portland
389 Congress Street
Portland, Maine 04101

Re: Kathi Staples', P.E. report on Torrey Street Wastewater
Problems

Dear Mr. Jaegerman,

I want to thank you for your courtesy to me during
our telephone conversation this afternoon regarding
the report furnished to me by the City Engineer, Kathi
Staples.

I am inclosing for your information my reply to Kathi
on May 25th.

I am requesting that both Kathi's report and my reply
to Kathi be included in the work packets on both pro-
jects that go to the Planning Board for the June 10th
workshops. BOTH PROJECTS share the SAME OBSTACLE IF THEY
ARE APPROVED TO PROCEED WITH THEIR INTENDED CONSTRUCTION. THEY
MUST PROVIDE A PROPER SEWER WHICH DOES NOT IMPACT THE ONLY SEWER
AVAILABLE TO EACH AT THE PRESENT TIME!

As you know from the City Engineer's report, the sewer avail-
able to these developers is at the present time operating at
"its outer limit", inefficiently due to its inability to handle
the excess effluence presently entering this system.

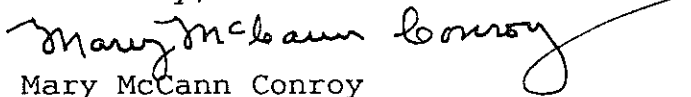
These two new developments are "jointed at the hip",
so to speak!

These present sewers problems are critical, and THERE IS NO
ADDITIONAL SEWER OR SURFACE WATER BEING ADDED FROM PROJECTED
BUILDING.

To simply state that the developer must provide for retention
of the surface water does not alleviate the problem caused
by sewerage added to the already overloaded available sewer.

I would be pleased if you added this letter to the packet for
UWP/CMP workshop and the Holiday Health Buildings workshop.

Sincerely,


Mary McCann Conroy

84 Torrey Street
Portland, Maine 04103
May 25, 1997

Katherine A. Staples, P.E.
City Engineer
Department of Public Works
55 Portland, Street
Portland, Maine 04101

Re: Wastewater System Torrey Street

Dear Kathi:

Thank you for your thorough report of May 24, 1996, and the up-dated report of May 23, 1997.

We do have one "engineering type person" working on the Neighborhood Task Force evaluating the capacity of the present sewers to accomodate additional discharge. I appreciate your efforts to simplify the measurement formula for me.

I conclude the following from having read and reread your letters carefully.

In 1980, the City made modifications in and around Canco Road which removed a substantial amount of stormwater from the combined Torrey Street Sewer, and redirected it into surface ditches and natural water courses which eventually runoff into the "Ice Pond", down a little brook to Bay Street and the "Ocean Avenue & Read Street Interceptor" combined sewer. IN A WORD, "PETER WAS ROBBED TO PAY PAUL."

Has the storm water thus redirected to flow over surface added to the water problems experienced by the entire neighborhood on their streets and in their yards over the years, accomplishing very little or nothing as the flow eventually goes back into the the "interceptor sewer" operating inadequately and way beyond its capacity to process the effluence?

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Kathi Staples
Page 2
May 25, 1997

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If this incident occurred as told to me, what was the source of this water? How was the water released after the explosion? If it happened, could it happen again in any location? It sounds similar to the explosion of the basement floor in one home on Torrey Street on 1963.

It was a pleasure meeting both you and Mr. Bray on Friday afternoon, May 23. The entire neighborhood is grateful for your assistance and vigilance

Sincerely,

Mary McCann Conroy

cc: John Darling, Chair, Neighborhood Task Force
Andrew Forgit, Chair, Neighborhood Task Force, Comm. Sewers
Cheryl Leeman, District Council, Portland City Council
Mayor John McDonough, Portland City Council
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Marge Schumckal, Zoning Administrator
William Bray, P.E., Deputy Director of Public Works
Joseph E. Gray, Director of Planning & Urban Development
William B. Goodwin, P.E. Environmental Engineer
Anthony W. Lombardo, Project Engineer
Alex Jaegerman, Chief Planner



CITY OF PORTLAND

May 23, 1997

Mrs. John P. Conroy
84 Torrey Street
Portland ME 04103

Re: Capacity of Torrey Street Wastewater System

Dear Mrs. Conroy:

This is in response to your request for information dated May 14, 1997. Enclosed please find a copy of my letter to you dated May 24, 1996.

In response to the six (6) questions contained in your request of May 14, 1997, I submit the following:

1. What method(s) were used to determine the volume of flow in the Canco Road, Torrey Street Sewer?

See Answer to Question 4 on Page 3 of May 24, 1996 letter.

2. What is the most recent date of the measurement of the volume of flow in the Canco Road, Torrey Street Sewer?

The flow measurements taken in 1991 to calibrate the CSO Abatement model.

3. Who (name please) was in charge of the evaluation of the amount of the volume of flow into this particular section of the sewage system?

William B. Goodwin, P.E., Environmental Engineer, of my staff, has been the Department's lead engineer for this type of evaluation since the early 70's.

4. What conclusion(s) did the evaluator draw from his or her measurements of the volume flowing into the pipes at the most recent time?

See page 4 & 5 of my May 24, 1996 letter; his conclusions are in italics.

5. What projection(s) have been made from the detailed, factual measurements (if this study has indeed been conducted) to determine if the sewer has the CAPACITY TO CONTAIN THE INCREASED AMOUNTS THAT WILL BE GENERATED BY CONTINUING DEVELOPMENT ALONG CANCO ROAD?

Although this Department has not yet received any official request for a sewer capacity letter for any proposed development along Canco Road, in light of your inquiry, we checked the official wastewater billing records (yesterday) for Nelson & Small and Seltzer & Rydholm in order to estimate the sanitary wastewater flow upstream from your home. The estimate follows:

<i>Seltzer & Rydholm</i>	<i>1,780 gallons per work day</i>
<i>Nelson & Small</i>	<i>463 gallons per work day</i>
<i>2 homes (at 200 per each)</i>	<i><u>400 gallons per day</u></i>
<i>Total "upstream" sanitary flow</i>	<i>2,643 gallons per day</i>

In my May 24, 1996 letter, we provided you with the design flow capacity of each section of the Torrey Street Sewer on the attached sketch ($Q=X$ cubic feet per second.). The section with the lowest capacity is the 24" diameter sewer just upstream of home with a capacity of 32.5 cubic feet per second. As cubic feet per second is a unit measurement which generally has a significant meaning only to the engineering type person, I have calculated it's equivalent into gallons per day for a more easily understandable unit measurement. 32.5 cubic feet per second = 21,003,840 gallons per day.

It can easily be seen that if sanitary wastewater flows were the only flows conveyed by this sewer that there is over 21 million gallons per day of excess capacity in this sewer. This is more sanitary wastewater than is produced by the entire City. However, as you know, this sewer also receives stormwater runoff, which as my May 24, 1996 letter explains, varied considerably due to different factors such as rainfall intensity, duration, and antecedent ground conditions.

Sewer system surcharging and its related "back-up's" is a storm water management problem.

Although we have had no official request for a sewer capacity letter for the Canco Road area, we do routinely receive telephone inquiries regarding potential development in this area. We consistently inform the inquiring parties that proper storm water management of any and all development in this area is an absolute must. This warning is due to the problems explained in my letter of May 24, 1996 involving the "Ocean Avenue and Read Street Interceptor Sewer" down stream of Torrey Street.

It is the interceptor sewer which prompted Mr. Stephen Harris' response to Mr. Joseph DeCoursey at the November 28, 1989, Planning Board Meeting. The Planning Engineer, is obligated to summerize the potential operational effect on the entire wastewater conveyance system between a potential development and the Wastewater Treatment Facilities.

May 23, 1997

6. What physical changes have been made to enlarge the capacity of the Canco Road Torrey Street Sewer to handle the increased volume of sewerage, surface and storm drain water since 1989?

None. As outlined in the history contained in my letter of May 24, 1996, the replacement of the 15" diameter sewer with a 27" diameter sewer, following the 1963 flooding, and the modifications to the stormwater system in the early 1980's have been shown by the CSO Abatement Model to have eliminated the potential surcharging problems within the Torrey Street Sewer except for the lower 200 to 300 feet influenced by the "Ocean Avenue and Read Street Interceptors" limited capacity.

Sincerely,
CITY OF PORTLAND



Katherine A. Staples, P.E.
City Engineer

KAS:WBG:jw

Enclosures

pc: Andrew Forgit, Chair, Neighborhood Task Comm. on Sewer Evaluation
Mayor John McDonough, Portland City Council
Cyrus Hagge, Chair, Portland Planning Board
Marge Schmuckal, Zoning Administrator
William J. Bray, P.E., Deputy Director of Public Works
Joseph E. Gray, Director of Planning and Urban Development
William B. Goodwin, P.E., Environmental Engineer
Anthony W. Lombardo, Project Engineer



CITY OF PORTLAND

May 24, 1996

Mrs. John P. Conroy
84 Torrey Street
Portland, ME 04103

RE: Capacity of Torrey Street Wastewater System

Dear Mrs. Conroy:

I have received your three letters dated April 10, April 21, and May 14, 1996. We appreciate your interest in the City's infrastructure, and take your concern's seriously. Since your questions required significant research to answer, it took us longer than you had anticipated to respond to your first letter. Had we concentrated on a quicker response, we would have sacrificed quality and thoroughness.

Mr. William B. Goodwin, P.E., has completed the necessary research to respond to your questions. That information is related below. Please note that we included the extensive historical information for the benefit of yourself and all those who you wished to be copied on this letter. I trust that you will find it informative and helpful.

THE HISTORY OF THE TORREY STREET SEWER

In July, 1929, the first section of sewer was built in Torrey Street, running from the "Ocean Avenue & Read Street Interceptor" northwesterly approximately 300 feet. This was constructed using 15 inch diameter vitrified clay pipe.

In July and August of 1940, the 15 inch diameter vitrified clay sewer was extended approximately 500 feet northwesterly to a deadend manhole, with 15 inch diameter vitrified clay pipe. On April 21, 1952, Mrs. Conroy's house was connected to the 15 inch vitrified clay sewer, constructed in 1940, via 4 inch diameter "Orangeberg" (Bituminous Fiber) pipe. The connection was made 8.86 feet downstream of the dead end manhole constructed in 1940. This was the most upstream connection to this section of pipe.

Mrs. John P. Conroy
Page 2
May 24, 1996

In December of 1957 the sewer was extended approximately 100 feet northwesterly from the aforementioned manhole with 24 inch diameter reinforced concrete pipe.

In the fall of 1960 the sewer was extended an additional 50 feet northwesterly with 24 inch diameter reinforced concrete pipe and then approximately 910 feet, with 30 inch diameter reinforced concrete pipe, to get to Canco Road. This expansion also included approximately 280 feet of 24 inch diameter reinforced concrete pipe extending from Torrey Street northerly in Canco Road.

In the spring of 1963, a couple of high intensity, short duration rain storms caused the 15 inch diameter vitrified clay sewer in Torrey Street to surcharge, flooding many of the basements of the houses connected to the 15 inch diameter pipe.

In June of 1963 the 15 inch diameter vitrified clay pipe, constructed in 1929 and 1940, was replaced with 27 inch diameter reinforced concrete pipe.

In the early 1980's, Central Maine Power, Nelson & Small and the City made modifications to the stormwater system in and around Canco Road, which removed a substantial amount of stormwater from the combined sewer, and redirected it to surface ditches and natural water courses.

WRITTEN RESPONSES TO YOUR LETTER DATED 4/21/96

In response to the eight (8) specific questions in your letter of request, let me answer the first two questions together.

1. What is the present volume of flow entering the Torrey Street Sewer as of this year?
2. Is this sewer still a combined sewerage system carrying both stormwater and sewerage?

Yes, the Torrey Street Sewer is still a combined sewer. This is the very reason why we are unable to answer your first question. To do so we would have to be able to predict every rain event for the whole year in great detail. Each and every rain event is different in factors such as intensity, duration, and antecedent ground conditions. The City does now have a computer model, in which we can input the weather record and other data for the year, once it is compiled, and calculate the volume of flow after the rain event. This has improved our ability to estimate potential flow; but we cannot define flow exactly at this time.

Mrs. John P. Conroy
Page 3
May 24, 1996

3. Does the 24 inch diameter field inlet on the north side of Canco Road which collects rainfall runoff from a large area to the north of Canco Road still discharge its flow into the Torrey Street Sewer System via Canco Road?

No, modifications to the stormwater system made by Central Maine Power, Nelson and Small, and the City have redirected the runoff from north of Canco Road and the two City catch basins which collect runoff from this portion of Canco Road, to surface flows, which drain into the "Ice Pond", just northwesterly of your home, and down a little brook to Bay Street, and the "Ocean Avenue & Read Street Interceptor" combined sewer. Please see the enclosed sketch.

4. Is the present volume of TOTAL FLOWS into the existing Torrey Street Sewer known? If so, when and how was the evaluation done?

In the late 70's, periodically during the 80's, and continuing into the 90's, we have performed random "night stick gauging" at a manhole in Torrey Street to determine ranges in total flows and more particularly infiltration and inflow (i.e. groundwater volume leaking in, and stormwater volume flowing directly in, respectively hereinafter referred to as I/I). This "night stick gauging" station is number 46 shown on the enclosed sketch.

In 1991, in order to assess Combined Sewer Overflow (hereinafter referred to as CSO) activity in Portland, a computer model was developed to simulate stormwater runoff and wastewater collection and conveyance. The CSO Abatement Model was developed using the United States Environmental Protection Agency's Stormwater Management Model (SWMM) and incorporating SWMM's EXTRAN capabilities to model flow transport, internal flow diversions, and surcharged conditions.

The sewer system evaluation involved review of available information and provided data to develop estimates of base sanitary flow, I/I, and wet weather capture of the sewer system, for incorporation into the sewer system computer model. The computer model was run using the 40-year precipitation record for Portland, for the years 1950 through 1990. The simulated response of the sewer system to dry and wet weather conditions was compared to available monitoring data. The model was adjusted using the available data until as close a match as possible was achieved between the simulated sewer system response and the monitored response.

The initial CSO Abatement Model calibrated in 1991 provided a preliminary estimate of the frequency, volume, and duration of sewer system surcharge and CSOs. Subsequently, a comprehensive monitoring program was developed to gather baseline data and to gather additional frequency and flow monitoring data to improve the computer model. The additional monitoring data was required because of the need to calibrate and verify the systemwide model. *The results of the additional monitoring and the assessment of sewer system surcharging and*

Mrs. John P. Conroy
Page 4
May 24, 196

CSO activity revealed no surcharging problems with the Torrey Street Sewer. However, the "Ocean Avenue and Read Street Interceptor" has substantial surcharging problems which have the potential to affect the lower reaches of the Torrey Street Sewer, near the Interceptor, but only the first two to three hundred feet, depending on the rain storm.

5. What is the PROJECTED flow for this system and what is the impact of this flow on the existing system?

As with question 1, this could only be answered if we could predict weather with 100% accuracy and in great detail. We have indicated the design flow for each section of the sewer on the enclosed sketch for your information (flow rate = x cubic feet per second).

6. When was the most recent REVIEW of this existing sewerage system undertaken between the PORTLAND PLANNING BOARD AND THE CITY ENGINEERING DEPARTMENT?

The CSO Abatement Study, which started in 1991, was managed by the Public Works Engineering Section and was presented to the Planning Board and the City Council in 1993 upon completion of a CSO Master Plan. The engineering staff works closely with the Portland Water District updating the computer models to keep them accurate so that we can input record weather data, as it becomes available, to simulate the sewer system's response to different rain storms.

7. Please list any other streets or areas connected to the Canco Road Sewerage System for discharge of the flow in addition to Torrey Street.

As can be seen on the enclosed sketch, the Torrey Street Sewer serves only the following:

The residentially-developed section of Torrey Street from the "Ocean Avenue & Read Street Interceptor" up to your neighbor's home, at number 90 Torrey Street and the new house being built across the street.

The wooded area of Torrey Street from just beyond your home to Canco Road.

A small section of Canco Road, including portions of CMP's parking lot, (not CMP's building); portions of Nelson & Small's parking lot and their building; and Seltzer and Rydholm's building (not their parking lot).

8. What improvements have been made to improve this segment of the City sewerage system, as development continues?

Mrs. John P. Conroy
Page 5
May 24, 1996

Following the 1963 flooding, the replacement of the 15 inch diameter sewer with a 27 inch diameter sewer, as outlined in the history above, and the modifications to the stormwater system mentioned in answer to question 3.

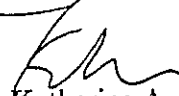
I hope you find this response both informative and reassuring in that the improvements and modifications made since the 1963 flooding problem will keep basement flooding from being a common problem.

CONCLUSION

As was indicated in Mr. Joseph Gray's letter to you dated April 30, 1996, the Planning and Engineering Department's work together to evaluate the impact of potential development before any approvals are given. In fact, large developments are required to obtain approval from Public Works that their projected wastewater flow can be adequately handled in our wastewater system. We take this responsibility seriously and do not knowingly allow new development which would overload our existing wastewater system. The Engineering staff of the Public Works Department and the Planning Department work together diligently to see that proper stormwater management is incorporated into all new development within the City of Portland.

Thank you for raising your concerns and allowing us to address them. If I can be of further assistance, please feel free to contact me.

Sincerely,
CITY OF PORTLAND



Katherine A. Staples, P.E.
City Engineer

KAS:jw

Attachment

pc: Mayor Philip Dawson
Councilor Cheryl Leeman
Councilor Peter Rickett
Nadeen M. Daniels, Assistant City Manager/Director of Public Works
William J. Bray, P.E., Deputy Director of Public Works
Bruce A. Bell, Operations Manager
William B. Goodwin, P.E., Project Engineer
Cyrus Y. Hagge, Chair-Portland Planning Board
Joseph E. Gray, Jr., Director of Planning and Urban Development
Gary C. Wood, Corporation Counsel

torlet.doc



SebagoTechnics
Engineering & Planning for the Future

June 10, 1997
96592

Alex Jaegerman, Chief Planner
Planning and Urban Development
City of Portland
389 Congress Street
Portland, ME 04101

Portland Retirement Residence - Canco Road

Dear Alex:

Thank you for taking the time this past week to meet with Joe Malone, Tony Donovan, Candy Talbot and me to discuss the proposed zone amendment from O-P to R-5A. As requested, we have prepared the letter discussing the purpose and reasoning for proposing the R-5A zone amendment for this property.

Holiday Retirement Corporation is proposing a 211 unit retirement residence at a project cost of 11.25 million dollars on a 20 acre parcel of land located on the westerly side of Canco Road. This property is presently zoned as Office Park requiring a zone change to allow a retirement residence to be developed on this parcel. Development in the surrounding areas includes a mix of commercial/industrial and residential, with the residential areas predominately adjacent to this parcel. This parcel offers an opportunity to provide a transition from commercial/industrial to the neighboring residential areas. Given the property's transitional location, development of the retirement residence at this property has several advantages, while providing a high value use of the property which we have discussed in the following for your consideration.

- The 211 unit retirement residence provides a low to moderate density residential development offering compatibility with the neighboring residential areas, while retaining economic benefits through the project's value (\$11.25 mil.) and ancillary services creating employment opportunities. This is also a project that is ready to move forward today.

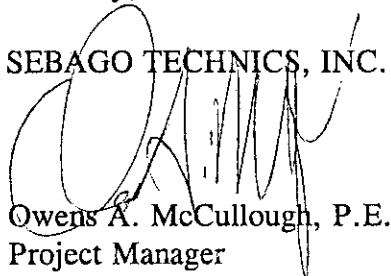
This project will create a low to moderate density residential type development (unique in nature) while preserving buffers, green space (natural site amenities), and providing a compatible transition from the commercial to residential areas in this area of Portland.

In summary, the proposed 211 unit retirement residence provides a unique opportunity to create a low intensity use with economic advantages in a transitioning area from commercial to residential areas. A substantial amount of evaluation and research has been completed on this property, including valuable input from the neighboring residents. The result is a project which places a low demand on utilities and municipal infrastructure, and which fits the site's characteristics.

On behalf of the applicant, we look forward to meeting with the Planning Board this coming Tuesday, June 10, 1997 to continue discussion on this project. Again, thank you for taking the time to meet with us.

Sincerely,

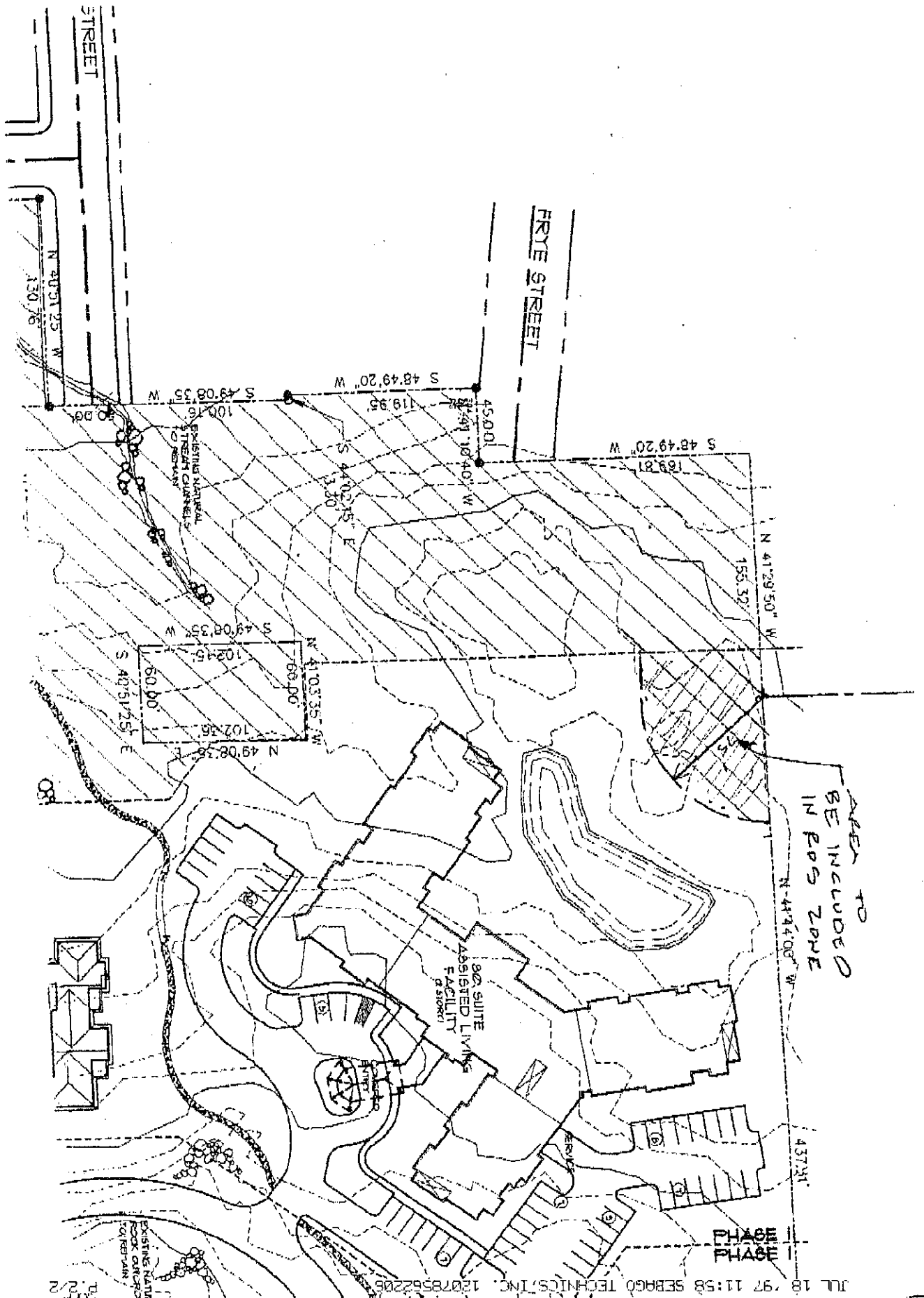
SEBAGO TECHNICS, INC.



Owens A. McCullough, P.E.
Project Manager

OAM:oam/jc

cc: Cliff Curry
Joseph Malone



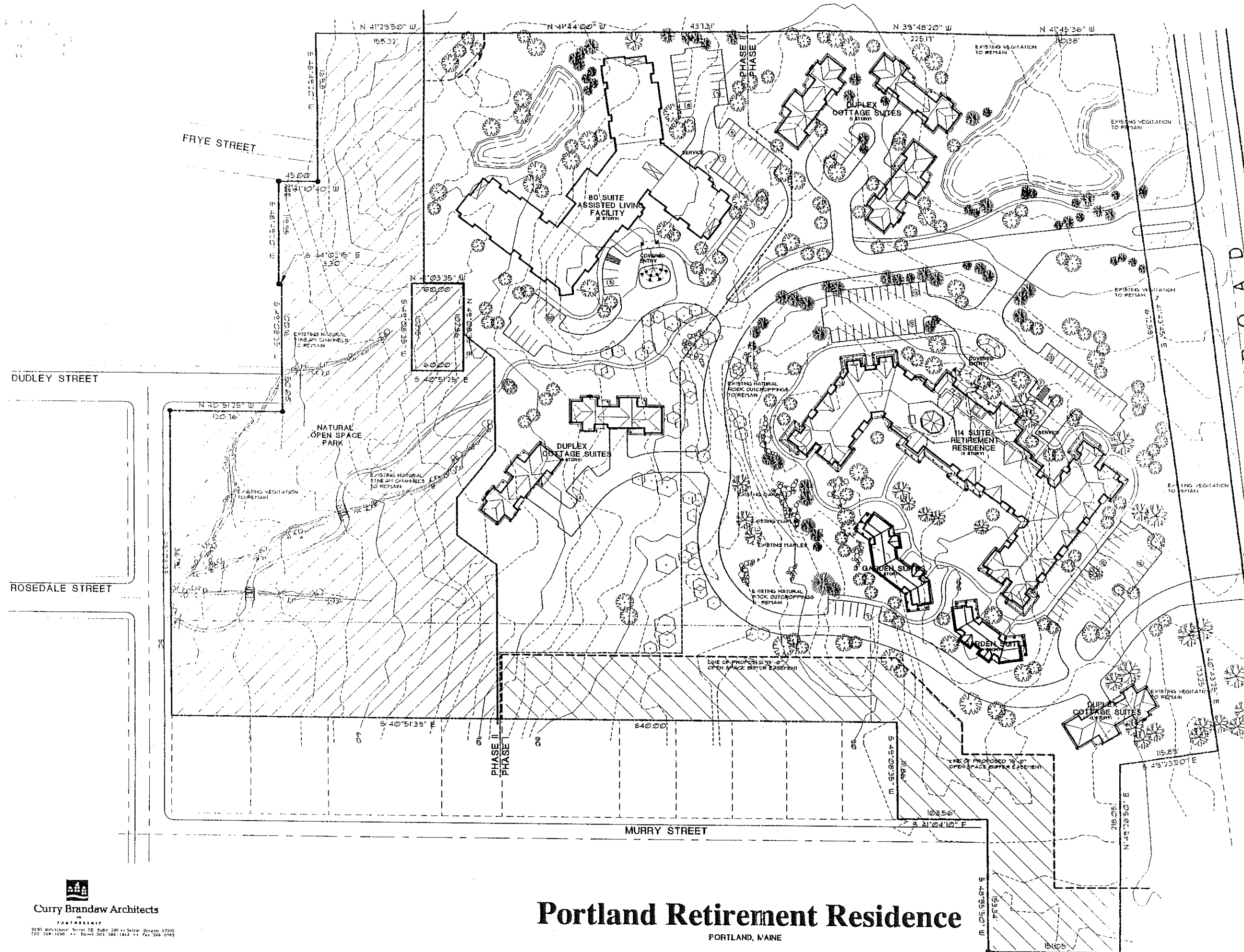
- As presented on the site plan, project development will retain open space and buffers resulting in a more environmentally friendly project. The site plan includes the potential for passive recreation, such as walking trails and open space. These components are in keeping with the City's comprehensive plan to extend the range of open space for the public, establishing neighborhood focal points.

The areas of the project site to be used for buffering, green space and passive trails also provide a potential open space link as the City develops links over time. Buffering and an extensive landscape plan will be incorporated into the development to enhance the visual characteristics and provide buffering to the neighboring residential areas. As stated in the economic impact statement prepared by Curry Brandaw Architects, a building design is also proposed to provide privacy and a gentle change in scale, minimizing impact to the existing community. The combination of these design features is intended to create a well-planned facility responsive to the surroundings.

- The project offers a low impact use on utility services and traffic. Given the concerns over the Torrey Street sewer, a development of this type creates a comparatively low intensity use. The low density development provides extensive on-site opportunities to dedicate to stormwater management which can be incorporated into on-site amenities.

Traffic generation is also low (estimated at 215 trips per day) reducing the required number of parking spaces and corresponding area needed for development. This is approximately 35% of a standard apartment building, similar in size, since many of the residents do not drive and private van transportation is provided. The smaller traffic volumes will also result in less impact on the neighboring areas and existing City street infrastructure, with the benefit of offering a higher valued use.

- Many of the neighboring residential owners have expressed concern regarding the type of use that is developed on this parcel. Over the past several weeks, the owner's broker (Malone Commercial Brokers) attended approximately three meetings with the neighborhood. These meetings have generated some support for this type of low intensity use. This project provides a more amenable fit with the surrounding neighborhoods and provides a transition from the commercial to the residential areas.
- Portland's Comprehensive Plan (goals and policies) also states as a goal to "ensure that the housing needs of a growing and diverse elderly population are met." This suggests a desire to have appropriate and diverse elderly housing such as assisted living facilities (aging in place). A project of this type offers an independent style of living to a variety of income levels and people with different needs.
- The R-5A Contract Zone provides a good fit for this property and the proposed use. The purpose statement of the R-5A Zone references moderate-density residential development in off-peninsula sections that can provide a unique residential living experience with a high degree of natural site amenities, capability for adequate municipal services, traffic capacity and compatibility with surrounding neighborhoods.



SITE PLAN
 1"=50'-0"
 06-03-97 MCF



PROJECT STATISTICS:

AREA CALCULATIONS:

20.97 ACRES GROSS	
813,394 SQ FT GROSS	
20% REDUCTION	172,401 SQ FT
SETBACKS	88,120 SQ FT
WETLANDS/STREAMS	34,619 SQ FT
	295,134 SQ FT
586,873 SQ FT NET AREA	
1,800 SQ FT PER DWELLING UNIT	
364 DWELLING UNITS ALLOWED	
EASEMENT	71,145.7 SQ FT
	1.63 ACRES
OPEN SPACE PARK	209,756.6 SQ FT
	4.81 ACRES

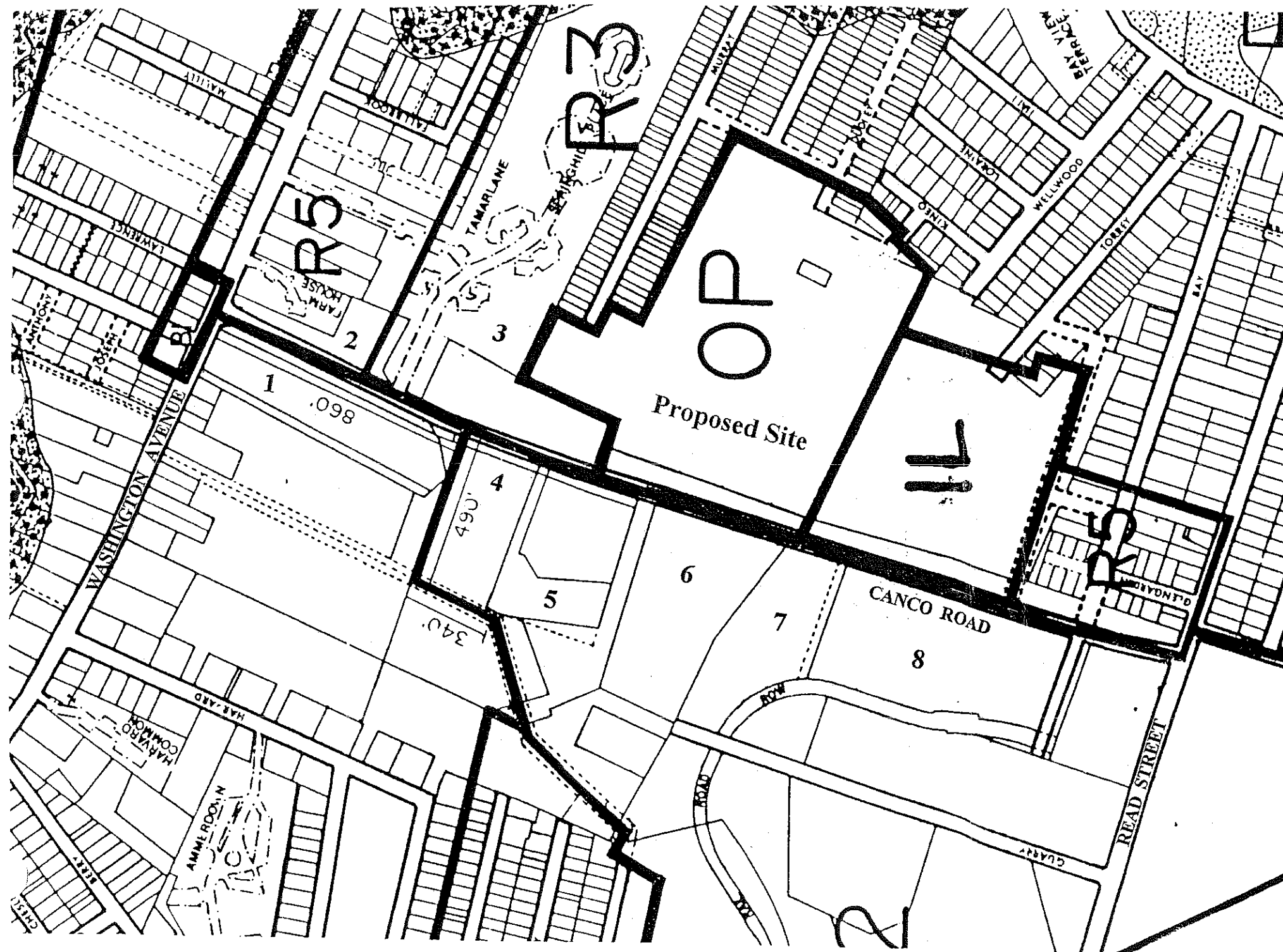
PHASE I
 114 RETIREMENT SUITES
 8 COTTAGE SUITES
 5 GARDEN SUITES
 127 TOTAL SUITES

PARKING:
 90 PARKING SPACES

PHASE II
 80 ASSISTED LIVING SUITES
 4 COTTAGE SUITES
 84 TOTAL SUITES

PARKING:
 85 PARKING SPACES

TOTAL ALL PHASES
 211 RETIREMENT SUITES
 155 PARKING SPACES



LEGEND

- 1 360 Canco Road - First Baptist Church
- 2 355 Canco Road - Kingdom Hall of Jehovah's Witness
- 3 Tamarlane
- 4 312 Canco Road
 Bureau of Motor Vehicles
 Department of Environmental Protection
 Federal Fish and Wildlife Service
 Casco Bay Estuary Project
 Bureau of Taxation
 Cuddledown
- 5 276 Canco Road - Granite Heights
 Dr.'s Offices
 Marine Credit Bureau
 Wright-Ryan Construction
- 6 250 Canco Road - Seltzer & Rydholm
- 7 212 Canco Road
 Nelson and Small
- 8 Jordan's Restaurant Supply and Showroom
 Central Maine Power

NO SEWER

Area removed from Torrey street Sewer modifications to storm water system

(21) "Night-Stick" Gauging Point
 (22) "Continuous-Monitoring" Gauging Point
 Note: The sewer system shown on these sheets was compiled from available City of Portland drawings. A physical field survey to verify the data was not undertaken as part of this program. The drawings are intended for use only as baseline data for Sewer System Evaluation Surveys.

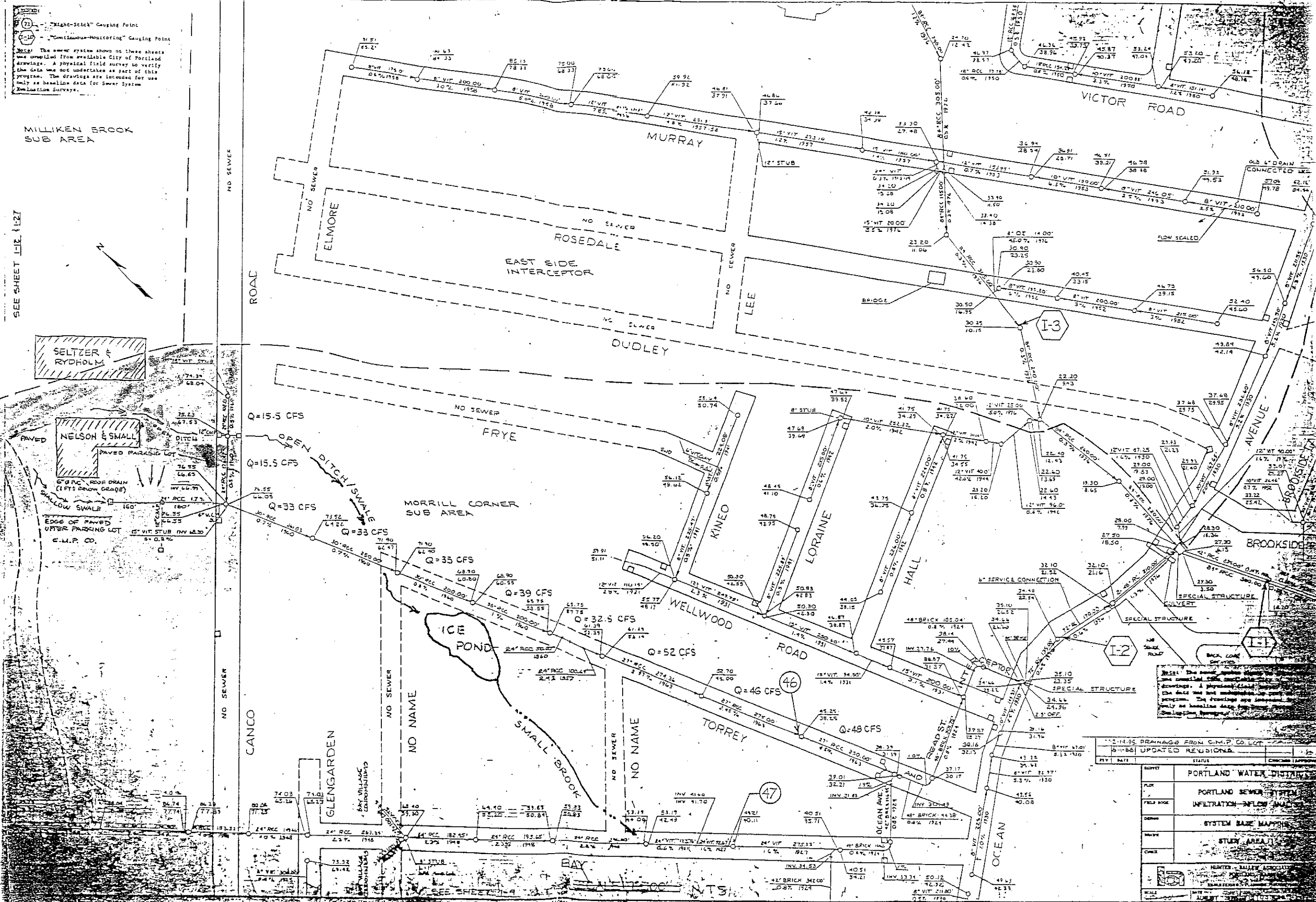
MILLIKEN BROOK SUB AREA

SEE SHEET 112.1122

SELTZER & RYDHOIM

NELSON & SMALL

EDGE OF PAVED UPPER PARKING LOT C.M.P. CO.



Note: The sewer system shown on these sheets was compiled from available City of Portland drawings. A physical field survey to verify the data was not undertaken as part of this program. The drawings are intended for use only as baseline data for Sewer System Evaluation Surveys.

DATE	12-14-85	DESCRIPTION	DRAINAGE FROM C.M.P. CO. LOT
REV	1	STATUS	UPDATED REVISIONS

PROJECT	PORTLAND WATER DISTRICT
PLAN	PORTLAND SEWER SYSTEM
FIELD BOOK	INFILTRATION-INFLOW ANALYSIS
DATE	SYSTEM BASE MAP
SCALE	STUDY AREA
CHECK	

**THE WOODS AT CANCO – PHASE II
VICINITY OF 219 CANCO ROAD
SUBDIVISION, SITE PLAN AND SITE LOCATION OF DEVELOPMENT REVIEW
HOLIDAY RETIREMENT CORP., APPLICANT**

Submitted to:
Portland Planning Board
Portland, Maine
April 27, 2004

Submitted by:
Kandice Talbot, Planner

I. INTRODUCTION

Holiday Retirement Corp. is proposing to develop an 80-suite assisted living facility with four cottage suites on the Phase II portion of the Woods at Canco Retirement Residence site along Canco Road. The site is approximately 20.97 acres in size and zoned R-5A and ROS Conditional. The project will be reviewed for compliance with the subdivision and site plan ordinance of the land use code and Site Location of Development Act. Attachment 7B, which was the plan submitted during the conditional rezoning process in 1997, can be compared with Attachment 31, which is the proposed Phase II plan.

The Assisted Living Facility is an 80-suite facility for seniors who do not require the specialized services of a nursing home, yet are in need of some assistance with their daily routine. Services and activities at the facility are provided to maintain or improve the capabilities of each resident.

494 notices were sent to area residents. A notice also appeared in the April 19th and 20th editions of the *Portland Press Herald*. A neighborhood meeting was held on February 11, 2004. Attachment 21 includes the sign-in sheet and minutes from the neighborhood meeting.

II. SUMMARY OF FINDINGS

Zoning:	R-5A and ROS Conditional
Parcel Size:	20.97 acres
Total Project Area (Phase II):	5.02 acres
Building Floor Area:	67,366 sq. ft.
Uses:	Assisted Living Facility and Independent Care

III. CONDITIONAL REZONING

In 1997, Holiday Retirement Corp. requested an R-5A and ROS conditional zone change in the vicinity of 185 Canco Road to accommodate a retirement residence and an assisted living facility. The property was previously zoned O-P Office Park. The applicant also requested an R-5A text amendment to allow intermediate care facilities in the R-5A zone.

A neighborhood meeting was held and the three main concerns of the neighborhood included (but not limited to): 1) drainage and sewer problems; 2) that the open space easement along Murray Street remain as is and not be cleared; and 3) a 75 foot open space easement on the south side of the property.

The proposal was a two-phased project with a total of 211 retirement suites and 155 parking spaces. Also proposed were a 75-foot open space buffer along the Murray Street neighborhood, which would total 1.63 acres and a natural open space parking along the east portion of the site, which would total 4.81 acres. These areas were to be rezoned ROS.

Due to neighborhood issues and concerns of the city, it was determined that this project may be appropriate as an R-5A conditional rezoning.

In July, 1997 the Planning Board recommended to the City Council and R-5A and ROS Conditional Rezoning and an R-5A text amendment to allow intermediate care facilities in the R-5A zone. The Council approved the text amendment and conditional rezoning on August 4, 1997.

The rezoning of the site was subject to the following conditions:

- that the developer shall be substantially in accordance with the site plan.
- that in the event this property is transferred to a non-profit entity, or is otherwise determined to be exempt from municipal taxation, the owner shall make a payment in lieu of taxes in the full amount of the taxes that would be due and payable on the property as if it were taxable. Such payments shall be made at the same time that property tax bills are due;
- that public access shall be provided and areas shown as open space park and easement areas shall remain undeveloped and shall not be disturbed;
- that the rezoning shall run with the land and shall be binding upon the owner, its successors and assigns, and any users of the property; and
- that a copy of this conditional rezoning order shall be recorded in the Cumberland County Registry of Deeds.

IV. STAFF REVIEW

The proposed development has been reviewed by staff for conformance with the relevant review standards of the subdivision and site plan ordinances. Staff comments are highlighted in this report.

City staff previously reviewed the first phase of this project. Phase I consisted of the construction of 114 retirement suites, 8 cottage units, and 5 garden suites for a total of 127 units. It also included the construction of a walking path from Canco Road to Murray Street through the ROS space and a walking path through the development to Frye Street.

This project is an intermediate/long-term care facility. The Retirement Residence is designed for elderly residents who are still ambulatory, but in need of support. The private suites include studio, one and two bedroom versions, and are similar to apartments except that a kitchen is not needed. Services provided include three prepared meals daily, housekeeping, laundering, private bus transportation and various activities. Staff is "in house" 24 hours a day. Because there are no kitchens in these units they are not considered living units, so do not fall under the subdivision ordinance. However, also proposed are four (4) cottage suites, which do include kitchens and so would require subdivision review. Therefore this review consists of subdivision, site plan and site location review. Because of this the applicant will have to provide a subdivision recording plat for the development, as required by the subdivision ordinance. A potential condition of approval is:

- that the applicant provide a subdivision recording plat for the development, as required by the subdivision ordinance.

At the previous workshop, there was discussion about the Phase I property and the Phase II property being divided and controlled under different entities. The applicant has frontage for both parcels to make this division of land acceptable.

V. SUBDIVISION REVIEW

1. Water

The proposed retirement facility will utilize public water. Connections for water services will be made off the 8-inch water main constructed during Phase I. The proposed 6-inch and 2-inch connections will respectively serve the primary facility and cottage units. A capacity letter from the Portland Water District is included as Attachment 16.

2. Soil Erosion

Temporary erosion control measures are proposed during the construction phase of the project as specified on the Erosion & Sedimentation Control Plan submitted. Permanent erosion control measures have also been incorporated into the plan for long-term stabilization of the site. These measures will be integrated with the overall site development, which includes limits for disturbance and clearing and a permanent revegetation plan. The Development Review Coordinator has reviewed the erosion plans and finds them to be acceptable.

3. Traffic

Parking

The applicant is proposing fifty-two (52) parking spaces for the Phase II proposal. Because Phase II consists of buildings totaling 72,000 sq. ft., the Planning Board determines the number of parking spaces needed. Residents, since they are in need of assistance, typically do not drive. The applicant believes that one parking space per two suites is sufficient for visitor and staff parking. Included, as Attachment 3 is a list of the retirement facilities that the applicant has developed and the number of parking spaces for each. The Traffic Engineer has reviewed the parking analysis by the applicant and feels that the number of parking spaces is adequate for this facility. Attachment 29 is the Traffic Engineer's memo regarding parking.

Traffic Study

A traffic study, which was submitted as part of Phase I, included traffic counts for the full built out of the site. The traffic study submitted for Phase I is included as Attachment 4. The Planning Board requested that the applicant provide an undated traffic study, with information on accident data at the intersection of Canco/Washington and Canco/Read Streets. A traffic study as been submitted and the conclusion of the study is that the Phase II proposal is projected to generate 15 vehicle trips during the PM peak hour – 9 entering and 6 exiting the site. Additional traffic generated by the development is not projected to have any substantive impact on existing capacity or Level of Service for roadways in the vicinity of the site. There are also no High Crash Locations in the immediate vicinity of the site.

The Traffic Engineer has reviewed the traffic study and found the conclusions acceptable. The Traffic Engineer's memo is included as Attachment 28.

Access

Initially, the applicant has proposed one entrance onto Canco Road, but because of concerns by the Fire Department regarding access, two entrances onto Canco Road was proposed. The applicant was proposing to construct and pave the drive to approximately the back of the 114 unit building and complete the loop during Phase II, however the Fire Department requested that the remaining loop be constructed of gravel for emergency access.

Access to the site is from Canco Road over property owned by the City of Portland. The applicant requested that the City grant an easement over the property. At the January 5, 1998 Council meeting, the City Council approved the request for two easements over the City property.

Open Space and Pedestrian Access

The Planning Board was concerned with the deed for public access for the ROS area, the open space buffer area and the pedestrian access through the site. There was also some discussion about having the applicant convey the ROS portion of the property to the City. The applicant decided to retain ownership of the ROS area.

Language was created for the public access deed for the property, which stated:

1. Public access will be provided to the open space park and easement areas and these areas shall remain undeveloped and cannot be disturbed except for the removal of dead or diseased trees or other vegetation, planting of new vegetation, installation and maintenance of utilities (areas must be appropriately restored), and the construction, maintenance and repair of pedestrian trails.
2. The City of Portland and/or its designees will have the right to access the property and to construct additional trails at their own expense. The owner of the property shall have the right to approve/disapprove any and all trail locations.
3. The City of Portland and/or its designees shall have the right to install trail signage. The owner of the property shall have the right to approve/disapprove trail signage for locations and their placements.
4. The trail to be constructed as part of the development shall be limited to hours of use between sunrise and sunset each day. Passive recreational uses within these areas shall include only foot traffic and shall exclude any and all mechanized or wheeled/tracked recreational vehicles. Wheelchairs or other similar non-recreational vehicles shall be permitted. Portland Retirement Residence Limited Liability Company reserves the right to enforce these restrictions, supplement or modify these restrictions, (with the approval of the City of Portland Planning Board) and to remove anyone they believe is acting inappropriate, as it deems necessary to protect the residents of the Portland Retirement Residence and to maintain, protect and enhance the residential community surrounding the Portland Retirement Residence project.

5. The natural open space park shall be limited to hours of use between sunrise and sunset each day. Passive recreational uses within this area shall be defined to include pedestrian foot, bicycle, skateboard, roller blade, roller skate or other similar uses and shall exclude any and all mechanized or wheeled/track recreational vehicles. Wheelchairs or other similar non-recreational vehicles shall be permitted. Portland Retirement Residence Limited Liability Company reserves the right to enforce these restrictions, supplement or modify these restrictions, (with the approval of the City of Portland Planning Board) and to remove anyone they believe is acting inappropriate, as it deems necessary to protect the residents of the Portland Retirement Residence and to maintain, protect and enhance the residential community surrounding the Portland Retirement Residence project. This restriction will apply to the proposed trail by Portland Trails.

The Access Easement over the City of Portland land is included as Attachment 10. The Pedestrian Access and Recreational Open Space Easement Deed is included as Attachment 11.

Vacated Streets

There were a number of paper streets that ran through this property. They were Elmore Street, Dudley Street, Frye Street, and Rosedale Street. The portions of these streets that were within the property were vacated.

4. Sanitary Sewer

The proposed retirement facility will utilize public sanitary sewer. The proposed sanitary sewer will connect with an existing manhole on Murray Street. A sewer capacity letter is included as Attachment 17.

Public Works has reviewed the plans and is requesting that sheet 7 of 12 be revised so that the sanitary sewer connection into the manhole in Murray Street specifies that the structure will be "core drilled" to create the proposed invert in. A potential condition of approval is:

- that the applicant revise the plans in accordance with the Public Works' comments dated March 10, 2004 regarding the sewer connection.

5. Stormwater

Stormwater collection for the Phase II project will be managed through a drainage infrastructure which includes catch basins and drainage swales integrated with a dry swale/detention pond. The dry swale/detention has been designed for both stormwater quantity and quality. Stormwater collection for the cottages is managed through a catch basin collection system and discharged to a wooded buffer area. The combined stormwater management plan utilizes "Best Management Practices" to achieve a 54% TSS removal rate and similar peak stormwater runoff flows for the pre and post-development.

The Development Review Coordinator finds that the project appears acceptable for consideration of final approval, as the applicant has provided adequate evidence of stormwater management and erosion control with the plans and supporting materials. The DRC does note that the applicant's proposal for stormwater management results in a slight increase to the 2, 10 and 25-year storm peak stormwater runoff discharges from the site. The engineer has stated that they

find there to be no detrimental impacts to downstream areas since this runoff concentrates within a drainage swale running along the rear of the Murray Street properties and enters into Fall Brook just below Murray Street. The DRC concurs that the Fall Brook Channel has adequate capacity to convey the small increase in peak flows attributable to the site. The drainage swale behind the Murray Street properties appear also to be adequate to handle the site flows. The DRC is recommending that the engineer review these conditions more to solidify their opinion that the swale is adequate and that no impacts to these abutting properties will result from the flows generated by the proposed development. A potential condition of approval is:

- that the project engineer address the Development Review Coordinator's comments raised in the April 21, 2004 memo.

6. Solid Waste Disposal

The assisted living facility and cottage suites will generate typical household and food preparation waste. Although nursing staff is available "around the clock", large quantities of medical waste is not expected as the medical staff will be primarily administering prescription medications and other routine medical procedures that do not generate hazardous types of waste. The waste generated by the proposed assisted living facility will be disposed of by a qualified waste hauler under contract with the owner.

7. Scenic Beauty

This development will not cause an undue adverse effect on the scenic or natural beauty of the area aesthetics, historic sites, significant wildlife habitat or rare and irreplaceable natural area.

8. Comprehensive Plan

This development meets the requirements of the City of Portland Comprehensive Plan.

9. Financial Capability

Included as Attachment 15 is the applicant's fiscal ability to complete the proposed project.

10. Groundwater

The development as proposed will not adversely affect the quality or quantity of groundwater.

12. Wetlands

The applicant has shown the wetlands on the plan and is proposing to fill some areas. A Tier 1 Wetlands Alteration Permit is required due to impacts of an isolated forested wetland, and will be submitted to the Maine Department of Environmental Protection for review. A potential condition of approval is:

- that the applicant submit to staff the Tier 1 Wetlands Alteration Permit approval from the Maine Department of Environmental Protection prior to issuance of a building permit.

VI. SITE PLAN REVIEW

1/2. Traffic

Please refer to the traffic section under Subdivision Review.

3. Bulk, Location, Health, Safety Air

Holiday Retirement Corp. proposes to develop an 80-suite assisted living facility with four cottage suites on the Phase II portion of the Woods at Canco Retirement Residence site along Canco Road. The area of Phase II is 5.02 acres.

4. Bulk, Location, Height of Proposed Buildings

The 80-suite building area will consist of two-stories and total 67,366 sq. ft. The building material will be wood frame with vinyl siding and an asphalt shingle roof. The cottage and garden suites will be one story each and will total 5,046 sq. ft. The building material for the cottages will match the main building.

5. Sewers, Stormdrains, Water

Please refer to subdivision review.

6. Landscaping and Existing Vegetation

The applicant is proposing a number of trees and shrubs around the site. The proposed species include but are not limited to, Red Maple, Butterfly Bush, Birch, Hosta, Hydrangea, Ash, Spruce and Oak. The landscape plan is included as Attachment 31. The City Arborist is currently reviewing the landscape plan. A potential condition of approval is:

- that the City Arborist review and approve the landscaping plan.

7. Soils and Drainage

Please refer to subdivision review.

8. Exterior Lighting

The applicant is proposing metal halide shoebox light poles. The proposed poles are 12 ft. high. Catalogue cuts and lighting photometric plan are included as Attachment.

9. Fire

The Fire Department had reviewed the plans and requested emergency access to the sides and rear of the 80-unit building. The applicant has proposed two emergency fire access drives on the sides of the building, which the Fire Department has reviewed and approved.

10. City Infrastructure

The proposed development will not place any strain on the City infrastructure as previously discussed in the traffic and stormwater section.

VII. STAFF RECOMMENDATION

Staff recommends that the Planning Board approve the Canco Woods Phase II plan with the proposed conditions of approval.

VIII. MOTIONS FOR THE BOARD TO CONSIDER

On the basis of plans and materials submitted by the applicant and on the basis of information contained in Planning Report #15-04 relevant to standards for subdivision and site plan regulations, and other findings as follows:

- i. That the proposed development [is/is not] in conformance with the Site Location of Development Review.
 - i. that the project engineer address the Development Review Coordinator's comments raised in the April 21, 2004 memo.
- ii. That the proposed development [is/is not] in conformance with the Subdivision Ordinance of the Land Use Code.

Potential Conditions of Approval:

- i. that the applicant provide a subdivision recording plat for the development, as required by the subdivision ordinance.
 - ii. that the applicant revise the plans in accordance with the Public Works' comments dated March 10, 2004 regarding the sewer connection.
 - iii. that the project engineer address the Development Review Coordinator's comments raised in the April 21, 2004 memo.
 - iv. that the applicant submit to staff the Tier 1 Wetlands Alteration Permit approval from the Maine Department of Environmental Protection prior to issuance of a building permit.
- iii. That the proposed development is/is not in conformance with the Site Plan Ordinance of the Land Use Code.
 - i. that the City Arborist review and approve the landscaping plan.

Attachments:

1. Application Letter dated September 18, 2003
2. Holiday Retirement Application Submittal
3. Parking Information
4. Traffic Study and Addendum from Phase I
5. Current Zoning Map
6. R-5A Text Amendment
7. Conditional Rezoning From OP to R-5A/ROS
8. Council Decision
9. March 10, 1998 Planning Board Site Plan and Site Location Approval Letter
10. Easement Deed for Access over City Property
11. Pedestrian Access and Recreational Open Space Easement Deed
12. Map Showing Applicant's Trail and Potential Portland Trails Trail
13. Applicant's Letter dated March 4, 2004
14. Property Deed
15. Technical Capability Letter
16. Portland Water District Capacity Letter
17. Portland Sewer Capacity Letter
18. Stormwater Runoff Evaluation dated March, 2004
19. Traffic Impact Study dated March, 2004
20. Foundation Investigation
21. Neighborhood Meeting Sign-In Sheet and Minutes
22. Public Works' Memo dated March 10, 2004
23. DRC's Memo dated March 30, 2004
24. MeDEP Letter
25. Applicant's Letter dated April 14, 2004
26. Stormwater Runoff Evaluation Revised April 13, 2004
27. DRC's Memo dated April 21, 2004
28. Traffic Engineer's Memo RE: Traffic dated April 23, 2004
29. Traffic Engineer's Memo RE: Parking dated April 23, 2004
30. Letter from Councilor Leeman
31. Plans

Att. 1

September 18, 2003
96592

Kandice Talbot, Planner
City of Portland
389 Congress Street
Portland, ME 04101

Application for Site Plan Review – The Woods at Canco Road, Phase II Development

Dear Kandice:

Thank you for taking the time to meet with Melissa LeClair of Curry Brandaw Architects and me earlier this summer to review the Phase II development plans for The Woods at Canco Road. As we discussed, XL Management Company, LLC/Holiday Retirement Corp. is proposing to move forward with the Phase II development plans for the assisted living facility off Canco Road.

In 1997, Holiday Retirement Corp. received a zone change and site plan approval for Phase I development of this master plan project that included an assisted living facility and cottage units. As depicted on the enclosed overall development plan, this project was to be developed in two separate phases beginning with Phase I. The applicants completed the Phase I development in the late 1990s and would now like to move forward with Phase II development. The applicants would like to begin the review process with a Planning Board workshop meeting to reacquaint the staff and Board with the project and to introduce the Phase II development. Phase II of this project is the last phase of an overall master plan developed for this project as presented to the Council and Planning Board during the zone change process and Phase I development approvals.

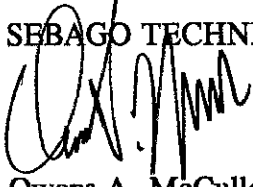
Curry Brandaw Architects, who completed the design work for Phase I, has assembled the enclosed application package for planning staff and Planning Board review. The enclosed information includes a narrative describing the project with supporting information, a completed application form, photographs of comparable facilities completed by the applicant, schematic site drawings, building elevations, and floor plan. In addition, an application fee in the amount of \$3,000.00 (Site Location of Development Act permit application) and \$1,000.00 (major site plan review) is also enclosed.

On behalf of the applicants, we look forward to working with the planning staff and Planning Board to complete the design and permitting for Phase II. XL Management Company, LLC/Holiday Retirement Corp. is hopeful to complete the design and permitting to allow for a spring 2004 construction start.

Upon the staff's review of this application, please feel free to contact me if you have any questions or would like to set up a meeting.

Sincerely,

SEBAGO TECHNICS, INC.



Owens A. McCullough, P.E.
Sr. Project Manager

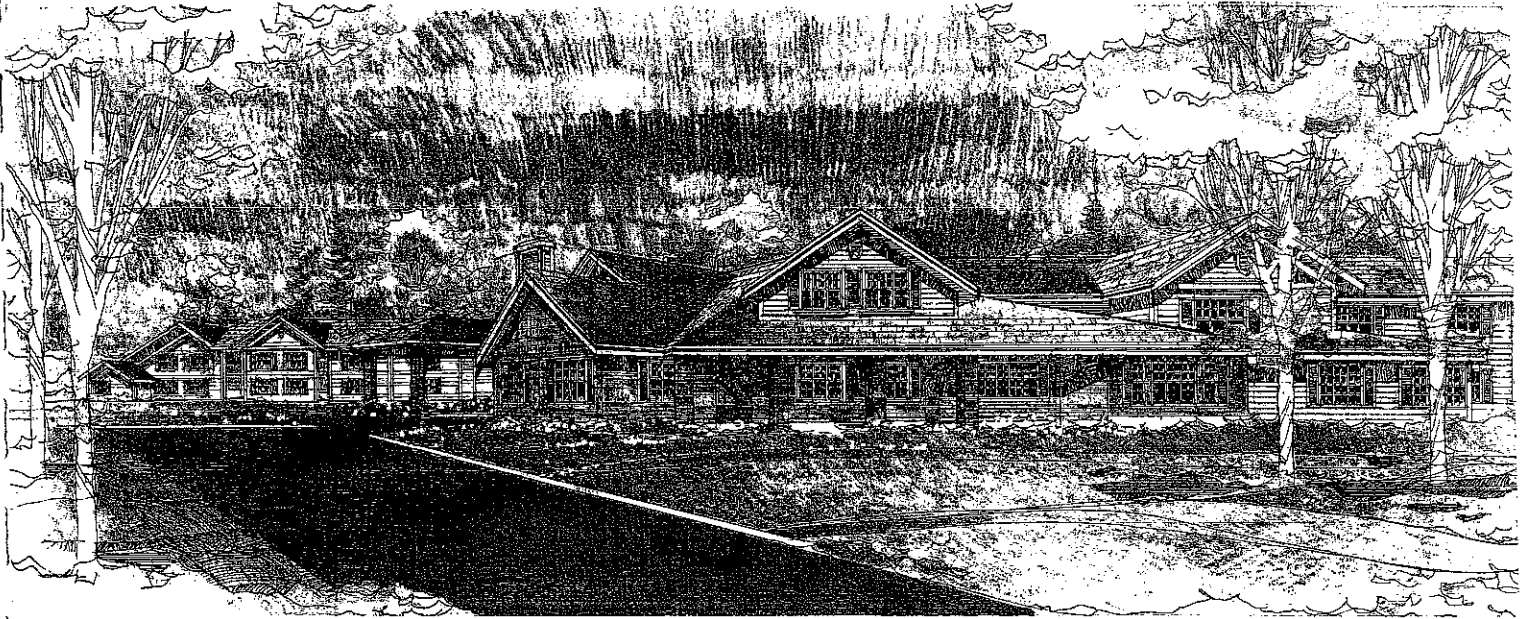
OAM:jc
Enc.

cc: Kristen Newland, Curry Brandaw Architects



Curry Brandaw Architects

••
PARTNERSHIP



Portland Assisted Living Facility
Portland, Maine



Management Company L.L.C.



HOLIDAY RETIREMENT CORP.

2250 McGilchrist St. SE, Suite 200 • Salem, Oregon 97302
P.O. Box 14111 • Salem, Oregon 97309-5026 • (503) 370-7070

studio, one and two bedroom versions. Each is similar to a dwelling unit except a kitchen is not included.

Typically our resident will be a single person in their late 70's or 80's. Approximately 10% of the rooms will be rented by couples making a total building population of 95. Fewer than 5% of the residents will be driving their own cars.

The site is ideally suited for our senior housing use. The site is in close proximity to services such as shopping, recreation and medical needs while still being part of an established residential area.

This proposal would offer several benefits to the area, which include:

- Large open spaces and generous setbacks. Over 60% of the site will be landscaped open space providing large open spaces and ample setbacks to create a park-like setting, and help buffer neighboring properties.
- Quiet Senior Residential Use - The proposed assisted living facility has 80 suites and four cottage units, which include studios, one bedroom, and two bedroom types. The suites do not have kitchens and are not considered full dwelling units. They are different from conventional senior apartment units with full kitchens, in that the density effect would be negligible. In addition, only about 10 percent of the suites will be occupied by couples, keeping the overall building population low. This project will not create the problems typically associated with higher density developments, such as traffic, noise or increased demand on public services.
- Low Traffic Generation - Residents, since they are in need of assistance, will seldom drive. We expect less than two trips per day per suite for visitor and staff purposes, but without the peak hour trip generation. This is based on the Institute of Transportation Engineers report and is far below equivalent trips per unit for a multi-family project.
- Increases Local Tax Base - This project is privately funded with no publicly funded assistance.
- Low Impact on Public Services - Including parks, schools, libraries, and transportation system.
- Fulfills Need for Assisted Living Housing - Our research has found that there is a strong need for the XL/Holiday program in this area.

V. STAFFING PLAN

The facility will employ approximately 32 full-time equivalent positions, which include administrative, food services, housekeeping and maintenance, and health care staff. The facility will maintain a health services staff on duty 24-hours a day.

VI. TRAFFIC/PARKING

Residents, since they are in need of assistance, typically do not drive. One parking space per two suites is sufficient for visitor and staff parking. Since residents do not drive, we expect less than two trips per day per suite for visitor and staff purposes. This is based on the Institute of Transportation Engineers informational report and is far below equivalent trips per unit for a multifamily project. Enclosed is a study of traffic and parking implications for Assisted Living Residences conducted by the American Seniors Housing Association. This study explains in detail the traffic and parking generation a project like ours will produce.

CONCLUSION

In conclusion, we feel that this site is ideally suited for our use and would be a nice addition to the Canco Road area and the existing Retirement Residence development

2000 American Seniors Housing Association 25 OWNERS

(25 LARGEST U.S. SENIORS HOUSING OWNERS AS OF JUNE 1, 2000)

2000 RANK	1999 RANK	COMPANY	HEADQUARTERS	CEO	1999 UNITS OWNED	2000 UNITS OWNED	1999 PROPERTIES OWNED	2000 PROPERTIES OWNED
1	1	COLSON & COLSON/HOLIDAY RETIREMENT CORP.	Salem, OR	William E. Colson	25,975	27,427	216	229
2	2	ALTERRA HEALTHCARE CORP.	Brookfield, WI	William F. Lasky	16,435	21,119	274	453
3	4	NATIONWIDE HEALTH PROPERTIES, INC.	Newport Beach, CA	R. Bruce Andrews	9,500	11,529	124	125
4	3	ATRIA, INC.	New York, NY	Mark Ticolin	11,010	9,704	114	100
5	5	SENIOR LIFESTYLE CORP.	Chicago, IL	William B. Kaplan	9,424	9,646	60	62
6	6	HEALTH CARE REIT, INC.	Toledo, OH	George L. Chapman	8,345	8,066	132	128
7	11	SUNRISE ASSISTED LIVING, INC.	Fairfax, VA	Paul J. Klaassen	6,776	7,966	111	120
8	8	CRESTONE CAPITAL CORP.	Bethesda, MD	Bruce D. Wardinski	7,468	7,497	31	31
9	9	HEALTH CARE PROPERTY INVESTORS, INC.	Newport Beach, CA	Kenneth B. Roath	7,021	7,297	85	92
10	21	AMERICAN RETIREMENT CORPORATION	Brentwood, TN	William E. Sheriff	4,457	7,217	19	41
11	10	ASSISTED LIVING CONCEPTS, INC.	Portland, OR	Keren Brown Wilson	6,942	7,148	178	185
12	7	GRAND COURT LIFESTYLES, INC.	Boca Raton, FL	John W. Luciani, III	7,640	6,942	56	52
13	18	CLASSIC RESIDENCE BY HYATT/ ENCORE SENIOR LIVING	Chicago, IL	Penny S. Pritzker	4,938	6,354	45	53
14	14	ACTS RETIREMENT-LIFE COMMUNITIES, INC.	West Point, PA	George R. Gunn, Jr.	5,654	6,095	15	16
15	12	MEDTRUST CORP.	Needham Heights, MA	Michael F. Bushee	6,160	5,868	126	105
16	17	MARRIOTT SENIOR LIVING SERVICES	Washington, DC	Jeff Ferguson	5,214	5,400	43	43
17	—	MERRILL GARDENS LLC	Seattle, WA	Charles B. Wright III	—	5,195	—	52
18	16	FIRST GETTRUM, LLC	Sterling, VA	Mark L. Wechsinsky	5,268	5,079	85	84
19	23	LEISURE CARE, INC.	Bellevue, WA	Dan B. Madsen	3,995	4,807	27	33
20	19	THE FOUNTAINS	Tucson, AZ	David J. Freshwater	4,719	4,719	17	17
21	22	GOVERNMENT RETIREMENT COMMUNITIES	Chicago, IL	David A. Dwight	4,075	4,137	14	14
22	15	SENIOR HOUSING PROPERTIES TRUST (FORMERLY KNOWN AS HRPPT PROPERTIES TRUST)	Newton, MA	David J. Hegarty	5,416	4,040	27	15
23	24	NATIONAL BENEVOLENT ASSOCIATION	St. Louis, MO	Cynthia R. Dougherty	3,880	3,955	14	14
24	—	SWINSON HOUSING SOLUTIONS, LLC	Long Beach, CA	Michael A. Costa	—	3,761	—	40
25	25	RETIREMENT HOUSING FOUNDATION	Long Beach, CA	Laverne R. Joseph	3,510	3,510	19	19

2000 American Seniors Housing Association 25 MANAGERS

(25 LARGEST U.S. SENIORS HOUSING MANAGERS AS OF JUNE 1, 2000)

2000 RANK	1999 RANK	COMPANY	HEADQUARTERS	CEO	1999 UNITS MANAGED	2000 UNITS MANAGED	1999 PROPERTIES MANAGED	2000 PROPERTIES MANAGED
1	1	COLSON & COLSON/HOLIDAY RETIREMENT CORP.	Salem, OR	William E. Colson	26,400	27,852	220	233
2	2	MARRIOTT SENIOR LIVING SERVICES	Washington, DC	Jeff Ferguson	22,683	25,100	128	149
3	3	PROFESSIONAL COMMUNITY MANAGEMENT	Lake Forest, CA	Jeffrey B. Olsen	22,680	22,664	9	9
4	5	ALTERRA HEALTHCARE CORP.	Brookfield, WI	William F. Lasky	16,951	21,719	389	470
5	4	LIFE CARE SERVICES CORP.	Des Moines, IA	Stan Thurston	17,572	20,513	64	87
6	7	AMERICAN RETIREMENT CORP.	Brentwood, TN	William E. Sheriff	11,328	12,163	30	57
7	8	EMERTUS CORP.	Seattle, WA	Daniel R. Baly	10,919	11,800	123	128
8	9	SENIOR LIFESTYLE CORP.	Chicago, IL	William B. Kaplan	10,103	10,762	64	69
9	10	SUNRISE ASSISTED LIVING, INC.	Fairfax, VA	Paul J. Klaassen	8,229	9,989	130	152
10	6	ATRIA, INC.	New York, NY	Mark Ticolin	12,114	9,794	126	101
11	13	ASSISTED LIVING CONCEPTS, INC.	Portland, OR	Keren Brown Wilson	6,942	7,148	178	185
12	19	CLASSIC RESIDENCE BY HYATT/ ENCORE SENIOR LIVING	Chicago, IL	Penny S. Pritzker	5,414	6,960	48	58
13	11	GRAND COURT LIFESTYLES, INC.	Boca Raton, FL	John W. Luciani, III	7,640	6,924	127	92
14	16	ERICKSON RETIREMENT COMMUNITIES, LLC (FORMERLY KNOWN AS SENIOR CAMPUS LIVING, LLC)	Baltimore, MD	John C. Erickson	5,873	6,120	5	7
15	17	ACTS RETIREMENT-LIFE COMMUNITIES, INC.	West Point, PA	George R. Gunn, Jr.	5,654	6,095	15	16
16	14	GREYSTONE COMMUNITIES, INC.	Irving, TX	Michael Lanahan	5,981	5,863	29	20
17	—	MERRILL GARDENS LLC	Seattle, WA	Charles B. Wright III	NA	5,657	NA	58
18	18	CO-OPERATIVE RETIREMENT SERVICES OF AMERICA, INC. (CRSA)	Memphis, TN	Earl Wade	5,500	5,612	25	19
19	15	CAREMATRIX CORP.	Needham, MA	Abraham Gosman	5,891	5,569	47	47
20	21	BROOKDALE LIVING COMMUNITIES, INC.	Chicago, IL	Mark J. Schulte	4,600	5,314	21	24
21	25	LEISURE CARE, INC.	Bellevue, WA	Dan B. Madsen	4,172	4,977	28	34
22	23	CAPITAL SENIOR LIVING, INC.	Dallas, TX	Lawrence A. Cohen	4,545	4,808	31	34
23	20	THE FOUNTAINS	Tucson, AZ	David J. Freshwater	4,719	4,719	17	17
24	24	BALANCED CARE CORP.	Mechanicsburg, PA	Brad E. Hollinger	4,411	4,677	63	69
25	—	AMERICAN LIFESTYLES, INC.	Cleveland, TN	Barry Ray	3,394	4,343	30	36

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Holiday Retirement Corp.

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Facility Name	Units	Phone Number	Street	City, State
UNITED STATES				
ALABAMA (4)				
EASTDALE ESTATES	107	(334) 260-8911	5801 EASTDALE DRIVE	MONTGOMERY, AL 36117
MONARCH ESTATES	114	(334) 502-0977	1550 E. UNIVERSITY DRIVE	AUBURN, AL 36830
ROCKY RIDGE	115	(205) 989-6500	3517 LORNA ROAD	HOOVER, AL 35216
UNIVERSITY OAKS	110	(251) 661-7733	650 UNIVERSITY BOULEVARD SOUTH	MOBILE, AL 36609
ARIZONA (5)				
DESERT ROSE	113	(928) 343-0807	1545 S. 14TH AVENUE	YUMA, AZ 85364
MADISON, The	193	(623) 584-1999	18626 SPANISH GARDEN DRIVE	SUN CITY WEST, AZ 85375
MANOR at MIDVALE, The	112	(520) 294-3200	6250 S. COMMERCE COURT	TUCSON, AZ 85746
VISTA de la MONTANA	113	(623) 975-4250	18510 N. PARKVIEW PLACE	SURPRISE, AZ 85374
VISTA del RIO	118	(623) 977-7007	13619 N. 94TH DRIVE	PEORIA, AZ 85381
ARKANSAS (6)				
ANDOVER PLACE	111	(501) 224-0441	2601 ANDOVER COURT	LITTLE ROCK, AR 72227
APPLE BLOSSOM	117	(479) 636-7739	2501 N. 22ND STREET	ROGERS, AR 72756
BUTTERFIELD PLACE	115	(479) 484-5200	8420 PHOENIX AVENUE	FORT SMITH, AR 72903
COUNTRY CLUB VILLAGE	165	(501) 624-6435	1925 MALVERN AVENUE	HOT SPRINGS, AR 71901
GARDENS at ARKANSHIRE, The	130	(501) 750-1131	5000 ARKANSHIRE CIRCLE	SPRINGDALE, AR 72764
SOUTH WIND HEIGHTS	114	(870) 932-9288	2305 BERNARD STREET	JONESBORO, AR 72401
CALIFORNIA (37)				
ARCADIA PLACE	114	(760) 945-5555	1080 ARCADIA AVENUE	VISTA, CA 92084
BAY PARK	96	(510) 223-7977	2621 APPIAN WAY	PINOLE, CA 94564
BRIDGECREEK	108	(626) 332-1135	3601 HOLT AVENUE	WEST COVINA, CA 91791
CAMELOT, The	134	(909) 929-0145	800 WEST OAKLAND	HEMET, CA 92543
CANTERBURY COURT	205	(619) 585-8585	336 C STREET	CHULA VISTA, CA 91910
CARRIAGE HOUSE ESTATES	124	(661) 663-8393	8200 WESTWOLD DRIVE	BAKERSFIELD, CA 93311
COLUMBUS ESTATES	124	(661) 872-5855	3201 COLUMBUS	BAKERSFIELD, CA 93306
CREEKSIDE OAKS	109	(916) 983-3397	1715 CREEKSIDE DRIVE	FOLSOM, CA 95630
DEER PARK	84	(415) 897-0054	646 CANYON ROAD	NOVATO, CA 94947
FEATHER CANYON	126	(530) 877-2207	5900 CANYON VIEW DRIVE	PARADISE, CA 95969
FIG GARDEN	101	(559) 432-6213	6035 N. MARKS AVENUE	FRESNO, CA 93711
HAMPSHIRE, THE	113	(209) 383-3500	3460 R STREET	MERCED, CA 95348
HILLTOP ESTATES	95	(530) 241-4444	451 HILLTOP DRIVE	REDDING, CA 96003
LAS BRISAS	100	(805) 543-0144	1299 BRIARWOOD DRIVE	SAN LUIS OBISPO, CA 93401
LEISURE POINTE	131	(909) 888-9991	1371 PARKSIDE DRIVE	SAN BERNARDINO, CA 92404
MAGNOLIA	96	(909) 354-0230	8537 MAGNOLIA AVENUE	RIVERSIDE, CA 92504
MISSION COMMONS	141	(909) 793-8691	10 TERRACINA BLVD	REDLANDS, CA 92373
MISTYWOOD	115	(916) 771-8606	1275 PLEASANT GROVE BOULEVARD	ROSEVILLE, CA 95747
OAKMONT, The	91	(530) 895-0123	2801 COHASSET	CHICO, CA 95973
OAKS of AUBURN, The	107	(530) 888-1144	3250 BLUE OAKS DRIVE	AUBURN, CA 95602
PALMS, The	162	(562) 944-1800	13001 LA MIRADA BLVD	LA MIRADA, CA 90638
QUAIL LODGE	123	(925) 778-7453	4850 DEER VALLEY ROAD	ANTIOCH, CA 94509
REDWOOD	97	(707) 257-0333	2350 REDWOOD ROAD	NAPA, CA 94558
REMINGTON, The	116	(559) 587-9999	2727 NORTH 11th AVENUE	HANFORD, CA 93230
SIERRA HILLS	110	(559) 788-0311	2500 W. HENDERSON AVENUE	PORTERVILLE, CA 93257
SPRINGS of EL CAJON	100	(619) 444-9470	444 PRESCOTT AVENUE	EI CAJON, CA 92020
SPRINGS of ESCONDIDO	103	(760) 743-4200	1261 E. WASHINGTON AVENUE	ESCONDIDO, CA 92027
SPRINGS of NAPA, The	100	(707) 224-7855	3460 VILLA LANE	NAPA, CA 94558
STANDIFORD PLACE	118	(209) 521-7000	3420 SHAWNEE DRIVE	MODESTO, CA 95350
VALENCIA COMMONS	113	(909) 481-5440	6729 HERMOSA AVENUE	RANCHO CUCAMONGA, CA 91701
VILLA SERENA	108	(408) 261-8350	1340 POMEROY AVENUE	SANTA CLARA, CA 95051
VINEYARD COMMONS	114	(707) 578-8400	3585 ROUND BARN BLVD	SANTA ROSA, CA 95403
VINTAGE, The	117	(209) 339-1500	2145 WEST KETTLEMAN LANE	LODI, CA 95242
WALNUT PARK	101	(559) 739-1339	4119 W. WALNUT	VISALIA, CA 93277
WATERFORD TERRACE	90	(619) 463-2111	5580 AZTEC DRIVE	LA MESA, CA 91942
WESTMONT, The	136	(408) 984-0605	1675 SCOTT BOULEVARD	SANTA CLARA, CA 95050
name pending	115	(800) 322-0999		VENTURA, CA
COLORADO (10)				
ATRIUM of GRAND VALLEY, The	142	(970) 256-0006	3260 N. 12th STREET	GRAND JUNCTION, CO 81506
COURTYARD at LAKEWOOD	121	(303) 239-0740	7100 W. 13th AVENUE	LAKEWOOD, CO 80215
GREELEY PLACE	102	(970) 351-0683	1051 6th STREET	GREELEY, CO 80631
LAKEWOOD ESTATES	90	(303) 987-3888	8585 W. DAKOTA AVENUE	LAKEWOOD, CO 80226
LONGMONT REGENT	96	(303) 651-7022	2210 MAIN STREET	LONGMONT, CO 80501
MESA VIEW	102	(970) 241-0772	601 HORIZON PLACE	GRAND JUNCTION, CO 81506

Holiday Retirement Corp.

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Facility Name	Units	Phone Number	Street	City, State
PARKWOOD ESTATES	110	(970) 482-3924	2201 S. LEMAY	FT. COLLINS, CO 80525
PUEBLO REGENT	97	(719) 566-0111	100 SAN CARLOS ROAD	PUEBLO, CO 81005
QUINCY PLACE	117	+ ~ (303) 770-7775	7200 EAST QUINCY AVENUE	DENVER, CO 80237
SUNRIDGE	90	~ (719) 590-1247	5820 FLINTRIDGE DRIVE	COLORADO SPRINGS, CO 80918

CONNECTICUT (4)

CEDAR WOODS\CREST	111	(203) 481-6028	80 CEDAR STREET	BRANFORD, CT 06405
GABLES AT GUILFORD, The	128	* ~ (203) 458-3337	201 GRANITE ROAD	GUILFORD, CT 06437
VILLAGE GATE OF FARMINGTON	162	* ~ (860) 676-8626	88 SCOTT SWAMP ROAD	FARMINGTON, CT 06032
WINDHAM FALLS ESTATES	160	(860) 446-2889	425 DROZDYK DRIVE	GROTON, CT 06340

FLORIDA (15)

ATRIUM at GAINESVILLE, The	241	~ (352) 378-0773	2431 NW 41st STREET	GAINESVILLE, FL 32606
AUGUSTINE LANDING	109	~ (904) 880-1116	10141 OLD ST. AUGUSTINE ROAD	JACKSONVILLE, FL 32257
AZALEA PARK	115	~ (863) 413-0908	1325 GRASSLANDS BLVD	LAKELAND, FL 33803
BELLEAIR TOWERS	56	(727) 581-6540	1100 PONCE de LEON BLVD	CLEARWATER, FL 33756
BUENA VIDA	153	* ~ (239) 775-2233	8901 TAMiami TRAIL EAST	NAPLES, FL 34113
CHERRY LAUREL	115	~ (850) 656-8758	1009 CONCORD ROAD	TALLAHASSEE, FL 32308
COURT at PALM-AIRE, The	235	* ~ (954) 975-8900	2701 N. COURSE DRIVE	POMPANO BEACH, FL 33069
ISLES of VERO BEACH	210	* ~ (561) 778-7888	1700 WATERFORD DRIVE	VERO BEACH, FL 32966
LAKE RIDGE VILLAGE	108	~ (352) 589-2353	353 ARDICE AVENUE	EUSTIS, FL 32726
MARION WOODS	115	^ ~ (352) 671-1700	1661 SE 31ST STREET	OCALA, FL 34471
ORMOND in the PINES	214	* ~ (386) 676-7463	101 CLYDE MORRIS BLVD	ORMOND BEACH, FL 32174
REGENCY RESIDENCE	133	~ (727) 849-9335	6711 EMBASSY BLVD	PORT RICHEY, FL 34668
TREMONT, The	118	~ (407) 359-5787	7015 RED BUG LAKE ROAD	OVIEDO, FL 32765
UNIVERSITY PINES	110	~ (850) 476-6333	8991 UNIVERSITY PARKWAY	PENSACOLA, FL 32514
WOODLANDS VILLAGE	169	* ~ (941) 758-9590	1055 301 BOULEVARD EAST	BRADENTON, FL 34203

GEORGIA (9)

ATRIUM at GEORGETOWN PARK,	1197	~ (770) 986-1100	4355 GEORGETOWN SQUARE RD	ATLANTA, GA 30338
IRIS PLACE	140	~ + (706) 425-0301	755 EPPS BRIDGE PARKWAY	ATHENS, GA 30606
PINEGATE	115	~ (478) 757-0610	300 CHARTER BLVD	MACON, GA 31210
REGENCY HOUSE, The	102	(404) 296-1152	341 WINN WAY	DECATUR, GA 30030
RIVER'S EDGE	119	+ ~ (912) 354-6146	6206 WATERS AVENUE	SAVANNAH, GA 31406
RIVERPLACE	112	~ (706) 324-0100	6850 RIVER ROAD	COLUMBUS, GA 31904
SMOKY SPRINGS	115	~ (770) 535-8349	940 SOUTH ENOTA DRIVE	GAINESVILLE, GA 30501
WASHINGTON COMMONS	115	+ ~ (706) 860-0402	100 WASHINGTON COMMONS DRIVE	EVANS, GA 30809
name pending		^ ~ (800) 322-0999		ALPHARETTA, GA

HAWAII (3)

HAWAII KAI	193	* + ~ (808) 395-9599	428 KAWAIHAE DRIVE	HONOLULU, HI 96825
HAWAII KAI II	177	* + ~ (808) 396-0720	446 KAWAIHAE DRIVE	HONOLULU, HI 96825
KALAMA HEIGHTS	110	~ (808) 879-1500	101 KANANI RD	KIHEI MAUI, HI 96753

IDAHO (1)

CHATEAU de BOISE	96	+ ~ (208) 322-7277	7250 POPLAR STREET	BOISE, ID 83704
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ILLINOIS (6)

BLAIR HOUSE	109	(309) 454-8900	1200 EAST COLLEGE	NORMAL, IL 61761
BRENDEN GARDENS	110	(217) 529-4586	900 SOUTHWIND ROAD	SPRINGFIELD, IL 62703
ESSINGTON PLACE	112	(815) 744-4488	901 ESSINGTON ROAD	JOLIET, IL 60435
MONTVALE ESTATES	119	+ (217) 546-5577	2601 MONTVALE DRIVE	SPRINGFIELD, IL 62704
TAMARACK	133	~ (847) 991-4700	55 S. GREELEY	PALATINE, IL 60067
name pending		^ ~ (800) 322-0999		QUINCY, IL

INDIANA (4)

ARBOR GLEN	118	+ ~ (260) 492-2202	5202 SAINT JOE ROAD	FORT WAYNE, IN 46835
PARKSIDE COURT	118	~ * (812) 378-9795	3660 CENTRAL AVENUE	COLUMBUS, IN 47203
REDBUD HILLS	112	~ (812) 335-0089	3211 EAST MOORES PIKE ROAD	BLOOMINGTON, IN 47401
WILLOW PARK	109	~ (812) 473-5828	5050 LINCOLN AVENUE	EVANSVILLE, IN 47715

IOWA (5)

BEAVERDALE ESTATES	102	~ (515) 278-1715	4610 DOUGLAS AVENUE	DES MOINES, IA 50310
ILLAHEE HILLS	107	+ (515) 251-4604	8308 COLBY PARKWAY	URBANDALE, IA 50322
MALLARD POINT	122	+ ~ (319) 277-6111	2603 ORCHARD DRIVE	CEDAR FALLS, IA 50613
PALMER HILLS	104	~ (563) 332-5955	2617 MAPLECREST ROAD	BETTENDORF, IA 52722
WALDEN PLACE	102	(319) 337-7277	2423 WALDEN ROAD	IOWA CITY, IA 52246

Holiday Retirement Corp.

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Facility Name	Units	Phone Number	Street	City, State
KANSAS (3)				
GREENWOOD TERRACE	115	^~ (913) 345-9969	11150 S. GREENWOOD STREET	LENEXA, KS 66215
GRASSLANDS ESTATES	115	~ (316) 722-4817	10665 W. 13TH STREET N.	WICHITA, KS 67212
THORNTON PLACE	119	+~ (785) 228-0555	2901 SW ARMSTRONG	TOPEKA, KS 66614
KENTUCKY (5)				
ASHWOOD PLACE	103	+ (502) 223-5551	102 LEONARDWOOD	FRANKFORT, KY 40601
HARTLAND HILLS	117	~ (859) 273-1212	1005 TANBARK ROAD	LEXINGTON, KY 40515
JACKSON OAKS	115	^~ (270) 554-8122	2500 MARSHALL AVENUE	PADUCAH, KY 42003
OXMOOR LODGE	118	+~ (502) 425-2402	8021 CHRISTIAN COURT	LOUISVILLE, KY 40222
PONDER CREEK ESTATES	118	~ (502) 995-4010	620 VALLEY COLLEGE DRIVE	LOUISVILLE, KY 40272
LOUISIANA (4)				
LANDING at BEHRMAN PLACE	106	(504) 361-1088	3601 BEHRMAN PLACE	NEW ORLEANS, LA 70114
NOUVEAU MARC	111	~ (504) 469-7988	1101 SUNSET BLVD	KENNER, LA 70065
SUMMERFIELD ESTATES	101	~ (318) 688-9525	9133 BAIRD ROAD	SHREVEPORT, LA 71118
WHEALDON ESTATES	98	(225) 927-7557	8680 JEFFERSON HWY	BATON ROUGE, LA 70809
MAINE (2)				
SUNBURY VILLAGE	115	~ (207) 262-9600	922 OHIO STREET	BANGOR, ME 04401
WOODS AT CANCO, THE	115	+~ (207) 772-4777	257 CANCO ROAD	PORTLAND, ME 04103
MASSACHUSETTS (3)				
DEVONSHIRE ESTATES	128	+~ (413) 637-1700	329 PITTSFIELD ROAD	LENOX, MA 01240
QUAIL RUN ESTATES	121	+~ (413) 786-9688	50 CARDINAL DRIVE	AGAWAM, MA 01001
SUMMER PLACE	110	~ (978) 256-9977	20 SUMMER STREET	CHELMSFORD, MA 01824
MICHIGAN (8)				
AURORA POND	132	+~ (616) 530-2511	2380 AURORA POND DRIVE	WYOMING, MI 49509
BLUE WATER LODGE	119	+~ (810) 385-4131	2840 KEEWAHDIN ROAD	FORT GRATIOT, MI 48059
GENESEE GARDENS	117	~ (810) 720-4159	4495 CALKINS ROAD	FLINT TOWNSHIP, MI 48532
GLEN EAGLE	119	+~ (231) 935-4553	3950 SUMAC DRIVE	TRAVERSE CITY, MI 49684
INN AT CASS LAKE	110	~ (248) 681-8229	900 N. CASS LAKE ROAD	WATERFORD, MI 48328
LINCOLN SQUARE	115	^~ (616) 791-7460	3121 LAKE MICHIGAN DRIVE NW	GRAND RAPIDS, MI 49504
MARQUETTE, THE	115	(517) 339-1532	5968 PARK LAKE ROAD	EAST LANSING, MI 48823
WESCOURT	118	+~ (989) 797-3600	4141 McCARTY ROAD	SAGINAW, MI 48603
MINNESOTA (1)				
LODGE AT WHITE BEAR, THE	115	~ (651) 779-9255	3666 E. COUNTY LINE N.	WHITE BEAR LAKE, MN 55110
MISSISSIPPI (1)				
CHATEAU RIDGELAND	105	*~ (601) 956-1331	745 S. PEAR ORCHARD ROAD	RIDGELAND, MS 39157
MISSOURI (7)				
BRIARCREST ESTATES	90	(636) 391-5300	14525 CLAYTON ROAD	BALLWIN, MO 63011
CAMBRIDGE, The	113	~ (417) 882-2223	2900 S. JEFFERSON	SPRINGFIELD, MO 65807
CARLYLE, The		^~ (800) 322-0999	1098 NE INDEPENDENCE AVENUE	LEE'S SUMMIT, MO 64086
COUNTRY SQUIRE	109	(816) 233-4200	1602 BUCKINGHAM STREET	ST. JOSEPH, MO 64506
GARDEN VILLAGE	182	+~ (816) 436-5555	8550 N. GRANBY AVENUE	KANSAS CITY, MO 64154
LAKEVIEW PARK	112	~ (636) 326-9606	1393 BOWLES AVE	FENTON, MO 63026
name pending		^~ (800) 322-0999		COLUMBIA, MO
MONTANA (3)				
ASPEN VIEW	125	+~ (406) 652-7788	3075 AVENUE C	BILLINGS, MT 59102
GRIZZLY PEAK	113	~ (406) 721-2292	3600 AMERICAN WAY	MISSOULA, MT 59802
HUNTERS POINTE	115	+~ (406) 443-4222	2801 COLONIAL DRIVE	HELENA, MT 59601
NEBRASKA (1)				
BRENTWOOD ESTATES	103	(402) 489-1112	1111 SOUTH 70th	LINCOLN, NE 68510
NEVADA (3)				
CARSON PLAZA	96	(775) 883-1221	2120 EAST LONG	CARSON CITY, NV 89706
MONTARA MEADOWS	172	~ (702) 435-3150	3150 EAST TROPICANA AVENUE	LAS VEGAS, NV 89121
SKY PEAKS	119	~ (775) 747-9555	1520 SKY VALLEY DRIVE	RENO, NV 89503
NEW MEXICO (2)				
BEAR CANYON ESTATES	124	+~ (505) 292-9191	4440 MORRIS STREET NE	ALBUQUERQUE, NM 87111
GOLDEN MESA	129	+~ (505) 522-4219	151 N. ROADRUNNER PKWY	LAS CRUCES, NM 88011

Holiday Retirement Corp.

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Facility Name	Units	Phone Number	Street	City, State
NEW YORK (4)				
MAPLE DOWNS	115	^~ (315) 637-0297	7220 GENESEE STREET EAST	FAYETTEVILLE, NY 13066
MAPLEWOOD ESTATES	119	+~ (716) 218-9570	55 AYRAULT ROAD	FAIRPORT, NY 14450
MONTGOMERY PARK	115	^~ (716) 688-7880	6363 TRANSIT ROAD	EAST AMHERST, NY 14051
name pending		^~ (800) 322-0999		GREECE, NY
NORTH CAROLINA (9)				
CARMEL PLACE	93	(704) 541-8012	5512 CARMEL ROAD	CHARLOTTE, NC 28226
CREEKSIDE TERRACE	115	~ (336) 768-5350	3895 OLD VINEYARD ROAD	WINSTON-SALEM, NC 27104
DURHAM REGENT	122	+ (919) 490-6224	3007 PICKETT ROAD	DURHAM, NC 27705
EMERALD POND	119	~ (919) 493-4713	205 EMERALD POND LANE	DURHAM, NC 27705
JORDAN OAKS	115	^~ (919) 387-8250	10820 PENNY ROAD	RALEIGH, NC 27606
LAKE SHORE COMMONS	120	~+ (910) 251-0067	1402 HOSPITAL PLAZA DRIVE	WILMINGTON, NC 28401
STRATFORD, THE	115	~ (336) 841-1746	1573 SKEET CLUB ROAD	HIGH POINT, NC 27265
PINECREST	118	~ (828) 325-4795	915 29TH AVENUE NE	HICKORY, NC 28601
WOODS AT HOLLY TREE, The	115	~ (910) 793-1300	4610 HOLLY TREE ROAD	WILMINGTON, NC 28409
OHIO (4)				
ALEXIS GARDENS	115	~ (419) 472-7115	4560 W. ALEXIS ROAD	TOLEDO, OH 43623
NEW ENGLAND CLUB	249	*~ (513) 474-2582	8135 BEECHMONT AVENUE	CINCINNATI, OH 45255
PEARL CROSSING	115	~ (440) 268-9555	19201 PEARL ROAD	STRONGSVILLE, OH 44136
OKLAHOMA (3)				
SILVER ARROW ESTATES	125	+~ (918) 451-0383	2801 S. ELM PLACE	BROKEN ARROW, OK 74012
TALLGRASS ESTATES	113	~ (918) 331-5251	2633 MISSION ROAD SE	BARTLESVILLE, OK 74006
name pending		(800) 322-0999		TULSA, OK
OREGON (19)				
ASTOR HOUSE at Springbook Oaks	119	+~ (503) 537-2658	3801 HAYES STREET	NEWBERG, OR 97132
EDGEWOOD DOWNS	124	~ (503) 643-5418	7799 SW SCHOLLS FERRY ROAD	BEAVERTON, OR 97008
GARDEN VALLEY	91	(541) 673-1774	1800 HUGHWOOD	ROSEBURG, OR 97470
GRESHAM MANOR	102	~ (503) 667-9330	2895 E. POWELL BLVD	GRESHAM, OR 97080
HIDDEN LAKES	134	+~ (503) 588-2922	400 MADRONA AVENUE SE	SALEM, OR 97302
MADRONA HILLS	103	+ (503) 362-9141	707 MADRONA AVENUE SE	SALEM, OR 97302
PARKROSE CHATEAU	107	+ (503) 257-6777	3141 NE 148th AVENUE	PORTLAND, OR 97230
REGENT, The	82	~ (541) 752-2222	440 ELKS DRIVE	CORVALLIS, OR 97330
ROCK CREEK	108	~ (503) 617-1900	19295 NW CORNELL ROAD	HILLSBORO, OR 97124
ROGUE VALLEY	90	~ (541) 479-6400	1001 NE A STREET	GRANTS PASS, OR 97526
ROYAL MARC	77	(503) 653-1854	5555 SE KING ROAD	MILWAUKIE, OR 97222
ROYAL OAK	88	~ (541) 779-0790	2180 POPLAR DRIVE	MEDFORD, OR 97504
SHELDON OAKS	110	~ (541) 341-3700	2525 CAL YOUNG ROAD	EUGENE, OR 97401
SOLVANG	99	(541) 461-0490	1202 JACOBS DRIVE	EUGENE, OR 97402
SOMERSET LODGE	122	+~ (503) 657-5659	8330 CASON ROAD	GLADSTONE, OR 97027
STONE LODGE	112	+~ (541) 318-0450	1460 NE 27TH	BEND, OR 97701
STONEBROOK LODGE	120	+~ (541) 754-1961	4700 SW HOLLYHOCK CIRCLE	CORVALLIS, OR 97333
SUMMERFIELD CLUBHOUSE EST	154	~ (503) 620-8160	11205 SW SUMMERFIELD DRIVE	TIGARD, OR 97224
VINEYARD PLACE	130	~ (503) 659-0552	4017 SE VINEYARD ROAD	MILWAUKIE, OR 97267
PENNSYLVANIA (6)				
BETHEL PARK	116	~ (412) 833-3220	2960 BETHEL CHURCH ROAD	BETHEL PARK, PA 15102
ESSEX HOUSE	115	(717) 730-7302	20 N 12TH STREET	LEMOYNE, PA 17043
MANOR AT OAKRIDGE, The	113	~ (717) 540-1895	4500 OAKHURST BOULEVARD	HARRISBURG, PA 17110
NIAGARA VILLAGE	112	~ (814) 838-1699	2380 VILLAGE COMMON DRIVE	ERIE, PA 16506
WALNUT WOODS OF BOYERTOWN	112	~ (610) 367-6616	35 NORTH WALNUT	BOYERTOWN, PA 19512
WHISPERING OAKS	120	~ (724) 347-3050	260 SOUTH BUHL FARM DRIVE	HERMITAGE, PA 16148
RHODE ISLAND (1)				
POCASSET LODGE	172	*~ (401) 421-6610	12 OLD POCASSET LANE	JOHNSTON, RI 02919
SOUTH CAROLINA (5)				
DEEPWOOD ESTATES	120	~ (803) 996-3301	203 OLD CHAPIN ROAD	LEXINGTON, SC 29072
FOREST PINES	115	~ (803) 252-3444	1720 DEVONSHIRE DRIVE	COLUMBIA, SC 29204
HAYWOOD ESTATES	112	(864) 288-8093	1180 HAYWOOD ROAD	GREENVILLE, SC 29615
INDIGO PINES	118	~+ (843) 342-3228	110 GARDNER DRIVE	HILTON HEAD ISLAND, SC 29926
WESTMINSTER	115	~ (864) 370-9030	11 EAST AUGUSTA PLACE	GREENVILLE, SC 29605

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Facility Name	Units	Phone Number	Street	City, State
SOUTH DAKOTA (1)				
HOLIDAY HILLS ESTATES	113 ~	(605) 348-4999	2620 HOLIDAY LANE	RAPID CITY, SD 57702
TENNESSEE (10)				
CREEKSIDE @ SHALLOWFORD	118 + ~	(423) 485-9933	7511 SHALLOWFORD ROAD	CHATTANOOGA, TN 37421
ECHO RIDGE	109 ~	(865) 769-0111	8458 GLEASON DRIVE	KNOXVILLE, TN 37919
FRANKLIN PARK	128 ~	(901) 366-6665	3393 KIRBY ROAD	MEMPHIS, TN 38115
HERITAGE PLACE	157 ~	(901) 794-8857	2990 HICKORY HILL ROAD	MEMPHIS, TN 38115
JACKSON MEADOW	113 ~	(901) 661-0095	25 MAX LANE DRIVE	JACKSON, TN 38305
KENNINGTON POINTE	153 ~ *	(901) 366-6200	6301 VILLAGE GROVE DRIVE	MEMPHIS, TN 38115
MANOR AT STEEPLECHASE, The	118 ~	(615) 778-9011	314 COOL SPRINGS BLVD.	FRANKLIN, TN 37067
UFFELMAN ESTATES	108 +	(931) 645/7850	215 UFFELMAN DRIVE	CLARKSVILLE, TN 37043
WINDLANDS EAST	179 * ~	(615) 860-2189	200 EAST WEBSTER	MADISON, TN 37115
WINDLANDS SOUTH	180 * ~	(615) 834-1951	3800 SAM BONEY DRIVE	NASHVILLE, TN 37211
TEXAS (24)				
ARLINGTON PLAZA	96 ~	(817) 478-7591	6801 W. POLY WEBB ROAD	ARLINGTON, TX 76016
BENTLEY, The	117 + ~	(972) 481-1484	3362 FOREST LANE	DALLAS, TX 75234
BROOK RIDGE	106 ~	(956) 787-3933	1001 W. RIDGE ROAD	PHARR, TX 78577
CLAIRMONT, The	96	(806) 353-0052	4707 BELL STREET	AMARILLO, TX 79109
CLAIRMONT, The	148 ~	(512) 331-7195	12463 LOS INDIOS DRIVE	AUSTIN, TX 78729
CONTINENTAL, The	128 ~	(512) 892-5995	4604 S. LAMAR	AUSTIN, TX 78745
COTTONWOOD ESTATES	113	(972) 517-1977	1940 W. SPRINGCREEK PKWY	PLANO, TX 75023
COWHORN CREEK ESTATES	112 ~	(903) 223-6666	5415 COWHORN CREEK ROAD	TEXARKANA, TX 75503
EL DORADO	102 ~	(972) 783-8600	714 W. ARAPAHO ROAD	RICHARDSON, TX 75080
ENGLEWOOD ESTATES	128 +	(512) 892-7226	2603 JONES ROAD	AUSTIN, TX 78745
FOX RUN ESTATES	102 ~	(817) 492-8600	2315 LITTLE ROAD	ARLINGTON, TX 76016
HERITAGE PLAZA	89 +	(512) 836-7213	9121 NORTH PLAZA	AUSTIN, TX 78753
LAKESHORE ESTATES	115 + ~	(254) 399-0109	3209 VILLAGE GREEN DRIVE	WACO, TX 76710
LINCOLN TOWER	110	(915) 333-1106	311 WEST 4th STREET	ODESSA, TX 79761
MADISON ESTATES	157 ~	(210) 694-7000	8645 FREDERICKSBURG ROAD	SAN ANTONIO, TX 78240
POLO PARK ESTATES	116 +	(432) 682-5772	2100 CASTLEFORD ROAD	MIDLAND, TX 79705
RENAISSANCE - AUSTIN	157 * ~	(512) 338-0995	11279 TAYLOR DRAPER LANE	AUSTIN, TX 78759
RENAISSANCE - SHERMAN	167 * ~	(903) 868-2200	3701 LOY LAKE ROAD	SHERMAN, TX 75090
RIO NORTE	119 + ~	(915) 856-6655	1941 SAUL KLEINFELD DRIVE	EL PASO, TX 79936
ROSEWOOD ESTATES	110 ~	(903) 509-9010	506 RICE ROAD	TYLER, TX 75703
TARRYTOWNE ESTATES	183 * ~	(281) 531-1905	1815 ENCLAVE PARKWAY	HOUSTON, TX 77077
VENTURA PLACE	136 + ~	(806) 785-5565	3026 54TH STREET	LUBBOCK, TX 79413
WESTBRAE COURT	178 * ~	(713) 541-9991	10680 WESTBRAE PKWY	HOUSTON, TX 77031
WHITEROCK COURT	115 ~	(214) 503-7223	9215 WHITEROCK TRAIL	DALLAS, TX 75238
UTAH (4)				
HARRISON REGENT	90	(801) 479-1653	4481 HARRISON BLVD	OGDEN, UT 84403
PIONEER VALLEY LODGE	115 ~	(435) 792-0353	2351 N 400 E	NORTH LOGAN, UT 84341
SEVILLE, The	97	(801) 224-8044	325 WEST CENTER	OREM, UT 84057
SOUTH TOWNE RANCH	115 ~	(801) 944-0082	310 E 10600 S	SANDY, UT 84070
VIRGINIA (4)				
ELM PARK ESTATES	110	(540) 989-2010	4230 ELM VIEW ROAD	ROANOKE, VA 24014
FAIRMONT, The	99 ~	(703) 257-7111	9852 FAIRMONT AVENUE	MANASSAS, VA 20109
VIRGINIAN, The	117 + ~	(804) 330-4252	300 TWINRIDGE LANE	RICHMOND, VA 23235
name pending		(800) 322-0999		CHESAPEAKE, VA
WASHINGTON (14)				
BEDFORD, The	~	(360) 891-6898	13303 SE MCGILLIVRAY	VANCOUVER, WA 98683
CAPITAL PLACE	111 ~ +	(360) 357-9922	700 BLACK LAKE BOULEVARD	OLYMPIA, WA 98502
CASCADIAN PLACE	102	(425) 339-2225	3915 COLBY AVENUE N	EVERETT, WA 98201
CHARBONNEAU	118 ^ ~	(509) 734-4331	8264 W GRANDRIDGE BOULEVARD	KENNEWICK, WA 99336
EVERGREEN PLACE	110 +	(425) 226-3312	1414 MONROE AVENUE NE	RENTON, WA 98056
FERNWOOD at the PARK	107	(206) 242-1455	17623 FIRST AVENUE SOUTH	NORMANDY PARK, WA 98148
GARDEN CLUB, The	103 ~	(425) 643-7111	13350 SE 26th STREET	BELLEVUE, WA 98005
HARVARD PARK	105	(509) 747-2703	1616 E. 30th AVENUE	SPOKANE, WA 99203
KAMLU-VANCOUVER	84	(360) 695-9281	1000 NE 82nd AVENUE	VANCOUVER, WA 98664
ORCHARD PARK	99 ~	(509) 575-0095	620 N. 34th AVENUE	YAKIMA, WA 98902
PARK PLAZA	98 + ~	(509) 525-6513	1400 DALLES MILITARY ROAD	WALLA WALLA, WA 99362
PARKWAY CHATEAU	109	(360) 671-6060	2818 OLD FAIRHAVEN PARKWAY	BELLINGHAM, WA 98225
POINT DEFIANCE VILLAGE	165 + ~	(253) 759-8908	6414 N. PARK WAY	TACOMA, WA 98407
WILLOW GARDENS	144 +	(253) 848-4430	4502 6TH STREET SE	PUYALLUP, WA 98374

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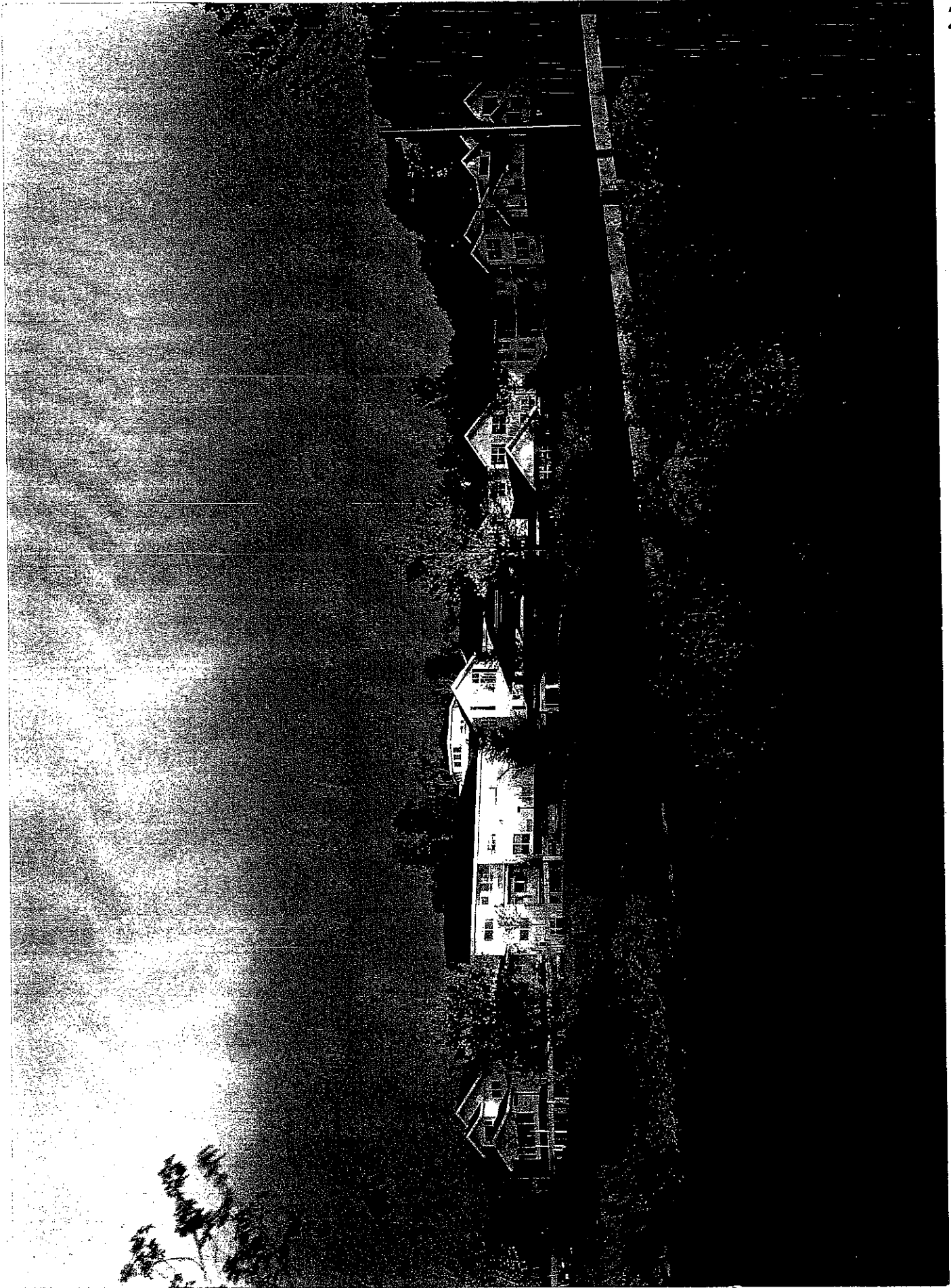
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Facility Name	Units	Phone Number	Street	City, State
WISCONSIN (1)				
OAKWOOD HILLS	114	^~ (715) 552-1500	4316 OAKWOOD HILLS PARKWAY	EAU CLAIRE, WI 54701
XL MANAGEMENT (10)				
BENTLEY MANOR	88	* (972) 247-2266	3344 FOREST LANE	DALLAS, TX 75234
EDGEWOOD POINT	68	* (503) 671-9474	7733 SW SCHOLLS FERRY ROAD	BEAVERTON, OR 97008
HUNTER'S GLEN	101	* (406) 542-7009	3620 AMERICAN WAY	MISSOULA, MT 59808
KAMLU-HAZEL DELL	71	* (360) 693-2402	7514 NE 13th AVENUE	VANCOUVER, WA 98665
MADISON MEADOWS	122	~ (602) 944-4222	7211 N. 7th STREET	PHOENIX, AZ 85020
MANOR @ ESSINGTON	101	* (815) 729-4773	3320 EXECUTIVE DRIVE	JOLIET, IL 60431
MOUNTAIN VIEW	111	+* (541) 482-3292	548 NORTH MAIN	ASHLAND, OR 97520
PEPPERTREE SQUARE	115	* (623) 878-5115	10420 N 89TH AVENUE	PEORIA, AZ 85345
SOMERSET	*	(503) 723-7858	8360 CASON ROAD	GLADSTONE, OR 97027
STONEBROOK	*	(541) 758-2026	4650 SW HOLLYHOCK CIRCLE	CORVALLIS, OR 97333
CANADA				
ALBERTA (5)				
ARBOUR LAKE	113	~ (403) 374-0955	900 ARBOUR LAKE ROAD NW	CALGARY, AB T3G 5J1
CANYON MEADOWS	110	~ (403) 278-4004	12 DEERVIEW TERRACE SE	CALGARY, AB T2J 7E6
CHURCHILL MANOR	111	~ (780) 466-2961	5815 34TH AVENUE	EDMONTON, AB T6L 7B8
IRONWOOD ESTATES	109	~ (780) 459-0770	40 IRONWOOD POINT	ST. ALBERT, AB T8N 6R1
VICTORIA PARK	112	~ (403) 309-1957	9 AVERY STREET	RED DEER, AB T4R 2S8
BRITISH COLUMBIA (6)				
IMPERIAL PLACE	102	~ (604) 581-1555	13853 102nd AVENUE	SURREY, BC V3T 5P6
LOGLAKE CHATEAU	110	~ (250) 756-1411	3035 ROSS ROAD	NANAIMO, BC V9T 5S8
OKANAGAN CHATEAU	106	~ (250) 862-9088	2100 BENVOLIN	KELOWNA, BC V1W 3A4
VICTORIAN, The	91	~ (250) 477-1912	1773 FELTHAM ROAD	VICTORIA, BC V8N 6E8
VICTORIAN AT MCKENZIE, The name pending	114	~ (250) 381-9496 (800) 322-0999	4000 DOUGLAS STREET	VICTORIA, BC V8X 5K5 PRINCE GEORGE, BC
MANITOBA (3)				
AMBER MEADOW	114	~ (204) 633-5467	320 PIPELINE ROAD	WINNIPEG, MB R2P 2X5
RIVERHEIGHTS TERRACE	117	~ (204) 725-2225	4525 VICTORIA AVE	BRANDON, MB R7B 4A6
WESTHAVEN	113	~ (204) 831-6742	3033 PORTAGE AVENUE	WINNIPEG, MB R3K 2E3
NEW BRUNSWICK (2)				
CHATEAU DE CHAMPLAIN	114	~ (506) 633-1195	300 BOARS HEAD ROAD	SAINT JOHN, NB E2K 5C2
STE. ANNE'S COURT	114	~ (506) 450-9433	81 DUNCAN LANE	FREDERICTON, NB E3B 9T1
ONTARIO (12)				
ANCHOR POINTE	125	+~ (905) 938-7070	540 ONTARIO STREET	ST. CATHARINES, ON L2N 7S2
COURT AT BARRHAVEN, The	114	^~ (613) 823-2763	1111 LONGFIELDS DRIVE	NEPEAN, ON K2J 5A9
COURT AT BROOKLIN, The	115	^~ (905) 655-7718	5909 ANDERSON STREET	BROOKLIN, ON L1M 2H1
COURT AT PRINGLE CREEK, The	119	+~ (905) 665-4837	3975 ANDERSON STREET	WHITBY, ON L1N 5R5
COURT AT RUSHDALE, The	115	^~ (905) 575-6832	1360 UPPER SHERMAN AVENUE	HAMILTON, ON L8W 3Z6
CRYSTAL VIEW LODGE	119	+~ (613) 225-4560	6 MERIDIAN PLACE	NEPEAN, ON K2G 6L9
FAIRWINDS LODGE	111	~ (519) 542-8814	1218 MICHIGAN AVENUE	SARNIA, ONT N7S 6L1
KENSINGTON COURT	114	~ (519) 966-8558	1953 CABANA ROAD W.	WINDSOR, ON N9G 2X6
KINGSDALE CHATEAU	114	~ (613) 547-4884	520 KINGSDALE AVENUE	KINGSTON, ON K7M 9B6
MASONVILLE MANOR	112	~ (519) 863-0220	350 NORTH CENTRE ROAD	LONDON, ON N6G 5G3
SHERBROOKE HEIGHTS	114	~ (705) 750-1020	1434 SHERBROOKE STREET	PETERBOROUGH, ON K9K 2L7
name pending		^~ (800) 322-0999		NIAGARA FALLS, ON
QUEBEC (2)				
SAINT PATRICK, Residence le STEGER, Residence la	354	~* (418) 522-6444	130 GRANDE - ALLEE EST	QUEBEC CITY, QC G1R 5N2
	103	* (514) 337-0000	2450 THIMENS BLVD	SAINT-LAURENT, QC H4R 2M2
SASKATCHEWAN (3)				
MULBERRY ESTATES	114	~ (306) 694-5020	220 MULBERRY LANE	MOOSE JAW, SK S6H 1N1
PRIMROSE CHATEAU	114	~ (306) 975-0663	310 CREE CRESCENT	SASKATOON, SK S7K 8C7
QUEEN VICTORIA ESTATES	114	~ (306) 790-1900	2025 HESELTINE ROAD	REGINA, SK S4V 2Z4

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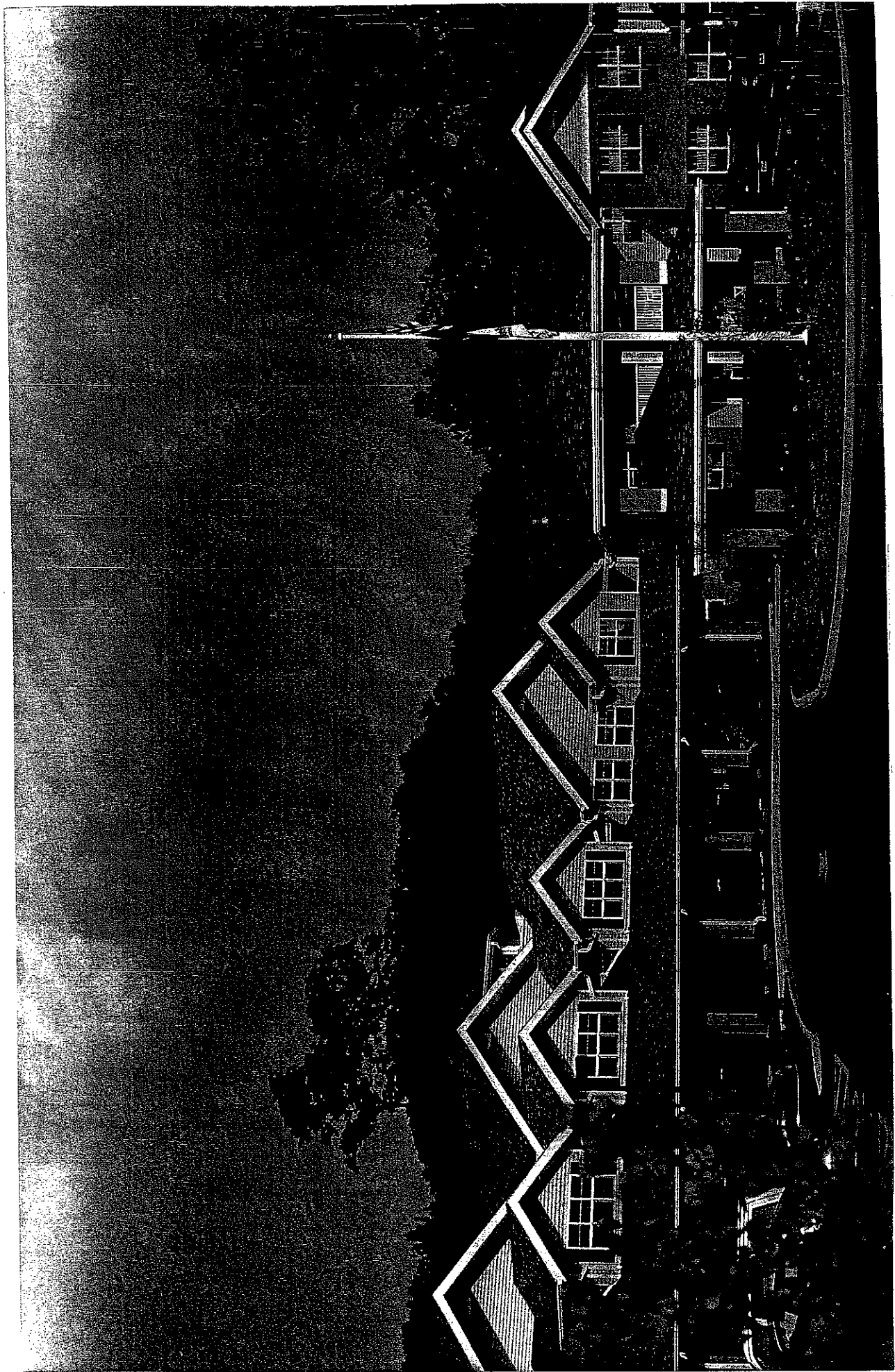
Facility Name	Units	Phone Number	Street	City, State
EUROPE				
ENGLAND (2)				
HAWTHORNS, The	109	127/579-0060 (011) (44)	18-19 ELTON ROAD	CLEVEDON, N. SOMERSET BS21 7EH
HAWTHORNS-EASTBOURNE, The	102	132/364-4111 (011) (44)	4 CAREW ROAD	EASTBOURNE, E. SUSSEX BN21 2BF
FRANCE (34)				
GROUPE SERIENCE				
HOTELIA (21 TOTAL)				
HOTELIA BORDEAUX		05 56 99 43 43	1, RUE J.R. DANDICOLLE	33000 BORDEAUX
HOTELIA CANNES MOUGINS		04 92 92 29 28	886, AV. DE TOURNAMY	06250 MOUGINS
HOTELIA EAUBONNE		01 34 06 13 13	2, RUE HENRI BARBUSSE	95600 EAUBONNE
HOTELIA FREJUS ST RAPHAEL		04 94 51 72 20	301, AVENUE ANDREI SAKHAROV	83600 FREJUS
HOTELIA HYERES		04 94 38 49 49	AVENUE JEAN MOULIN	83400 HYERES LAS PALMIERS
HOTELIA LYON		04 78 60 23 23	PARC GAMBETTA RUE DU DIAPASON	69003 LYON
HOTELIA MARCQ EN BAROEUL		03 20 74 12 13	68, RUE NATIONALE	59700 MARCQ EN BAROEUL
HOTELIA MARSEILLE VITROLLES		04 42 89 93 79	"LES ALPILLES" CENTRE URBAIN	13127 VITROLLES
HOTELIA MEUDON		01 46 23 27 00	"RESIDENCE LES TYBILLES" 1, RUE DES TYBILLES	92190 MEUDON BELLEVUE
HOTELIA MONTPELLIER		04 67 65 50 24	"LA POMPIGNANE" 662, AVENUE DE LA POMPIGNANE	34000 MONTPELLIER
HOTELIA NANCY		03 83 96 46 02	"LA SAONE" 8, RUE DE LA SAONE	54520 LAXOU
HOTELIA NOISY LE GRAND		01 48 15 54 00	LE CLOS SAINT VINCENT RUE DU DOCTEUR JEAN VAQUIER	93160 NOISY LE GRAND
HOTELIA PARIS MAINE ALESIA		01 53 90 28 28	187 BIS, AVENUE DU MAINE	75014 PARIS
HOTELIA PARIS CHAMP DE MARS		01 56 58 33 33	64, RUE DE LA FEDERATION	75015 PARIS
HOTELIA PARIS PARC MONCEAU		01 42 12 95 95	26, RUE MEDERIC	75017 PARIS
HOTELIA PAU		05 59 30 66 55	45, AVENUE FEDERICO GARCIA LORCA	64000 PAU
HOTELIA PERPIGNAN		04 68 35 15 00	18, COURS LAZARE ESCARGUEL	66000 PERPIGNAN
HOTELIA REIMS		03 26 88 79 79	10-12, RUE CERES	51100 REIMS
HOTELIA ROUBAIX		03 20 45 06 06	7, GRAND RUE	59100 ROUBAIX
HOTELIA ROUEN		02 35 03 20 02	21, PLACE DE L'EGLISE SAINT SEVER	76100 ROUEN
HOTELIA SURESNES		01 41 38 15 00	36, RUE CARNOT	92150 SURESNES
HOTELIA VERSAILLES LE CHESNAY		01 39 23 34 34	14-16, BD SAINT ANTOINE	78150 LE CHESNAY
LES VILLANDIERES (11 TOTAL)				
LES VILLANDIERES AMIENS		03 22 22 26 00	30, RUE SAINT GERMAIN	80000 AMIENS
LES VILLANDIERES BREST		02 98 03 96 00	12, RUE JEAN BON SAINT ANDRE	29200 BREST
LES VILLANDIERES BRETEUIL SUR ITON		02 32 24 83 00	175, RUE NEUVE DE BEMECOURT	27160 BRETEUIL SUR ITON
LES VILLANDIERES CHALON		03 85 41 77 00	12, IMPASSE DU CARLOUP	71331 CHALON SUR SAONE CEDEX
LES VILLANDIERES GRENOBLE		04 76 63 63 00	50, RUE DE MORTILLET	38000 GRENOBLE
LES VILLANDIERES MAISONS-LAFFITTE		01 34 93 50 00	5, AVENUE FAVART	78600 MAISONS LAFFITTE
LES VILLANDIERES OUISTREHAM		02 31 36 42 00	40, BOULEVARD BOIVIN CHAMPEAUX	14150 OUISTREHAM
LES VILLANDIERES VALENCE		04 75 82 38 00	9, RUE JULES MASSENET	26000 VALENCE
CENTRES DE SOINS DE SUITE ET DE READAPTATION				
LA BOISSIERE		02 37 33 49 00	22, RUE DE LA BOISSIERE	28630 NOGENT LE PHAYE
CHATEAU DE SAINT PIERE OURSIN		02 31 20 19 00		14370 VIMONT
RESIDENCES AVEC SERVICES				
LES FLORIALES NARBONNE	*	04 68 90 35 35	10-11, QUAI D'ALSACE	11100 NARBONNE
LES FLORIALES SETE	*	04 67 46 22 22	16, RUE VOLTAIRE	34200 SETE



Devonshire Estates Retirement Residence
Lenox, Massachusetts



Devonshire Estates Retirement Residence
Lenox, Massachusetts

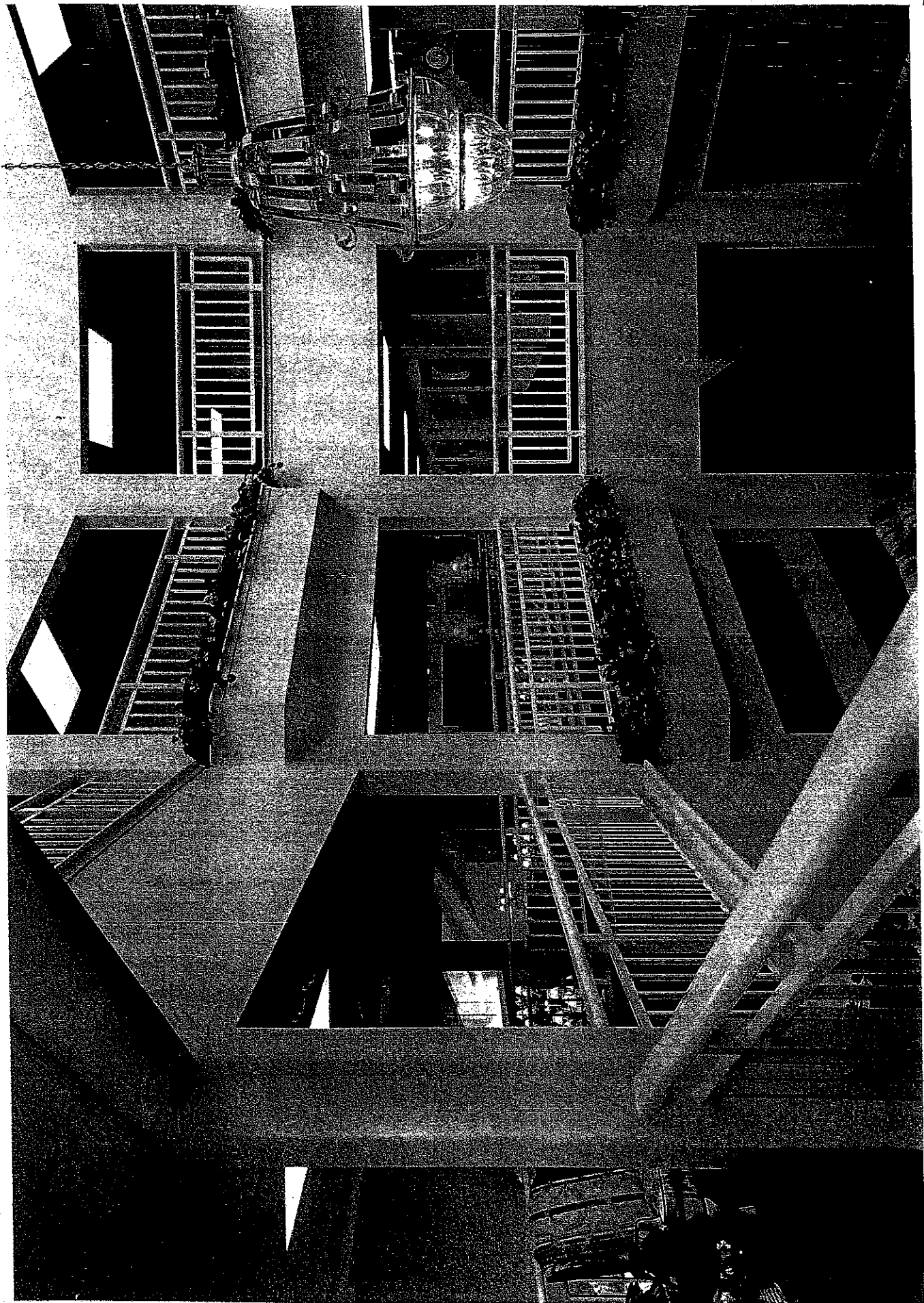


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Maplewood Estates Retirement Residence
Fairport, New York



Dining Room
Westminster Retirement Residence
Greenville, South Carolina



Atrium
Westminster Retirement Residence
Clemson, South Carolina



Private Suite
Westminster Retirement Residence
Greenville, South Carolina

PROPERTY DEVELOPED AND MANAGED BY HOLIDAY RETIREMENT CORP.

A4. 3

FACILITY NAME	ADDRESS	SUITES	GARDEN SUITES	COTTAGES	ALZ UNITS	TOTAL SUITES	PARKING SPACES	PER SUITE
Canyon Meadows	12 Deernview Terrace SE, Calgary, Alberta T2J 7E6	100	0	0	0	100	60	0.6
Churchill Manor	5815 - 34th Avenue, Edmonton, Alberta T6L 1B8							
Victoria Park	#9 Avery Street Red Deer, Alberta T4R 2S6	112	0	0	0	112	70	0.625
Ironwood Estates	40 Ironwood Point, St. Albert, Alberta T8N 5G7	109	0	0	0	109	97	0.5229
Okanagan Chateau	2100 Benvoulin, Kelowna, BC V1W5A4	106	0	0	0	106	63	0.59
Lorgilake Chateau	3033 Ross Rd., Nanaimo, BC V8T 5S8	111	0	0	0	111	60	0.54
Imperial Place	13853 102nd Ave., Surrey, BC V3T 1P2	102	0	0	0	102	73	0.72
Victorian, The	1773 Faitham Rd., Victoria, BC V8N 2A4	91	0	0	0	91	43	0.47
Riverheights Terrace	4525 Victoria Ave., Brandon, Manitoba R7B 4A6	117	0	0	0	117	70	0.60
Amber Meadow	320 Pipeline Rd., Winnipeg, Manitoba R2P 2X5	114	0	0	0	114	72	0.63
Saint Anne's Court	81 Duncan Lane, Fredericton, NB E3B 4S2	114	0	0	0	114	72	0.63
Chateau de Champlain	300 Bears Head Rd. St. John, New Brunswick E2L3W2	114	0	0	0	114	70	0.61
Kingsdale Chateau	520 Kingsdale Ave., Kingston, ONT K7M 9B6	114	0	0	0	114	72	0.50
Masseyville Manor	350 North Centre Rd., London, ONT N6X 3N1	112	0	0	0	112	56	0.5393
Crystal View Lodge	#6 Meridian Place, Nepean, ONT K2G 6L9	114	2	3	0	119	70	0.6195
Sherbrooke Heights	1434 Sherbrooke St. West, Peterborough, ONT	114	0	0	0	114	70	0.614
Fairwinds Lodge	1218 Michigan Ave., Samia, ONT N7S 6J4	111	0	0	0	111	61	0.5495
Anchor Pointe	540 Ontario St., St. Catharines, ONT L2N 5J7	123	2	0	0	125	109	0.872
The Cr. @ Pringle Creek	3975 Anderson St., Whitby, ONT L1N 5R5	114	5	0	0	119	70	0.5882
Kensington Court	1953 Cabana Rd. West, Windsor, Ontario	114	0	0	0	114	67	0.5877
Queen Victoria Estates	2025 Heseltine Road, Regina Sask SK S4N 7L2	114	0	0	0	114	67	0.5877
Primrose Chateau	318 Cree Crescent, Saskatoon, Sask S7K 8C	114	0	0	0	114	72	0.63
Hawthorns, The	18-21 Elton Road, Clevedon, N. Somerset BS21	109	0	0	0	109		
The Hawthornes - Eastbou	Carew Road, Eastbourne BN21 2AX	102	0	0	0	102	45	0.45
Monarch Estates	E. University Drive Auburn, AL	114	0	0	0	114	87	0.76
University Oaks	550 University Blvd S., Mobile, AL 36609	110	0	0	0	110	54	0.49
Eastdale Estates	5801 Eastdale Dr., Montgomery, AL 36117	107	0	0	0	107	52	0.49
Andover Place	2681 Andover Ct., Little Rock, AR 72207	111	0	0	0	111	56	0.50
Gardens at Arkansasire	5000 Arkansasire Circle, Springdale, AR 72674	111	20	0	0	131	88	0.75
Vista Del Rio	13619 N. 94th Dr., Peoria, AZ 85381	112	5	0	0	117	65	0.55
Vista de la Montana	18510 N. Parkview Place, Surprise, AZ 85374	110	3	0	0	113	72	0.64
Desert Rose	1545 S. 14th Ave., Yuma, AZ 85354	113	0	0	0	113	56	0.50
Quail Lodge	4840 Deer Valley Road, Antioch, CA 94509	121	2	0	0	123	76	0.62
Oaks of Auburn, The	3250 Blue Oaks Dr., Auburn, CA 95602	110	0	0	0	110	63	0.57
Carriage House Estates	8200 Westwood Dr., Bakersfield, CA 93311	112	6	6	0	124	88	0.79

PROPERTY DEVELOPED AND MANAGED BY HOLIDAY RETIREMENT CORP.

FACILITY NAME	ADDRESS	SUITES	GARDEN SUITES	COTTAGES	ALZ UNITS	TOTAL SUITES	PARKING SPACES	PER SUITE
Columbus Estates	3201 Columbus, Bakersfield, CA 93306	126	0	0	0	126	75	0.60
Oakmont	2801 Cohasset, Chico, CA 95926	91	0	0	0	91	51	0.56
Creekside Oaks	1745 Creekside Rd., Folsom, CA 95630	109	0	0	0	109	72	0.66
Fig Garden	6035 N. Marks Ave., Fresno, CA 93711	101	0	0	0	101	46	0.46
Wishure, The	2727 N. 11th Ave., Hanford, CA 93230	112	0	4	0	116	67	0.62
Waterford Terrace	5580 Aztec Dr., La Mesa, CA 91942	90	0	0	0	90	42	0.47
Painis, The	13091 La Mirada Blvd., La Mirada, CA 90638	162	0	0	0	162	80	0.49
Vintage, The	2145 W. Kettleman Dr., Lodi, CA 95240	108	9	0	0	117	62	0.53
Hampshire, The	3460 F. St., Merced, CA 95248	109	4	0	0	113	67	0.69
Standiford Place	3420 Shawnee Dr., Modesto, CA 95360	102	0	0	0	102	65	0.64
Redwood	2360 Redwood Rd., Napa, CA 94559	57	0	0	0	57	52	0.64
Deer Park	646 Canyon Rd., Novato, CA 94947	85	0	0	0	85	43	0.51
Feather Canyon	5900 Canyon View Drive, Paradise, CA 95969	115	5	5	0	125	84	0.74
Bay Park	2621 Appian Wy., Phole, CA 94564	96	0	0	0	96	51	0.53
Sierra Hills	2500 W. Henderson Ave., Porterville, CA 93257	112	7	0	0	119	75	0.64
Valencia Commons	6729 Hermosa, Rancho Cucamonga, CA	114	0	0	0	114	72	0.63
Hilltop	451 Hilltop Dr., Redding, CA 96003	95	0	0	0	95	41	0.43
Mission Commons	10 Terracina Blvd., Redlands, CA 92373	139	0	0	0	139	104	0.75
Magnolia	8537 Magnolia, Riverside, CA 92573	55	0	0	0	55	35	0.35
Las Brisas	1299 Briarwood Dr., San Luis Obispo, CA 93401	100	0	0	0	100	45	0.45
Westmont	1675 Scott Blvd., Santa Clara, CA 95050	136	0	0	0	136	90	0.66
Walnut Park	4119 W. Walnut, Visalia, CA 93277	101	0	0	0	101	63	0.52
Arcadia Place	1080 Arcadia Ave., Vista, CA 92084	114	0	0	0	114	85	0.57
Bridgreek	3601 Holt Ave., West Covina, CA 91791	108	0	0	0	108	54	0.50
Sunridges	5820 Filtridge Dr., Colorado Springs, CO 80918	90	0	0	0	90	45	0.50
Quincy Place	7200 Quincy Ave. East, Denver, CO 80202	113	4	0	0	117	74	0.63
Parkwoods Estates	2201 S. Lemay, Ft. Collins, CO 80525	110	0	0	0	110	168	1.52
Atrium of Grand Valley, TH	3260 N. 12th, Grand Junction, CO 81506	126	0	0	0	126	79	0.63
Nasa View	501 Horizon Place, Grand Junction, CO 81508	101	0	0	0	101	39	0.39
Greeley Place	1051 6th St., Greeley, CO 80631	102	0	0	0	102	46	0.45
Courtyard at Lakewood	7100 West 13th Ave., Lakewood, CO 80215	121	0	0	0	121	41	0.34
Lakewood Estates	8585 W. Dakota Ave., Lakewood, CO 80226	90	0	0	0	90	52	0.58
Longmont Regent	2210 Main St., Longmont, CO 80501	95	0	0	0	95	67	0.70
Pueblo Regent	100 San Carlos, Pueblo, CO 81005	97	0	0	0	97	41	0.42
Augustine Landing	10141 Old St. Augustine Rd., Jacksonville, FL 32257	109	0	0	0	109	65	0.60

PROPERTY DEVELOPED AND MANAGED BY HOLIDAY RETIREMENT CORP.

FACILITY NAME	ADDRESS	SUITES	GARDEN SUITES	COTTAGES	ALZ UNITS	TOTAL SUITES	PARKING SPACES	PER SUITE
Azalea Park	1325 Grasslands Blvd. Lakeland, FL 33813	115	0	0	0	115	79	0.69
University Pines	8981 University Parkway, Pensacola, FL 32514	140	3	0	0	143	64	0.45
Cherry Laurel	1009 Concord Dr., Tallahassee, FL	115	0	0	0	115	67	0.58
Irish Place	755 Epps Bridge Rd., Athens, GA	148	6	15	0	169	138	0.81
Washington Commons	4100 Washington Road, Augusta, GA 30909	115	0	10	0	125	74	0.70
Riverplace	6850 River Rd., Columbus, GA 31904	112	0	0	0	112	63	0.56
The Regency House	341 Winn Wy., Decatur, GA 30030	102	0	0	0	102	60	0.59
Smoky Springs	940 South Enota Drive, Gainesville, GA 30601	145	0	0	0	145	70	0.51
Pinegate	4207 Forsythe Rd., Macon, GA	115	0	0	0	115	82	0.71
River's Edge	6266 Waters Ave, Savannah, GA 31406	145	0	4	0	149	74	0.57
Hawaii Kai - Phase I	428 Kawaihae Dr., Honolulu, HI 96825	139	0	13	43	195	173	1.02
Hawaii Kai - Phase II	428 Kawaihae St., Honolulu, HI 96825	135	0	2 DUPLEX	38	175	145	0.87
Palmer Hills	2617 Maplecrest Rd., Bettendorf, IA 52722	104	0	0	0	104	63	0.61
Seaverdale Estates	4610 Douglas Ave., Des Moines, IA 50310	102	0	0	0	102	58	0.57
Walden Place	2423 Walden Rd., Iowa City, IA 52246	102	0	0	0	102	60	0.59
Ilahaie Hills	8308 Colby Parkway, Urbandale, IA 50322	104	3	0	0	107	76	0.71
Chateau de Boise	7250 Poplar St., Boise, ID 83704	98	0	0	0	98	42	0.43
Essington Estates	901 Essington Rd., Joliet, IL 60435	110	0	0	0	110	56	0.51
Blair House	1200 East College, Normal, IL 61761	109	0	0	0	109	66	0.61
Montvale Estates	2501 Montvale Dr., Springfield, IL 62704	109	10	0	0	119	64	0.54
Redbud Hills	333 E. Moores Pike, Bloomington, IN 47401	112	0	0	0	112	64	0.57
Parkside Court	3550 Central Ave., Columbus, IN 47203	99/80	0	0	0	118	75	0.64
Willow Park	5050 Lincoln Ave., Evansville, IN 47715	98	0	0	0	98	49	0.50
Arbor Glen	5202 St. Joe Rd., Ft. Wayne, IN 46835	110	9	0	0	119	59	0.50
Thornton Place	2901 SW Armstrong, Topeka, KS 66614-5632	112	7	0	0	119	70	0.59
Grasslands Estates	W of SWC OF 13th St. W. & Maize	115	0	0	0	115	72	0.63
Ashwood Place	102 Leonardwood, Frankfort, KY 40601	99	0	0	0	99	71	0.72
Hartland Hills	4470 Rates Creek Rd., Lexington, KY 40515	117	0	0	0	117	69	0.59
Oxmoor Lodge	8021 Christian Way, Louisville, KY 40222	112	4	2	0	118	80	0.70
Pander Creek Estates	526 Valley College Drive Louisville, KY 40272	118	0	0	0	118	84	0.71
Whealdon Estates	8680 Jefferson Hwy., Baton Rouge, LA 70809	98	0	0	0	98	48	0.49
Nouveaux-Marc	1101 Sunset Blvd., Kenner, LA 70055	108	0	0	0	108	33	0.31
Landing at Behrman Place	3601 Behrman Place, New Orleans, LA 70114	107	0	0	0	107	38	0.36
Summerfield Estates	5133 Baird Rd., Shreveport, LA 71118	101	0	0	0	101	52	0.51
Quail Run Estates	50 Cardinal Drive Agawam, MA 01001	107	5	9	0	121	75	0.73

PROPERTY DEVELOPED AND MANAGED BY HOLIDAY RETIREMENT CORP.

FACILITY NAME	ADDRESS	SUITES	GARDEN SUITES	COTTAGES	ALZ UNITS	TOTAL SUITES	PARKING SPACES	PER SUITE
Summer Place	20 Summit St., Chelmsford, MA 01824	110	0	0	0	110	62	0.56
Devonshire Estates	329 Pittsfield Rd., Lenox, MA 01240	108	10	10	0	128	110	0.70
Sunbury Village	922 Ohio St. Bangor, ME 04401	115	0	0	0	115	78	0.68
The Woods at Canco	219 Canco Rd., Portland, ME 04103	115	5	8	0	128	91	0.81
Genesis Gardens	4905 of Calkins Rd., Flint, MI	117	0	0	0	117	78	0.67
The Marquette	5968 Park Lake Rd., Meridian, MI 48823	115	0	0	0	115	69	0.60
Blue Water Lodge	2840 Keewahdin Road, Pearl Harbor, HI 46055	115	0	4	0	119	78	0.70
Wescourt	4141 McCarty Rd., Saginaw, MI 48603	109	5	4	0	118	73	0.66
Glen Eagle	Silver Lake @ South Airport Rd., Traverse City, MI	115	0	4	0	119	78	0.70
The Inn at Cass Lake	900 N. Cass Lake Rd., Waterford, MI 48328	110	0	0	0	110	64	0.58
Aurora Pond	5515 Byron Center Ave. S.W., Wyoming, MI 49509	115	7	10	0	132	120	1.07
Lodge at White Bear	3666 East County Line Rd., White Bear Lake, MN 55110	115	0	0	0	115	69	0.60
Stratford Estates	14825 Clayton Rd., Ballwin, MO 63011	90	0	0	0	90	53	0.59
Cambridge, The	2900 S. Jefferson, Springfield, MO 65807	113	0	0	0	113	0	0.00
Country Square	1802 Buckingham St., St. Joseph, MO 64506	110	0	0	0	110	64	0.59
Lakeview Park	1391 Bowles Ave., St. Louis, MO	112	0	0	0	112	72	0.64
Aspen View	3075 Avenue C, Billings, MT 59102	109	12	4	0	125	97	0.83
Hunter's Pointe	2801 Colonial Dr., Helena, MT 59601	109	0	6	0	115	90	0.87
Durham Regent	3007 Pickett Rd., Durham NC 27705	122	0	0	0	122	39	0.32
Emerald Pond	205 Emerald Pond Lane, Durham NC 27705	112	0	6	0	118	74	0.70
Lakeshore Commons	1462 Hospital Plaza Dr., Wilmington, NC 28401	118	0	0	0	118	67	0.57
The Woods at Holly Tree	4610 Holly Tree Rd., Wilmington, NC 28403	115	0	0	0	115	69	0.51
Greenside Terrace	N. side of Old vineyard Rd., Winston-Salem, NC	115	0	0	0	115	87	0.75
Brentwood Estates	1111 So. 70th, Lincoln, NE 68510	103	0	0	0	103	62	0.60
Bear Canyon Estates	4140 Morris St. NE, Albuquerque, NM 87111	110	14	0	0	124	77	0.62
Golden Mesa	150 N. Roadrunner Parkway Las Cruces, NM 88001	110	10	9	0	129	104	0.94
Carson Plaza	2126 E. Long, Carson City, NV 89706	96	0	0	0	96	58	0.60
Maplewood Estates	55 Ayrault Rd., Fairport, NY 14450	111	0	8	0	119	91	0.88
Tallgrass Estates	Carnegie Dr., Bartlesville, OK 74005	113	0	0	0	113	65	0.58
Silver Arrow Estates	S. Elm Place, Broken Arrow, OK 74012	115	0	5	0	120	81	0.74
Mountain View	548 North Main, Ashland, OR 97520	110	0	0	0	110	58	0.53
Edgewoods Downs	7799 SW Scholls Ferry Rd., Beaverton, OR 97005	124	0	0	0	124	46	0.37
Edgewood Down ALF	7735 SW Scholls Ferry Rd., Beaverton, OR 97008	46 ALF	0	4	16	66	43	0.84
Stone Lodge	1460 N.E. 27th St., Bend, OR 97701	112	0	0	0	112	66	0.59
The Regent	440 Elks Dr., Corvallis, OR 97330	82	0	0	0	82	63	0.77

PROPERTY DEVELOPED AND MANAGED BY HOLIDAY RETIREMENT CORP.

FACILITY NAME	ADDRESS	SUITES	GARDEN SUITES	COTTAGES	ALZ UNITS	TOTAL SUITES	PARKING SPACES	PER SUITE
Brack Ridge	1001 W. Ridge Rd., Pharr, TX 78677	107	0	0	0	107	57	0.53
Cottonwood Estates	1940 West Spring Creek Parkway, Plano, TX 75086	113	0	0	0	113	68	0.60
El Dorado	714 W. Alapaho Rd., Richardson, TX 75080	102	0	0	0	102	53	0.52
Cowhorn Creek Estates	5953 Cowhorn Creek Rd., Texarkanna, TX 75503	112	0	0	0	112	67	0.60
Rosewood Estates	505 Rice Rd., Tyler, TX 75703	118	0	0	0	118	54	0.49
Lakeshore Estates	3209 Village Green Dr., Waco, TX 76710	110	5	0	0	115	70	0.61
Pioneer Valley Lodge	400 East St. & 2350 North St.	115	0	0	0	115	72	0.63
Harrison Regent	481 Harrison Blvd., Ogden, UT 84403	90	0	0	0	90	39	0.43
Saville, The	325 W. Center, Orem, UT 84058	97	0	0	0	97	54	0.56
Fairmont, The	9852 Fairmont Ave., Manassas, VA 22110	100	0	0	0	100	32	0.32
Virginia, The	309 Tyndridge Lane, Richmond, VA 23235	117	0	0	0	117	72	0.62
Elm Park	4230 Elm View Rd., Roanoke, VA 24014	110	0	0	0	110	63	0.57
Garden Club, Bellevue	13350 SE 26th, Bellevue, WA 98005	103	0	0	0	103	43	0.42
Parkway Chateau	2818 Old Fairhaven Pkwy., Bellingham, WA 98225	109	0	0	0	109	60	0.55
Cascadian	3915 Colby Ave., Everett, WA 98201	102	0	0	0	102	52	0.51
Capitol Place	700 Black Lake Blvd., Olympia, WA 98502	104	0	0	0	104	56	0.54
Evergreen Place	1416 Monroe Ave. NE, Renton, WA 98055	110	0	0	0	110	55	0.50
Harvard Park	1616 E. 30th Ave., Spokane, WA 99203	105	0	0	0	105	39	0.37
Ft. Defiance	6414 N. Park Way, Tacoma, WA 98407	135	0	0	0	135	71	0.52
Park Plaza	1400 Dalles Military Rd., Walla Walla, WA 99362	99	0	0	0	99	55	0.56
The Inn at Cass Lake	900 N. Cass Lake Rd., Waterford, MI 48328	110	0	0	0	110	54	0.50

Traffic Impact Study

HOLIDAY RETIREMENT VILLAGE
Canco Road - Portland, Maine

Prepared for:

Sebago Technics
Westbrook, Maine



EATON
TRAFFIC
ENGINEERING

Brunswick, Maine

November 1997

**HOLIDAY RETIREMENT VILLAGE
Canco Road - Portland, Maine
Traffic Impact Study**

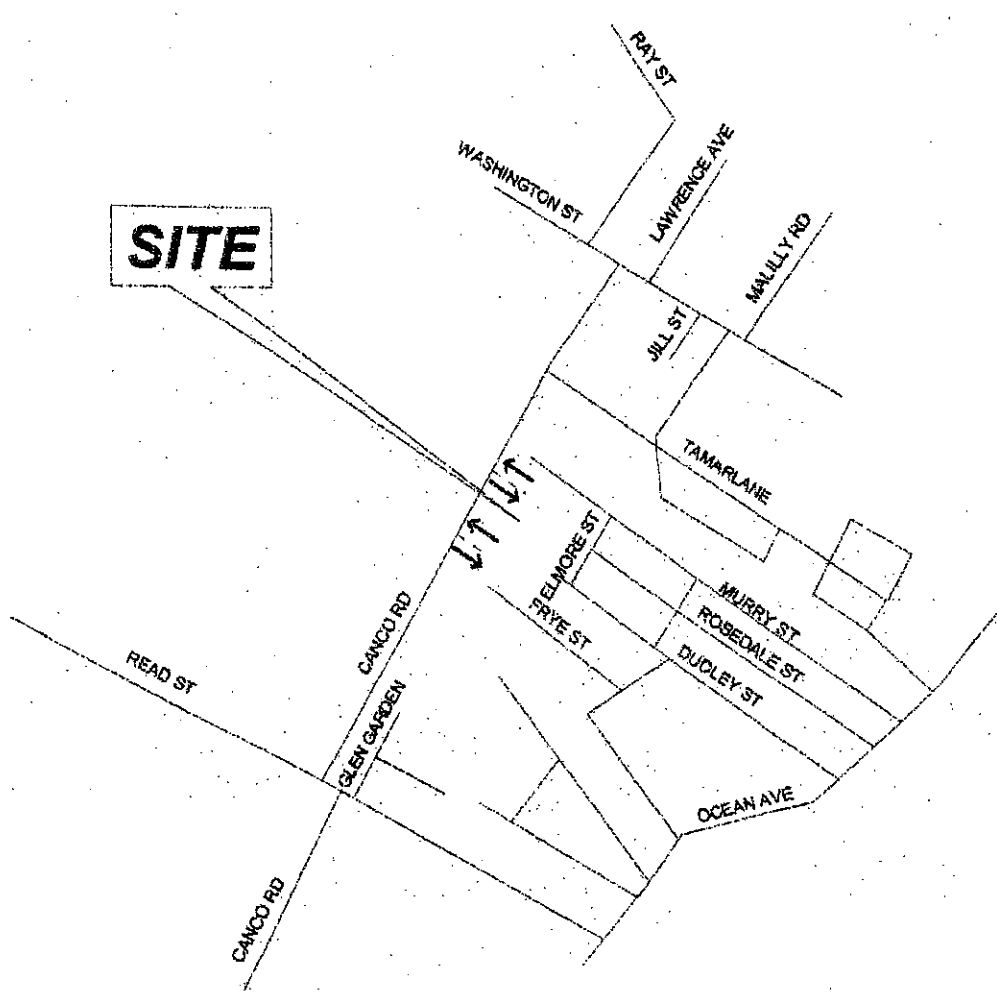
Introduction

Holiday Retirement Corp. of Salem, Oregon proposes to construct a 211 unit retirement complex consisting of 114 Retirement Suites (Apartments), 12 Cottage Suites, 5 Garden Suites, and 80 Assisted Living Suites on the easterly side of Canco Road in Portland, Maine. Proposed access to the site will be via two two-way driveways on Canco Road, one being located at the crest of a vertical curve opposite the Granite Heights office facility, and one opposite the Seltzer & Rydholm exit driveway. Figure 1 on the following page presents the site location and proposed access points. The development is proposed to occur in two phases. Phase 1, to be completed in 1998, will consist of the 114 Retirement Suites, 8 Cottage Suites, and 5 Garden Suites. Phase 2, to be completed in 2000, will consist of the 80 Assisted Living Suites and 4 additional Cottage Suites.

The purpose of this traffic impact study is to evaluate the impact of new traffic generated by the proposed facility on roadway in the vicinity of the site.

Area Characteristics

Canco Road is a 2 lane roadway with a paved travelway 44 feet in width. In the vicinity of the proposed north access driveway, there is a 5 foot sidewalk on the westerly side of Canco Road, with a 4 foot grass strip separating the sidewalk from Canco Road. The shoulder on the easterly side of the street is gravel and 6 - 8 feet in width. There are no recent MDOT traffic counts on Canco Road. Based upon PM peak hour traffic counts conducted for this study, daily traffic volume is estimated at 6,500 - 7,000 vehicles. Land use on Canco Road is primarily commercial in nature, with the exception of a Church located near the Washington Avenue/Canco Road intersection. The intersection of Washington Avenue with Canco Road is controlled by a fully actuated traffic signal, which also controls traffic on nearby Ray and Lawrence Streets. Washington Avenue is basically a two lane roadway, however auxiliary turn lanes are provided at the signal controlled intersection. The posted speed limit on Canco Road is 40 MPH.



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2 Merris St - Brunswick, Maine
(207) 725-9105 Fax (207) 725-9173

Figure 1
Site Location and Access

HOLIDAY RETIREMENT VILLAGE - CANCO ROAD - PORTLAND, MAINE

Estimated 1998 and 2000 PM Peak Hour Traffic - Pre-Development

Traffic impact analysis is typically conducted for a peak one hour period of time when traffic flow on streets adjacent to a proposed development are at their highest level. Normally this peak one hour will occur in the late afternoon within the period 4:00 - 6:00 PM. Accordingly, a manual count was conducted at the Washington/Canco/Ray/Lawrence intersection from 4:00 - 6:00 PM on Wednesday, October 29, 1997. Turning movement count data is normally adjusted to reflect a seasonal peak traffic condition using MDOT adjustment factors derived from their statewide continuous traffic counting program. In this particular case, an increase in the October count of 10 percent was necessary to reflect peak seasonal traffic flow. In past studies in Portland, use of seasonal factors has resulted in traffic volume estimates that are higher than actually occur. This is particularly true in areas where seasonal variation is minimal, which would be expected for Washington Avenue and Canco Road, as they are not generally used by summer visitors.

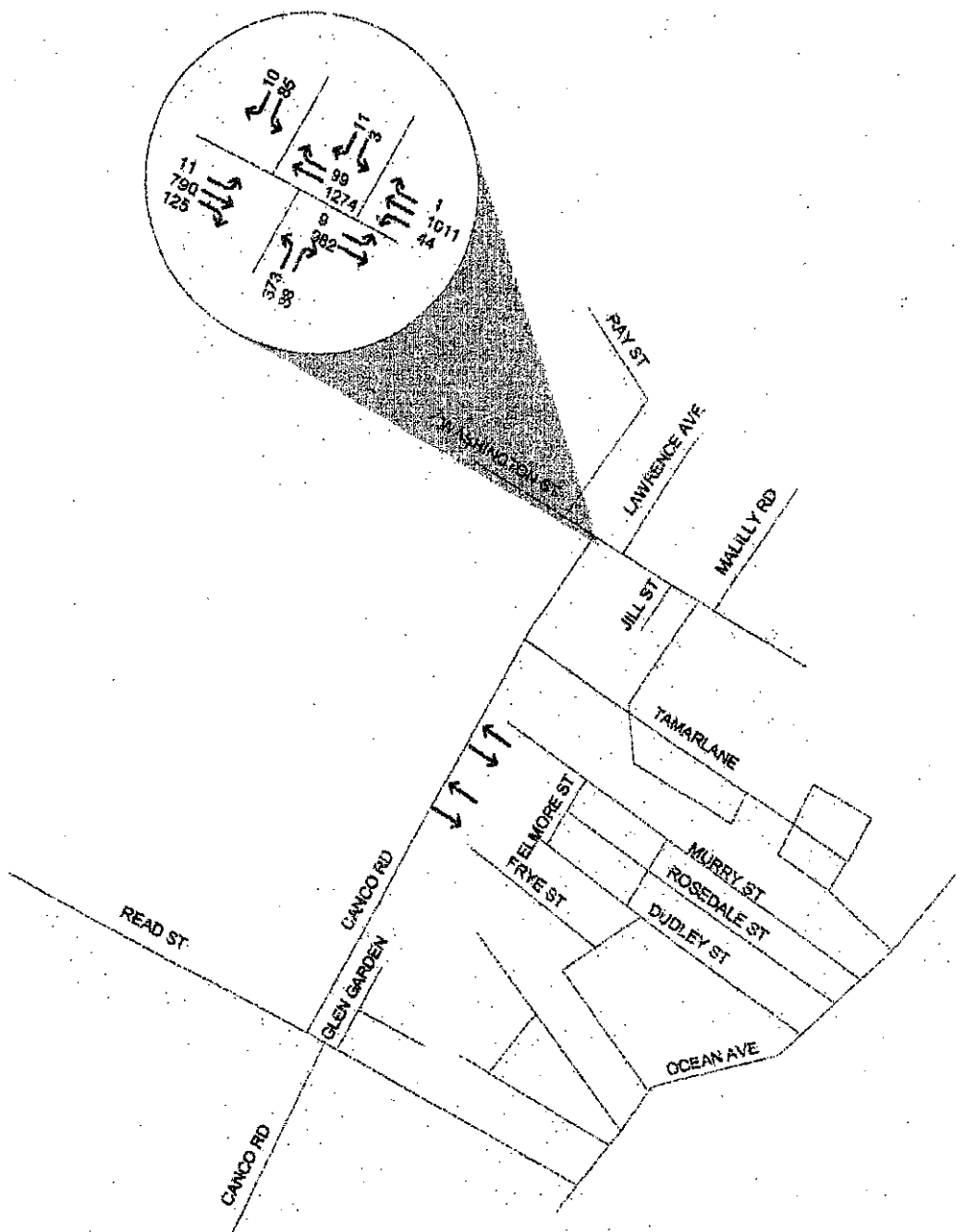
Traffic counts on Washington Avenue northwest of Canco Road for the period 1992 to 1994 showed a decline in traffic volume. To provide a conservative (i.e. high) estimate of 1998 and 2000 peak hour traffic in the area, a growth rate of 1 percent per year was applied to the seasonally adjusted 1997 estimate. Figures 2A and 2B on the following pages present the estimated 1998 and 2000 PM peak hour traffic volumes for the pre-development, or base condition.

Site Generated Traffic

Site generated PM peak hour traffic for the proposed development was estimated using the statistics contained in the publication Trip Generation - Fifth Edition¹, and a report entitled Assisted Living Residences - A Study of Traffic And Parking Implications². The tables on the following page summarizes the estimation of PM peak hour traffic generation for Phases 1 and 2.

¹ Institute of Transportation Engineers, 1991 and February 1995 Update

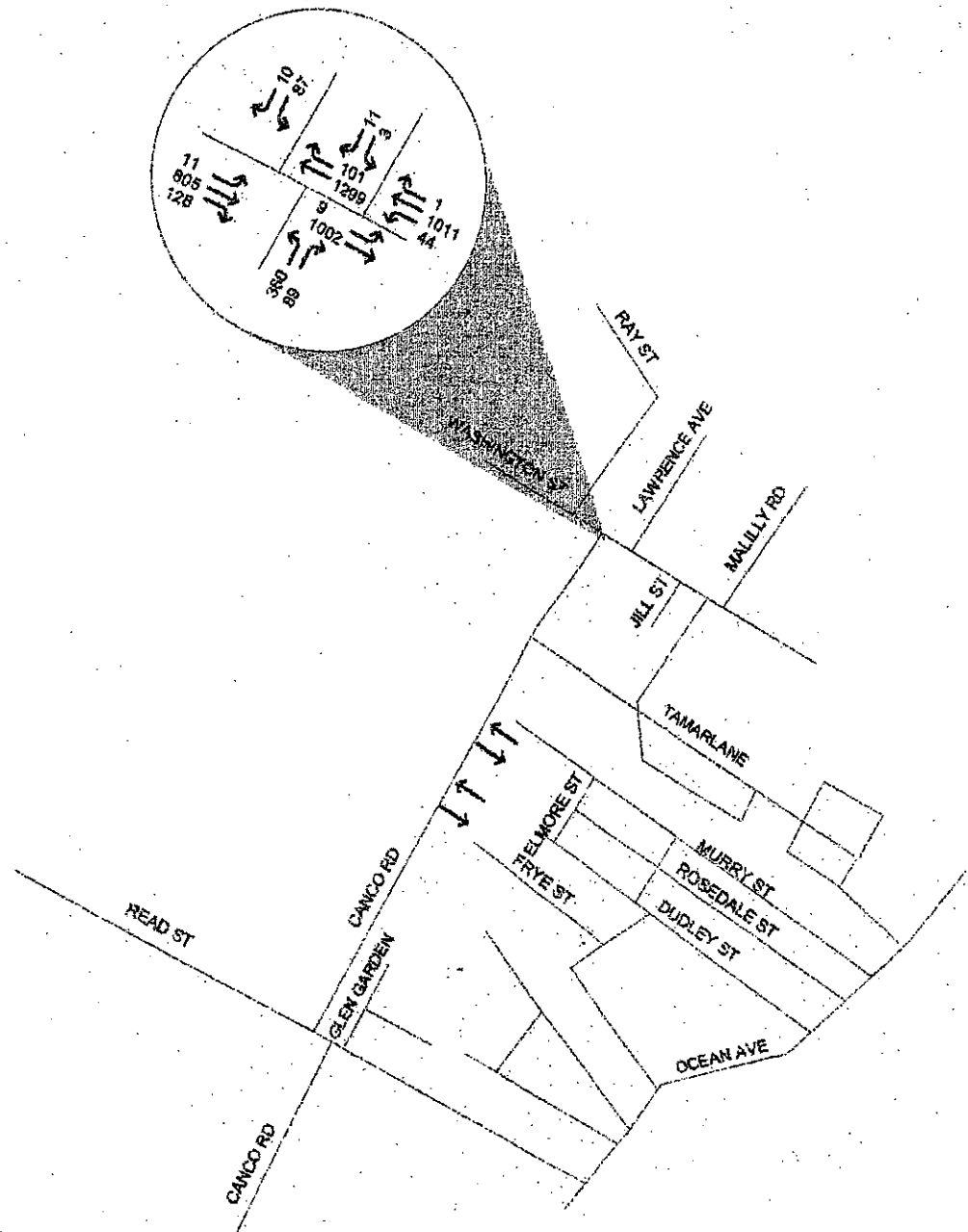
² American Seniors Housing Association, 1997



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2 Skowhegan Dr - Skowhegan, Maine
(207) 725-0895 Fax: (207) 725-0713

Figure 2A
Estimated 1998 PM Peak Hour Traffic - Pre-Development
HOLIDAY RETIREMENT VILLAGE - CANCO ROAD - PORTLAND, MAINE



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etc EATON
TRAFFIC
ENGINEERING

2 Minerva St. - Brunswick, Maine
(207) 725-9800 Fax (207) 725-4773

Figure 2B
Estimated 2000 PM Peak Hour Traffic - Pre-Development

HOLIDAY RETIREMENT VILLAGE - CANCO ROAD - PORTLAND, MAINE

Holiday Retirement Village - Site Generated PM Peak Hour Traffic
Phase 1

Unit Type	Number of Units	Rate	Trips
Retirement Suite	114	0.28	32
Cottage Suite	8	0.55	4.4
Garden Suite	5	0.28	1.4
Total	127	na	37.8 ~ 38

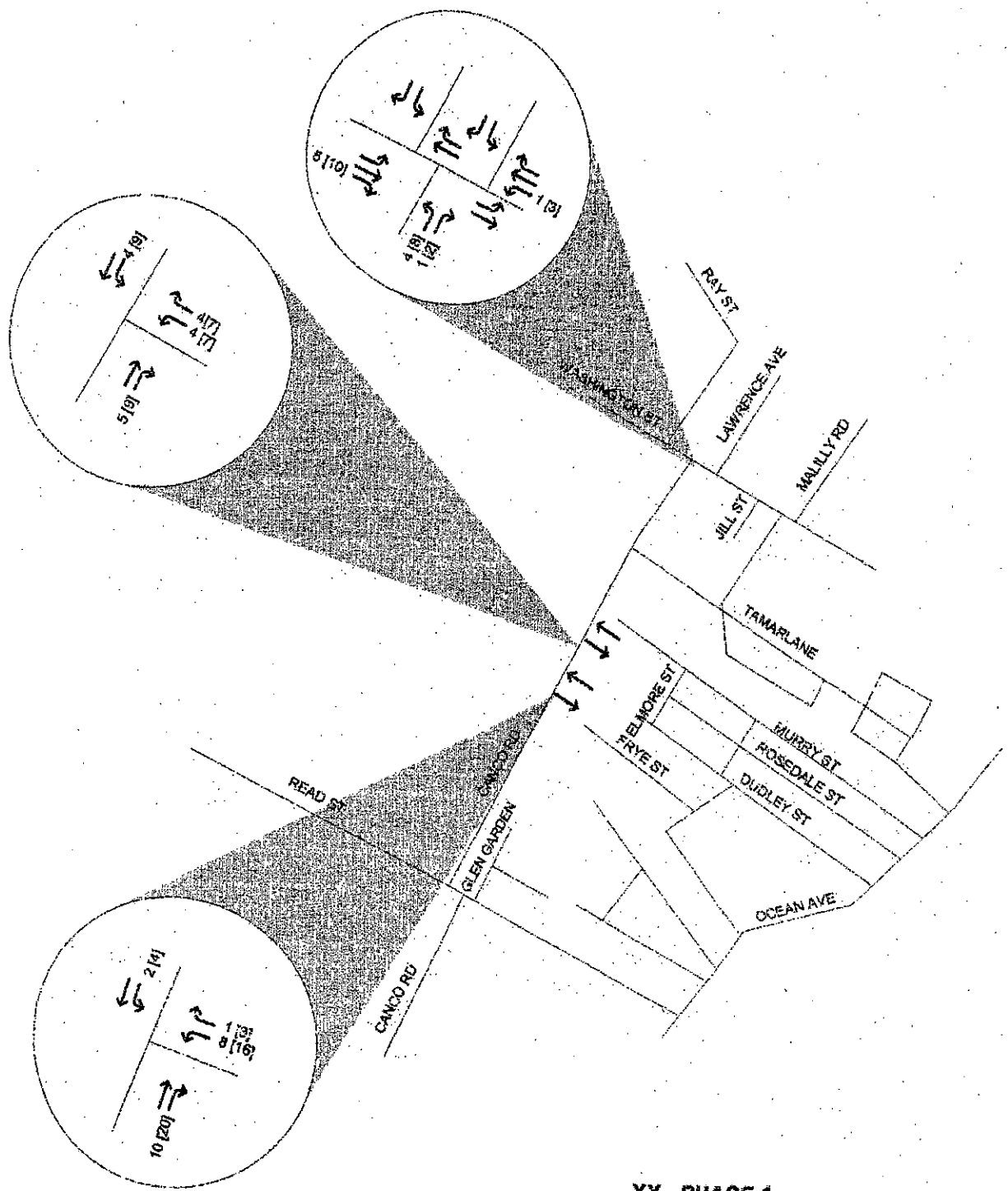
Holiday Retirement Village - Site Generated PM Peak Hour Traffic
Phase 2

Unit Type	Number of Units	Rate	Trips
Assisted Living Suites	80	0.43	34.4
Cottage Suites	4	0.55	2.2
Total	84	na	36.6 ~ 37

Holiday Retirement Village - Site Generated PM Peak Hour Traffic
Phases 1 & 2

Phase	Number of Units	Trips
1	127	38
2	84	37
Total	211	75

Directional distribution of the PM peak hour traffic, according to ITE data for facilities for retired people, is approximately 55 percent entering and 45 exiting. Traffic for Phase 1 and Phase 2 was assigned to Canco Road and the Washington/Canco intersection based upon existing directional patterns on Canco Street, which indicate that 70 percent of the traffic will be oriented to the south, and 30 percent to the north. This is generally consistent with traffic patterns observed in a previous traffic study at the Department of Motor Vehicles/DEP Regional Office located on the west side of Canco Road north of the proposed Holiday site (the directional split was 75 percent south 25 percent north in that study). Figure 3 on the following page presents the assignment of 1998 (Phase 1) and 2000 (Phase 2) site generated PM peak hour traffic.



XX - PHASE 1
[XX] - PHASES 1 & 2

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Figure 3
Estimated Site Generated PM Peak Hour Traffic for Phases 1 and 2

HOLIDAY RETIREMENT VILLAGE - CANCO ROAD - PORTLAND, MAINE

Projected 1998 and 2000 Post-Development PM Peak Hour Traffic

Projected 1998 and 2000 post-development PM peak hour traffic is the arithmetic combination of the estimated 1998 and 2000 pre-development volumes shown in Figures 2A and 2B and the estimated PM peak hour site generated traffic shown in Figure 3. Figures 4A and 4B present projected 1998 and 2000 post-development PM peak hour traffic volumes in the study area.

Operational Assessment of Pre- and Post-Development Traffic Volumes

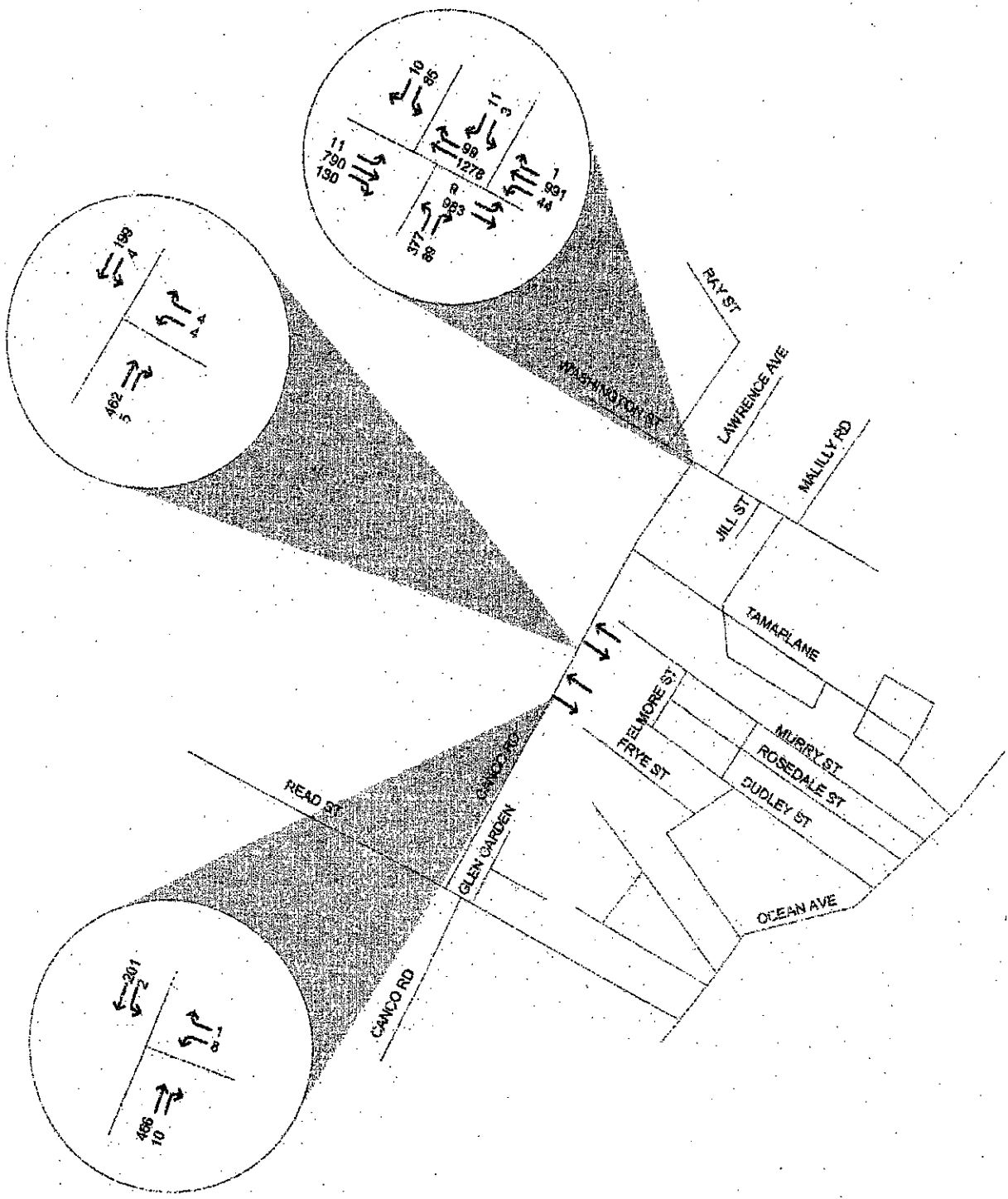
Capacity analysis for pre- and post-development 1998 and 2000 PM peak hour traffic estimates/projections for the Washington Avenue @ Canco/Ray/Lawrence intersection was conducted per the procedures contained in the Highway Capacity Manual³. Capacity analysis provides a quantitative assessment of the quality of traffic flow at an intersection, and "rates" this quality in terms of its Level of Service (LOS). LOS ratings range from A to F, and much like a school rank card, A indicates very good conditions, and F indicates extremely congested conditions. For signalized intersections, LOS is related to average stopped delay incurred by vehicles using the intersection. The table below presents the relationship between delay and LOS.

Signalized Intersection Level of Service Measures

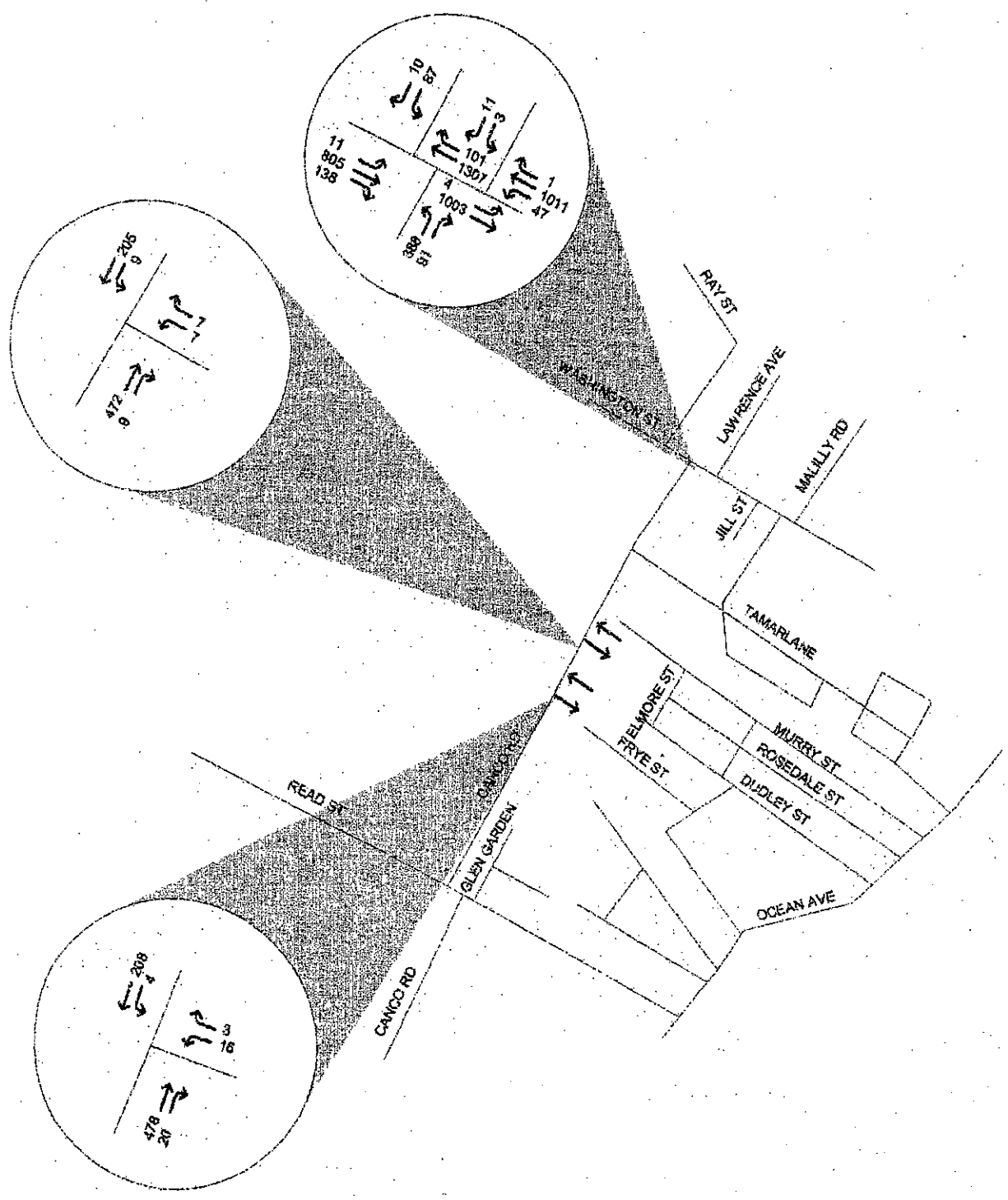
Level of Service	Average Stopped Delay Per Vehicle
A	≤ 5.0 Seconds
B	5.1 - 15.0 Seconds
C	15.1 - 25.0 Seconds
D	25.1 - 40.0 Seconds
E	40.1 - 60.0 Seconds
F	> 60.0 Seconds

The results of analysis for the signalized intersection are summarized below:

³ Special Report 209, Highway Capacity Manual, Transportation Research Board, 1994



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**Signalized Intersection Analysis
1998**

Location	Pre-Development		Post-Development	
	LOS	Stopped Delay (sec)	LOS	Stopped Delay (sec)
Washington/Canco/Ray/Lawrence	D	31.4	D	32.3

**Signalized Intersection Analysis
2000**

Location	Pre-Development		Post-Development	
	LOS	Stopped Delay (sec)	LOS	Stopped Delay (sec)
Washington/Canco/Ray/Lawrence	D	35.6	D	37.7

The intersection is heavily travelled and has some inherent inefficiencies due to the size of the control area, which requires lengthy vehicle clearance intervals. In order to get the analysis to work properly, some relatively liberal assumptions regarding lost time on the Washington Avenue were made (normal lost time is assumed to be 3 seconds - in this case it was reduced to 1 second for the through movements). While the LOS overall is considered to be acceptable, it should be noted that some of the movements at the intersection operate at LOS E or F. As can also be seen, the impact of the new traffic generated by the proposed facility is relatively minimal.

Analysis of the unsignalized intersections of the proposed access driveways on Canco Road uses a different procedure and has different standards for determining LOS. LOS for unsignalized intersections is based upon average total delay for vehicles using an intersection, which takes into account the delay involved in waiting in a vehicle queue. The relationship between LOS and average total delay is shown below:

Level of Service Measurement for Unsignalized Intersections

Level of Service	Average Total Delay Per Vehicle
A	≤ 5.0 Seconds
B	5.1 - 10.0 Seconds
C	10.1 - 20.0 Seconds
D	20.1 - 30.0 Seconds
E	30.1 - 45.0 Seconds
F	≥ 45.0 Seconds

The results of analysis for the unsignalized intersections of are summarized below:

Unsignalized Intersection Analysis

Location	1998 Post-Development		2000 Post-Development	
	LOS	Average Total Delay (sec)	LOS	Average Total Delay (sec)
Canco Road @ North Drive				
SB Left from Canco	A	3.7	A	3.8
All moves from Driveway	B	7.1	B	7.4
Total Intersection		0.1		0.2
Canco Road @ South Drive				
SB Left from Canco	A	3.8	A	3.9
All Moves from Driveway	B	9.0	B	9.4
Total Intersection		0.3		0.3

As can be seen, both driveways are projected to operate satisfactorily.

Safety

Safety data for the most recent available 3 year period (1994-96) was obtained from the Accident Records Section of the MDOT Bureau of Planning for roadways in the vicinity of the site. A summary of the accident history in the area is presented in the table below.

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1994-96 Accident History in Site Vicinity*

LOCATION	1994-96 ACCIDENTS	ANNUAL AVERAGE	CRITICAL RATE FACTOR ⁴
Canco Road @ Read	13	4.33	2.23
Canco Road/ Read to Washington	5	1.67	0.26
Canco Road @ Washington	24	8.00	0.64
Washington Ave/ Canco to Ray	5	1.67	1.07
Washington Ave @ Ray	13	4.33	0.38
Washington Ave/ Canco to Lawrence	5	1.67	1.41
Washington Ave @ Lawrence	3	1.00	0.23

MDOT guidelines for identification of a High Accident Location (HAL - indicating a potential safety deficiency) is that a location must experience 8 or more accidents in a 3 year period and have a Critical Rate Factor of 1.00 or greater. One of the locations above - Canco Road @ Read Street satisfies these criteria. Accordingly a detailed collision diagram of this location was prepared from accident reports on file at MDOT, and analyzed. A summary of the findings is as follows:

Canco Road @ Read Street: One accident occurred in 1994, two in 1995 and ten in 1996. The accidents in 1994 and 1995 all occurred in snow or ice conditions where vehicles could not stop. The jump from 1 to 2 accidents a year to 10 is rather significant and may simply be an anomaly. Five of the 10 accidents in 1996 did occur when pavement conditions were poor - snow, ice, et cetera. Of the remaining five accidents, one occurred on Read Street north of the Canco/Read intersection and should not have been included with accidents at the intersection. One collision involved a vehicle backing on Canco Road to enter a driveway that the driver had driven by. Two accidents involved vehicles turning left from Read Street eastbound and hitting vehicles stopped at the stop sign on Canco Road (one of these a hit-and-run), and the final non-climatic accident was an angle collision where a driver on Canco Road entered the intersection and was struck by a vehicle westbound on Read. Overall it appears that pavement condition has a major

⁴ The Critical Rate Factor is a statistical measure which compares the accident frequency at a location to similar locations throughout the State. A Critical Rate Factor of 1.00 or greater indicates that the location has a higher frequency of accidents than would be expected due to random occurrence, with a 99 percent level of confidence.

4n

impact on safety at this location, with 8 of 12 accidents occurring on slippery pavement. Of the 4 accidents not involving poor pavement conditions, there simply is no pattern that would indicate a physical or operational deficiency. It is recommended that this location be monitored to determine whether the significant increase in accidents in 1996 represents a new trend or simply a fluke occurrence.

An additional safety consideration is the amount of sight distance available for vehicles exiting the proposed site driveways. Field measurements indicate available sight distance along Canco Road in excess of 750 feet both north and south of the north driveway (near Granite Heights). At the south driveway distance to the south exceeds 750 feet, and to the north is limited to 525 feet by the crest vertical curve near Granite Heights. These sight distances are adequate for speeds in excess of 50 MPH for low and medium volume driveway sight distance guidelines. The posted speed limit on Canco Road is 40 MPH.

Summary of Findings

The proposed Holiday Retirement Village is projected to generate 38 PM peak hour vehicle trips in Phase 1 of the development (1998) and an additional 37 vehicle trips in Phase 2 (2000) for a total PM peak hour traffic generation of 75 vehicle trips. Analysis of the operation of the intersection of Washington Avenue @ Canco/Ray/Lawrence indicates that the additional PM peak hour traffic generated by both phases of the proposed development will have a minimal impact on the Level of Service at the intersection during peak seasonal traffic flow periods. It should be noted that the intersection is currently handling a very large volume of traffic, and significant delays are incurred on several of the approaches to the intersection. The intersections of the proposed site driveways and Canco Road are projected to operate at a satisfactory level of service for both Phases 1 and 2. An investigation of the accident history in the vicinity of the site indicates that there is one High Accident Location in the area - the intersection of Canco Road @ Read Street. Of the 12 accidents occurring at this location, 9 occurred in 1996, representing a major increase in frequency. Detailed analysis of the accidents indicated that the majority (8) occur when pavement conditions are poor. Those not related to pavement condition do not evidence any pattern that would identify any inherent deficiency. Monitoring of the intersection is recommended. Sight distance for vehicles exiting the access driveways on Canco Road is more than adequate for the posted speed limit of 40 MPH.

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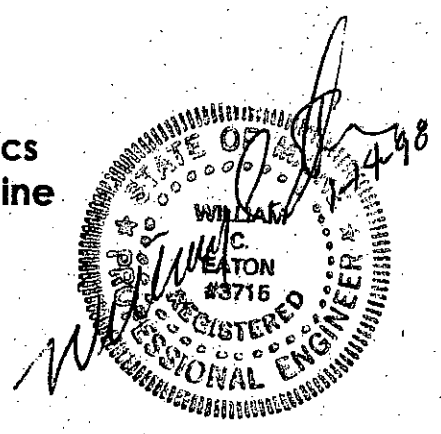
40

Traffic Impact Study Addendum

HOLIDAY RETIREMENT VILLAGE
Canco Road - Portland, Maine

Prepared for:

Sebago Technics
Westbrook, Maine



Brunswick, Maine

January 1998

4P

HOLIDAY RETIREMENT VILLAGE
Canco Road - Portland, Maine
Traffic Impact Study Addendum - January 1998

Introduction

This addendum has been prepared to address the request for additional information as noted in the City Traffic Engineer's (Larry Ash) memorandum to Kandice Talbot, Planner dated November 20, 1997. The remainder of this addendum responds to each of the eight issues raised in the 11/20/97 memorandum.

1. Peak hour traffic count for Canco Road @ Read Street:

Figure A1A in the appendix of this addendum presents the PM peak hour traffic volumes at the Canco @ Read intersection on Wednesday, December 3, 1997. Figure A1B presents the same count data assuming that the east leg of Canco Road operates as a "T" intersection. (the jogged alignment of the east and west legs of Canco essentially create 2 "T" intersections). Figures A2A and A2B present estimated pre-development PM peak design hour traffic volumes (adjusted using MDOT seasonal factors and accounting for background growth) for 1998 (Phase 1) and 2000 (Phase 2).

2. Estimated PM peak hour site generated and post-development traffic at Canco @ Read:

Figure A3 presents estimated site generated PM peak hour traffic for 1998 (Phase 1) and 2000 (Phase 2) at the Canco @ Read intersection. Figures A4A and A4B present 1998 (Phase 1) and 2000 (Phase 2) post-development PM peak hour traffic projections.

3. Accident collision diagrams:

A summary collision diagram for the Canco @ Read intersection for the period 1994-96 is contained in the Appendix, and has been amended to include 1 new accident that occurred in 1997. Larry Ash, City Traffic Engineer, provided two accident reports for accident history for 1997 from Portland Police Department files. One of these accidents actually occurred on the road segment just northwest of the Canco @ Read intersection, and was not an intersection accident. Mr. Ash also had requested copies of the 1994-96 accident reports at the Canco/Read intersection. Copies of the reports on file at MDOT

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are generally not available to consultants - except at great expense - but are available to municipalities that request copies. In this case Eaton Traffic Engineering respectfully requests that the City of Portland formally request copies of the 1994-96 reports from MDOT if the information in the collision diagram is not sufficient for the City's needs in this matter.

In review of all the accidents at the Canco/Read intersection from 1994 through 1997, it should be noted that the year 1996 stands out as a clear anomaly, with 10 accidents occurring as compared to 1 accident in 1994, 2 in 1995 and 1 in 1997. This intersection should probably be monitored, but it does appear that normal accident frequency is typically 1 to 2 accidents annually.

4. Warrant analysis for traffic signals - especially as relates to accident experience:

Based upon PM peak period/hourly traffic volumes (copy included in appendix), a traffic signal is not warranted at the intersection of Canco @ Read. The accident experience warrant does not appear applicable. In 1996, when 10 accidents occurred, 4 appear to be correctable through installation of a traffic signal. This is not sufficient to meet the accident warrant. In considering the relatively low levels of accident experience in 1994, 1995 and 1997, a traffic signal is not warranted at this time.

5. Warrant analysis for all-way stop control:

Traffic volumes should be reasonably equal on all approaches of an intersection considered for all-way stop control. In addition, accident problems and eighth hour volume of 500 vehicles per hour entering the intersection should also exist. The accident conditions are not met for the intersection of Canco Road @ Read Street, but it appears that over 500 vehicles would enter the intersection for eight hours each day (peak hour traffic entering is in excess of 1000 vehicles and typically represents 10 percent of daily traffic flow - eighth hour traffic volume "rule of thumb" estimates are 6.25 percent of daily flow, which for this case could be estimated at over 600 vehicles). However, given the jogged alignment of the two Canco Road approaches, use of all-way stop control is not recommended.

6. Level of Service for Canco Road @ Read Street:

Calculation of the level of service for pre- and post-development traffic for Phases 1 and 2 was performed and is summarized below (assuming the Canco @ Read intersection functions as a four-way intersection).

Unsignalized Intersection Analysis
Canco Road @ Read Street - Four-Way analysis

Location	1998		2000	
	LOS	Average Total Delay (sec)	LOS	Average Total Delay (sec)
Canco Rd @ Read St - Pre-Dev				
SB Left from Read	A	3.0	A	3.0
NB Left from Read	A	3.8	A	3.9
Canco Rd Westbound	F	61.0	F	79.8
Canco Rd Eastbound	D	23.6	D	26.7
Total Intersection		16.6		21.3
Canco Rd @ Read St - Post-Dev				
SB Left from Canco	A	3.0	A	3.0
NB Left from Read	A	3.9	B	3.9
Canco Rd Westbound	F	89.4	F	148.2
Canco Rd Eastbound	D	25.7	D	30.2
Total Intersection		23.7		38.7

In addition to evaluating the Canco/Read intersection as a 4-way intersection, it was also evaluated as a T intersection for the east (highest volume) approach. The table below summarizes the results of this analysis.

**Unsignalized Intersection Analysis
Canco Road @ Read Street - T-Intersection Analysis**

Location	1998		2000	
	LOS	Average Total Delay (sec)	LOS	Average Total Delay (sec)
Canco Rd @ Read St - Pre-Dev				
SB Left from Read	A	4.2	A	4.3
All moves from Canco	F	93.2	B	117.4
Total Intersection		23.1		28.9
Canco Rd @ Read St - Post-Dev				
SB Left from Read	A	4.3	A	4.4
All Moves from Canco	F	119.4	B	132.8
Total Intersection		29.6		34.7

As can be seen for both analyses scenarios, the Canco Road approaches are projected to operate at LOS F with or without the proposed development. To a great extent, the LOS and delay results are felt to be much worse than actual field conditions due to the delay estimation equations used. The analysis procedures are due to be revised in early 1998 in response to this problem. In all likelihood, the relatively minor increases in PM peak hour traffic volumes associated with the proposed development will not result in any noticeable (qualitative) increase in vehicle delay at the intersection.

7. Pedestrian Issues - On-Site:

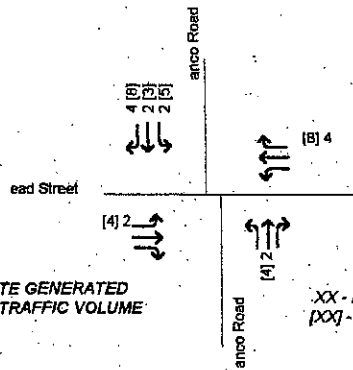
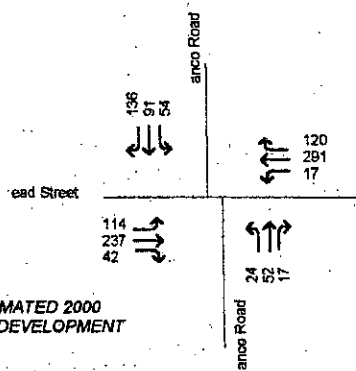
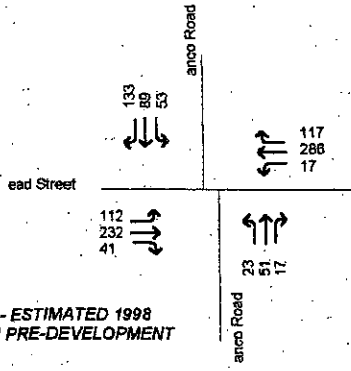
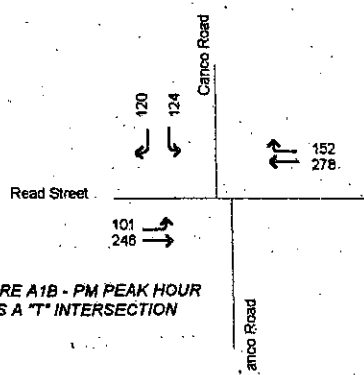
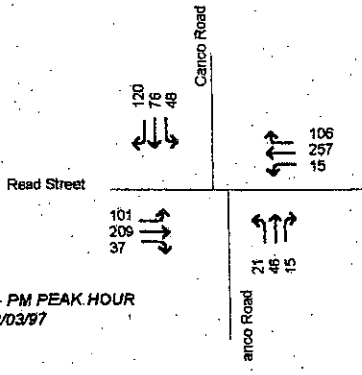
The site plan will provide for walking paths on-site that will connect the development to Frye or Murry Street for use by tenants and area residents.

8. Pedestrian Facilities on Washington Avenue and Canco Road:

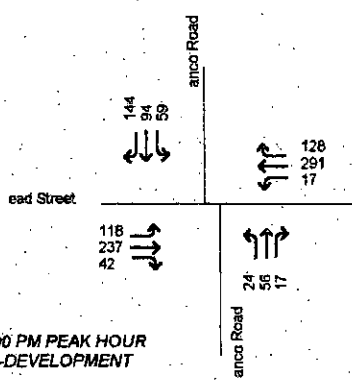
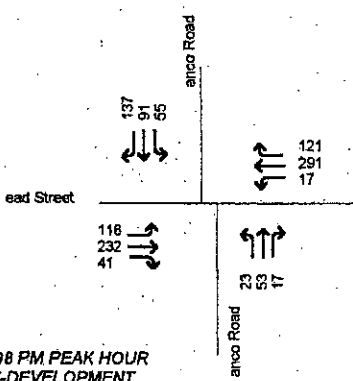
A crosswalk from the westerly site access on Canco Road to the sidewalk on the northerly side of Canco Road will be provided. This crosswalk will be at the crest of a vertical curve and provide for excellent sight distance in each direction along Canco Road. The Canco Road sidewalk continues easterly to Washington Street where pedestrian crossing signals are provided.

APPENDIX

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XX - PHASE 1 (1998)
[XX] - PHASE 2 (2000)



NOT TO SCALE



2 Miranda St. - Brunswick, Maine
(207) 725-9405 Fax (207) 725-4773

Figures A1 - A4
HOLIDAY RETIREMENT VILLAGE TRAFFIC STUDY ADDENDUM

HOLIDAY RETIREMENT VILLAGE - PORTLAND, MAINE



EATON
TRAFFIC
ENGINEERING

ACCIDENT COLLISION DIAGRAM

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MUNICIPALITY PORTLAND LOCATION ROAD @ CANCO
 NODE NO(S) 3781 YEARS 94-96 + 97 PAGE 1 OF 2
 PREPARED BY BOBK DATE 11/18 JOB # 9749

CODE KEY

TRAFFIC CONTROL (R)

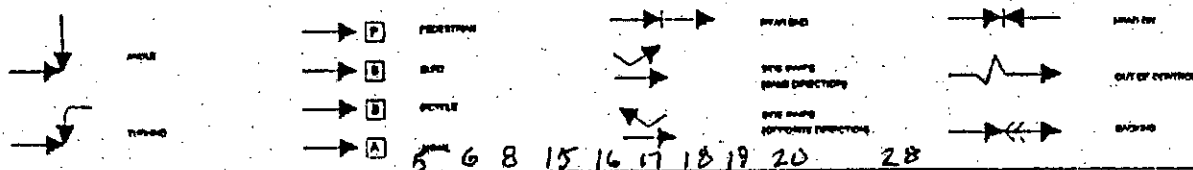
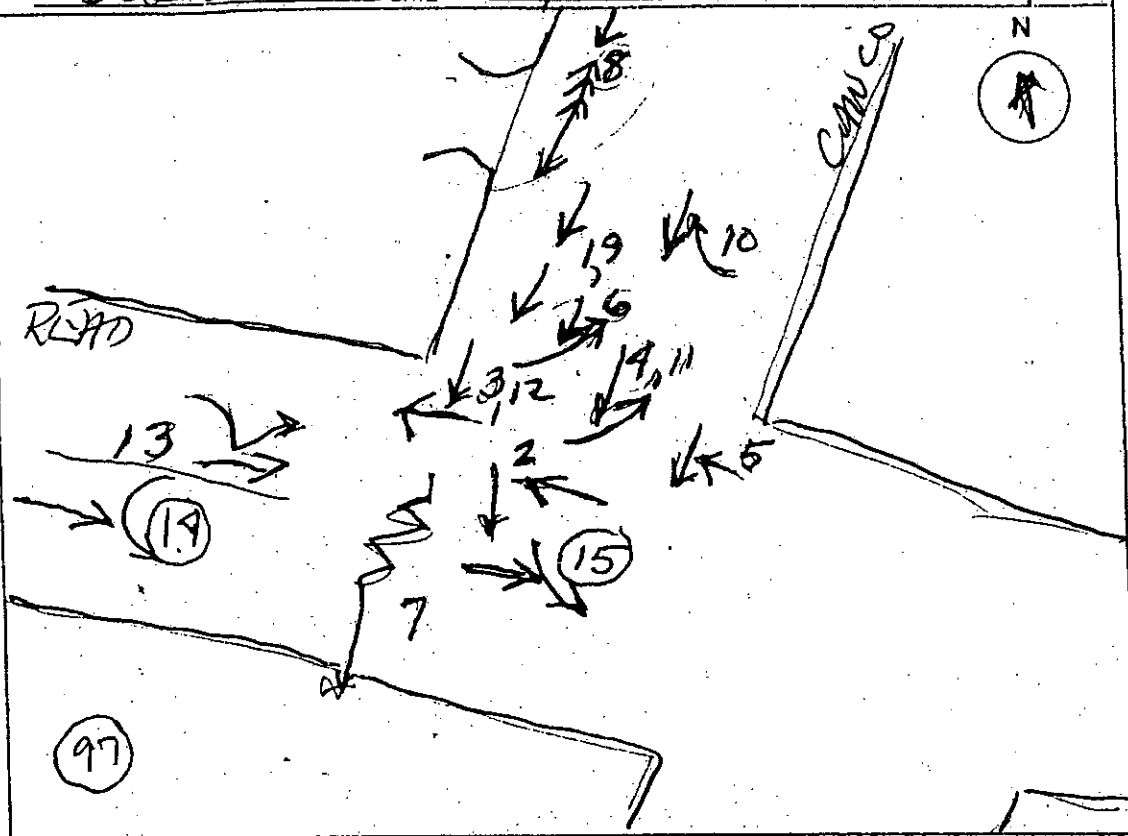
LIGHT CONDITION (R)

ROAD CONDITION (R)

CONTRIBUTING FACTOR (R)

PHYSICAL CONDITION (R)

HAZARD (R)



ITEM #	REPORT NUMBER	DATE	TIME	TRV	LGH	ROAD COND	CONTRIBUTING FACTOR				PHYSICAL COND		INJURIES					OTHER
							1	2	3	4	1	2	1	2	3	4		
1	04824	1/28/94	1145	5	2	9	1	15	-	-	1	1						ICE
2	43719	2/9/95	1528	5	2	9	1	2	-	-	1	1						ICE
3	42915	12/2/95	1342	5	2	4	1	14	5	5	1	1						
4	15822	4/29/96	700	5	2	1	1	14	-	-	1	1						
5	114110	12/16/96	11006	5	2	2	7	5	1	2	1	1						PULLED OUT
6	39071	11/15/96	1615	5	3	1	7	31	-	-	1	?						HBR
7	46456	12/3/96	1310	5	2	9	15	-	-	-	1	-						
8	08542	2/28/96	1033	19	2	1	1	24	5	15	1	1						BDW
9	09892	3/5/96	1250	5	2	9	1	30	-	-	1	1						ICE
10	3781	05/08	700	5	2	3	1	14	-	-	1	1						icy

4x

12/3/97 PM TMC
 Read/Canco Rds
 Portland, ME

Eaton Traffic Engineering
 2 Miranda Street
 Brunswick, ME 04011
 207-725-9805/FAX 207-725-9773

Site Code : 00000000
 Start Date: 12/03/97
 File I.D. : 9749READ
 Page : 1

Date	READ From North				CANCO From East				READ From South				CANCO From West				Total
	Left	Thru	Right	Truck	Left	Thru	Right	Truck	Left	Thru	Right	Truck	Left	Thru	Right	Truck	
12/03/97	-----																
15:00	29	58	8	6	6	12	24	5	2	61	34	1	7	13	5	3	274
15:15	24	48	8	5	11	19	39	9	8	56	28	1	4	6	6	1	273
15:30	26	35	10	7	18	24	34	3	2	75	23	0	5	7	2	0	271
15:45	22	68	11	6	7	10	20	7	3	65	21	1	5	20	2	1	269
Hr Total	101	209	37	24	42	65	117	24	15	257	106	3	21	46	15	5	1087
16:00	24	58	14	4	12	23	27	3	3	56	28	2	6	11	2	0	273
16:15	27	38	9	5	16	18	21	3	2	76	29	1	9	11	4	3	272
16:30	22	49	5	4	8	18	13	4	1	49	21	0	5	14	3	0	216
16:45	24	49	13	6	12	12	23	2	2	73	52	1	2	10	2	2	285
Hr Total	97	194	41	19	48	71	84	12	8	254	130	4	22	46	11	5	1046
17:00	22	46	8	2	14	19	24	1	0	57	33	0	6	23	7	0	262
17:15	24	48	9	1	11	28	16	1	1	51	38	1	2	19	1	1	252
17:30	20	37	8	2	16	18	11	1	2	60	30	0	3	15	4	2	229
17:45	17	37	6	2	10	15	11	1	1	35	22	1	2	10	5	2	177
Hr Total	83	168	31	7	51	80	62	4	4	203	123	2	13	67	17	5	920
TOTAL	281	571	109	50	141	216	263	40	27	714	359	9	56	159	43	15	3053

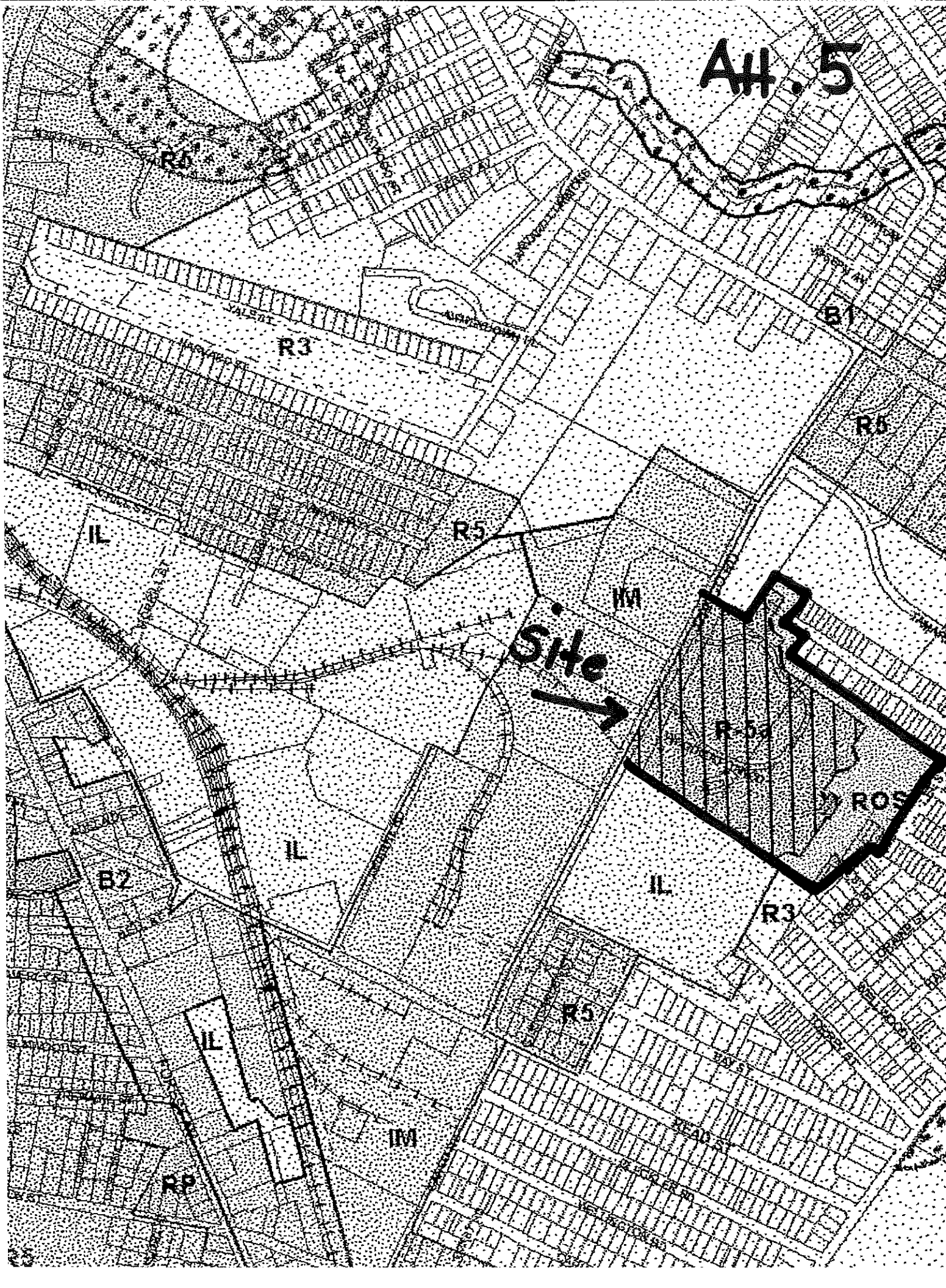
Peak Hour Analysis By Individual Approach for the Period: 15:00 to 18:00 on 12/03/97

Peak start	15:00				15:15				16:45				17:00			
Volume	101	209	37	24	48	76	120	22	5	241	153	2	13	67	17	5
Percent	27%	56%	10%	6%	18%	29%	45%	8%	1%	60%	38%	0%	13%	66%	17%	5%
Pk total	371				266				401				102			
Highest	15:45				15:30				16:45				17:00			
Volume	22	68	11	6	18	24	34	3	2	73	52	1	6	23	7	0
Hi total	107				79				128				36			
PHF	.87				.84				.78				.71			

Peak Hour Analysis By Entire Intersection for the Period: 15:00 to 18:00 on 12/03/97

Peak start	15:00				15:00				15:00				15:00			
Volume	101	209	37	24	42	65	117	24	15	257	106	3	21	46	15	5
Percent	27%	56%	10%	6%	17%	26%	47%	10%	4%	67%	28%	1%	24%	53%	17%	6%
Pk total	371				248				381				87			
Highest	15:45				15:30				15:30				15:00			
Volume	22	68	11	6	18	24	34	3	2	75	23	0	7	13	5	3
Hi total	107				79				100				28			
PHF	.87				.78				.95				.78			

Att. 5



R1

R3

B3

R5

IL

R5

MH

Site

R3

ROS

B2

IL

IL

R3

IL

R5

MH

R3

HEAD ST

VALLEY

VALLEY

AMENDMENT TO PORTLAND CITY CODE
§§14-127, 14-130 (ZONING ORDINANCE)
RE: INTERMEDIATE, EXTENDED AND LONG-TERM CARE
FACILITIES IN THE R-5A ZONE

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF PORTLAND, MAINE
IN CITY COUNCIL ASSEMBLED AS FOLLOWS:

1. That Section 14-127(2) of the Portland City Code is hereby amended to add a new subsection e, said subsection to read as follows:

Sec. 14-127. Permitted uses.

The following uses are permitted in the R-5A residential zone:

(2) *Other:*

d. Municipal uses;

e. Intermediate, extended and long-term care facilities.

2. That Section 14-130(1) is hereby amended to read as follows:

Sec. 14-130. Dimensional requirements.

In addition to the provisions of division 25 (space and bulk regulations and exceptions) of this article, lots in the R-5A zone shall meet or exceed the following requirements:

(1) Minimum lot size:

Residential: Six thousand (6,000) square feet except as provided for lots of record in section 14-433 (lots of record and accessory structure setbacks for existing buildings) of this article. A lot in an unsewered residential district shall meet the provisions of the state Minimum Lot Size Law, 12 M.R.S.A. §4807-A, or the applicable zoning lot size, whichever is the largest.

Planned residential unit development (PRUD): Three (3) acres, gross area, as defined in section 14-47 (definitions) of this article, of contiguous land.

Intermediate, extended or long-term care facilities: One and one-half (1 1/2) acres.

City of Portland, Maine
IN THE CITY COUNCIL

Order 59
Tab 20 8-4-97
Att. 3

AMENDMENT TO ZONING MAP
RE: R-5A AND R-OS CONDITIONAL REZONING/VICINITY CANCO ROAD

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF PORTLAND, MAINE
IN CITY COUNCIL ASSEMBLED AS FOLLOWS:

That the Zoning Map of the City of Portland, dated March 1958, as amended and on file in the Department of Planning and Urban Development, and incorporated by reference into the Zoning Ordinance by §14-49 of the Portland City Code, be and hereby is amended by adopting the map change amendments shown on Attachment A.

BE IT FURTHER ORDAINED that such rezoning shall be subject to the following conditions:

1. The development shall be substantially as shown on the plan attached hereto as Attachment B, subject to final approval by the Planning Board.

2. In the event that the property is transferred to a non-profit entity, the current owner attains non-profit status, or the property, together with any improvements thereon, is otherwise determined to be exempt from municipal taxation, the owner shall make a payment in lieu of taxes in the full amount of the taxes that would be due and payable on the property if it were taxable. Such payments shall be made at the same time that property tax bills are due. Notwithstanding the foregoing, any present or future owner of the property who may be obligated by reason of this conditional rezoning to make a payment in lieu of taxes may appeal the valuation of the property, but not the obligation to make such a payment, pursuant to 36 M.R.S.A. §841. Failure to make payments required under this section shall result in a rezoning of the property to O-P, or a successor zone, after notice to the then owner of the property and a hearing by the City Council.

In the event that this condition is determined by a court of law to be unenforceable, then the use of the property permitted in the R-5A zone shall cease and the zoning classification shall revert to O-P or any successor zone after notice to the owner and a hearing by the City Council.

3. Public access shall be provided as shown on Attachment B. The Owner shall provide a deed for such access, in a form acceptable to the City's Corporation Counsel. Areas shown on

R-5ACANCREPB.FIN
07.23.97

Attachment B as open space park and easement areas shall remain undeveloped and shall not be disturbed, except for removal of dead or diseased trees or other vegetation, planting of new vegetation, installation and maintenance of utilities if areas are appropriately restored after such work, and construction and maintenance of trails.

4. This rezoning shall run with the land and shall be binding upon the owner, its successors and assigns, and any users of the property.

5. An attested copy of this conditional rezoning order shall be recorded in the Cumberland County Registry of Deeds.

10

59

ORDER

**AMENDMENT TO ZONING MAP RE: R-5A AND
R-OS CONDITIONAL REZONING/VICINITY
CANCO ROAD - SPONSORED THE PLANNING
BOARD, CYRUS HAGGE, CHAIR.**

IN THE CITY COUNCIL

AUGUST 4, 1997

Yvonne M. Daniels

City Clerk

Attest:

Yeas

Nays

August 4, 1997: This order received a first reading.

August 18, 1997: Motion made by Councilor Dawson to accept Order 59; seconded by Councilor McDonough. Roll Call vote, Passed 7-0.

Motion made by Mayor Campbell to reconsider Order 59; seconded by Councilor Dawson. Passed 7-0.

Motion made by Councilor Dawson to amend Order 59 by leaving the 60' x 102' out parcel in the R-5A rather than R-OS zone (Attachment 8); seconded by Councilor Mavodones. Passed 7-0.

Att. 8

CITY OF PORTLAND, MAINE
PLANNING BOARD

Att. 9

John Carroll, Chair
Jaimey Caron, Vice Chair
Kenneth M. Cole III
Cyrus Y. Hagge
Deborah Krichels
Erin Rodriguez
Mark Malone

April 10, 1998

Owens A. McCullough, P.E.
Project Manager
Sebago Technics
12 Westbrook Common
P.O. Box 1339
Westbrook, ME 04098

RE: Portland Retirement Residence

Dear Owens:

On March 10, 1998 the Portland Planning Board voted unanimously to approve the site plan and site location of development for Portland Retirement Residence at 219 Canco Road. The approval was granted for the project with the following conditions:

- i. that the applicant provide a revised deed for public access, in a form acceptable to the City's Corporation Counsel recognizing the existence of the Portland Trails trail.
- ii. that the remaining sidewalk and granite curb be installed at such time that the abutting property be developed or at the time that Phase II is developed or within five (5) years, whichever is first.
- iii. replacement of two (2) catch basins in Canco road, located across from the southwesterly site boundary, and replacement of the existing cross culvert connecting these basins with a pipe of appropriate size and avoiding conflict with the existing sanitary sewer manhole.
- iv. replacement of the outfall pipe which drains these two catch basins and directs runoff towards the existing swale located on the southwesterly abutting property.
- v. that the Development Review Coordinator's comments be addressed relating to book and page for easements, access door, emergency wier, and length of level lip spreaders, the confirmation of state permits not required and documentation of treatment pond calculations and maintenance plan.

The approval is based on the submitted site plan and the findings related to site plan review standards as contained in Planning Report #3-98, which is attached.

9a

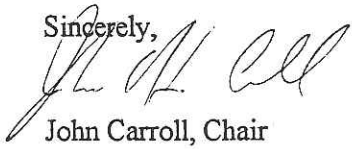
Please note the following provisions and requirements for all site plan approvals:

1. A performance guarantee covering the site improvements as well as an inspection fee payment of 1.7% of the guarantee amount and 7 final sets of plans must be submitted to and approved by the Planning Division and Public Works prior to the release of the building permit. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.
2. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. Requests to extend approvals must be received before the expiration date.
3. A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.
4. Prior to construction, a preconstruction meeting shall be held at the project site with the contractor, development review coordinator, Public Work's representative and owner to review the construction schedule and critical aspects of the site work. At that time, the site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the preconstruction meeting.
5. If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)

The Development Review Coordinator (874-8300 ext. 8722) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If there are any questions, please contact the Planning Staff.

Sincerely,



John Carroll, Chair
Portland Planning Board

- cc: Joseph E. Gray, Jr., Director of Planning and Urban Development
Alexander Jaegerman, Chief Planner
— Kandice Talbot, Planner
P. Samuel Hoffses, Building Inspector
Marge Schmuckal, Zoning Administrator
Tony Lombardo, Project Engineer
Development Review Coordinator
William Bray, Deputy Director of Public Works

Att. 10

EASEMENT DEED

KNOW ALL MEN BY THESE PRESENTS THAT the CITY OF PORTLAND, a body politic and corporate, and located at Portland, in the County of Cumberland and State of Maine (hereinafter referred to as "Grantor"), in consideration of one dollar and other valuable consideration paid by PORTLAND RETIREMENT RESIDENCE, a Limited Liability Company existing under the laws of the State of Oregon, the receipt whereof it does hereby acknowledge, does hereby remise, release, bargain, sell and convey, and forever quit-claim unto the said PORTLAND RETIREMENT RESIDENCE, LLC (hereinafter referred to as "Grantee"), its successors and assigns forever, the following-described real estate:

A certain perpetual easement or right of way, in common with the Grantor, its successors and assigns, for the construction, maintenance, repair, replacement and use of a driveway for vehicle and pedestrian access, and utility connections to, from and for the benefit of certain abutting land owned by Grantee and also being sometimes referred to herein as the "benefitted parcel", over, under, along and across certain land situated in the City of Portland, County of Cumberland and State of Maine, said land being more particularly described in Schedules A and B, attached hereto and incorporated herein by reference.

Provided, however, that the Grantee shall have the exclusive right and obligation to landscape and to maintain landscaping and all of its improvements in and to said easement parcel.

In the event that Grantee fails to develop and occupy the benefitted parcel in accordance with the site plan approvals and conditional rezoning authorized by Grantor, as may be subsequently modified subject to approval by Grantor, within sixty (60) months, then this easement shall become null and void.

IN WITNESS WHEREOF, the said City of Portland has caused this instrument to be executed and its corporate seal affixed by Duane Kline, Director of Finance, thereunto duly authorized this _____ day of _____, 199__.

10a

Signed, sealed and delivered
in the presence of:

CITY OF PORTLAND

By: _____
Duane Kline
Director of Finance

State of Maine
Cumberland, ss.

, 199

Personally appeared the above named Dane G. Kline in his capacity as Director of Finance for the City of Portland and acknowledged the foregoing instrument to be his free act and deed and the free act and deed of the City of Portland.

Before me,

Notary Public/Attorney-at-Law

Print name:

An access and utility easement over a certain lot or parcel of land located on the southeasterly side of Canco Road, in the City of Portland, County of Cumberland and State of Maine, being more particularly bounded and described as follows:

Beginning at a point located S 40°-43'-25" W, 135.00 feet from a 5/8 inch rebar at the northeasterly corner of land now or formerly of the City of Portland as described in Book 1459, Page 243. recorded in the Cumberland County Registry of Deeds;

Thence S 40°-43'-25" W, along land of Black Bear Development as described in Book 11866, Page 7, 38.25 feet to a point;

Thence S 41°-43'-45" W, along land of said Black Bear Development Corp., 61.75 feet to a point;

Thence N 48°-16'-15" W, through land of the Grantor, 49.57 feet, more or less, to Canco Road;

Thence N 40°-08'-48" E, along Canco Road, 100.04 feet, more or less, to a point;

Thence S 48°-16'-15" E, through land of the Grantor, 51.66 feet, more or less, to the point of beginning.

Above described easement contains 5,082 square feet, more or less.

Bearings are based on plan entitled "ALTA/ASCM Land Title Urban Survey of Black Bear Development Corp. Property" dated November 7, 1996 by Sebago Technics, Inc.

Above described easement is located on the property now or formerly of the City of Portland as described in Book 1459, Page 243.

Schedule B

10c

An access and utility easement over a certain lot or parcel of land located on the southeasterly side of Canco Road, in the City of Portland, County of Cumberland and State of Maine, being more particularly bounded and described as follows:

Beginning at a point located N 41°-43'-45" E, 272.57 feet from a 5/8 inch rebar at the southeasterly corner of land now or formerly of the City of Portland as described in Book 1459, Page 243, recorded in the Cumberland County Registry of Deeds;

Thence N 41°-43'-45" E, along land of Black Bear Development as described in Book 11866, Page 7, 100.00 feet to a point;

Thence N 48°-16'-15" W, through land of the Grantor, 42.98 feet, more or less, to Canco Road;

Thence S 40°-08'-48" W, along Canco Road, 100.04 feet, more or less, to a point;

Thence S 48°-16'-15" E, through land of the Grantor, 40.22 feet, more or less, to the point of beginning.

Above described easement contains 4,160 square feet, more or less.

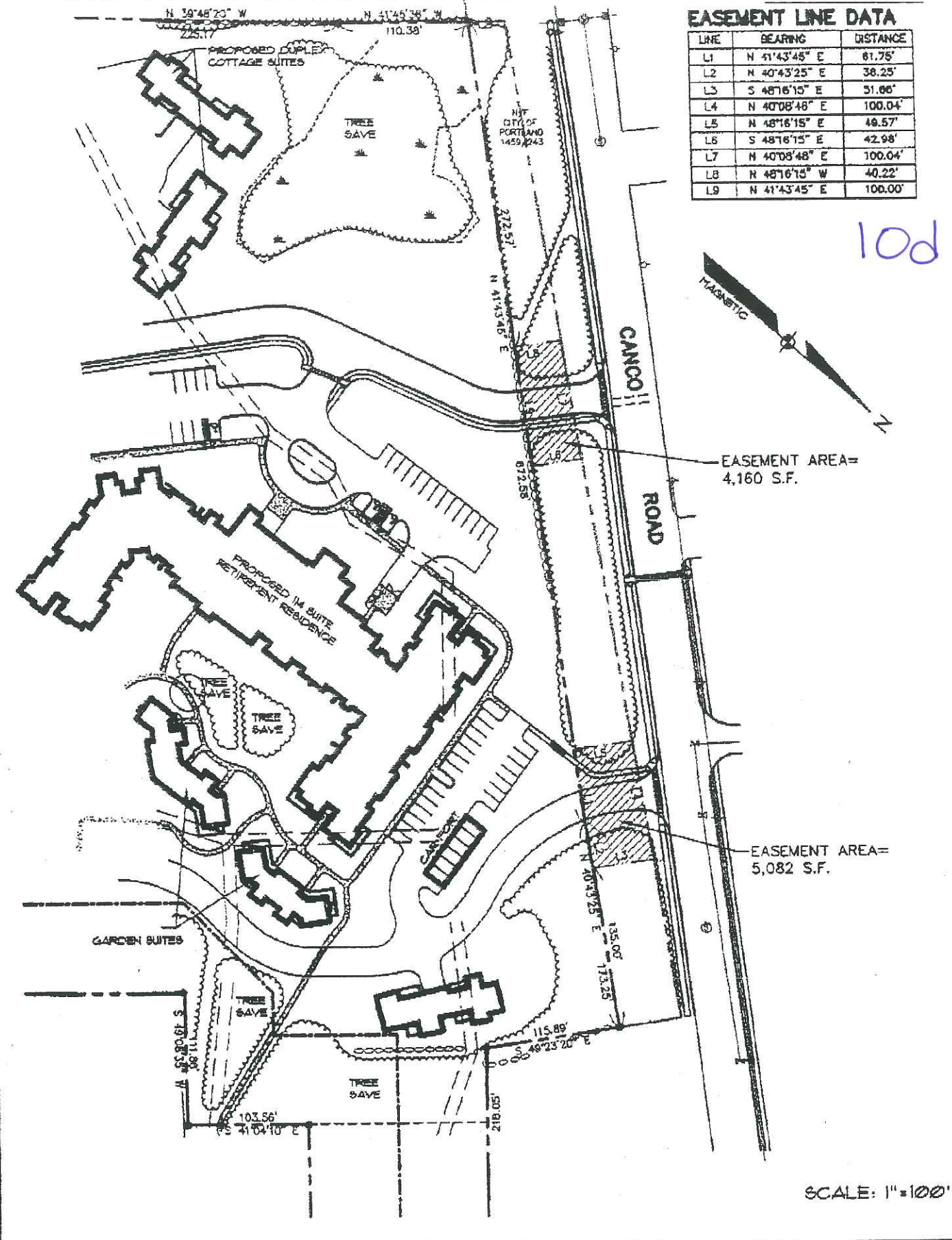
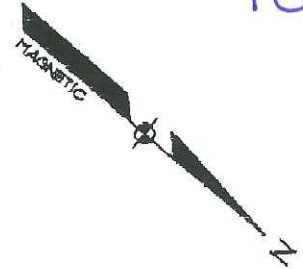
Bearings are based on plan entitled "ALTA/ASCM Land Title Urban Survey of Black Bear Development Corp. Property" dated November 7, 1996 by Sebago Technics, Inc.

Above described easement is located on the property now or formerly of the City of Portland as described in Book 1459, Page 243.

EASEMENT LINE DATA

LINE	BEARING	DISTANCE
L1	N 41°43'45" E	61.75'
L2	N 40°43'25" E	38.25'
L3	S 48°16'15" E	51.66'
L4	N 40°08'48" E	100.04'
L5	N 48°16'15" E	48.57'
L6	S 48°16'15" E	42.98'
L7	N 40°08'48" E	100.04'
L8	N 48°16'15" W	40.22'
L9	N 41°43'45" E	100.00'

10d



SCALE: 1"=100'

BK 14004 PG 244

048282

A.H. 12

**PEDESTRIAN ACCESS AND RECREATIONAL OPEN SPACE
EASEMENT DEED**

PORTLAND RETIREMENT RESIDENCE LIMITED LIABILITY COMPANY, an Oregon Limited Liability Company with a principal place of business located at 2250 McGilchrest Street, S.E., Suite 200, Salem, Oregon 97302 (hereinafter, and in Exhibit A, sometimes referred to as "Grantor"), for consideration paid, release to **CITY OF PORTLAND**, a body politic and corporate, located in Portland, County of Cumberland and State of Maine (hereinafter, and in Exhibit A, sometimes referred to as "Grantee"), the following described real estate in Portland, County of Cumberland and State of Maine, bounded and described as follows:

SEE EXHIBIT A ATTACHED HERETO AND MADE A PART HEREOF.

IN WITNESS WHEREOF, Portland Retirement Residence Limited Liability Company has caused this instrument to be executed this 1st day of July, 1998 by its Managers, thereunto duly authorized.

WITNESS

**PORTLAND RETIREMENT
RESIDENCE LIMITED LIABILITY
COMPANY, as Grantor**

Robin R. Boyd
Robin R. Boyd

William E. Colson
By: William E. Colson
Its: Manager

Robin R. Boyd
Robin R. Boyd

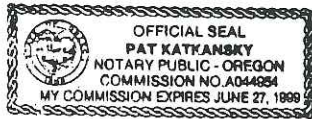
Daniel R. Baty
By: Daniel R. Baty
Its: Manager

STATE OF OREGON
COUNTY OF MARION

as.

July 1st, 1998

Then personally appeared the above-named William E. Colson and Daniel R. Baty and acknowledged the foregoing instrument to be their free act and deed in their said capacity and the free act and deed of Portland Retirement Residence Limited Liability Company.



© CLIENTS COLSON & CO PDS 11.82

Before me,

Pat Katkansky
Notary Public / ~~Atty~~ State of Oregon
Printed Name: Pat Katkansky

12a

EXHIBIT A

A Recreational Open Space and Pedestrian Access Easement located on and over a portion of Grantors' premises located on the southeasterly side of Canco Road in Portland, County of Cumberland and State of Maine and being that portion of Grantor's premises shown and depicted as "Natural Open Space Park" "Pedestrian Access Easement" on a Plan entitled "Overall Development Plan of Portland Retirement Residence L.L.C. made for Curry Brandaw Architects and Colson and Colson General Contractor, Inc.", by Sebago Technics dated November 3, 1997, as amended, and recorded in the Cumberland County Registry of Deeds in Plan Book 198, Page 220.

For title of Grantor reference is hereby made to a deed given by Black Bear Development Corporation dated November 26, 1997 and recorded in the Cumberland County Registry of Deeds in Book 13465, Page 161.

The easement granted herein shall be for the purpose of providing a public open space park and public pedestrian access easement over the above-referenced portions of Grantors land. Except as provided herein, and except for the trails created pursuant to the site plan approved by the City of Portland Planning Board, the above-referenced premises shall remain a natural area and shall remain undeveloped and shall not be disturbed except for the removal of dead or diseased trees or other vegetation, planting of new vegetation, installation and maintenance of utilities (provided any such areas disturbed by the installation of utilities be appropriately restored), and the construction, maintenance and repair of pedestrian trails.

The City of Portland, as Grantee, its successors and/or assigns, shall have the right to construct, maintain and repair additional trails at their own expense in the "Natural Open Space Park" area only, provided, however, that the Grantor herein, its successors and/or assigns, shall have the right to approve or disapprove any and all new trail locations.

The City of Portland, as Grantee, its successors and/or assigns, shall have the right to install trail signage. Grantor herein, its successors and/or assigns, shall have the right to approve or disapprove any and all trail signage for locations and placement.

The Pedestrian Access Easement as shown on the Plan and to be constructed as part of the development shall be limited to hours of use between sunrise and sunset each day. Passive recreational uses within these areas shall include only pedestrian foot traffic and shall exclude any and all mechanized or wheeled/tracked recreational vehicles. Wheelchairs or other similar non-recreational vehicles shall be permitted. Portland Retirement Residence Limited Liability Company reserves the right, in common with Grantee to enforce these restrictions, supplement or modify these restrictions (with the approval of the City of Portland Planning Board) and to remove anyone it, in its discretion believes

211
HOLM

is acting inappropriately, as it deems necessary to protect the residents of the Portland Retirement Residence and to maintain, protect and enhance the residential community surrounding the Portland Retirement Residence project. If, in the sole discretion of the Grantor, the Pedestrian Access Easement is not being used as provided herein, Grantor may close the Pedestrian Access Easement to public use.

The Natural Open Space Park as shown on the plan shall be limited to hours of use between sunrise and sunset each day. Passive recreational uses within this area shall be defined to include pedestrian foot, bicycle, skateboard, roller blade, roller skate or other similar uses and shall exclude any and all mechanized or wheeled/tracked recreational vehicles. Wheelchairs or other similar non-recreational vehicles shall be permitted. Portland Retirement Residence Limited Liability Company reserves the right, in common with Grantee to enforce these restrictions, supplement or modify these restrictions (with the approval of the City of Portland Planning Board) and to remove anyone it, in its discretion, believes is acting inappropriately, as it deems necessary to protect the residents of the Portland Retirement Residence and to maintain, protect and enhance the residential community surrounding the Portland Retirement Residence project. This restriction will apply to the proposed trail by Portland Trails.

The granting of this pedestrian and open space easement shall be subject to any existing easements of record and any restrictions established as part of the site plan approval for the creation of the Portland Retirement Residence project.

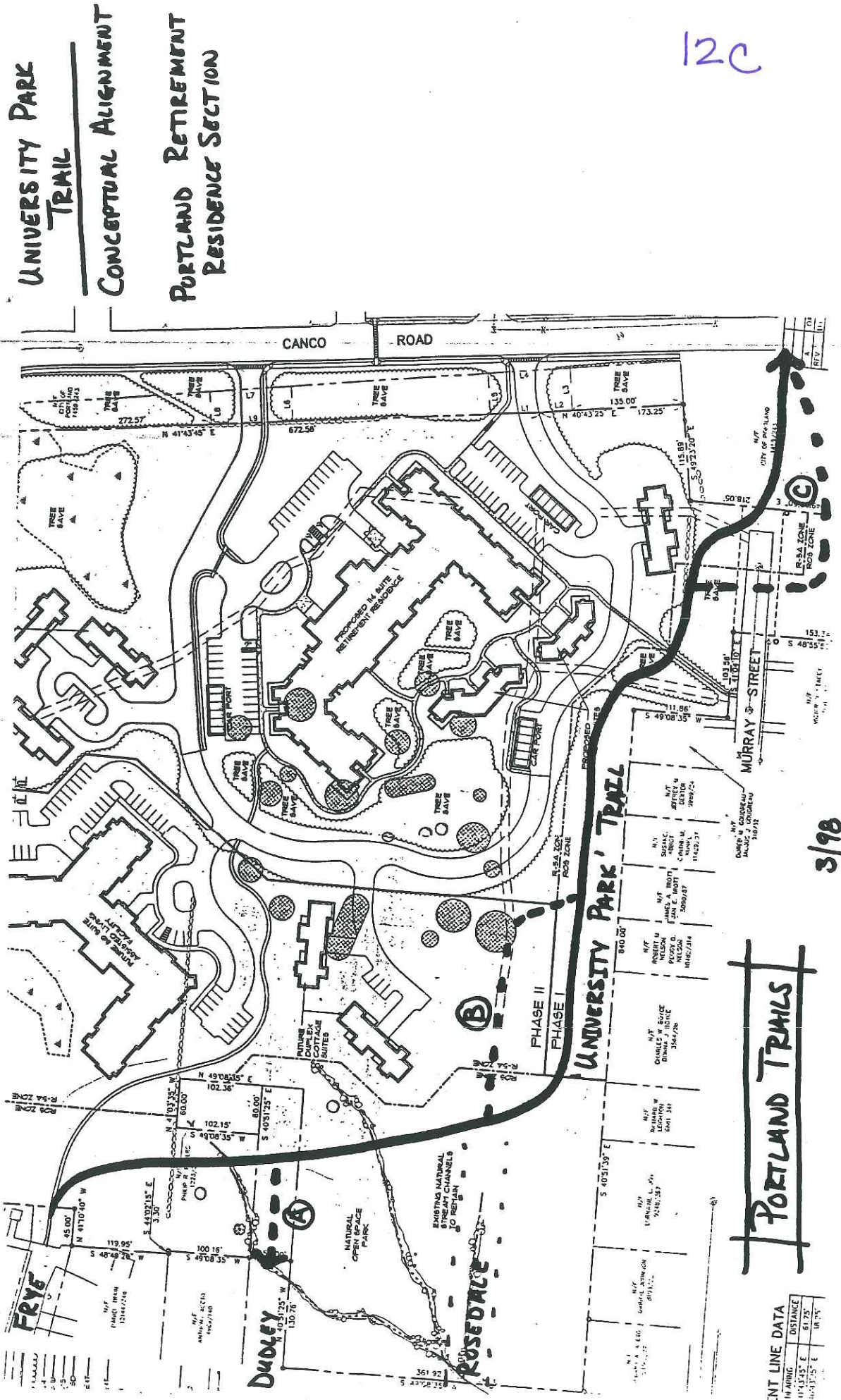
Exclusive use of the easement area is not hereby granted. The right to use the easement, likewise for ingress and egress, is expressly reserved by the Grantor. The Grantor reserves the right to use any surface or subsurface of the easement area that does not unreasonably interfere with the Grantee's use of such easement area.

Grantor reserves the right, in common with the Grantee, to enforce the restrictions contained in this easement deed. Grantee agrees to use its best efforts to enforce the restrictions contained herein.

RECEIVED
RECORDED REGISTRY OF DEEDS
1998 JUL 22 PM 2: 21
CUMBERLAND COUNTY
John B. Abuein

12c

- A Connection to Dudley Street to Payson Park.
- B Would connect to existing path/trail (on Rosedale St. ROW alignment).
- C Follows ROS zone if essement through RSA not acquired.



3/98

PORTLAND TRAILS

Att. 13

March 4, 2004
96592

Kandice Talbot, Planner
City of Portland
389 Congress Street
Portland, ME 04101

Application for Site Plan Review – The Woods at Canco Road, Phase II Development

Dear Ms. Talbot:

On behalf of the applicant, Curry Brandaw Architects and XL Management Company, LLC/Holiday Retirement Corp., we are pleased to submit an application for Site Plan Review for Phase II of the Woods at Canco Road. Phase II is the last phase of the overall development, which was started in the late 1990s and proposes 80 additional assisted living suites and four (4) cottage units. We also appreciated the opportunity to meet with the Planning Board at a workshop meeting.

We have assembled the enclosed application package for planning staff and Planning Board review. Below you will find narratives describing the project and additional information pertinent to the City's review:

I. Project Description

XL Management Company, LLC/Holiday Retirement Corp. proposes to develop an 80-suite assisted living facility with four cottage suites on the Phase II portion of the Woods at Canco Retirement Residence site along Canco Road. The property is zoned R-5A and ROS Conditional per a Contract Zone agreement approved in 1997. Phase I of the retirement center consisted of 114-suite assisted living facility with eight cottage and five garden suites, totaling 127 units.

The facility is designed for seniors who do not require the specialized services of a nursing home, yet are in need of some assistance with their daily routine. Residents, since they are in need of assistance, typically do not drive. Thus, sufficient on-site parking will be provided for visitor and staff needs at a rate one space per two suites. Because of the unique population of the proposed assisted living facility, the typical problems associated with higher density developments (increased traffic, noise and demand on public services) will not be an issue.

13a

II. Project Statistics

Total Site Area = 9.67 acres (Paul B)

Total Project Area (Phase II) = 5.02 acres

Total Main Building Area = 67,366 square feet

Main Building Footprint Area = 36,623 square feet

Cottages = 5,046 square feet

Other Impervious Surfaces (pavement, sidewalk, etc.) = 41,770 square feet

III. Easements

No easements exist on the proposed project site that encumber the project. A natural open space park has been reserved within the ROS Zone as a provision in the Contract Zoning of this parcel. The Contract Zoning agreement has been included as Exhibit 4.

IV. Solid Waste**Construction Debris**

The site to be developed is wooded and will require clearing and grubbing in the initial stages. Additional construction debris, such as clean wood, cardboard, packaging materials, etc., is also expected. Stumps and other organic debris will be ground on site and incorporated into erosion control mix for use on the project. Other debris will be disposed of at an appropriate construction material recycling facility, such as Riverside Recycling in Portland.

Post-Construction Debris

The assisted living facility and cottage suites will generate typical household and food preparation waste. Although nursing staff is available "around the clock", large quantities of medical waste is not expected as the medical staff will be primarily administering prescription medications and other routine medical procedures that do not generate hazardous types of waste. The waste generated by the proposed assisted living facility will be disposed of by a qualified waste hauler under contract with the Owner.

V. Off-Site Utilities

The proposed retirement facility will utilize public water and sanitary sewer. Connections for water services will be made off the 8-inch water main constructed during Phase I. The proposed 6-inch and 2-inch connections will respectively serve the primary facility and cottage units. The proposed sanitary sewer will connect with an existing manhole on Murray Street. Refer to the construction plans provided for detailed alignments of the proposed sewer and connection into the existing sanitary sewer system. "Capacity to serve" letters have been obtained from the Portland Water District and City of Portland Public Works Department, and are attached as Exhibits 7 and 8.

VI. Stormwater Management

Please refer to the attached stormwater management report (Exhibit 9)

13b

VII. Construction Plan

A detailed site plan is attached with this application. The site plan includes the access road alignment and grading, building layouts, pedestrian access ways, sanitary sewer connections, water distribution, storm drainage systems, stormwater management facilities, and erosion and sediment control measures. Also included within the plans are construction notes and details which provide specific construction related information and sequencing of construction. Pending final approval of the project, the anticipated commencement of construction is Spring 2004 with a 6-8 month construction schedule.

VIII. Regulatory Approvals

This project is being reviewed by the City of Portland under delegated review authority for the Site Location of Development Act and under the City's Site Plan review process. In addition, a Tier 1 Wetlands Alteration Permit is required due to impacts of an isolated forested wetland, and will be submitted to the Maine Department of Environmental Protection for review.

IX. Financial & Technical Capacity

Refer to Exhibit 6 regarding the client's and contractor's fiscal ability to complete the proposed project. Colson & Colson General Contractor, Inc. will serve as the general contractor for this project and has worked extensively with the developer on similar types of projects throughout the United States.

X. Evidence of Right, Title or Interest

The deed granting quitclaim covenants to Portland Retirement Residence, LLC from Black Bear Development, Inc. is attached as Exhibit 3.

XI. Natural Features, Wildlife, or Archaeological Sites

During the initial phase of the project, full topographic and boundary surveys were performed with geotechnical borings, and no unusual natural features, significant wildlife habitat area, or archaeological sites were found on the parcel.

XII. Recyclable Materials

Storage of recyclable materials will be available within the solid waste enclosure as shown on the provided site plan. As with the solid waste generated by the site, the recyclable materials will be handled by a qualified professional waste management and recycling company.

XII. Lighting

A site specific lighting plan has been prepared by the applicant and is included with the submittal. Lighting types and levels will be similar in nature to the current facility.

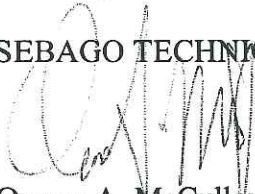
13c

On behalf of the applicants, we look forward to working with the planning staff and Planning Board to complete the design and permitting for Phase II. XL Management Company, LLC/Holiday Retirement Corp. is hopeful to complete the design and permitting to allow for a Spring 2004 construction start.

As you review the enclosed submittal, please feel free to contact me if you have any questions or would like to set up a meeting.

Sincerely,

SEBAGO TECHNICS, INC.



Owens A. McCullough, P.E.
Senior Project Manager

OAM/JBL:jbl/jc/df
Enc.

cc: Kristen Newland, Curry Brandaw Architects

AH. 14

BK 13465PG161

071383

**QUITCLAIM DEED
WITH COVENANT
(Maine Statutory Short Form)**

MAINE REAL ESTATE TAX PAID

KNOW ALL PERSONS BY THESE PRESENTS that BLACK BEAR DEVELOPMENT, INC., a corporation duly organized and existing under the laws of the State of Maine with a place of business at 30 LedgeWood Drive, Falmouth, Maine 04105, GRANTS with Quitclaim Covenants to:

PORTLAND RETIREMENT RESIDENCE LIMITED LIABILITY COMPANY, an Oregon limited liability company with a principal place of business located at 2250 McGilchrist Street, S.E., Suite 200, Salem, OR 97302

A certain lot or parcel of land situated in the City of Portland, County of Cumberland and State of Maine, more particularly described in Exhibit A attached hereto and made a part hereof.

IN WITNESS WHEREOF, BLACK BEAR DEVELOPMENT, INC. has caused this instrument to be signed this 26 day of November, 1997 by its President, Timothy P. O'Donovan, duly authorized.

Joseph R. Mazzio

BLACK BEAR DEVELOPMENT, INC.
By: *Timothy P. O'Donovan*
Timothy P. O'Donovan
Its President

STATE OF MAINE
CUMBERLAND, ss.

November 26, 1997

Personally appeared the above-named Timothy P. O'Donovan, President of Black Bear Development, Inc. and acknowledged the foregoing instrument to be his free act and deed in his said capacity and the free act and deed of the corporation.

Before me,
Joseph R. Mazzio
Notary Public/Attorney at Law
Joseph R. Mazzio

14a

BK 13465PG162 ✓

EXHIBIT A

217-283 Canco Road
Portland, Maine

Parcel One

A certain lot or parcel of land situated on Murray Street in the City of Portland, Cumberland County, Maine, bounded and described as follows:

Being lots 414 and 415 on the Plan of Forest Hills Extension, revised September 1923 by E. N. Sheffield and recorded in said Registry in Plan Book 15, Page 41.

Also being that parcel marked "Peter Coyne, 4422/145" on Murray Street on the "Plan of Land on Murray Street for Housing Resources Corp." by Owen Haskell, Inc. dated March 25, 1986, and recorded in the Cumberland County Registry of Deeds in Plan Book 159, Pages 66 and 67.

Parcel Two

Also conveying a second certain parcel of land situated on Rosedale Street in the City of Portland, Cumberland County, Maine, bounded and described as follows:

Being lots 258 through 284 on the Plan of Forest Hills Extension, revised September 1923 by E. N. Sheffield and recorded in said Registry in Plan Book 15, Page 41.

Parcel Three

Also conveying a third certain parcel of land, being the fee interest in Dudley Street abutting lots 212 through 216 inclusive on the Plan of Forest Hills, revised July 1923 by E. N. Sheffield, and recorded in the Cumberland County Registry of Deeds in Plan Book 15, Page 34, and more particularly bounded and described as follows:

BEGINNING at a point on the westerly side of Dudley Street marked by a 1 1/4" iron pipe at an easterly corner of land conveyed by Lyndal J. Wishcamper to Regis Associates by deed dated June 24, 1987 and recorded in said Registry in Book 7843, Page 254;

Thence N 40° 51' 25" W along the westerly side of Dudley Street 210.00 feet, more or less, to a point;

Thence N 49° 08' 35" E across said Dudley Street and along said land of Regis Associates 50.00 feet to a corner in said land of Regis Associates;

BK 13465PG 163

Thence S 40° 51' 25" E along the easterly side of Dudley Street 210.00 feet, more or less, to a point;

Thence S 49° 08' 35" W across said Dudley Street 50.00 feet to the point of beginning.

Reference is made to the "Plan of land on Murray Street for Housing Resources Corp." by Owen Haskell, Inc., dated March 25, 1986, and recorded in the Cumberland County Registry of Deeds in Plan Book 159, Pages 66 and 67, from which the above three descriptions are derived.

Parcel Four

Also a certain parcel of land situated on Murray Street, Rosedale Street, Lee Street, Dudley Street, and Frye Street in the City of Portland, County of Cumberland and State of Maine, bounded and described as follows:

BEGINNING at the northerly terminus of the northeasterly sideline of Murray Street at the land of the City of Portland (see Book 1459, Page 2 and 3), which point is located S 49° 28' 50" W a distance of 104.80 feet from a 5/8" iron rod found;

Thence, S 49° 28' 50" W across the northerly terminus of Murray Street and by the land of the City of Portland 113.25 feet;

Thence, N 49° 23' 20" W by the land of the City of Portland 115.89 feet;

Thence, S 40° 43' 25" W by the land of the City of Portland 173.25 feet;

Thence, S 41° 43' 45" W by the land of the City of Portland 672.56 feet to the land of Central Maine Power Company ("CMP") (Book 3595, Page 312);

Thence, S 41° 45' 25" E by the land of CMP 110.39 feet to a 5/8" iron rod set;

Thence, S 39° 48' 20" E by a stone wall and by the land of CMP 225.17 feet;

Thence, S 41° 44' 00" E by a stone wall and by the land of CMP and by land of Doris C. Carney (Book 1336, Page 370) 437.31 feet to a drill hole set in the stone wall;

Thence, S 41° 29' 50" E by a stone wall and by the land of Doris C. Carney 155.32 feet to the land of Donald E. and Marcia E. Grant (Book 3086, Page 562, Book 6319, Page 274);

Thence, N 48° 49' 20" E by the land of Grant and across Frye Street 169.81 feet to the northeasterly side of Frye Street;

HC

BK 13465 PG 164

Thence, S 41° 10' 40" E by Frye Street 45.00 feet to an angle point in Frye Street and the land of Robert P. and Sharon K. Gieringer (Book 4574, Page 28);

Thence, N 48° 49' 20" E by the land of Gieringer 119.95 feet to the land of Anthony J. Aceto (Book 4255, Page 8);

Thence, N 44° 02' 15" W by the land of Aceto 3.30 feet to a 1 1/4" iron pipe found;

Thence N 49° 08' 35" E by the land of Aceto 100.16 feet to a 1 1/4" iron pipe found at the southeasterly sideline of Dudley Street;

Thence, N 40° 51' 25" W by Dudley Street 150.00 feet to the land of Philip R. Powers (Book 1223, Page 264);

Thence, S 49° 08' 35" W by the land of Powers 102.15 feet to a stone wall;

Thence, N 41° 03' 35" W by a stone wall and the land of Powers 60.00 feet;

Thence, N 49° 08' 35" E by the land of Powers and across Dudley Street 152.36 feet to the northeasterly sideline of Dudley Street;

Thence, S 40° 51' 25" E by Dudley Street 340.76 feet to the northwesterly sideline of Lee Street;

Thence N 49° 08' 35" E by Lee Street 200.00 feet to the southwesterly sideline of Rosedale Street;

Thence, N 40° 51' 25" W by Rosedale Street 810.00 feet;

Thence, N 49° 08' 35" E across Rosedale Street and by the land of Peter Coyne (Book 4422, Page 145) 161.92 feet to the land of Jacques J. and Doreen M. Gaudreau;

Thence, N 40° 57' 50" W by the land of Gaudreau 30.00 feet;

Thence, N 49° 08' 35" E by the land of Gaudreau 111.86 feet to the southwesterly sideline of Murray Street;

Thence, N 41° 04' 10" W by Murray Street 30.00 feet to the land of Peter Coyne (Book 4422, Page 145) and Robert C. Hains (Book 6438, Page 231 and Book 6440, Page 123);

Thence, S 49° 08' 35" W by the land of Coyne and Hains 111.81 feet;

Thence, N 40° 57' 50" W by the land of Coyne and Hains 60.00 feet;

Thence, N 49° 08' 35" E by the land of Coyne and Hains 111.70 feet to the southwesterly sideline of Murray Street;

Thence, N 41° 04' 10" W by Murray Street 13.56 feet;

140

BK 13465 PG 165

Thence, N 48° 55' 50" E across Murray Street and by land of Victor O Stacy, Sr. (Book 3191, Page 537) 153.34 feet to the land of East Deering Housing Associates (Book 6948, Page 101);

Thence, N 40° 31' 10" W by the land of East Deering Housing Associates 151.05' to a 5/8" iron rod found at the land of the City of Portland (Book 1459, Page 243);

Thence, S 49° 28' 50" W by the land of the City of Portland 104.80 feet to the point of beginning.

Said parcel contains 766,056 square feet and is shown on "Plan of Land on Murray Street, Portland, Maine for Housing Resources Corporation, by Owen Haskell, Inc., March 25, 1986", recorded in the Cumberland County Registry of Deeds in Plan Book 159, Page 66.

RECEIVED
CUMBERLAND COUNTY REGISTRY OF DEEDS

1997 NOV 26 PM 3:32

CUMBERLAND COUNTY

John B. O'Brien

Colson & Colson

GENERAL CONTRACTOR, INC.

AH. 15

March 2, 2004

RECEIVED

MAR 02 2004

CURRY BRANDAW
ARCHITECTS

City of Portland
389 Congress Street
Portland, Maine 04101

Re: Portland Maine Assisted Living Project

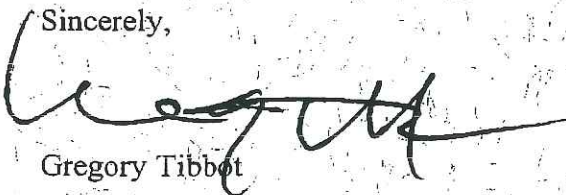
Dear Kandice Talbot,

Colson & Colson is financially capable of performing and completing all required site work for the above mentioned project.

Each month during the course of construction Colson & Colson will submit a draw request package to our approved construction lender for all work performed. They will then fund to us the amounts requested. At that time Colson & Colson will then pay each of its subcontractors including those used for site work.

If you have any questions or need additional information; please give me a call at (503) 370-7071 ext. 7156.

Sincerely,



Gregory Tibbot



Portland
Water District

received

2-18-04

225 Douglass St. • P.O. Box 3553 • Portland, ME 04104-3553

(207) 774-5961

FAX (207) 761-8307

www.pwd.org

Att. 16

February 17, 2004

Mr. Steve Groves
Sebago Technics, Inc.
One Chabot Street
Westbrook, Maine 04098-1339

Re: Portland Assisted Living Facility: Canco Rd, Portland

Dear Sir:

The Portland Water District has a 12" water main in Canco Road, Portland, near the proposed site. A test on a nearby hydrant produced the following results: static pressure 76 psi; residual pressure 65 psi; pito pressure 45 psi; with a flow of 1125 gpm. With these results in mind, the District feels we have sufficient capacity available to serve this proposed project and meet all normal fire protection and domestic water service demands. **Please notify your plumber of these results so that they can design your system to best fit the available pressure.**

With certification by the developer that all required permits have been received, we look forward to serving this project.

Sincerely,

PORTLAND WATER DISTRICT

David W. Coffin, PLS
Engineering Supervisor

2001 Governor's Award for Environmental Excellence



Michael J. Bobinsky
Director

received
2-10-04
SEBAGO TECHNICS

CITY OF PORTLAND

6 February 2004

Att. 17

Mr. James B. Lowery, P.E.,
Senior Civil Engineer,
Sebago Technics, Incorporated,
P.O. Box 1339,
Westbrook, Maine 04098-1339

**RE: The Capacity to Handle Wastewater Flows from Phase II
Expansion, at Holiday Retirement Corporation, 257 Canco Road.**

Dear Mr. Lowery:

The existing twelve inch diameter vitrified clay sewer pipe stub, located in Lee Street, at Murray Street, has **adequate capacity to transport**, while The Portland Water District sewage treatment facilities, located off Marginal Way, have **adequate capacity to treat** the anticipated increased wastewater flows of **15,185 GPD**, from your proposed project.

Anticipated Wastewater Flows from the Proposed Phase II Development:

80 Proposed Units @ 180 GPD/Unit	= 14,400 GPD
4 Proposed Cottages @ 180 GPD/Cottage	= 720 GPD
65 Proposed Parking Spaces @ 1 GPD/Parking Space	= 65 GPD
Total Proposed Increase in Wastewater Flows for this Project	= 15,185 GPD

The City combined sewer overflow (C.S.O.) abatement consent agreement (with the U.S.E.P.A., and with the Maine D.E.P.) requires C.S.O. abatement, as well as storm water mitigation, in order to offset any increase in sanitary flows, from all projects.

If The City can be of further assistance, please call 874-8832.

Sincerely,
CITY OF PORTLAND

Frank J. Brancely, B.A., M.A.
Senior Engineering Technician

FJB

- cc: Alexander Q. Jaegerman, Director, Planning Division, Department of Planning, and Urban Development, City of Portland
 Kandice Talbot, Planner, Department of Planning, and Urban Development, City of Portland
 Eric Labelle, P.E., City Engineer, City of Portland
 Bradley A. Roland, P.E., Environmental Projects Engineer, City of Portland
 Anthony W. Lombardo, P.E., Project Engineer, City of Portland
 Stephen K. Harris, Assistant Engineer, City of Portland
 Desk file



At 18

STORMWATER RUNOFF EVALUATION

**Portland Assisted Living Facility
Canco Road
Portland, Maine**

February, 2004

prepared by:

Sebago Technics, Inc.

STORMWATER RUNOFF EVALUATION

Portland Assisted Living Facility Canco Road Portland, Maine

General

The following Stormwater Management Plan has been prepared for XL Management Co., LLC and Holiday Retirement Corporation to evaluate stormwater runoff and erosion control for the proposed second phase of Portland Retirement Assisted Living Facility in Portland, Maine. The Retirement Assisted Living Facility will be sited on a 9.7-acre parcel of land of which half is dedicated open space.

Project improvements will entail the construction of 80 assisted living facility suites and four (4) cottage units. Since this project will be accessed from Phase 1, there are no new access roads being constructed. Stormwater collection for the 80 suite assisted living facility will be managed through a drainage infrastructure which includes catch basins and drainage swales integrated with a dry swale/detention pond. The dry swale/detention has been designed for both stormwater quantity and quality. Stormwater collection for the cottages is managed through a catch basin collection system and discharged to a wooded buffer area. The combined stormwater management plan utilizes "Best Management Practices" to achieve a 54% TSS removal rate and similar peak stormwater runoff flows for the pre and post-development.

Site Characteristics

The 9.7-acre parcel is located in a forested area east of Phase 1 and west of Ocean Avenue. The property is presently undeveloped and is predominately forested. The topography on site is moderate, with a surface gradient ranging from 3% to 11%. Stormwater runoff in the development area is primary collected in two on-site wetlands. These wetlands discharge through two separate drainage channels, which merge along the southeasterly property line. This is where the majority of the stormwater runoff from the site channelizes before outletting to Fall Brook.

The enclosed USGS quadrangle map depicts the general characteristics of the site and surrounding areas. In addition, a detailed on-site topographical survey was completed as part of the project and utilized to develop specific on-site grading, drainage and utility plans.

18b

The analysis also included the sizing of a stormwater dry swale/detention pond, level spreader outlets, and a subsurface drainage infrastructure. The following tables present the results of the stormwater runoff calculations for pre and post-development conditions. Each table provides watershed data for each of the subcatchments delineated for the analysis, together with results of the pre development and post-development assessments routed through the proposed detention pond.

Portland Retirement Watershed Data Summary Table						
Watershed	Pre-Development			Post-Development		
	Area (Ac)	Cn	Tc (Min)	Area (Ac)	Cn	Tc (Min)
1	1.76	77	18.1	1.34	77	17.2
1a	2.93	70	13.3	1.79	87	7.3
1b	-			0.54	73	14.3
2	4.65	73	20.0	3.69	74	20.0
2a	-			0.7	84	10.0
2b	-			1.28	89	7.9
10	1.71	79	15.7	1.28	83	12.5

Stormwater Runoff - Summary Table				
Condition	Study Point	Peak Runoff Rate (cfs)		
		2-Year	10-Year	25-Year
Pre-Development	Flow Entering Reach 5	6.82	17.26	22.86
Post-Development	Flow Entering Reach 5	7.66	17.25	22.66
Net Change with Detention		0.84	-0.01	-0.20

As presented in the above summary table, there will be a change in hydraulic characteristics due to the development of this project. This can be attributed to the changes in surficial conditions through the construction of vehicle circulation areas, buildings, clearing and grading activities, resulting in an increase in stormwater runoff from the project development. In order to mitigate this expected increase, a formal stormwater collection system will be constructed. The drainage infrastructure collection system will be comprised of several components to include overland sheet flow to stabilized swales and a catch basin collection system with a subsurface conduit system conveying drainage to the stormwater pond and wooded buffer area. Culverts with stabilized inlets and outlets will also be installed at key locations tailored to the design development of this project. The dry swale/detention pond will be sited to collect stormwater runoff through a drainage infrastructure and limit peak discharge rates to near or below pre-development rates. There will be a slight increase in the 2-year storm event. The detention pond has been designed as a dry swale to treat the first 1.25 inches of runoff from the impervious surface area. The dry swale can remove up to 90% of the total suspended solids.

Soils

18c

Soil information used in the stormwater analysis was obtained from a Cumberland County Medium Intensity Soil Survey. The Medium Intensity Soil Survey indicates the predominant site soils as Hollis very rocky fine sandy loam and Scantic silt loam. The Hydrologic Groups (HSG) of the soils are classified by Technical Release TR-55 of the Soil Conservation Service as follows:

Hollis C/D
Scantic.....D

Drainage Characteristics (Pre and Post-Development Watershed Delineation)

In the pre-development, the watersheds were divided into four subcatchments with one point of analysis. The point of analysis is Reach 5, which is located along the southeasterly property line. This is where the majority of the stormwater runoff from the site channelizes before outletting to Fall Brook. Stormwater runoff from Subcatchment 1a drains in an easterly direction through overland sheet flow and shallow concentrated flow to an on-site wetland. Stormwater runoff from Subcatchments 1 and 2 drains in an easterly direction and channelizes at Reach 5. Subcatchment 10A is the pre-development runoff that was modeled in 1996. Again, all subcatchments eventually outlet along the southeast property line at Reach 5.

In the post-development, the watersheds were divided into seven subcatchments with one point of analysis. The post-development utilizes the same points of discharge as the pre-development. In the post-development, there is 2.13 acres of new impervious surface area. To mitigate peak runoff and to provide stormwater treatment, an assortment of "Best Management Practices" methods are used. Subcatchment 1a, which includes 0.97 acre of impervious surface area, is routed through a dry swale. The dry swale has been designed to provide 90% TSS removal and detention. Subcatchment 2a includes 0.28 acre of new impervious surface area and is collected in a catch basin system that outlets through a level lip spreader. The level lip spreader outlets to a wooded buffer area where the expected TSS removal rate is 62%. Subcatchments 1 and 2 will remain similar to the pre-development except for a reduction in area as a result of this development.

Stormwater Management

In order to evaluate drainage characteristics as a result of the proposed development activities, a quantitative analysis was performed to determine peak rates of runoff for the 2, 10 and 25-year storm events in the pre and post-development conditions. The evaluation was performed using the methodology outlined in the USDA Soil Conservation Service's "Urban Hydrology for Small Watersheds - Technical Release #55 (TR-55)". HydroCAD computer software was utilized to perform the calculations. Data output sheets from this analysis are appended to this report, along with watershed maps.

18d

A specific Erosion & Sedimentation Control Plan will also be implemented as an integral part of the stormwater management plan regulating both during and after construction activities. These measures will include the placement of sedimentation barriers (siltation fence) along downgradient areas, together with specific requirements for the use of riprap, erosion control blanket, stone check dams, hay bale barriers, and temporary/permanent revegetation measures. These construction requirements have been developed following Best Management Practice guidelines and have been placed directly on the design plans for construction reference.

Summary

The Portland Retirement Facility project will include a comprehensive grading, drainage and utility plan responsive to site characteristics, topographical conditions, and requirements of the Maine Department of Environmental Protection's Stormwater Management Law. The proposed stormwater management plan utilizes "Best Management Practices" to achieve a 54% TSS removal rate and similar peak stormwater runoff flows for the pre and post development. Although there will be a small increase in peak flow, we feel that this will not be detrimental to the downstream area. Stormwater runoff leaves the sites in a well-defined channel that eventually merges with Fall Brook. A site-specific erosion and sedimentation control plan is also proposed to address during and after construction conditions. Temporary erosion control measures will be required to be implemented during the construction phase of the project as specified on the Erosion & Sedimentation Control Plan as provided on the site plans.

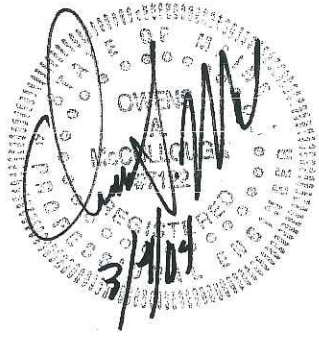
Permanent erosion control measures have also been incorporated into the plan for long-term stabilization of the site. These measures will be integrated with the overall site development, which includes limits for disturbance and clearing (see clearing limits on site plans), and a permanent revegetation plan.

Prepared by:

SEBAGO TECHNICS, INC.

Steven A. Groves
Steven A. Groves
Project Engineer

SAG:sag/jc
February 18, 2004



AH. 19

Traffic Impact Study

PROPOSED HOLIDAY RETIREMENT VILLAGE
Portland, Maine

Prepared for

Sebago Technics
Westbrook, Maine



EATON
TRAFFIC
ENGINEERING

Brunswick, Maine

March 2004

19a

PROPOSED HOLIDAY RETIREMENT VILLAGE – PHASE II

Canco Road / Portland, Maine

Traffic Impact Study

Introduction

Holiday Retirement Corporation proposes to construct Phase II of the Holiday Retirement Village located on the southeasterly side of Canco Road between Washington Avenue and Read Street (see Figure 1 in the Appendix). The existing Phase I of Holiday Retirement Village consists of 114 retirement suites, 8 cottage suites and 5 garden suites. Phase II will add 80 Assisted Living Suites and 4 Cottage Suites. Holiday Retirement Village is accessed via two two-way driveways on Canco Road. Phase II will utilize these existing access drives.

The purpose of this traffic impact study is to evaluate the impact of new site generated traffic on roadways in the vicinity of the site. As part of this endeavor, Eaton Traffic Engineering contacted the City of Portland's temporary traffic engineer, Thomas Errico P.E. of Wilbur Smith Associates, regarding the appropriate scope the analysis. Based upon a discussion of the issues, it was preliminarily determined that the study area would include both access driveways to the site and the intersection of Canco Road @ Read Street.

Pre-Development PM Peak Hour Traffic

Traffic impact analysis is typically performed for traffic conditions that occur during the weekday PM peak hour, as this is usually the time of heaviest traffic flow that occurs on a weekday. As part of the process of estimating weekday PM peak hour traffic volumes, manual traffic counts were conducted February 23, 24 and 26, 2004 during the PM peak period (4:00 – 6:00 PM)

19b

at the following locations:

1. Canco Road @ North Site Drive
2. Canco Road @ South Site Drive
3. Canco Road @ Read Street

Normally, traffic volumes are adjusted to peak seasonal flows using MDOT adjustment factors. In most areas of Maine, the peak season occurs during July and August. In the case of this project, the adjustment factor was 1.20 for the February counts. In addition to applying a seasonal adjustment, it must also be considered that it will take a few years to actually complete construction and begin occupancy of Phase II. For this study a horizon date of 2006 has been assumed. A review of MDOT traffic count data indicated that there have been no recent repeated counts in the vicinity of the site that would allow calculation of annual traffic growth. Typical growth rates in urban areas in Maine range from 1 to 2 percent annually. A 2 percent annual growth rate was applied to the seasonally adjusted traffic volumes to estimate 2006 pre-development PM peak hour traffic volumes. These volumes are shown on Figure 2 in the Appendix.

Site Generated PM Peak Hour Traffic

Trip generation for the proposed Phase II of Holiday Retirement Village was estimated using the statistics contained in the publication Trip Generation - Sixth Edition¹ for ITE land use codes 251 "Elderly Housing Detached" and 252 "Congregate Care Facility". 80 of the units are assisted living suites which generally fit the description of a Congregate Care Facility. The remaining 4 cottage units are in duplex configuration which essentially appear to generally emulate detached elderly housing... Accordingly, trip generation is estimated as follows:

¹ Institute of Transportation Engineers, 1997

Holiday Retirement Village Trip Generation Estimate

19c

Time Period	Congregate Care (80)	Detached Units (4)	Total Trips
PM Peak Hour (Between 4-6 PM)	14	1	15

Total peak hour trips during the PM peak hour is estimated at 15 (9 enter, 6 exit. Figure 3 (see Appendix) presents the assignment of site generated PM peak hour trips to the roadways in the vicinity of the site based upon observed patterns for Phase I of the development.

Post-Development PM Peak Hour Traffic

Post-development conditions are estimated by adding net site generated traffic volumes to the "base" or pre-development volumes. Figure 4 (see Appendix) presents projected 2006 post-development weekday PM peak hour traffic.

Operational Assessment Pre/ Post-Development Traffic Volumes

Capacity analysis was performed for the pre- and post-development PM peak hour traffic projections for the intersections in the study area using the procedures contained in the Highway Capacity Manual². Capacity analysis provides a quantitative assessment of the quality of traffic flow at an intersection, and "rates" this quality in terms of its Level of Service (LOS). LOS

², Highway Capacity Manual, HCM2000, Transportation Research Board, 2000

19d

ratings range from A to F, and much like a school rank card, A indicates very good conditions, and F indicates extremely congested conditions with long delays.

For **unsignalized** intersections LOS is based upon average control delay, which takes into account the delay involved in arriving, waiting in, and departing a vehicle queue. The relationship between LOS and average total delay is shown below:

Level of Service Measurement for Unsignalized Intersections

Level of Service	Average Total Delay Per Vehicle
A	≤ 10 Seconds
B	$>10 - \leq 15$ Seconds
C	$>15 - \leq 25$ Seconds
D	$>25 - \leq 35$ Seconds
E	$>35 - \leq 50$ Seconds
F	≥ 50 Seconds

The results of the analysis of the intersections in the study area are shown below. (The intersection of Canco Road @ Read Street was analyzed as two "T" intersections).

19e

Unsignalized Intersection Analysis PM Peak Hour

Location	Pre-Development		Post Development	
	LOS	Delay	LOS	Delay
Canco @ North Site Drive				
Left from Canco SB	A	8.0	A	8.0
North Drive	B	10.3	B	10.4
Canco @ South Drive				
Left from Canco SB	A	8.1	A	8.1
South Drive	B	11.5	B	11.7
Canco @ Read West				
Left from Read EB	A	8.5	A	8.6
Canco SB	E	38.9	E	40.6
Canco @ Read East				
Left from Read WB	A	8.4	A	8.4
Canco NB	C	19.7	C	19.7

As can be seen, the proposed development will not significantly alter the control delay or the LOS at any of the intersections in the study area.

Safety

The publication MDOT High Crash Location Listing – 2000-2002³ was reviewed for roadways in the vicinity of the site. MDOT guidelines for identification of a High Crash Location (HCL - indicating a potential safety deficiency) is that a location must experience both 8 or more accidents in a 3 year period and have a Critical Rate Factor of 1.00 or greater. No location in the vicinity of the site was identified as an HCL. In the past the intersection of Canco Road @ Read Street was an HCL. This was noted in the 1997 traffic impact study prepared for Phase I of

³ MDOT Bureau of Maintenance and Operations, Traffic Engineering Division, Accident Records Section, 2003
PROPOSED HOLIDAY RETIREMENT VILLAGE – PHASE II ■ Traffic Impact Study

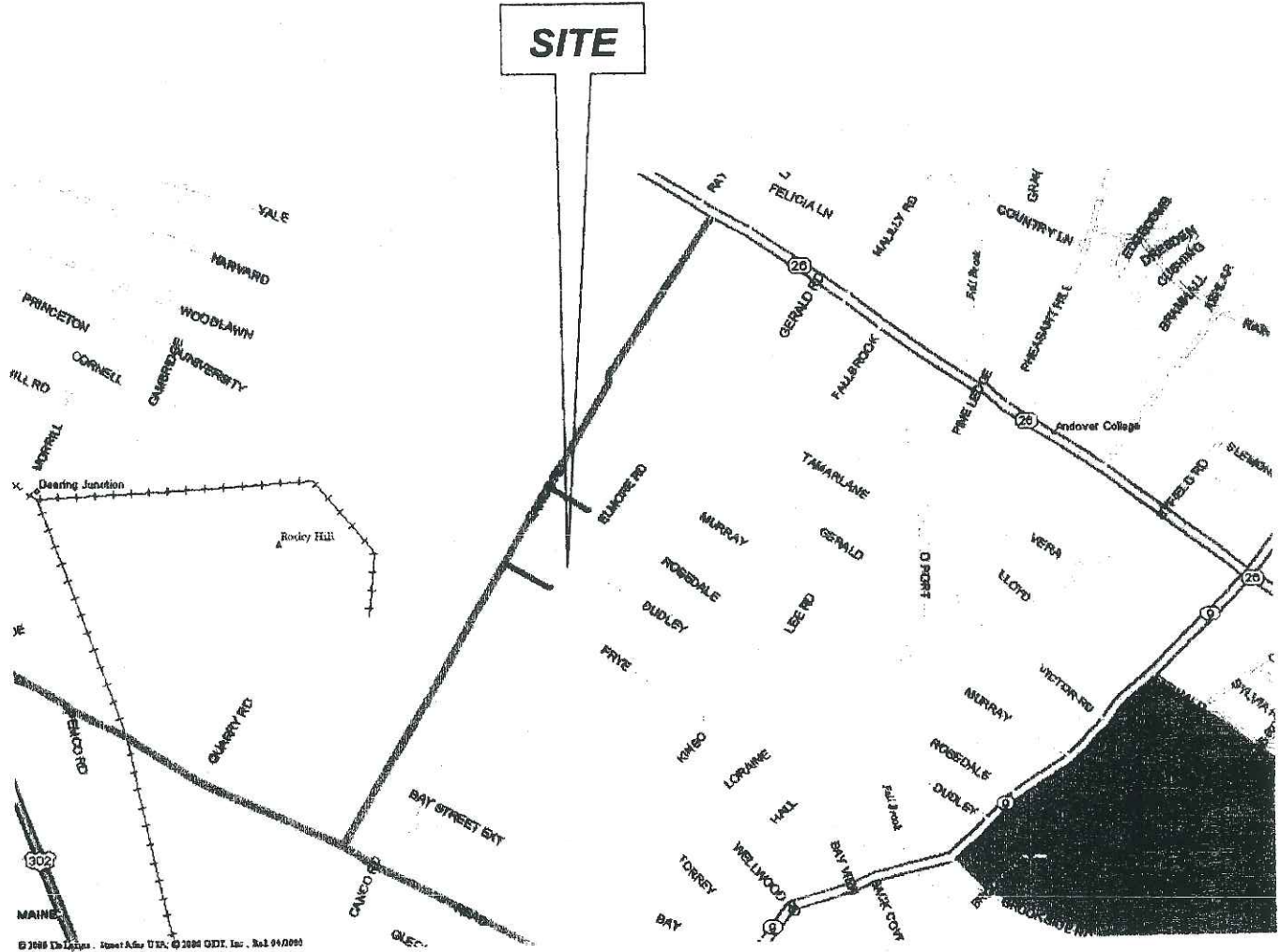
19f

Holiday Retirement Village. At that time the 3 years of 1994-96 were reviewed, and 13 accidents were recorded, with 1 in 1994, 2 in 1995 and 10 in 1996. At that time it was felt that 1996 was an anomaly. Since that time, the intersection has not been an HCL.

Summary of Findings

The proposed Holiday Retirement Village Phase II is projected to generate 15 vehicle trips during the PM peak hour - 9 entering and 6 exiting the site. Additional traffic generated by the proposed development is not projected to have any substantive impact on existing capacity or Level of Service for roadways in the vicinity of the site. There are no High Crash Locations in the immediate vicinity of the site, based upon 2000-2002 accident data.

199
N



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Figure 1
SITE LOCATION AND ACCESS

HOLIDAY RETIREMENT VILLAGE - PHASE II / PORTLAND, MAINE

Eaton
EATON
TRAFFIC
ENGINEERING

2 Miranda St - Brunswick, Maine
(207) 725-9005 Fax (207) 725-0847

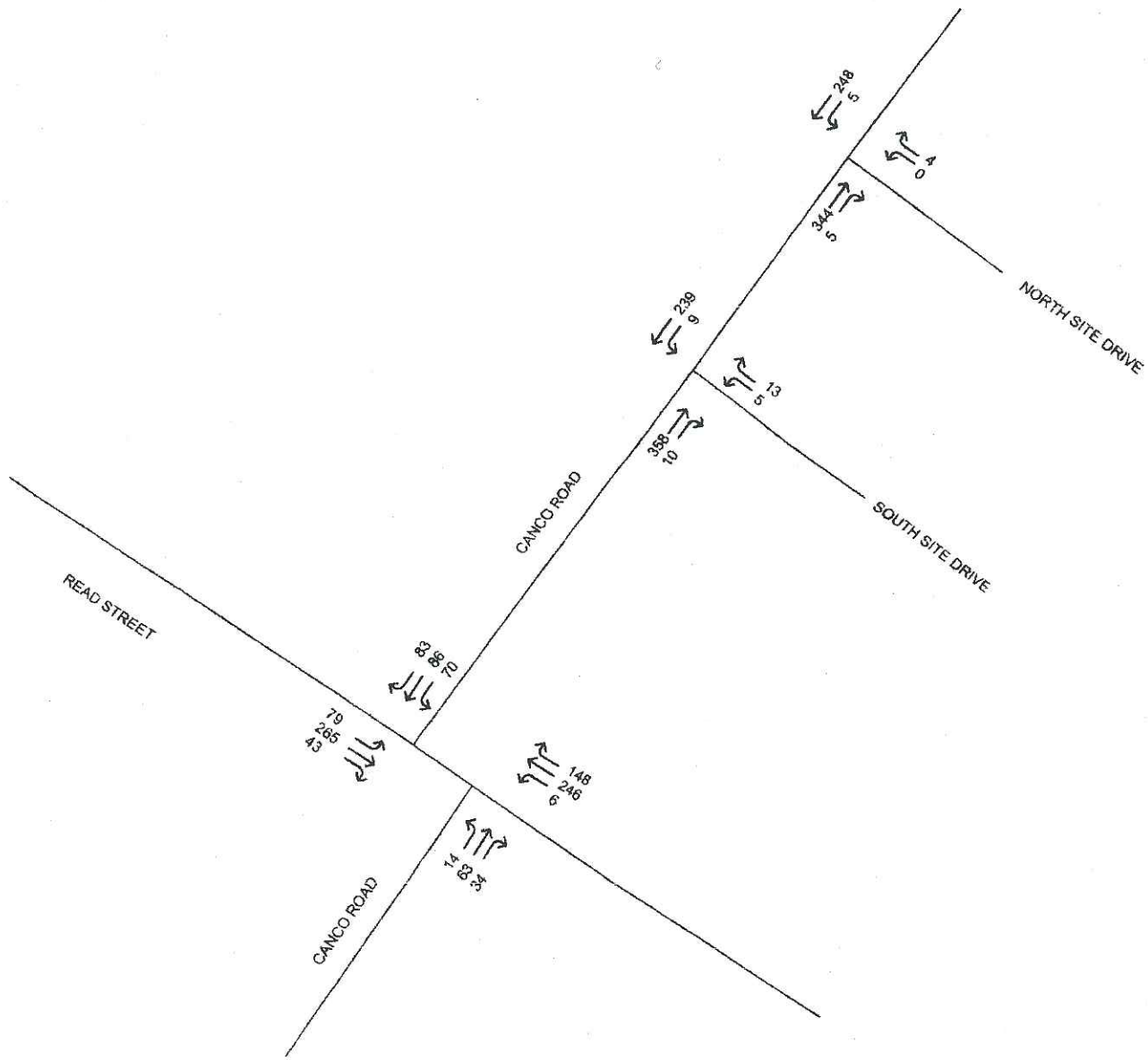


Figure 2
 ESTIMATED 2006 PM PEAK HOUR TRAFFIC - PRE-DEVELOPMENT
 HOLIDAY RETIREMENT VILLAGE - PHASE II / PORTLAND, MAINE

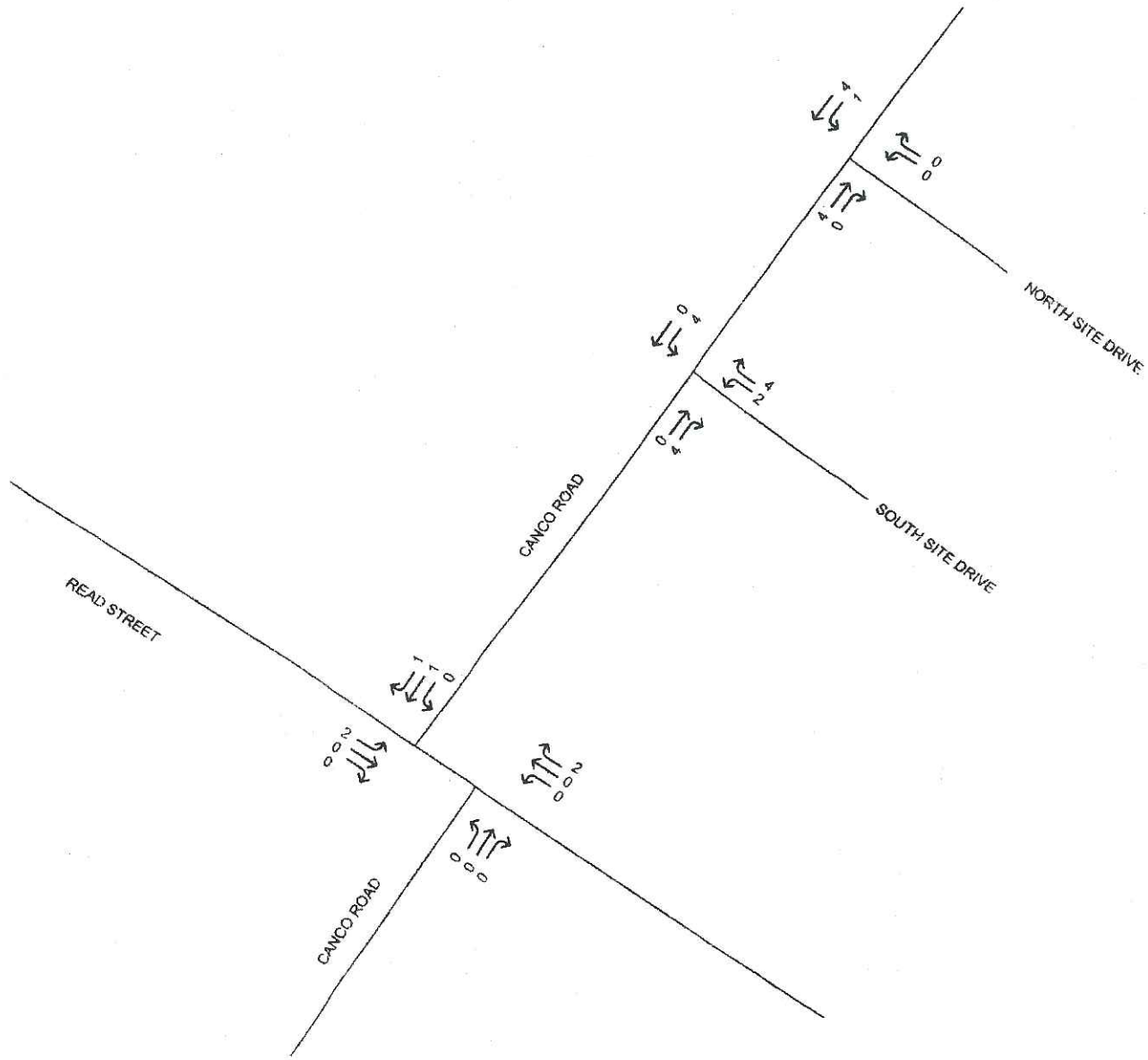


Figure 3
 SITE GENERATED WEEKDAY PM PEAK HOUR TRAFFIC
 HOLIDAY RETIREMENT VILLAGE - PHASE II / PORTLAND, MAINE

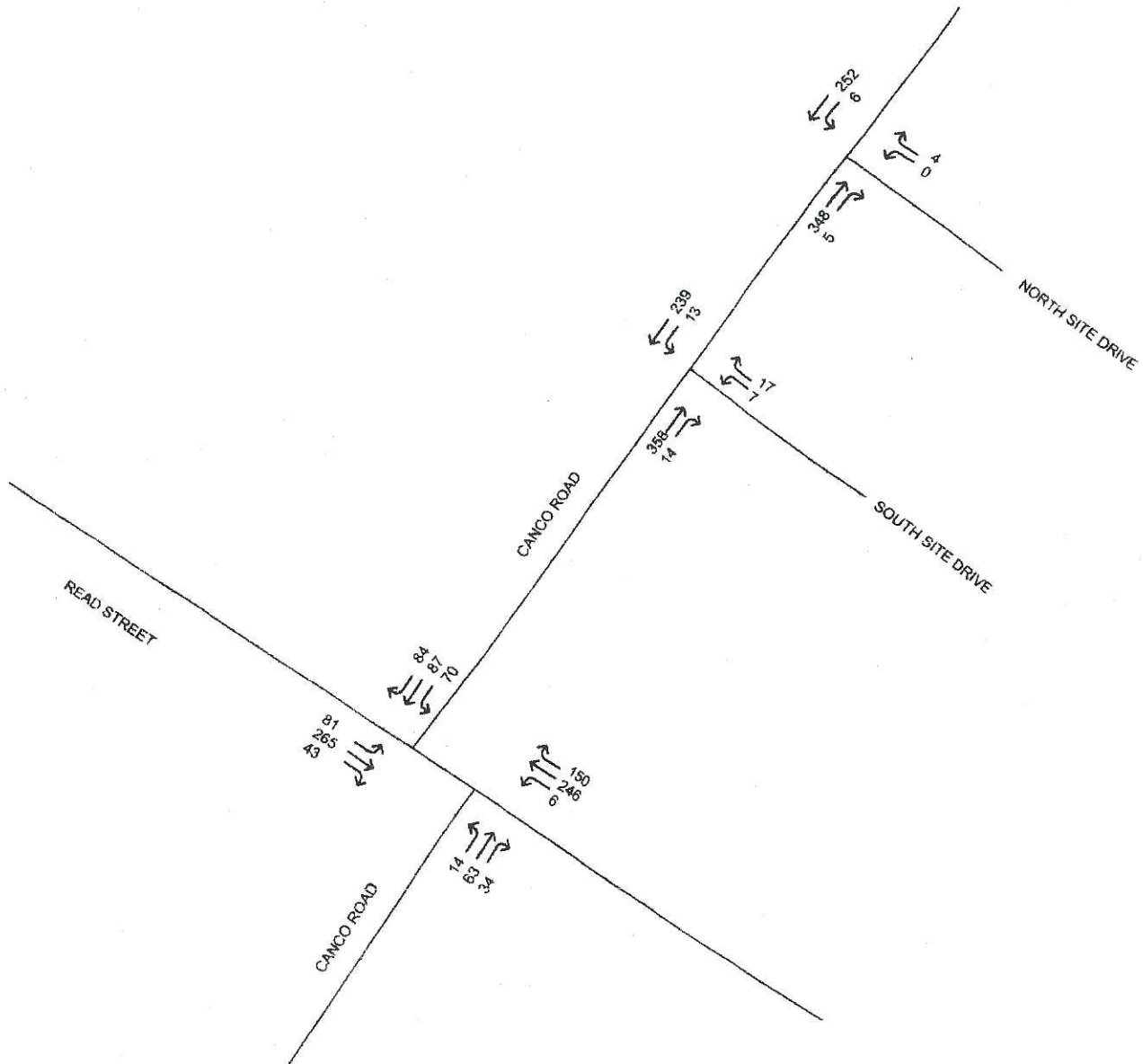
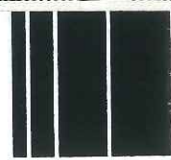


Figure 4
PROJECTED 2006 PM PEAK HOUR TRAFFIC - POST-DEVELOPMENT

HOLIDAY RETIREMENT VILLAGE - PHASE II / PORTLAND, MAINE

ete EATON
TRAFFIC
ENGINEERING

2 Miranda St - Brunswick, Maine
(207) 725-9805 Fax (207) 725-0847



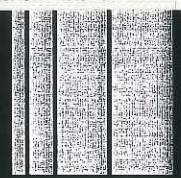
AH. 20

Foundation Investigation
Proposed Portland Assisted Living Facility
Phase II
Portland, Maine

for

Curry Brandaw Architects
2260 McGilchrist Street SE, Suite 100
Salem, OR 97302

February 9, 2004



February 9, 2004
96592

20a

Mr. Garth Brandaw
Curry Brandaw Architects
2260 McGilchrist Street SE, Suite 100
Salem, OR 97302

Foundation Investigation
Proposed Portland Assisted Living Facility, Phase II, Portland, Maine

Dear Garth:

This report presents the results of our evaluation of the subsurface conditions and foundation requirements for the proposed Portland Assisted Living Facility – Phase II in Portland, Maine. As you may recall, Haley & Aldrich, Inc. performed a subsurface investigation for the facility. Results of their evaluation were presented in their report dated October 3, 1997. Kenneth Recker, our Geotechnical Engineering Manager, completed the original evaluation while at Haley & Aldrich.

In summary, it is our opinion that the buildings may be supported on spread and continuous footings bearing on undisturbed naturally-deposited soils, sound intact bedrock, or on compacted structural fill placed after removal of unsuitable soil. In addition, earth-supported slabs-on-grade may be used for the lowest floors. Specific recommendations regarding foundation design and construction considerations are presented below.

Introduction

The approximately 11.3-acre site of the Phase II construction is immediately south and east of the Phase I portion of the facility. The entire site is an approximately 20-acre parcel on the east side of Canco Road, between Torrey Road and Murray Street. Several bedrock exposures are located in the Phase II area. Ground surface elevations within the proposed building areas vary from approximately El. 70 to El. 80. Elevations in this report are in feet and referenced to National Geodetic Vertical Datum.

Phase II will consist of a two-story building containing 80 Assisted Living Suites and four one-story Cottage Suites in two buildings. In addition, there will be roadways and parking for 65 vehicles.

Proposed Construction

206

The buildings will be wood frame structures. The two-story building will have maximum column loads of 80 kips and wall loads of 3.5 kips per foot. The one-story buildings will have nominal loads. Ground floor elevation of the two-story building is El. 83.0 and the one-story buildings are El. 77.5.

Subsurface Explorations

On September 17, 1997, nineteen test pits, TP29 and TP31 through TP49, except TP44, were excavated by W. H. Lavigne (WHL) of Standish, Maine at locations shown on Sheet 1, Site and Subsurface Exploration Plan. The proposed locations of test pit TP44 was on a bedrock exposure and TP44 was not excavated. WHL excavated test pits to depths below ground surface varying from 0.5 foot to 6.0 feet. Haley & Aldrich prepared the logs included as Appendix A. Exploration results are summarized in Table I, Summary of Test Pits.

Sebago Technics determined the locations and ground surface elevations at test pits.

The test pits and related information depict subsurface conditions and water levels only at their specific locations at the time of excavation. Soil conditions at other locations may differ from conditions at these locations. Also, the passage of time may result in a change in groundwater conditions at exploration locations.

Subsurface Conditions

The test pits encountered four principal soil units overlying bedrock at the site: forest mat, topsoil, marine deposit, and glacial till. Encountered thickness and generalized descriptions of the soil units are presented below in order of increasing depth below ground surface.

Forest Mat - Forest mat consisting of leaves, pine needles, twigs and other organic debris was encountered at the surface of the test pits. Encountered thickness varies from 0.2 foot to 0.5 foot.

Topsoil - Topsoil consists of dark brown to rust-brown, loamy SILT; to loamy fine SAND with roots. Encountered thickness ranges from 0.3 foot to 1.4 feet.

Marine Deposit - The marine deposit consists of interbedded gray-brown to rust brown, silty fine SAND and sandy SILT; to gray-brown silty fine SAND; to clayey SILT; to gray-brown, mottled, silty CLAY. Encountered thickness of the marine deposit varies from 0.3 foot to 6.9 feet.

Glacial Till - Glacial till consisting of brown, silty, medium to fine SAND, with fractured rock fragments was encountered in several test pits. Encountered thickness ranges from 0.4 foot to 0.8 foot.

Bedrock was encountered in most of the test pits.

200

Groundwater was not encountered in the test pits. However, test pits were made over a short period of time and may not represent the stabilized groundwater level. It is likely that groundwater flows along the soil/bedrock interface, in the weathered portions of bedrock and upper bedrock, following the trend of the top of rock. In addition, water levels at the site will vary with precipitation, season, temperature and construction activity in the area. Therefore, groundwater levels during and following construction may differ from that observed in the explorations.

Recommendations for Foundation Design

Recommended Foundation Type and Design Criteria

The forest mat and topsoil are not considered suitable for support of the buildings. All forest mat and topsoil should be removed from within the limits of foundations. It is our opinion that the buildings may be supported on spread footings bearing on the undisturbed, naturally-deposited marine deposit and glacial till or bedrock or on compacted structural fill placed after removal of unsuitable soil (forest mat and topsoil).

We recommend that, for uniformity, the footings be proportioned for an allowable bearing stress, in pounds per square foot (psf), equal to 1,500 multiplied by the least lateral dimension of the footing in feet, up to a maximum of 4,500 psf. All footings should be at least 1.5 feet wide. In some areas, bedrock will likely be at or near the proposed bottom of footing. For footings bearing on bedrock, the maximum slope of the bedrock surface should not be steeper than 4 horizontal to 1 vertical. Steeper slopes should be benched or tapered to the above criteria.

Individual footings should be founded either on soil or bedrock. Continuous footings may span both soil and rock provided a transition from soil to rock is provided. Tapering the bedrock surface to a slope of 4 horizontal to 1 vertical and backfilling with structural fill to a minimum depth of 1 foot would be acceptable.

Exterior footings bearing on soil should be founded at least 4.5 feet below the lowest adjacent ground surface exposed to freezing. Interior footings, if required, should be founded a minimum of 1.5 feet below the ground floor slab. Exterior footings bearing on sound bedrock may be founded at least 2 feet below the lowest adjacent ground surface exposed to freezing.

Bedrock may be encountered above the proposed floor level and bearing level for foundations. Therefore, rock cuts may be required for foundation construction in some areas. Figure 3 of the Haley & Aldrich report may be used to estimate the required volume of rock excavation. The contours shown on Figure 3 are based on information from the explorations referenced therein. Actual top of rock between exploration locations will vary from the indicated contours.

Rock should be defined as "any material that is geologically classified as rock and requires drilling and blasting to excavate." Boulders and cobbles should not be classified as bedrock. Provisions should be made in the contract plans and payment items for adjusting bearing levels in the field to accommodate actual bedrock surface grades.

20d

Compacted structural fill supporting footings should extend laterally from the footings to at least the limits defined by 1 horizontal to 1 vertical lines sloped outward and downward from points located at least 2 feet horizontally beyond the bottom edges of the footings.

At the recommended bearing stress, we anticipate that foundation settlement will be on the order of one inch, or less. We anticipate that more than 50 percent of this settlement will occur during the construction period. We anticipate that settlement of this magnitude is acceptable. However, the structural engineer should determine the final acceptability of settlement.

Ground Floor Slabs

We recommend that the lowest level floor slabs be designed as earth-supported slabs-on-grade bearing on a minimum 6-inch thickness of compacted structural fill. All forest mat and topsoil should be removed from within the building limits prior to placing fill. All fill placed below the floor slabs for raises-in-grade should consist of compacted structural fill. Normal dampproofing and vapor barriers should be used below floor slabs.

Seismic Design Considerations

We recommend that the buildings be designed according to the seismic requirements of the latest edition of the International Building Code. The site classification is Class C; the site response coefficient F_a , is 1.2 for short period spectral response acceleration S_s of 0.37g; the site response coefficient F_v , is 1.7 for the one-second period spectral response acceleration S_1 of 0.10g. The soils are not considered liquefaction susceptible.

Lateral Foundation Loads

We recommend that lateral loads be resisted by bottom friction on footings. We recommend that a coefficient of friction equal to 0.40 be used for footings bearing on soil and a coefficient of friction equal to 0.70 for footings bearing on sound bedrock.

Lateral Soil Pressure

We recommend that foundation walls which are restrained at the top and backfilled be designed to resist a lateral earth pressure calculated on the basis of an equivalent fluid unit weight of 55 pounds per cubic foot. This fluid unit weight assumes an at rest earth pressure coefficient of 0.45 and a free-draining granular backfill. If any buildings will have below grade space, we recommend that a perimeter foundation drain consisting of a perforated pipe surrounded by crushed stone and filter fabric be constructed at the exterior base of the wall. Gravity drainage should be provided.

Retaining walls, if required, should be designed for an equivalent fluid unit weight of 40 pounds per cubic foot. Walls should be backfilled with free-draining structural fill, and gravity drainage should be provided.

Backfill Materials

20e

Structural fill used below foundations and floor slabs and for backfill adjacent to walls should consist of sandy gravel to gravelly sand. It should be free of organic material, loam, trash, snow, ice, frozen soil and other objectionable material, and should conform to the following gradation:

<u>Sieve Size</u>	<u>Percent Finer by Weight</u>
6 inch	100
No. 4	30 to 90
No. 40	10 to 50
No. 200	0 to 8

Compacted structural fill should be placed in layers not exceeding eight inches in loose measure and compacted by self propelled vibratory equipment at the approximate optimum moisture content to a dry density of at least 95 percent of the maximum dry density, as determined in accordance with ASTM Test Designation D1557. In confined areas, the maximum particle size should be reduced to 3 inches and the loose layer thickness should be reduced to 6 inches and compaction performed by hand-guided equipment.

Compacted structural fill on the outside of the foundation walls and behind retaining walls should extend laterally a minimum of two feet from the wall. Backfill beyond this limit may consist of common fill. The top 12 inches of fill on the exterior of the buildings should consist of low permeability material to minimize water infiltration next to the building. Grading should provide for runoff away from the building.

Common fill may consist of inorganic mineral soil that can be placed in layers and compacted. Common fill should be placed and spread in layers not exceeding 12 inches in thickness and compacted with a minimum of two systematic passes of the equipment placing the fill.

In our opinion, the soil encountered in the test pits is not suitable for structural fill but would be suitable for common fill and for raises-in-grade in landscaped areas. The fine-grained soil (clayey silt and silty clay) will be moisture sensitive and may require moisture conditioning (drying) before being placed in layers and compacted.

Pavement Section

The recommended pavement sections for roads and parking areas are as follows:

Roads

- 3 in. bituminous concrete, placed in two layers
- 3 in. screened or crushed gravel base course
- 18 in. sand or gravel subbase course

Automobile Parking Areas

- 3 in. bituminous concrete, placed in two layers
- 18 in. sand or gravel subbase course

Base and subbase course materials should conform to the following gradations:

20f

Base Course

Screened or Crushed Gravel (Maine DOT Standard Specification, Highways and Bridges; Section 703.06a, Type A).

<u>Sieve Size</u>	<u>Percent Finer by Weight</u>
2 inch	100
1/2 inch.	45 to 70
1/4 inch	30 to 55
No. 40	0 to 20
No. 200	0 to 5

Subbase Course

Sand or Gravel (Maine DOT, Section 703.06b, Type D)

<u>Sieve Size</u>	<u>Percent Finer by Weight</u>
4 inch.	100
1/4 inch.	25 to 70
No. 40	0 to 30
No. 200	0 to 7

(Note: Type D aggregate should be modified to a maximum 4 inch size. Compacted structural fill may be substituted for gravel subbase course, but the maximum particle size should be reduced to 4 inches.)

All forest mat and topsoil should be removed from within the limits of pavement.

Subbase course material should be placed in maximum 8-inch thick loose lifts and compacted at approximately optimum moisture content to a dry density of at least 95 percent of maximum dry density, as determined in accordance with ASTM Test Designation D1557. Base course material should be placed in one lift and compacted with a minimum of two coverages with self-propelled vibratory compaction equipment.

Some portions of the access roads and parking areas may have relatively shallow depth of soil overlying bedrock. If proposed final pavement grades require the excavation of bedrock, we anticipate that rock excavation will require systematic drilling and blasting for removal. In pavement areas where subbase directly overlies bedrock, it is our opinion that the subbase thickness may be reduced to 6 inches.

Permanent slopes in bedrock may be as steep as 1 horizontal to 4 vertical. Permanent slopes in soil should be no steeper than 2 horizontal to 1 vertical. In areas where soil slopes overlie excavated bedrock slopes, we recommend that a 5-foot bench be provided at the top of the rock slope; that is, the toe of the soil slope be set back a minimum of 5 feet from the top of the bedrock slope.

20g
It should be noted that the subgrade soils are considered frost-susceptible. Therefore, pavement roughness due to non-uniform frost movement may occur. To eliminate such non-uniform frost movement would require approximately 4.5 feet of structural fill subbase, except where bedrock is within the depth of freezing. However, it is common practice to tolerate seasonal movement to avoid the high cost of the added thickness of subbase.

Construction Considerations

General

The primary purpose of this section of the report is to comment on items related to excavation, earthwork, and related geotechnical aspects of proposed construction. It is written primarily for the engineer having responsibility for preparation of plans and specifications. Since it identifies potential construction problems related to foundations and earthwork, it will also aid personnel who monitor the construction activity. Prospective contractors for this project must evaluate the construction problems on the basis of their own knowledge and experience in the Portland, Maine area, and on the basis of similar projects in other localities, taking into account their proposed construction methods, procedures, equipment and personnel.

Excavation, Lateral Support and Control of Water

As discussed above, rock excavation may be required for foundation construction and roadway and parking areas. Based on observations of the character of bedrock revealed in the test pits and bedrock exposures on the site, we anticipate that excavation will require systematic drilling and blasting.

Normally, specifications require that the contractor is completely responsible for all damages resulting from blasting operations. In addition, specifications should require the contractor to control blasting vibrations measured at the locations of the nearest structures to not exceed the "safe limits" recommended by the U.S. Bureau of Mines in Appendix B of BUMINES RI 8507, attached; peak air over-pressure to less than 0.014 psi, measured at the location of the nearest structure, considering wind direction, and to provide protection against fly rock.

We anticipate that foundation excavation can be accomplished with sloped open excavation through the overburden soils provided safe side slopes can be maintained. Some sloughing and raveling should be anticipated in temporary slopes. Temporary excavations should be made in accordance with all OSHA and other applicable regulatory agency requirements.

We anticipate that groundwater may be encountered at proposed subgrade level or bearing level of footings. If encountered, groundwater can likely be controlled by open pumping from sumps. In general, the contractor should control groundwater and water from runoff and other sources by methods which prevent disturbance of bearing surfaces or adjacent soils and allow construction in-the-dry.

February 9, 2004

20h

Construction Monitoring

The foundation recommendations contained herein are based on the known and predictable behavior of a properly engineered and constructed foundation. Monitoring of the foundation construction is required to enable the geotechnical engineer to keep in contact with procedures and techniques used in construction. Therefore, we recommend that a person qualified by training and experience be present to provide monitoring at the site during preparation of foundation bearing surfaces and placement of compacted structural fill.

Limitations of Recommendations

This report has been prepared for specific application to the subject project in accordance with generally accepted geotechnical engineering practices. In the event that any changes in the nature, design or location of the buildings are planned, the conclusions and recommendations contained in this report should not be considered valid, unless the changes are reviewed and the conclusions of this report modified or verified in writing.

The recommendations presented herein are based in part on the data obtained from the referenced test pits. The nature and extent of variations between the explorations may not become evident until construction. If variations then appear evident, it will be necessary to re-evaluate the recommendations of this report.

We request that we be provided the opportunity for a general review of final design and specifications in order to determine that our earthwork and foundation recommendations have been interpreted and implemented in the design and specifications as they were intended.

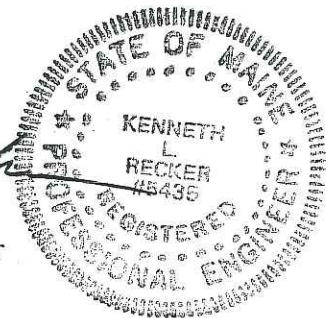
It has been a pleasure to work with you on this project. Please do not hesitate to contact us if you have any questions or require additional information.

Sincerely,

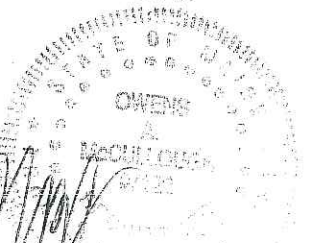
SEBAGO TECHNICS, INC.



Kenneth L. Recker, P.E.
Geotechnical Engineering Manager



Owens A. McCullough, P.E.
Project Manager



KLR/OAM:klr/jc
Enclosures:

- Table I - Summary of Test Pits
- Sheet 1 - Site and Subsurface Exploration Plan
- Appendix A - Logs of Test Pits

TABLE I
SUMMARY OF TEST PITS
PORTLAND ASSISTED LIVING FACILITY -- PHASE II
PORTLAND, MAINE

Test Pit No.	Ground Surface El. (Ft.)	Depth (Ft.)	Depth to Water (Ft.)	Strata Thickness (Ft.)							Approx. El. Top of Rock (Ft.)
				Forest Mat	Topsoil	Sand	Silt	Clay	Glacial Till	Bedrock	
TP29	83.6	2.5	NE	0.2	0.8	1.5	--	--	--	0.0*	81.1
TP31	82.4	4.0	NE	0.3	1.0	2.0	0.7	--	--	0.0*	78.4
TP32	76.1	2.0	NE	0.3	0.9	--	--	--	0.8	0.0*	74.1
TP33	75.0	0.5	NE	0.5	--	--	--	--	--	0.0*	74.5
TP34	73.1	3.5	NE	0.3	0.8	--	1.9	--	0.5	0.0*	69.6
TP35	70.8	6.0	NE	0.2	0.4	--	1.9	2.5/1.0*(5)	--	--	--
TP36	74.7	2.5	NE	0.2	1.4	0.9	--	--	--	0.0*	72.2
TP37	81.6	1.5	NE	0.2	0.6	--	0.7	--	--	0.0*	80.1
TP38	79.6	4.0	NE	0.3	0.9	0.8	2.0	--	--	0.0*	75.6
TP39	69.7	5.0	NE	0.2	1.3	--	3.5*	--	--	--	--
TP40	67.6	1.0	NE	0.2	0.4	0.4	--	--	--	0.0*	66.6
TP41	78.0	1.4	NE	0.	0.8	--	--	--	0.4	0.0*	76.6
TP42	86.9	3.7	NE	0.3	0.9	2.5	--	--	--	0.0*	83.2
TP43	77.5	7.5	NE	0.3	0.3	2.9	4.0	--	--	0.0*	70.0
TP44	83.0	0.0	NE	--	--	--	--	--	--	0.0*	83.0
TP45	69.7	5.5	NE	0.5	1.0	3.0	1.0	--	--	0.0*	64.2
TP46	71.8	1.3	NE	0.3	0.5	0.3	--	--	--	0.0*	70.5
TP47	64.7	4.0	NE	0.5	0.6	--	2.9	--	--	0.0*	60.7
TP48	65.2	3.0	NE	0.3	0.7	2.0	--	--	--	0.0*	62.2
TP49	85.2	2.5	NE	0.2	1.3	1.0	--	--	--	0.0*	82.7

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NOTES:

1. Elevations referenced to National Geodetic Vertical Datum.
2. NE Indicates water not encountered within depth of test pit.
3. -- Indicates stratum not encountered within depth of exploration.
4. * Indicates depth of penetration into stratum.
5. Sand encountered below the clay in TP35.
6. Test Pit TP44 was on a bedrock exposure and no excavation was required.

20j



Curry Brandaw Architects

PARTNERSHIP

96592

AH. 21

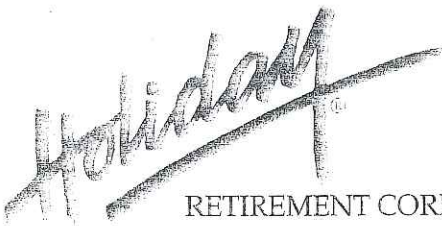
Date: February 3, 2004

To: Owens McCullough
Sebago Technics
12 Westbrook Common
PO Box 1339
Westbrook, ME 04098-1339
Phone: 207-856-0277
Fax: 207-856-2206

From: Kristin Newland
Curry Brandaw Architects
2601 25th St. SE., Suite 300
Salem, OR 97302
Phone: 503-399-1090 Ext. 212
Fax: 503-399-0565

Re: Portland Assisted Living Facility
Canco Road - Portland, Maine

Enclosed please find 390 neighborhood announcements for the February 11, 2004 meeting for the above-mentioned project. I have included one for your files. The announcements have postage already and are ready for the mailing labels to be added. Please call me if you have any questions.



RETIREMENT CORP.

REAL ESTATE & FINANCE
2250 McGilchrist St. S.E. • Salem, Oregon 97302
P.O. Box 14111 • Salem, Oregon 97309-5026
(503) 370-7070 • Fax (503) 375-7644
www.holidaytouch.com

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ANNOUNCEMENT

TO: Neighbors in the area of Canco Road

FROM: Curry Brandaw Architects
and Holiday Retirement Corp.

REGARDING: Our Proposed Assisted Living Facility

Holiday Retirement Corp./XL Management, operator of numerous retirement and assisted living facilities throughout the United States and Canada, is proud to announce the development of the Portland Assisted Living Facility. Our residence will continue a tradition of quality senior living services for the elderly and their families.

The Portland Assisted Living Facility services include three prepared meals daily, housekeeping, laundering, and private bus transportation. The monthly rent payment covers the private room, the afore-mentioned services and utilities. In addition to these services, a Service Plan detailing the services a resident requests or requires is determined. These services include assistance with medications, bathing, grooming, dressing and other areas of need. These services are offered 24 hours a day.

We have made application to the Planning Department of the City of Portland for our project. **We are going to hold a neighborhood meeting at The Woods at Canco Retirement Residence, located at 257 Canco Road at 7:30 p.m. on February 11, 2004 to discuss our project.** Your participation is encouraged. Please contact the office of Curry Brandaw Architects at (503) 399-1090 with any questions you may have.

We look forward to meeting you.

Curry Brandaw Architects

MEETING MINUTES
Public Informational Meeting
February 11, 2004

Location: The Woods at Canco Road 216
Meeting Start Time: 7:30 P.M.
Meeting Finish Time: 7:50 P.M.
Approx. Number of Attendees: 28 - Mostly Residents of the ALF
Representatives of Applicant: Michael Fuller - Curry Brandaw Architects
Owens McCullough - Sebago Technics, Inc.
Meeting Minutes by: Owens McCullough - Sebago Technics, Inc. *OM*

Discussion

Michael Fuller of Curry Brandaw introduced himself and the project. Michael also introduced Owens McCullough, the Civil Designer for the project.

Michael Fuller presented the following project highlights:

1. Spoke about the existing facility and location of facility.
2. Describe site design and stormwater management to include detention pond, land grading and general site improvements.
3. Described operations of facility to include management, nurse on staff, dining areas, and level of service to the tenants. Discussed options of service plans for tenants.
4. Described building as 2-story building with elevator. Mike presented building elevations.

Questions From Public/Residents

1. Will there be an elevator for freight? Mike said they will look at this.
2. What will the exterior siding be? Mike responded the look would be similar to the existing.

ASSISTED LIVING FACILITY, PHASE II

31

CANCO ROAD
PORTLAND, MAINE

OWNER:

**XL MANAGEMENT COMPANY, LLC
HOLIDAY RETIREMENT CORP.**
2601 25TH STREET, S.E., SUITE 310 Salem, OR 97302
(503)399-0565 Fax(503)399-1090

ARCHITECT:



Curry Brandaw Architects

PARTNERSHIP

2601 25TH STREET, S.E., SUITE 310 Salem, OR 97302
(503)399-0565 Fax(503)399-1090

GENERAL CONTRACTOR:

**COLSON AND COLSON
GENERAL CONTRACTOR, INC.**

2250 MCGILCHRIST STREET SE, SUITE 200
SALEM, OREGON 97302
TEL (503) 370-7070

ENGINEER:

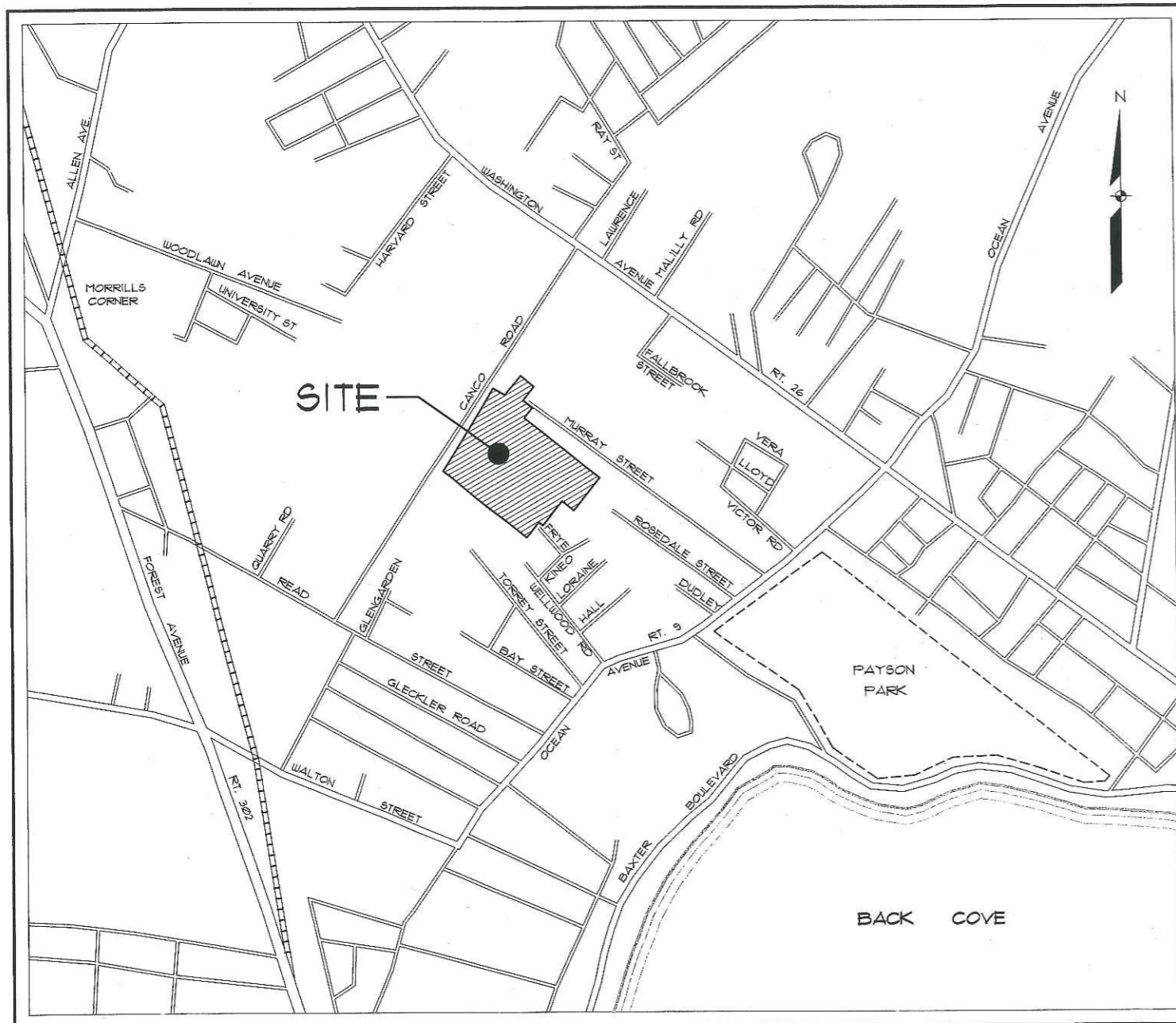
SEBAGO TECHNICS, INC.

12 WESTBROOK COMMON
WESTBROOK, MAINE 04098-1339



Sebago Technics

Engineering & Planning for the Future
ONE CHABOT STREET
WESTBROOK, ME 04098-1339
TEL (207) 856-0277



LOCATION MAP

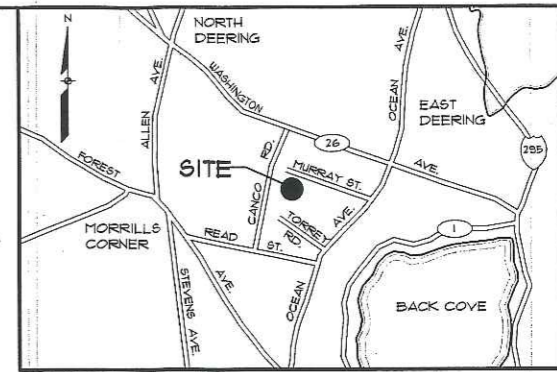
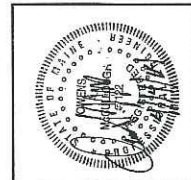
NOT TO SCALE

PLAN INDEX:

SHEET DESCRIPTION

1	COVER SHEET
2	OVERALL DEVELOPMENT & LOT DIVISION PLAN
3	SITE PLAN - PHASE II
4	GRADING, DRAINAGE & UTILITY PLAN
5	LAND TITLE SURVEY
6	LANDSCAPE PLAN
7	LANDSCAPE PLAN
8	CROSS-COUNTRY SEWER PROFILE
9	DETAILS
10	DETAILS
11	DETAILS
12	DETAILS
13	DETAILS
	LIGHTING PLAN
	FIRST FLOOR PLAN
	SECOND FLOOR PLAN
	BUILDING ELEVATION PLAN

31a



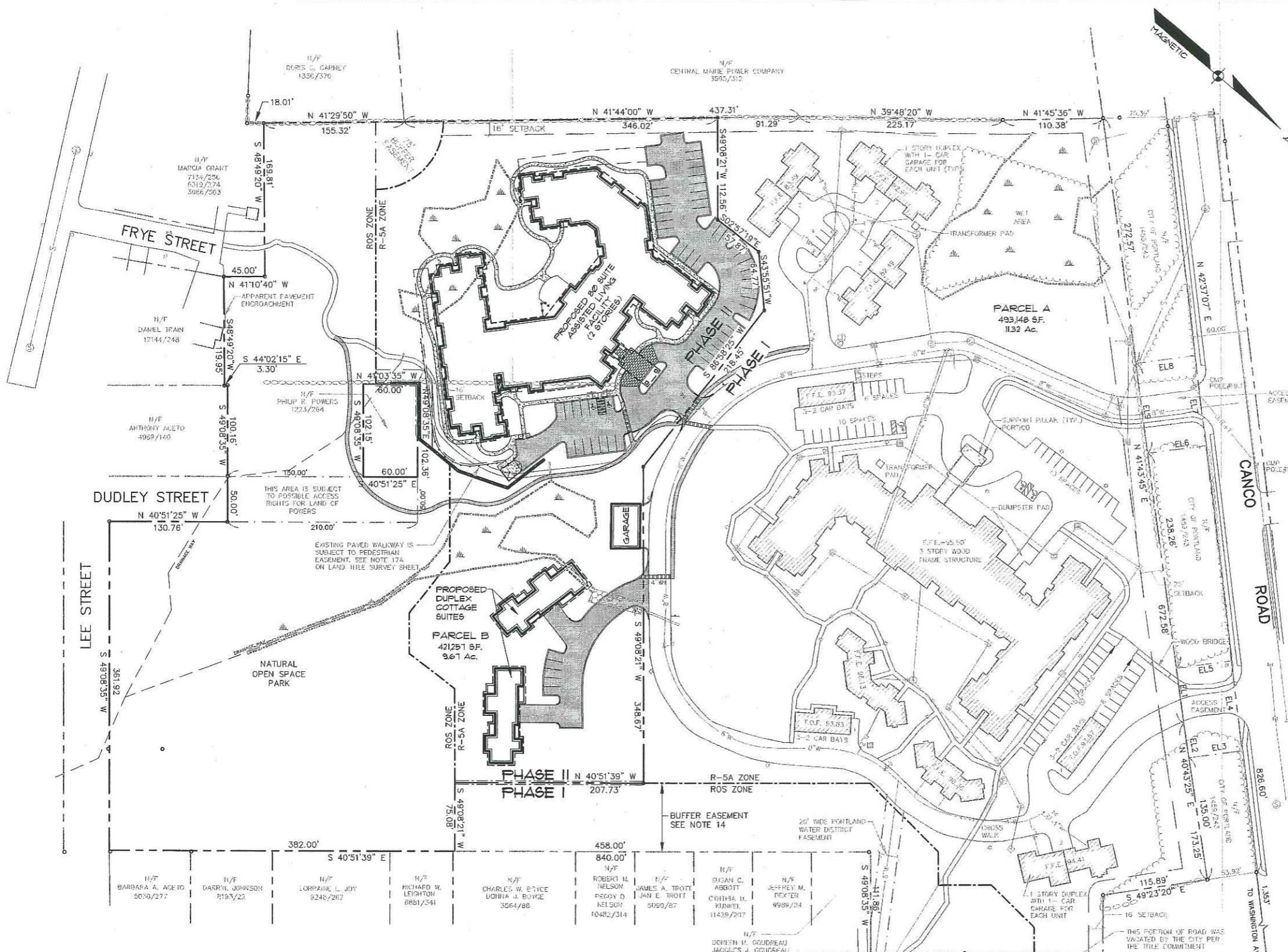
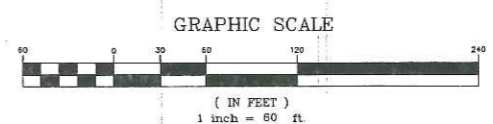
LOCATION MAP N.T.S.

GENERAL NOTES

- RECORD OWNER: PORTLAND RETIREMENT RESIDENCE, LLC AS RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PL. BK. 13465, PAGE 161.
- ASSESSORS REFERENCE: TAX MAP NO. 149, LOT B-1 AND MAP NO. 160, LOT E-1.
- PLAN REFERENCES:
 - A. STANDARD BOUNDARY SURVEY PLAN OF LAND ON MURRAY STREET FOR HOUSING RESOURCES CORP., PREPARED BY OLLEN HASKELL, INC. DATED MARCH 25, 1986 AND REVISED NOVEMBER 14, 1986. RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 193, PAGE 66.
 - B. PLAN OF LAND MURRAY STREET MADE FOR F.S. PLUMMER CO. INC. PREPARED BY JAMES C. LAUZIER LAND SURVEYING, DATED SEPT. 13, 1980. RECORDED IN SAID REGISTRY IN PLAN BOOK 128, PAGE 111.
 - C. OCEAN PARK HOMES INC. PORTLAND, MAINE. PREPARED BY H. JORDAN, DATED NOVEMBER 1941. RECORDED IN SAID REGISTRY IN PLAN BOOK 28, PAGE 18.
 - D. MONTCLAIR, THE OTIS H. FERRY LAND CO. OWNERS. PREPARED BY PERCY H. RICHARDSON, C.E. DATED JUNE 1924. RECORDED IN SAID REGISTRY IN PLAN BOOK 16, PAGE 13.
 - E. WILLOWOOD, THE OTIS H. FERRY LAND COMPANY. PREPARED BY PERCY H. RICHARDSON, C.E. DATED JUNE 1924. RECORDED IN SAID REGISTRY IN PLAN BOOK 16, PAGE 12.
 - F. FOREST HILLS PORTLAND MAINE OWNED BY A.H. CHAPMAN LAND CO. PREPARED BY E.N. SHEPHERD, RECORDED IN SAID REGISTRY IN PLAN BOOK 19, PAGE 16.
 - G. FOREST HILLS PORTLAND MAINE OWNED BY A.H. CHAPMAN LAND CO. PREPARED BY E.N. SHEPHERD, RECORDED IN SAID REGISTRY IN PLAN BOOK 19, PAGE 34.
 - H. FOREST HILLS PORTLAND MAINE OWNED BY A.H. CHAPMAN LAND CO. PREPARED BY E.N. SHEPHERD, RECORDED IN SAID REGISTRY IN PLAN BOOK 19, PAGE 41.
 - I. PLAN MADE FOR C.L. GOODRIDGE AND J.A. BULDUC. PREPARED BY E.C. JORDAN AND CO., DATED MAY 1889, RECORDED IN SAID REGISTRY IN PLAN BOOK 8, PAGE 93.
 - J. ALTA/ACEN LAND TITLE URBAN SURVEY OF PORTLAND RETIREMENT RESIDENCE, L.L.C. PREPARED BY SEBAGO TECHNICS, INC. DATED THROUGH 1-5-98.
- TOTAL AREA OF PROPERTY: PARCEL A: 42,971 SF, 9.61 Ac. PARCEL B: 493,148 SF, 11.32 Ac.
- WETLANDS DEPICTED ON THIS PLAN WERE DELINEATED BY GARY FULLERTON OF SEBAGO TECHNICS, INC. IN ACCORDANCE WITH THE 1981 U.S. ARMY CORPS OF ENGINEERS WETLAND DELINEATION MANUAL.
- ZONING DISTRICT: R-5A AND ROS CONDITIONAL ZONES.
- USE: RETIREMENT RESIDENCE
- BUILDING SUMMARY: 211 RETIREMENT SUITES CONSTRUCTED IN TWO PHASES.
 - A. PHASE I: 14 RETIREMENT SUITES, 9 COTTAGE SUITES, 5 GARDEN SUITES, 128 TOTAL SUITES
 - B. PHASE II: 80 ASSISTED LIVING SUITES, 4 COTTAGE SUITES, 84 TOTAL SUITES
- PARKING SUMMARY: PHASE I: 80 SPACES, PHASE II: 86 SPACES, TOTAL: 146 SPACES
- SITE BENCH MARK IS THE RIM ELEVATION OF MOST NORTHERLY SEWER MANHOLE LOCATED ON MURRAY STREET ELEVATION = 91.5'. ELEVATION IS SHOWN ON PLAN OF PORTLAND SEWER SYSTEM INFILTRATION-INFLOW ANALYSIS BY HUNTER BALLEW ASSOCIATES.
- THE ENTIRE SITE SHALL BE DEVELOPED AND OR MAINTAINED AS DEPICTED ON THE SITE PLAN. APPROVAL OF THE PLANNING AUTHORITY OR PLANNING BOARD SHALL BE REQUIRED FOR ANY ALTERATION TO OR DEVIATION FROM THE APPROVED SITE PLAN, INCLUDING, WITHOUT LIMITATION, TOPOGRAPHY, DRAINAGE, LANDSCAPING, RETENTION OF WOODED OR LAWN AREAS, ACCESS, SIZE LOCATION & SURFACING OF PARKING AREAS, AND LOCATION AND SIZE OF BUILDINGS.
- REFERENCE ALLOWABLE USES AND RESTRICTIONS AS SPECIFIED IN THE ROS AND PEDESTRIAN EASEMENT DEED TO BE RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS.
- REFERENCE ACCESS EASEMENT AGREEMENT BETWEEN CITY OF PORTLAND AND PORTLAND RETIREMENT RESIDENCE AS RECORDED IN CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 13465, PAGE 319.
- BUFFER EASEMENT AREAS SHALL REMAIN IN THEIR UNDEVELOPED STATE.
- ALIGNMENT OF PEDESTRIAN WALKWAY SHALL BE COORDINATED WITH OWNER AT TIME OF CONSTRUCTION. IN GENERAL, WALKWAY SHALL BE CONSTRUCTED TO FOLLOW TOPOGRAPHIC CONDITIONS AND TO MINIMIZE TREES/VEGETATIVE DISTURBANCE. TRIM AND REMOVE BRANCHES/GROWTH AS DIRECTED BY OWNER.
- THE PORTLAND WATER DISTRICT IS GRANTED A 30' WIDE EASEMENT, EITHER SIDE OF THE WATER MAIN AND SERVICES TO MAINTAIN AND/OR REPLACE MAIN OR SERVICES AS REQUIRED BY P.W.D.

EASEMENT LINE DATA

LINE	BEARING	DISTANCE
EL1	S 41°43'45" W	61.75'
EL2	S 40°43'25" W	38.25'
EL3	S 48°16'15" E	58.35'
EL4	N 40°08'46" E	100.01'
EL5	N 48°16'15" E	60.58'
EL6	S 48°16'15" E	64.27'
EL7	N 40°08'48" E	100.01'
EL8	N 48°16'15" W	65.82'
EL9	S 41°43'45" W	100.00'



LEGEND

EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY/ROW	---
---	SETBACK	---
---	EASEMENT	---
---	CENTERLINE	---
---	MONUMENT	---
---	IRON PIPE/ROD	---
---	C1/L1 CURVE/LINE NO.	---
---	BUILDING	---
---	WETLANDS	---
---	EDGE WETLAND SIGN	---
---	STREAM	---
---	ROCK OUTCROP	---
---	EDGE PAVEMENT	---
---	GRAVEL ROAD	---
---	CURBLINE	---
---	TREELINE	---

EXISTING	DESCRIPTION	PROPOSED
---	RO	---
---	CONTOURS	---
---	WATER	---
---	SEWER	---
---	STORM DRAIN	---
---	OVERHEAD ELEC. 4 TEL.	---
---	UNDERGROUND ELEC. 4 TEL.	---
---	GATE VALVE	---
---	LIGHT POLE	---
---	UTILITY POLE	---
---	HYDRANT	---
---	CATCH BASIN	---
---	MANHOLE	---
---	CULVERT	---
---	SPOT GRADE	---
---	STONE WALL	---
---	SILT FENCE	---
---	GUARDRAIL	---
---	TEST PIT	---

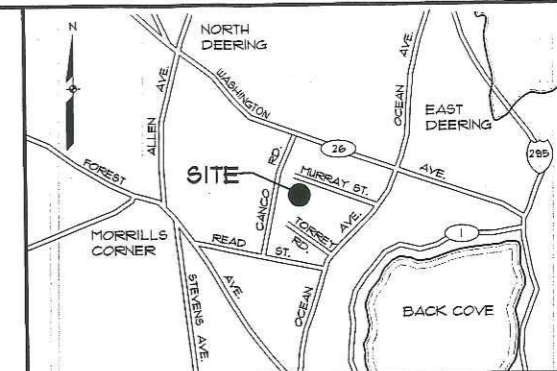
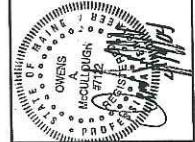
A 3.05 FOOT STRIP OF LAND ALONG THIS LINE WAS CONVEYED BY ROBERT C. HANIS TO REGIS ASSOCIATES IN THE DEED 7880, PAGE 319, DATED JULY 22, 1997. THIS DEED WAS ENCLAVED TO INCLUDE THE 3.05 FOOT STRIP THAT, DUE TO A SURVEYOR'S ERROR, WAS NOT INCLUDED WHEN ROBERT C. HANIS CONVEYED A 17.56 ACRE LOT TO LYNELL J. WISCHAMPER BY DEED 7548, PAGE 96. AN EXAMINATION OF DEED BOOK 7548, PAGE 96, BOOK 7843, PAGE 254, BOOK 9116, PAGE 196, BOOK 11889, PAGE 7, AND AN RECORD OF BLACK BEAR DEVELOPMENT CORPORATION FAILED TO SHOW THE 3.05 FOOT STRIP OF LAND BEING CONVEYED TO RECORD OWNERS.

OVERALL DEVELOPMENT & LOT DIVISION PLAN
PORTLAND ASSISTED LIVING FACILITY PHASE II
 CANCO ROAD
 PORTLAND, MAINE
 FOR: **XL MANAGEMENT CO., LLC & HOLIDAY RETIREMENT CORP.**
 SUITE 200, SALEM, OREGON 97302

DATE: 01-15-04 SCALE: 1"=60'
 SHEET 2 OF 13

96592DDP

31b



LOCATION MAP
GENERAL NOTES

- RECORD OWNER: PORTLAND RETIREMENT RESIDENCE, LLC AS RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 13465, PAGE 161.
- ASSESSORS REFERENCE: TAX MAP NO. 149, LOT B-1 AND MAP NO. 160, LOT E-1.
- PLAN REFERENCES:
 - STANDARD BOUNDARY SURVEY PLAN OF LAND ON MURRAY STREET FOR HOUSING RESOURCES CORP., PREPARED BY OWEN HASKELL, INC., DATED MARCH 25, 1986 AND REVISED NOVEMBER 14, 1986, RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 159, PAGE 66.
 - PLAN OF LAND MURRAY STREET MADE FOR F.S. PLUMMER CO. INC. PREPARED BY JAMES C. LAUZER LAND SURVEYING, DATED SEPT. 13, 1980, RECORDED IN SAID REGISTRY IN PLAN BOOK 129, PAGE 111.
 - OCEAN PARK HOMES INC. PORTLAND, MAINE, PREPARED BY H. JORDAN, DATED NOVEMBER 1941, RECORDED IN SAID REGISTRY IN PLAN BOOK 28, PAGE 18.
 - MONTCLAIR, THE OTIS H. FERRY LAND CO. OWNERS, PREPARED BY PERCY H. RICHARDSON, C.E. DATED JUNE 1924, RECORDED IN SAID REGISTRY IN PLAN BOOK 16, PAGE 13.
 - WELLWOOD, THE OTIS H. FERRY LAND COMPANY, PREPARED BY PERCY H. RICHARDSON, C.E. DATED JUNE 1924, RECORDED IN SAID REGISTRY IN PLAN BOOK 16, PAGE 12.
 - FOREST HILLS PORTLAND MAINE OWNED BY A.H. CHAFFMAN LAND CO. PREPARED BY EN. SHEFFIELD, RECORDED IN SAID REGISTRY IN PLAN BOOK 15, PAGE 16.
 - FOREST HILLS PORTLAND MAINE OWNED BY A.H. CHAFFMAN LAND CO. PREPARED BY EN. SHEFFIELD, RECORDED IN SAID REGISTRY IN PLAN BOOK 15, PAGE 34.
 - FOREST HILLS PORTLAND MAINE OWNED BY A.H. CHAFFMAN LAND CO. PREPARED BY EN. SHEFFIELD, RECORDED IN SAID REGISTRY IN PLAN BOOK 15, PAGE 41.
 - PLAN MADE FOR C.L. GOODRIDGE AND J.A. BUILDUC, PREPARED BY E.C. JORDAN AND CO., DATED MAY 1985, RECORDED IN SAID REGISTRY IN PLAN BOOK 8, PAGE 93.
 - ALTA/ACSM LAND TITLE URBAN SURVEY OF PORTLAND RETIREMENT RESIDENCE, LLC, PREPARED BY SEBAGO TECHNICS, INC., DATED THROUGH 7-9-98.
- TOTAL AREA OF PROPERTY:
 - PARCEL A: 42151 SF, 9.67 AC.
 - PARCEL B: 49348 SF, 13.32 AC.
- WETLANDS DEPICTED ON THIS PLAN WERE DELINEATED BY GARY FULLERTON OF SEBAGO TECHNICS, INC. IN ACCORDANCE WITH THE 1981 U.S. ARMY CORPS OF ENGINEERS WETLAND DELINEATION MANUAL.
- ZONING DISTRICT: R-5A AND ROS CONDITIONAL ZONES.
- USE: RETIREMENT RESIDENCE
- BUILDING SUMMARY:
 - A. PHASE II
 - 80 RETIREMENT SUITES
 - 4 COTTAGE SUITES
 - 84 TOTAL SUITES
- PARKING SUMMARY:
 - PHASE I: 90 SPACES
 - PHASE II: 56 SPACES
 - TOTAL: 146 SPACES
- SITE BENCH MARK IS THE RIM ELEVATION OF MOST NORTHERLY SEWER MANHOLE LOCATED ON MURRAY STREET ELEVATION = 9151'. ELEVATION IS SHOWN ON PLAN OF PORTLAND SEWER SYSTEM INFILTRATION-INFLOW ANALYSIS BY HUNTER BALLEW ASSOCIATES.

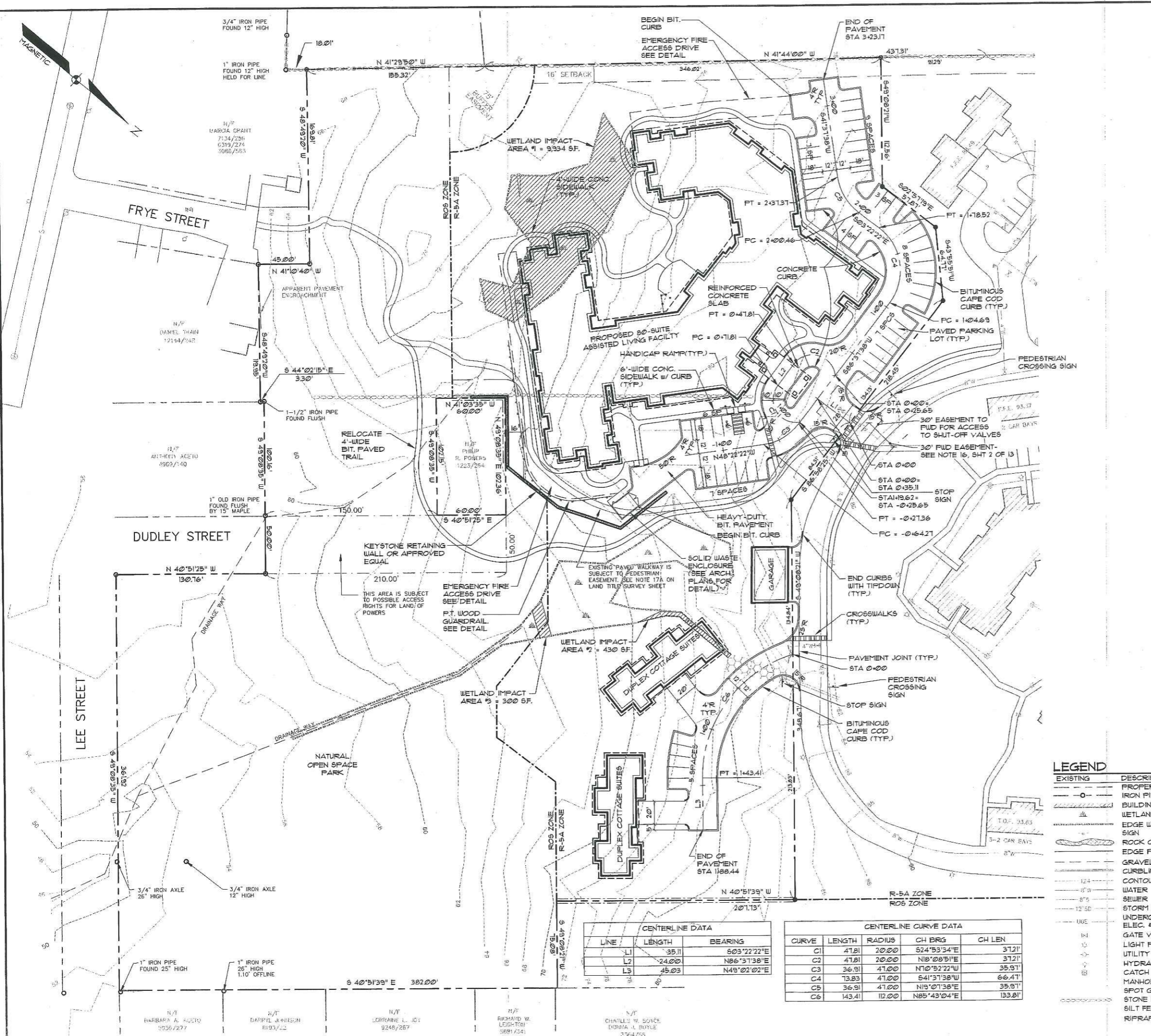
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Tel (207) 658-9277

PROJECT NO. FIELD BOOK DESIGN CHKD DRAWN
98592-P2 SAG OAM BRF

SITE PLAN
OF
PORTLAND ASSISTED LIVING FACILITY PHASE II
CANCO ROAD
FOR
XL MANAGEMENTCO, LLC & HOLIDAY RETIREMENT CORP.
2250 McILCHRIST ST. SE.
SUITE 200, SALEM, OREGON 97302

DATE SCALE
11-03-03 1"=40'

SHEET 3 OF 13



CENTERLINE DATA

LINE	LENGTH	BEARING
L1	35.11	S03°22'22"E
L2	24.00	N86°31'38"E
L3	45.03	N49°02'02"E

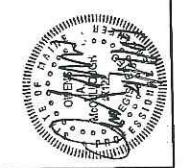
CENTERLINE CURVE DATA

CURVE	LENGTH	RADIUS	CH BRG	CH LEN
C1	47.81	20.00	S24°53'34"E	37.21'
C2	47.81	20.00	N18°08'51"E	37.21'
C3	36.91	41.00	N10°52'22"W	35.91'
C4	73.83	41.00	S41°37'38"W	66.41'
C5	36.91	41.00	N19°07'38"E	35.91'
C6	143.41	112.00	N85°43'04"E	133.81'

LEGEND

EXISTING	DESCRIPTION	PROPOSED
(Symbol)	PROPERTY/ROW	(Symbol)
(Symbol)	IRON PIPE/ROD	(Symbol)
(Symbol)	BUILDING	(Symbol)
(Symbol)	WETLANDS	(Symbol)
(Symbol)	EDGE WETLAND SIGN	(Symbol)
(Symbol)	ROCK OUTCROP	(Symbol)
(Symbol)	EDGE PAVEMENT	(Symbol)
(Symbol)	GRAVEL ROAD CURBLINE	(Symbol)
(Symbol)	CONTOURS	(Symbol)
(Symbol)	WATER	(Symbol)
(Symbol)	SEWER	(Symbol)
(Symbol)	STORM DRAIN	(Symbol)
(Symbol)	UNDERGROUND ELEC. & TEL.	(Symbol)
(Symbol)	GATE VALVE	(Symbol)
(Symbol)	LIGHT POLE	(Symbol)
(Symbol)	UTILITY POLE	(Symbol)
(Symbol)	HYDRANT	(Symbol)
(Symbol)	CATCH BASIN	(Symbol)
(Symbol)	MANHOLE	(Symbol)
(Symbol)	SPOT GRADE	(Symbol)
(Symbol)	STONE WALL	(Symbol)
(Symbol)	SILT FENCE	(Symbol)
(Symbol)	RIFRAP	(Symbol)

310



REV	BY	DATE	STATUS
B	OAM	04-14-04	REVISED PER ENGINEERING REVIEW COMMENTS
A	OAM	03-05-04	ISSUED FOR CITY REVIEW

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK, AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.

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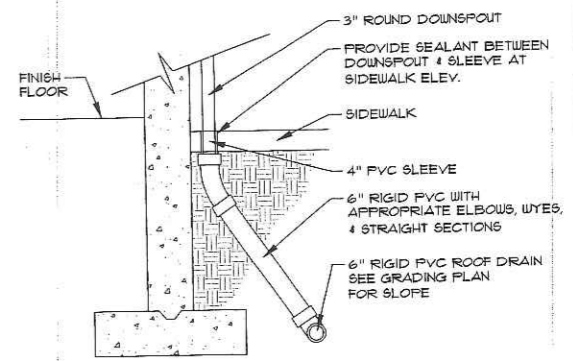
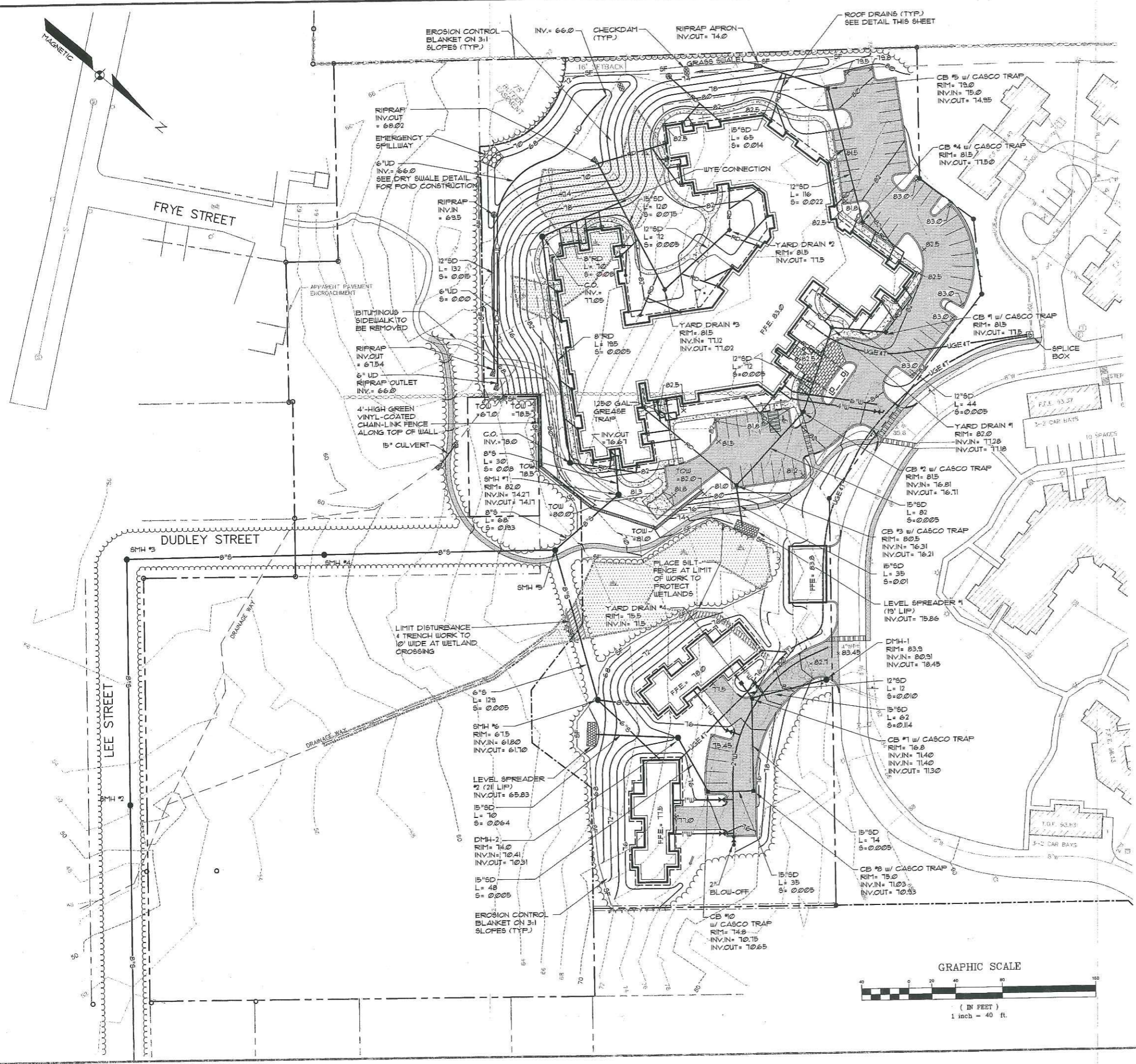
PROJECT NO: FIELD BOOK DESIGN CHKD DRAWN BRF
 96592-P2 SAG OAM

GRADING, DRAINAGE & UTILITY PLAN
 OF
PORTLAND ASSISTED LIVING FACILITY - PHASE II
 CANCO ROAD
 PORTLAND, MAINE

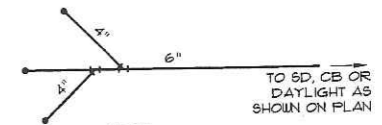
FOR:
XL MGMT. CO., LLC & HOLIDAY RETIREMENT CORP.
 2250 WILSON ST., SE., SUITE 200
 SALEM, OREGON 97302

DATE: 11-30-03 SCALE: 1"=40'

SHEET 4 OF 13



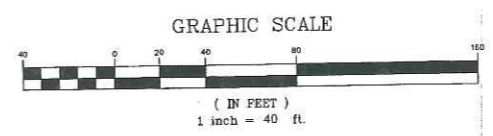
ROOF DRAIN CONNECTOR
NOT TO SCALE



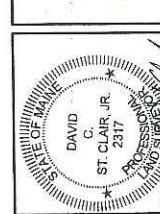
TYPICAL ROOF DRAIN

LEGEND

EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY/ROW	---
---	IRON PIPE/ROD	---
---	BUILDING	---
---	WETLANDS	---
---	EDGE WETLAND SIGN	---
---	ROCK OUTCROP	---
---	EDGE PAVEMENT	---
---	GRAVEL ROAD	---
---	CURBLINE	---
TP-7	TEST PIT	TP-1
---	CONTOURS	---
---	WATER	---
---	SEWER	---
---	STORM DRAIN	---
---	UNDERGROUND	---
---	ELEC. & TEL.	---
X	GATE VALVE	X
---	LIGHT POLE	---
---	UTILITY POLE	---
---	HYDRANT	---
---	CATCH BASIN	---
---	MANHOLE	---
---	SPOT GRADE	---
---	STONE WALL	---
---	SILT FENCE	---
---	RIPRAP	---



31d



LOCATION MAP

GENERAL NOTES:

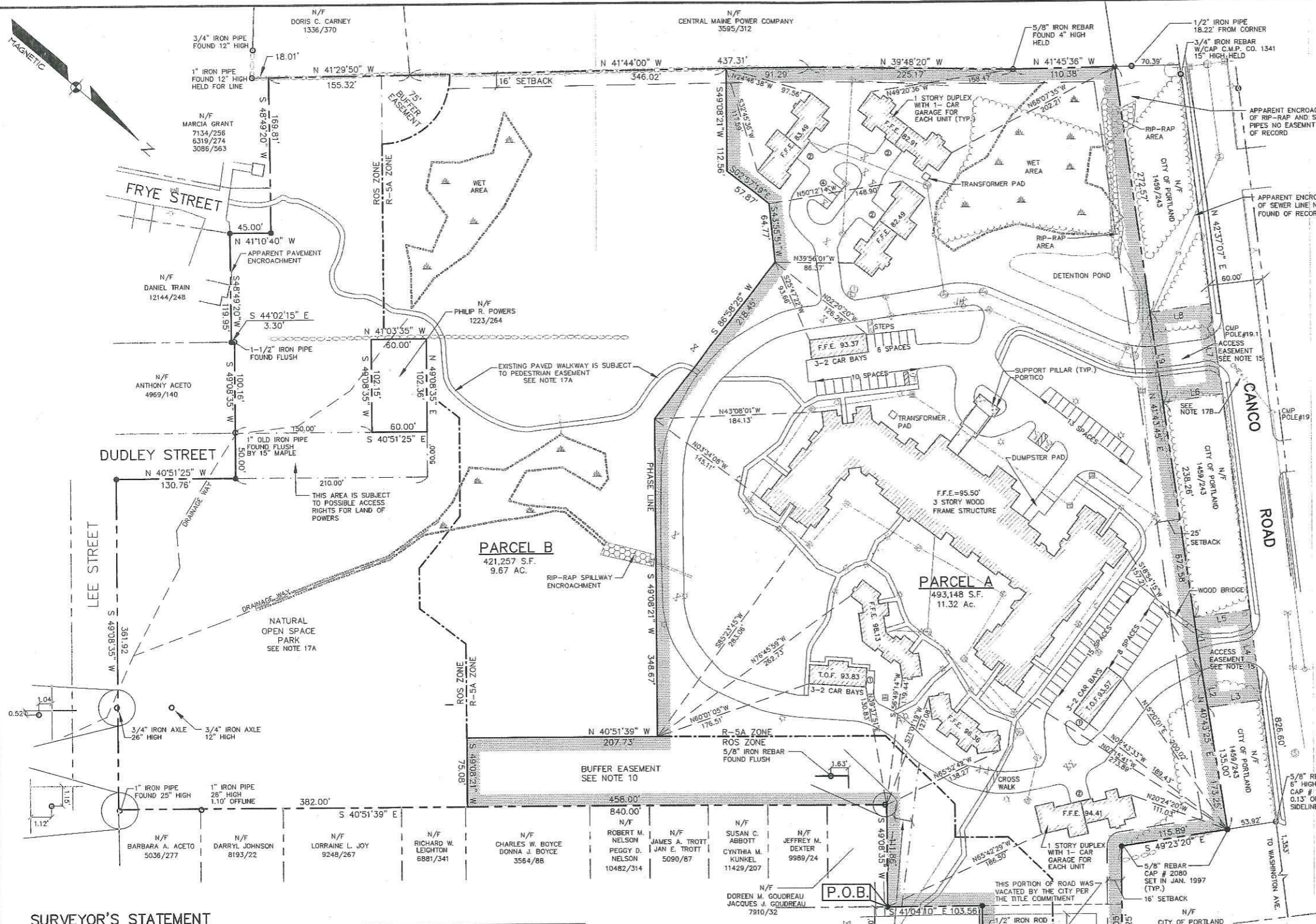
- THE RECORD OWNER OF THE PROPERTY IS PORTLAND RETIREMENT RESIDENCE LIMITED LIABILITY COMPANY BY DEED OF BLACK BEAR DEVELOPMENT, INC. DATED NOVEMBER 26, 1997 AND RECORDED AT THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 13465 PAGE 161.
- THE LOCUS PROPERTY IS SHOWN ON THE CITY OF PORTLAND TAX MAP 149, LOT B-1, MAP 160, LOT E-1 AND MAP 161 LOT A-1.
- BEARINGS ARE BASED ON PLAN REFERENCE 7 A.
- TOTAL AREA OF PROPERTY: 914,324 SQUARE FEET OR 20.99 ACRES, MORE OR LESS.
- RIGHT OF WAY INFORMATION FOR LEE STREET AND MURRAY STREET IS BASED ON PLAN REFERENCE 7 A.
- UNDERGROUND AND OVERHEAD UTILITIES WERE NOT FIELD LOCATED DURING THIS SURVEY. UNDERGROUND AND OVERHEAD UTILITIES SHALL BE FIELD VERIFIED PRIOR TO ANY SITE EXCAVATION BY THE CONTRACTOR.
- PLAN REFERENCES:
 - A. STANDARD BOUNDARY SURVEY PLAN OF LAND ON MURRAY STREET FOR HOUSING RESOURCES CO.P. PREPARED BY OWEN HASKELL, INC. DATED MARCH 25, 1986 AND REVISED NOVEMBER 14, 1986. RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 159, PAGE 66.
 - B. PLAN OF LAND MURRAY STREET MADE FOR PLUMBER CO. INC. PREPARED BY JAMES C. LAUZER LAND SURVEYING, DATED SEPTEMBER 13, 1980. RECORDED IN SAID REGISTRY IN PLAN BOOK 128, PAGE 177.
 - C. OCEAN PARK HOMES INC. PORTLAND, MAINE. PREPARED BY H.I. JORDAN, DATED NOVEMBER 1941. RECORDED IN SAID REGISTRY IN PLAN BOOK 28, PAGE 18.
 - D. THE OTIS L. PERRY LAND CO. OWNERS. PREPARED BY PERCY H. RICHARDSON, C.E., DATED JUNE 1924. RECORDED IN SAID REGISTRY IN PLAN BOOK 16, PAGES 12 & 13.
 - E. FOREST HILLS PORTLAND MAINE OWNED BY A.H. CHAPMAN LAND CO. PREPARED BY E.N. SHEFFIELD, RECORDED IN SAID REGISTRY IN PLAN BOOK 15, PAGES 16, 34 & 41.
 - F. PLAN MADE FOR C.L. GOODRIDGE AND J.A. BULDUIC. PREPARED BY E.C. JORDAN AND CO., DATED MAY 1895. RECORDED IN SAID REGISTRY IN PLAN BOOK 8, PAGE 99.
 - G. ALTA/ACSM LAND TITLE URBAN SURVEY OF BLACK BEAR DEVELOPMENT CORP. PROPERTY. PREPARED BY SEBAGO TECHNIQS, INC. DATED THROUGH FEBRUARY 19, 1997 AND LAST REVISED JULY 15, 1998.
 - H. OVERALL DEVELOPMENT PLAN OF PORTLAND RETIREMENT RESIDENCE LLC. PREPARED BY SEBAGO TECHNIQS, INC. DATED THROUGH JUNE 30, 1998 AND RECORDED IN PLAN BOOK 198 PAGE 220.
- THIS PLAN IS BASED ON A LAND TITLE SURVEY PREPARED IN ACCORDANCE WITH STANDARDS ADOPTED BY THE MAINE STATE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS STANDARDS OF PRACTICE CATEGORY II, CONDITION 1. WITH THE EXCEPTION THAT NO MONUMENTATION WILL BE SET BETWEEN PARCEL A AND PARCEL B AS SHOWN HEREON.
- PROPERTY IS LOCATED IN THE RESIDENTIAL 5A AND THE RECREATIONAL OPEN SPACE ZONING DISTRICTS.
- BUFFER EASEMENT AREAS SHALL REMAIN IN THEIR UNDEVELOPED STATE AS SHOWN ON PLAN REFERENCED IN NOTE 7H.
- THE PORTLAND WATER DISTRICT IS TO BE GRANTED A 30' WIDE EASEMENT, 15' EITHER SIDE OF THE WATER MAIN AND SERVICES TO MAINTAIN AND/OR REPLACE MAIN OR SERVICES AS REQUIRED BY P.W.D. (SEE PLAN REFERENCED IN NOTE 7H).
- CANCO ROAD DETERMINED BY HOLDING 2 COPPER BOLTS AND A BUILDING CORNER OF THE CENTRAL MAINE POWER COMPANY AS SHOWN ON THE CITY OF PORTLAND ENGINEERING OFFICE BLUE SHEETS FOR CANCO ROAD. THE ROAD IS A PUBLIC WAY MAINTAINED BY THE CITY OF PORTLAND AND IS 60 FEET WIDE.
- THE INTERIOR STREETS NAMELY THOSE PORTIONS OF FRYE, DUDLEY, ROSENDALE, ELMORE, AND MURRAY STREETS LOCATED WITHIN PARCEL A AND PARCEL B AS SHOWN HEREON WERE VACATED BY THE CITY OF PORTLAND. THERE IS THE POSSIBILITY THAT PRIVATE RIGHTS OF WAY EXIST OVER THESE STREETS.
- THE PROPOSED 20 FOOT WIDE EASEMENT TO THE PORTLAND WATER DISTRICT RUNS FROM MURRAY STREET TO INTERIOR ROADWAYS AS SHOWN ON PLAN REFERENCE 7H.
- REFERENCE IS MADE TO AN EASEMENT DEED FROM THE CITY OF PORTLAND DATED JANUARY 8, 1998 AND RECORDED IN BOOK 13549 PAGE 319. THIS DEED DESCRIBES AN ACCESS EASEMENT AND UTILITY EASEMENT IN TWO LOCATIONS, HOWEVER, THE DESCRIPTIONS WILL NEED TO BE REVISED BASED ON THE SURVEY PLAN REFERENCED IN NOTE 7G. SHOULD CORRECTIVE DEEDS BE CONVEYED BY THE CITY OF PORTLAND, THEY SHOULD INCLUDE RIGHTS OF UTILITY TO COVER CURRENT ENCROACHMENTS OF SEWER AND DRAINAGE STRUCTURES AS SHOWN HEREON.
- ALL INTERIOR PARCEL LINES AND STREET LOCATIONS UNDER THE SAME OWNERSHIP AND REFERENCED IN NOTE 13 HAVE BEEN REMOVED FOR PURPOSES OF CLARITY. REFERENCE IS MADE TO PLANS NOTED ABOVE IN NOTE 7G AND 7H FOR DEPICTION OF INTERIOR PARCELS.
- PARCELS A AND B ARE SUBJECT TO:
 - A. PEDESTRIAN ACCESS AND RECREATIONAL OPEN SPACE EASEMENT DESCRIBED IN A DEED FROM PORTLAND RETIREMENT RESIDENCE LIMITED LIABILITY COMPANY TO THE CITY OF PORTLAND DATED JULY 1, 1998 AND RECORDED IN BOOK 14004, PAGE 244.
 - B. AN ELECTRIC AND TELEPHONE EASEMENT GRANTED TO CENTRAL MAINE POWER COMPANY AND NEW ENGLAND TELEPHONE & TELEGRAPH COMPANY DATED SEPT. 21, 1998 AND RECORDED IN BOOK 14256, PAGE 287. EASEMENT COMMENCES AT CUP POLE 19.1 AND FROM THERE UNDERGOING THROUGHOUT THE PROPERTY CONNECTING TO TRANSFORMER PADS UNDERGROUND LINES ARE NOT SHOWN.
- PARCEL A IS SUBJECT TO A RESERVATION OF A RIGHT OF WAY FOR INGRESS AND EGRESS ON THE ROADS AND WAYS SHOWN HEREON LEADING FROM CANCO ROAD TO PARCEL B.
- THERE ARE A TOTAL NUMBER OF 69 PARKING SPACES ON SITE INCLUDING 3 HANDICAP SPACES AND DRIVEWAYS. THERE ARE GARAGES WITH A TOTAL CAPACITY OF 26 CARS ON SITE.

REV.	DATE	BY	DESCRIPTION
1	11/19/96	TO CLIENT	DATE: 11/19/96 TO CLIENT
2	11/19/96	TO CLIENT	DATE: 11/19/96 TO CLIENT
3	11/19/96	TO CLIENT	DATE: 11/19/96 TO CLIENT
4	11/19/96	TO CLIENT	DATE: 11/19/96 TO CLIENT
5	11/19/96	TO CLIENT	DATE: 11/19/96 TO CLIENT
6	11/19/96	TO CLIENT	DATE: 11/19/96 TO CLIENT
7	11/19/96	TO CLIENT	DATE: 11/19/96 TO CLIENT
8	11/19/96	TO CLIENT	DATE: 11/19/96 TO CLIENT
9	11/19/96	TO CLIENT	DATE: 11/19/96 TO CLIENT
10	11/19/96	TO CLIENT	DATE: 11/19/96 TO CLIENT
11	11/19/96	TO CLIENT	DATE: 11/19/96 TO CLIENT
12	11/19/96	TO CLIENT	DATE: 11/19/96 TO CLIENT
13	11/19/96	TO CLIENT	DATE: 11/19/96 TO CLIENT
14	11/19/96	TO CLIENT	DATE: 11/19/96 TO CLIENT
15	11/19/96	TO CLIENT	DATE: 11/19/96 TO CLIENT
16	11/19/96	TO CLIENT	DATE: 11/19/96 TO CLIENT
17	11/19/96	TO CLIENT	DATE: 11/19/96 TO CLIENT
18	11/19/96	TO CLIENT	DATE: 11/19/96 TO CLIENT

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LAND TITLE SURVEY
 OF:
PORTLAND ASSISTED LIVING FACILITY - PHASE II
 CANCO ROAD
 PORTLAND, MAINE
 FOR:
XL MGMT. CO., LLC & HOLIDAY RETIREMENT CORP.

DATE: 1-16-04
 SCALE: 1" = 60'
 SHEET 5 OF 5



SURVEYOR'S STATEMENT

THE UNDERSIGNED BEING A LICENSED SURVEYOR OF THE STATE OF MAINE AND AS AN EMPLOYEE FOR SEBAGO TECHNIQS, INC. HEREBY CERTIFIES TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF THAT THE POSITIONAL UNCERTAINTIES RESULTING FROM THE SURVEY MEASUREMENTS MADE ON THE SURVEY DO NOT EXCEED THE ALLOWABLE POSITIONAL TOLERANCE.

A. THIS MAP AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS" JOINTLY ESTABLISHED AND ADOPTED BY THE AMERICAN LAND TITLE ASSOCIATION, THE AMERICAN CONGRESS ON SURVEYING AND MAPPING AND THE NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS IN 1999. PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA, NSPS, AND ACSM AND IN EFFECT ON THE DATE OF THIS CERTIFICATION, UNDERSIGNED FURTHER CERTIFIES THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF THE POSITIONAL UNCERTAINTIES RESULTING FROM THE SURVEY MEASUREMENTS MADE ON THE SURVEY DO NOT EXCEED THE ALLOWABLE POSITIONAL TOLERANCE.

B. THE SURVEY WAS MADE ON THE GROUND BEGINNING IN OCTOBER OF 1996 UNDER THE DIRECT SUPERVISION OF TROY F. McDONALD P.L.S.#2080 AS AN EMPLOYEE OF SEBAGO TECHNIQS, INC. AND ENDING AUGUST 2, 2000 UNDER THE DIRECT SUPERVISION OF THE UNDERSIGNED. THE SURVEY CORRECTLY SHOWS THE AREA OF THE SUBJECT PROPERTY, THE LOCATION OF ALL BUILDINGS, STRUCTURES AND OTHER MAJOR IMPROVEMENTS SITUATED ON THE SUBJECT PROPERTY.

C. EXCEPT AS SHOWN ON THE SURVEY, THERE ARE NO VISIBLE EASEMENTS OR RIGHTS OF WAY OF WHICH THE UNDERSIGNED HAS BEEN ADVISED.

D. EXCEPT AS SHOWN ON THE SURVEY, THERE ARE NO OBSERVABLE ABOVE GROUND ENCROACHMENTS BY THE IMPROVEMENTS ON ADJOINING PROPERTIES, STREETS, OR ALLEYS UPON THE SUBJECT PROPERTY.

E. THE LOCATION OF EACH EASEMENT, RIGHT OF WAY, SERVITUDE, AND OTHER MATTERS AFFECTING THE SUBJECT PROPERTY AS LISTED IN THE REVISED TITLE INSURANCE COMMITMENT DATED AUGUST 10, 2000 ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY WITH RESPECT TO THE SUBJECT PROPERTY, HAS BEEN SHOWN ON THE SURVEY, TOGETHER WITH APPROPRIATE RECORDING REFERENCES, TO THE EXTENT THAT SUCH MATTERS CAN BE LOCATED. THE HIGHLIGHTED PROPERTY SHOWN ON THE SURVEY IS THE PROPERTY DESCRIBED IN THAT TITLE COMMITMENT. THE LOCATION OF IMPROVEMENTS ON THE SUBJECT PROPERTY IS IN ACCORD WITH MINIMUM SETBACK PROVISIONS AND RESTRICTIONS OF RECORD REFERENCED IN SUCH TITLE COMMITMENT.

F. THE SUBJECT PROPERTY HAS ACCESS TO AND FROM A DEDICATED AND ACCEPTED PUBLIC STREET BY USE OF ACCESS EASEMENTS OVER LAND OWNED BY THE CITY OF PORTLAND AS SHOWN HEREON.

G. EXCEPT AS SHOWN ON THE SURVEY THE SUBJECT PROPERTY DOES NOT CURRENTLY SERVE ANY ADJOINING PROPERTY FOR DRAINAGE, UTILITIES, OR INGRESS OR EGRESS. SEE PLAN FOR PEDESTRIAN EASEMENT CROSSING INTO ADJACENT PROPERTY, AS WELL AS A RIP-RAP SPILLWAY USED FOR DRAINAGE PURPOSES. FUTURE DEVELOPMENT OF PARCEL B WILL REQUIRE USE OF UTILITY STRUCTURES WITHIN THE SUBJECT PROPERTY AS WELL AS ROAD NETWORKS FOR INGRESS AND EGRESS PURPOSES.

H. THE RECORD DESCRIPTION OF THE SUBJECT PROPERTY FORMS A MATHEMATICALLY CLOSED FIGURE AND IS ATTACHED AS A SEPARATE DOCUMENT.

I. NO PORTION OF THE PROPERTY SHOWN ON THE SURVEY LIES WITHIN A SPECIAL HAZARD AREA, AND IS DESCRIBED ON THE FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH THE SUBJECT PROPERTY IS LOCATED AS BEING ENTIRELY IN ZONE X.

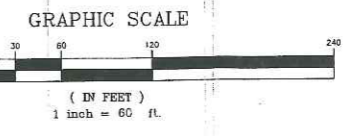
THE PARTIES LISTED ABOVE ARE ENTITLED TO RELY ON THE SURVEY AND THIS STATEMENT AS BEING TRUE AND ACCURATE.

DAVID C. ST. CLAIR, JR. #2317 FOR SEBAGO TECHNIQS, INC. DATE

EASEMENT LINE DATA

LINE	BEARING	DISTANCE
L1	S 41°43'45" W	61.75'
L2	S 40°43'25" W	38.25'
L3	S 48°16'15" E	58.35'
L4	N 40°08'46" E	100.01'
L5	N 48°16'15" E	60.58'
L6	S 48°16'15" E	64.27'
L7	N 40°08'48" E	100.01'
L8	N 48°16'15" W	65.82'
L9	S 41°43'45" W	100.00'

A 3.05 FOOT STRIP OF LAND ALONG THIS LINE WAS CONVEYED BY ROBERT C. HAINS TO REGIS ASSOCIATES IN THE DEED 7889, PAGE 319, DATED JULY 27, 1987. THIS DEED WAS EXECUTED TO INCLUDE THE 3.05 FOOT STRIP THAT, DUE TO A SURVEYOR'S ERROR, WAS NOT INCLUDED WHEN ROBERT C. HAINS CONVEYED A 17.56 ACRE LOT TO LYNDI J. WISHCAMPER BY DEED 7548, PAGE 96. AN EXAMINATION OF DEED BOOK 7548, PAGE 96, BOOK 7843, PAGE 254, BOOK 910, PAGE 196, BOOK 11866, PAGE 7, AND AN INDEXING OF BLACK BEAR DEVELOPMENT CORPORATION FAILED TO SHOW THE 3.05 FOOT STRIP OF LAND BEING CONVEYED TO RECORD OWNERS.



LEGEND

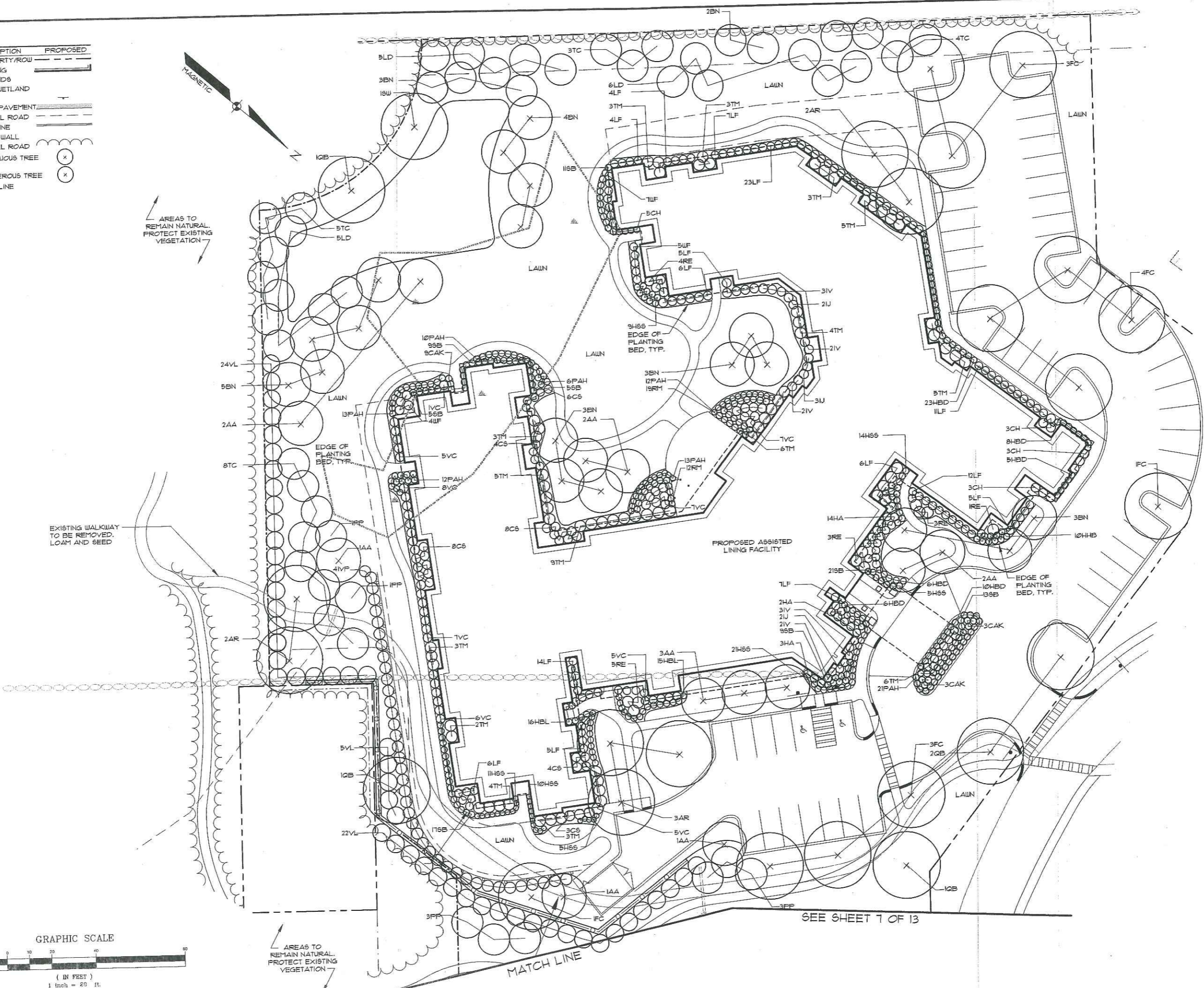
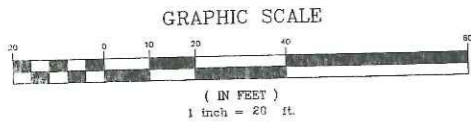
EXISTING	DESCRIPTION
---	PROPERTY/ROW
---	SETBACK
---	EASEMENT
○	REBAR SET 1997
○	IRON PIPE/ROD
○	DRILLHOLE
▭	BUILDING
▭	WETLANDS
▭	EDGE WETLAND
---	STREAM
---	EDGE PAVEMENT
---	GRAVEL ROAD
---	GATE VALVE
---	UTILITY POLE
---	HYDRANT
---	MANHOLE
---	STONE WALL
F.F.E.	FINISH FLOOR ELEVATION
T.O.F.	TOP OF FOUNDATION
---	PARKING STRIPE

EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY/ROW	---
---	BUILDING	---
---	WETLANDS	---
---	EDGE WETLAND	---
---	SIGN	---
---	EDGE PAVEMENT	---
---	GRAVEL ROAD	---
---	CURBLINE	---
---	STONE WALL	---
---	GRAVEL ROAD	---
---	DECIDUOUS TREE	(X)
---	CONIFEROUS TREE	(X)
---	ZONE LINE	---

AREAS TO REMAIN NATURAL. PROTECT EXISTING VEGETATION

EXISTING WALKWAY TO BE REMOVED. LOAM AND SEED

AREAS TO REMAIN NATURAL. PROTECT EXISTING VEGETATION



SEE SHEET 7 OF 13



312

REV.	BY	DATE	STATUS	REVISIONS
1	OAM	04-14-04	ISSUED FOR CITY REVIEW	REVISED PER ENGINEERING REVIEW COMMENTS
2	OAM	03-05-04	ISSUED FOR CITY REVIEW	

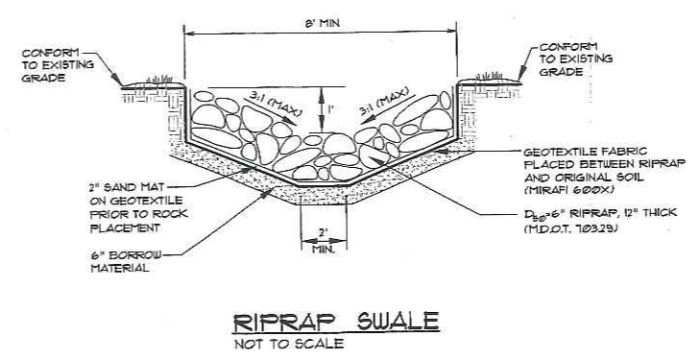
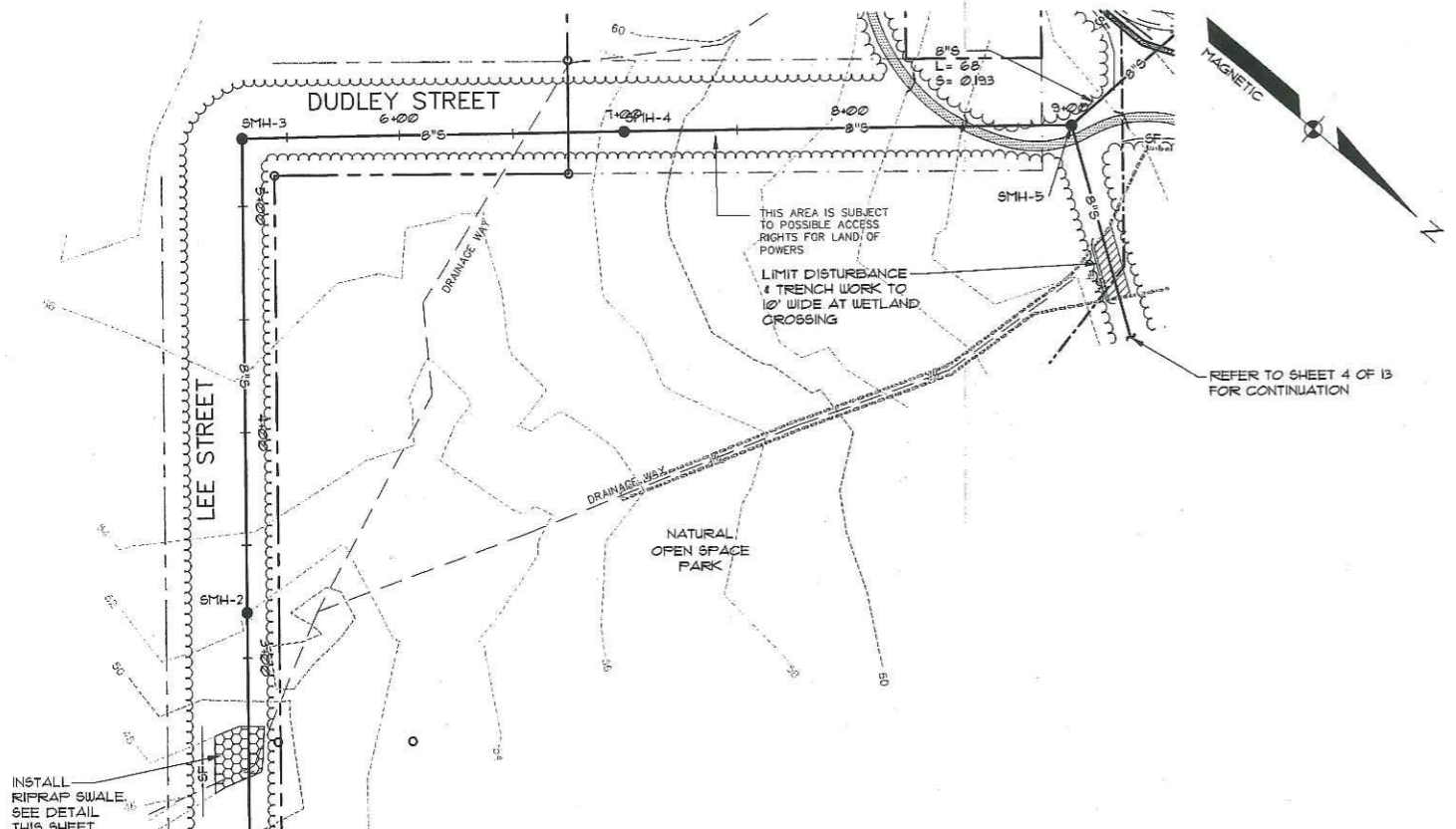
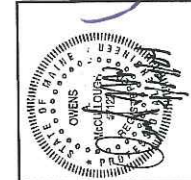
Sebago Technics
 Engineering Expertise You Can Build On
 One Chabot Street
 Westbrook, Me 04098-1339
 Tel (207) 858-0277

LANDSCAPING PLAN
 OF:
PORTLAND ASSISTED LIVING FACILITY PHASE II
 CANCO ROAD
 PORTLAND, MAINE
 FOR:
VI MANAGEMENTCO. LLC & HOLIDAY

DATE: 11-03-03
 SCALE: 1" = 10'

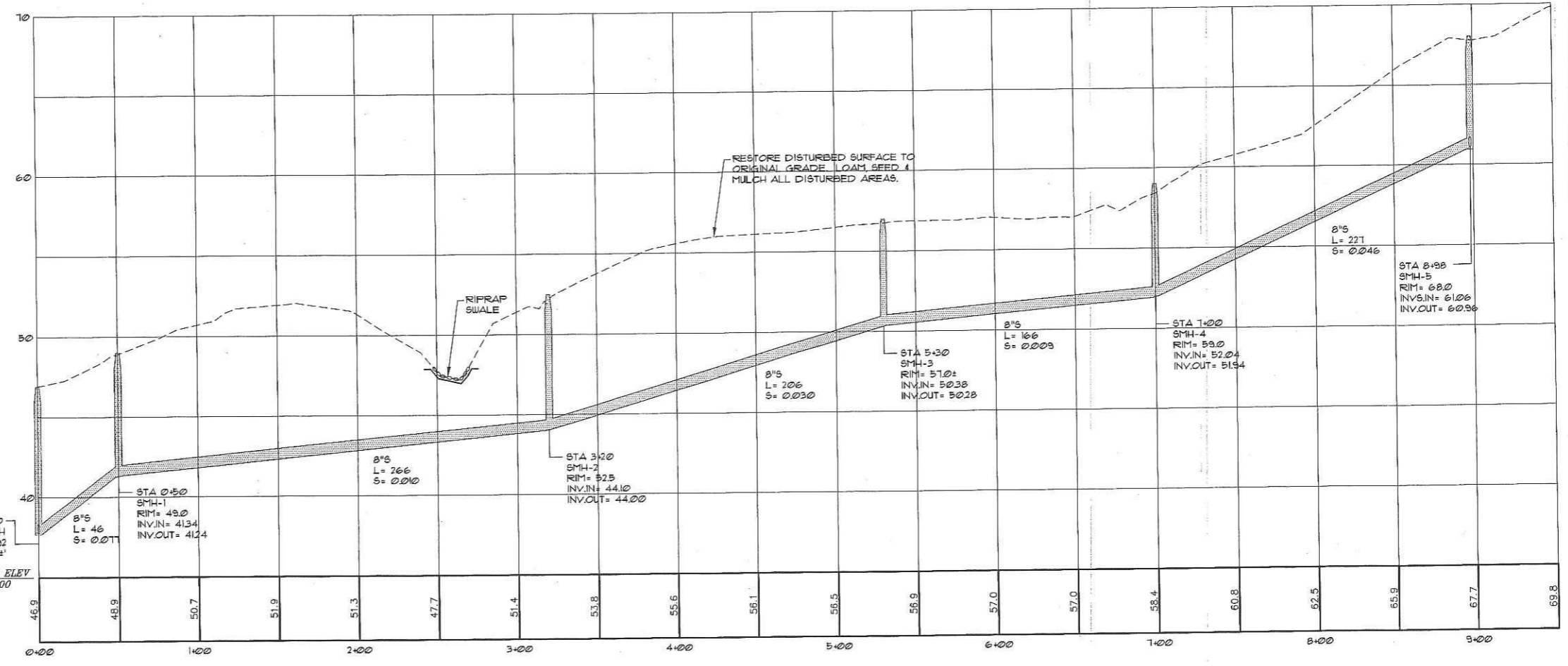
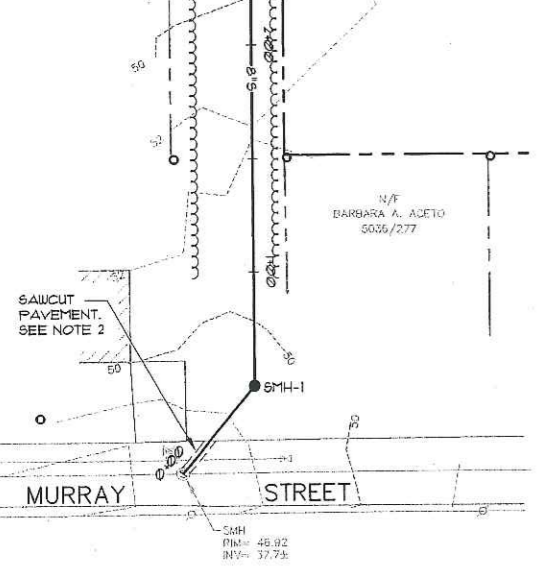
SHEET 6 OF 13

319



LEGEND

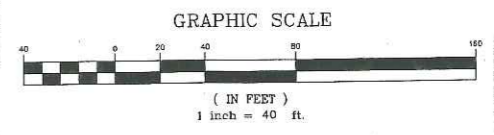
EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY/ROW	---
—○—	IRON PIPE/ROD	---
---	BUILDING	---
---	WETLANDS	---
---	EDGE WETLAND	---
---	EDGE PAVEMENT	---
---	CONTOURS	---
---	SEWER	8"φ
---	GATE VALVE	---
---	UTILITY POLE	---
---	MANHOLE	---
---	SILT FENCE	---
---	RIPRAP	---



SEWER PLAN
SCALE: 1" = 40'

- NOTES:**
- PRIOR TO CONNECTING TO THE MURRAY STREET SEWER, THE CONTRACTOR SHALL:
 - OBTAIN A "STREET OPENING PERMIT" FROM THE CITY OF PORTLAND.
 - SAWCUT PAVEMENT AND REPAIR IN ACCORDANCE WITH CITY OF PORTLAND REQUIREMENTS.
 - MEET WITH THE CITY OF PORTLAND SANITARY DEPARTMENT TO REVIEW THE CONNECTION PROCEDURE AND SCHEDULE AN INSPECTION OF THE CONNECTION.

SEWER PROFILE
HORIZ. SCALE: 1" = 40'
VERT. SCALE: 1" = 4'



REV.	BY:	DATE:	STATUS:
B	OAM	04-14-04	REVISED PER ENGINEERING REVIEW COMMENTS
A	OAM	03-05-04	ISSUED FOR CITY REVIEW

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.

Sebago Technics
Engineering Experience You Can Build On
One Chisot Street
Westport, Oregon 97143
Tel: (503) 859-9277

PROJECT NO.	FIELD BOOK	DESIGN	CHKD	DRAWN
96592-P2		SAG	OAM	BRE

SEWER LINE PLAN & PROFILE
OF:
PORTLAND ASSISTED LIVING FACILITY - PHASE II
FOR:
XL MGMT. CO., LLC & HOLIDAY RETIREMENT CORP.
2250 MCGILCHRIST ST., SE, SUITE 200
SALEM, OREGON 97302

DATE	SCALE
11-30-03	1" = 40'

SHEET 8 OF 13

EROSION AND SEDIMENT CONTROL PLAN

A. PRE-CONSTRUCTION PHASE

PRIOR TO THE BEGINNING OF ANY CONSTRUCTION, HAY BALE BARRIERS/FILTER FABRIC FENCING SHALL BE STAKED ACROSS THE SLOPE(S) ON THE CONTOUR, AT OR JUST BELOW THE LIMITS OF CLEARING OR GRUBBING, AND/OR JUST ABOVE ANY ADJACENT PROPERTY LINE OR WATERCOURSE TO PROTECT AGAINST CONSTRUCTION RELATED EROSION. THE PLACEMENT OF SILT FENCES AND HAY BALES SHALL BE COMPLETED IN ACCORDANCE WITH GUIDELINES ESTABLISHED IN BEST MANAGEMENT PRACTICES. THIS NETWORK IS TO BE PROVIDED, INSTALLED AND MAINTAINED BY THE CONTRACTOR UNTIL ALL EXPOSED SLOPES HAVE AT LEAST 85%-90% VIGOROUS PERENNIAL VEGETATIVE COVER TO PREVENT EROSION.

PRIOR TO ANY CONSTRUCTION AT THE SITE, REPRESENTATIVES OF THE OWNER, SITE CONTRACTOR AND THE ENGINEER SHALL MEET WITH THE OWNER, CITY PLANNING DEPARTMENT AND PUBLIC WORK DEPARTMENT TO DISCUSS THE SCHEDULING OF THE SITE CONSTRUCTION, ON OR BEFORE THAT MEETING, THE CONTRACTOR SHALL PREPARE A DETAILED SCHEDULE AND MARKED UP SITE PLAN INDICATING AREAS AND COMPONENTS OF THE WORK, AND KEY DATES SHOWING DATE OF DISTURBANCE AND COMPLETION OF THE WORK. THREE COPIES OF THE SCHEDULE AND MARKED UP SITE PLAN SHALL BE PROVIDED TO THE CITY. SPECIAL ATTENTION SHALL BE GIVEN TO THE 14 DAY LIMIT OF DISTURBANCE IN THE SCHEDULE ADDRESSING TEMPORARY AND PERMANENT VEGETATION MEASURES.

THE FOLLOWING EROSION CONTROL MEASURES SHALL BE FOLLOWED BY THE SITE CONTRACTOR(S) THROUGHOUT CONSTRUCTION OF THIS PROJECT.

B. CONSTRUCTION AND POST-CONSTRUCTION PHASE

1. AREAS UNDERGOING ACTUAL CONSTRUCTION SHALL ONLY EXPOSE THAT AMOUNT OF MINERAL SOIL NECESSARY FOR PROGRESSIVE AND EFFICIENT SITE CONSTRUCTION AND SHALL NOT EXCEED 14 DAYS. AREAS THAT WILL NOT BE RECEIVING FINAL SEEDING OR FINISH GRADED WITHIN FOURTEEN (14) DAYS OF DISTURBANCE SHALL BE ANCHORED WITH TEMPORARY EROSION CONTROL MEASURES. TEMPORARY EROSION CONTROL SHALL INCLUDE EROSION CONTROL BLANKET, NETTING OR MULCH ON ALL SLOPES 15% OR GREATER AND AS DIRECTED BY THE INSPECTING ENGINEER AND AS SHOWN ON THE DESIGN PLANS. IF DISTURBED AREAS DO NOT RECEIVE FINAL SEEDING BY SEPTEMBER 15TH OF THE YEAR OF CONSTRUCTION, THEN ALL DISTURBED AREAS SHALL BE SEEDING WITH A WINTER COVER CROP OF RYE AT THE RATE OF 3 LBS/1000 SF. TO PROVIDE WINTER PROTECTION AND COVERED WITH EROSION CONTROL MESH. ALL SLOPES GREATER THAN 8% AND NOT VEGETATED BY SEPTEMBER 15 SHALL BE COVERED WITH EROSION CONTROL BLANKET. ANY SLOPES GREATER THAN 15% SHALL BE COVERED WITH EROSION CONTROL BLANKET. MULCH SHALL BE APPLIED AT A RATE SO THAT THE SOIL BENEATH IS NOT VISIBLE THROUGH THE MULCH. MULCH SHALL NOT BE APPLIED OVER SNOW COVER. SNOW MUST BE REMOVED PRIOR TO PLACING MULCH.

2. AT THE START OF CONSTRUCTION, A STABILIZED CONSTRUCTION ENTRANCE SHALL BE INSTALLED. THE CONSTRUCTION ENTRANCE SHALL BE MAINTAINED DAILY THROUGHOUT CONSTRUCTION TO PREVENT MATERIAL TRACKING ONTO PUBLIC WAYS.

3. ALL TOPSOIL SHALL BE COLLECTED, STOCKPILED, SEEDING WITH RYE AT 3 LBS/1000 SF, AND MULCHED ON-SITE AND RE-USED AS REQUIRED. SILTATION FENCES SHALL BE PLACED DOWN GRADIENT FROM STOCKPILED LOAM. LOAM SHALL BE STOCKPILED AT LOCATIONS DESIGNATED BY THE OWNER. DESIGNATED LOCATIONS SHALL BE DETERMINED PRIOR TO OR AT THE PRE-CONSTRUCTION MEETING.

4. ALL SILT FENCES AND/OR HAY BALE BARRIERS SHALL BE INSTALLED ACCORDING TO THIS PLAN. THESE SHALL BE MAINTAINED DURING DEVELOPMENT TO REMOVE SEDIMENT FROM RUNOFF WATER. ALL THE SILT FENCES SHALL BE INSPECTED AFTER ANY RAINFALL OR RUNOFF EVENT, MAINTAINED AND CLEANED UNTIL ALL AREAS HAVE AT LEAST 85%-90% VIGOROUS PERENNIAL VEGETATIVE COVER OF GRASSES.

5. ALL AREAS SHALL BE SEEDING IN ACCORDANCE WITH THE FOLLOWING VEGETATION PLAN.

C. VEGETATION PLAN

REVEGETATION MEASURES SHALL COMMENCE IMMEDIATELY UPON COMPLETION OF CONSTRUCTION. DISTURBED AREAS SHALL BE MULCHED AND ANCHORED PRIOR TO ANY STORM EVENT. IF FINAL SEEDING CANNOT BE ACCOMPLISHED BY SEPTEMBER 15TH, THEN ALL DISTURBED AREAS SHALL BE HAY MULCHED AT A RATE OF 150 LBS PER 1000 SF, AND SEEDING WITH A WINTER COVER CROP OF RYE AT THE RATE OF 3 LBS/1000 SF. TO PROVIDE WINTER PROTECTION. HAY MULCH SHALL BE SECURED WITH A SUITABLE BINDER TO INCLUDE RYB PLUS AND/OR EROSION CONTROL NETTING AS DIRECTED BY THE OWNER/INSPECTION ENGINEER.

REVEGETATION MEASURES SHALL CONSIST OF THE FOLLOWING:

- FOUR INCHES OF LOAM WILL BE SPREAD OVER DISTURBED AREAS AND SMOOTHED TO A UNIFORM SURFACE. LOAM SHALL BE FREE OF SUBSOIL, CLAY LUMPS, STONES AND OTHER OBJECTS OVER 1" IN DIAMETER, AND WITHOUT WEEDS, ROOTS OR OTHER OBJECTIONABLE MATERIAL.
- AGRICULTURAL LIMESTONE SHALL BE SPREAD AT THE RATE OF 3 TONS PER ACRE. 10-20-20 FERTILIZER SHALL BE APPLIED AT A RATE OF 800 LBS/ACRE. THESE SOIL AMENDMENTS SHALL BE INCORPORATED INTO THE SOIL PRIOR TO FINAL SEEDING.
- FOLLOWING SEED BED PREPARATION, SUIABLE AREAS, HILL AREAS AND BACK SLOPES SHALL BE SEEDING AT A RATE OF 4 LBS/1000 SF. TO A MIXTURE OF 35% CREEPING RED FESCUE, 6% RED TOP, 24% KENTUCKY BLUEGRASS, 10% PERENNIAL RYE GRASS, 20% ANNUAL RYE GRASS AND 5% WHITE DUTCH CLOVER. THE LAWN AREAS WILL BE SEEDING TO A PREMIUM TURF MIXTURE OF BLUEGRASS AND/OR FESCUE AT SEEDING RATE OF 3 LBS. PER 1000 SQUARE FEET.
- HAY MULCH SHALL BE APPLIED TO ALL DISTURBED AREAS AT THE RATE OF 150 LBS. PER 1000 SQUARE FEET, OR A HYDRO-APPLICATION OF ASPHALT, WOOD OR PAPER FIBER WILL BE APPLIED FOLLOWING SEEDING. A SUITABLE BINDER, SUCH AS RYB PLUS AND/OR EROSION CONTROL NETTING WILL BE USED ON HAY MULCH FOR WIND CONTROL.
- ALL HAY BALE AND/OR FILTER FABRIC BARRIERS WILL REMAIN IN PLACE UNTIL SEEDING HAVE BECOME 85%-90% ESTABLISHED AND THEN REMOVED WITHIN 10 DAYS.

D. EROSION CONTROL DURING WINTER CONSTRUCTION

- WINTER CONSTRUCTION PERIOD: NOVEMBER 1 THROUGH APRIL 15.
- WINTER EXCAVATION AND EARTHWORK SHALL BE DONE SUCH THAT NO MORE THAN 1 ACRE OF THE SITE IS WITHOUT STABILIZATION AT ANY ONE TIME.
- EXPOSED AREA SHOULD BE LIMITED TO ALLOWING THESE AREAS TO BE MULCHED IN ONE DAY PRIOR TO ANY SNOW EVENT.
- CONTINUATION OF EARTHWORK OPERATIONS ON ADDITIONAL AREAS SHALL NOT BEGIN UNTIL THE EXPOSED SOIL SURFACE ON THE AREA BEING WORKED HAS BEEN STABILIZED, SUCH THAT NO LARGER AREA OF THE SITE IS WITHOUT EROSION CONTROL PROTECTION AS LISTED IN ITEM 2 ABOVE.
- AN AREA SHALL BE CONSIDERED TO HAVE BEEN STABILIZED WHEN EXPOSED SURFACES HAVE BEEN EITHER MULCHED WITH STRAW OR HAY AT A RATE OF 150 LB. PER 1000 SQUARE FEET (WITH OR WITHOUT SEEDING) OR DORMANT SEEDING, MULCHED AND ADEQUATELY ANCHORED BY AN APPROVED ANCHORING TECHNIQUE. IN ALL CASES MULCH SHALL BE APPLIED SUCH THAT SOIL SURFACE IS NOT VISIBLE THROUGH THE MULCH.
- BETWEEN THE DATES OF OCTOBER 15 AND APRIL 15, LOAM OR SEED WILL NOT BE REQUIRED. DURING PERIODS OF ABOVE FREEZING TEMPERATURES THE SLOPES SHALL BE FINE GRADED AND EITHER PROTECTED WITH MULCH OR TEMPORARILY SEEDING AND MULCHED UNTIL SUCH TIME AS THE FINAL TREATMENT CAN BE APPLIED. IF THE DATE IS AFTER NOVEMBER 15TH AND IF THE EXPOSED AREA HAS BEEN LOAMED, FINAL GRADED AND IS SMOOTH, THEN THE AREA MAY BE DORMANT SEEDING AT A RATE OF 3 TIMES HIGHER THAN SPECIFIED FOR PERMANENT SEED AND THEN MULCHED. IF CONSTRUCTION CONTINUES DURING FREEZING WEATHER, ALL EXPOSED AREAS SHALL BE CONTINUOUSLY GRADED BEFORE FREEZING AND THE SURFACE TEMPORARILY PROTECTED FROM EROSION BY THE APPLICATION OF MULCH. SLOPES SHALL NOT BE LEFT UNEXPOSED OVER THE WINTER OR ANY OTHER EXTENDED TIME OF WORK SUSPENSION UNLESS TREATED IN THE ABOVE MANNER. UNTIL SUCH TIME AS WEATHER CONDITIONS ALLOW DITCHES TO BE FINISHED WITH THE PERMANENT SURFACE TREATMENT, EROSION SHALL BE CONTROLLED BY THE INSTALLATION OF BALES OF HAY OR STONE CHECK DAMS IN ACCORDANCE WITH THE STANDARD DETAILS.

- A) BETWEEN THE DATES OF NOVEMBER 1ST AND APRIL 15TH ALL MULCH SHALL BE ANCHORED BY EITHER PEG LINE, MULCH NETTING, ASPHALT EMULSION CHEMICAL, TRACK OR WOOD CELLULOSE FIBER.
- B) MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL DRAINAGE WAYS WITH A SLOPE GREATER THAN 3%, FOR SLOPES EXPOSED TO DIRECT WINDS AND FOR ALL OTHER SLOPES GREATER THAN 8%.
- C) MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 15%. AFTER OCTOBER 15TH THE SAME APPLIES FOR ALL SLOPES GREATER THAN 8%.

E. CONSTRUCTION SCHEDULE

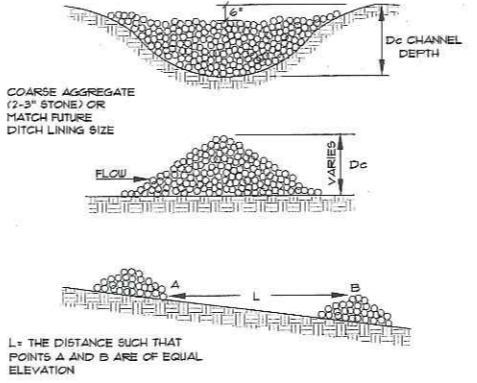
CONSTRUCTION WILL MOST LIKELY BEGIN IN SPRING 1998. THE FOLLOWING SCHEDULE HAS BEEN PREPARED BASED UPON AN ANTICIPATED CONSTRUCTION SCHEDULE FOR PHASE I IMPROVEMENTS.

SCHEDULE	ESTIMATED CONSTRUCTION TIME:	DATE
1. ESTIMATED CONSTRUCTION TIME:	8 MONTHS	MAY 1, 2004 - DEC. 30, 2004
2. EROSION CONTROL MEASURES PLACED:		MAY 3, 2004
3. SITE CLEARING, GRUBBING, EXCAVATION AND FILLING:		MAY 5, 2004 - JUNE 21, 2004
4. DRAINAGE & UTILITY IMPROVEMENTS:		JUNE 21, 2004 - SEPT. 15, 2004
5. START FINAL/TEMPORARY SEEDINGS ON PREPARED AREAS:		MAY 15, 2004
6. BIWEEKLY MONITORING OF VEGETATIVE GROWTH:		MAY 30, 2004 - JULY 15, 2005
7. RE-SEEDING OF AREAS, IF NEEDED:		MAY 30, 2004 - JUNE 15, 2005
8. REMOVAL OF EROSION CONTROL DEVICES:		OCT. 2005
9. MULCH SPREAD FOR WINTER EROSION CONTROL:		OCT. 15, 2004 - APRIL 1, 2005
10. DETENTION POND CONSTRUCTION:		MAY 30, 2004 - JUNE 30, 2004

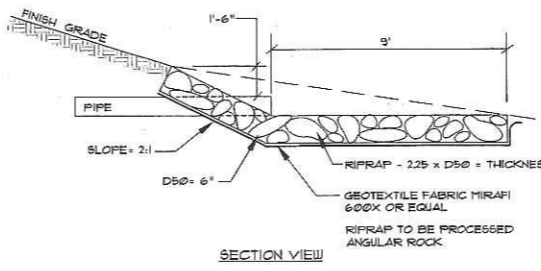
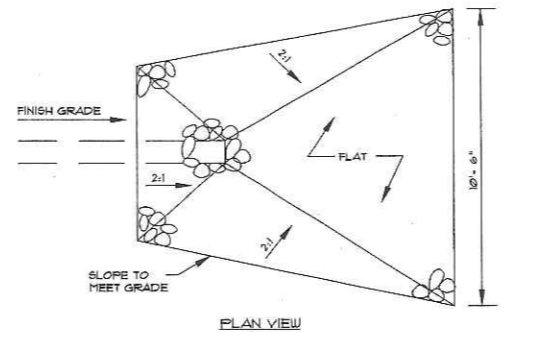
F. INSPECTIONS/MONITORING

MAINTENANCE MEASURES SHALL BE APPLIED AS NEEDED DURING THE ENTIRE CONSTRUCTION CYCLE. AFTER EACH RAINFALL, THE SITE CONTRACTOR SHALL PERFORM A VISUAL INSPECTION OF ALL INSTALLED EROSION CONTROL MEASURES AND PERFORM REPAIRS AS NEEDED TO INSURE THEIR CONTINUING FUNCTION.

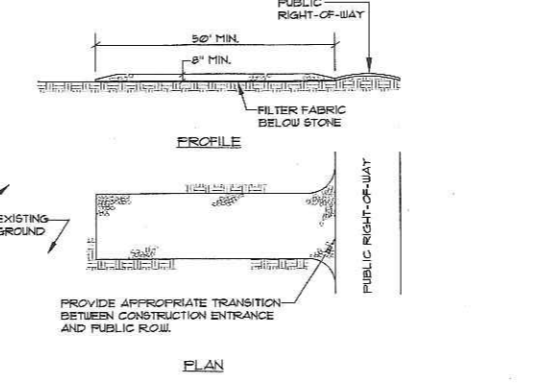
FOLLOWING THE TEMPORARY AND/OR FINAL SEEDINGS, THE CONTRACTOR SHALL INSPECT THE SITE SEMIMONTHLY UNTIL THE SEEDINGS HAVE BEEN ESTABLISHED. ESTABLISHED MEANS A MINIMUM OF 85%-90% OF AREAS VEGETATED WITH VIGOROUS GROWTH. RESEEDING SHALL BE CARRIED OUT BY THE CONTRACTOR WITH FOLLOW-UP INSPECTIONS IN THE EVENT OF ANY FAILURES UNTIL VEGETATION IS ADEQUATELY ESTABLISHED.



STONE CHECK DAM
NOT TO SCALE

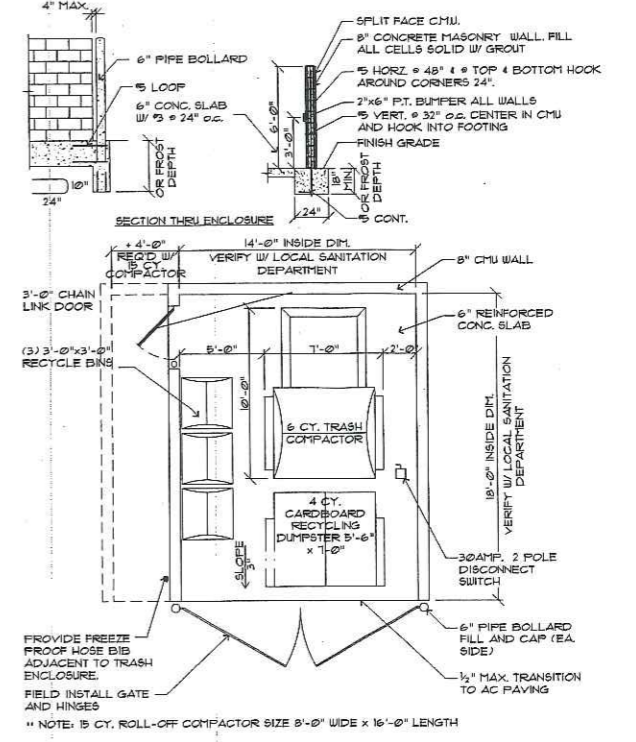


RIPRAP APRON
NOT TO SCALE

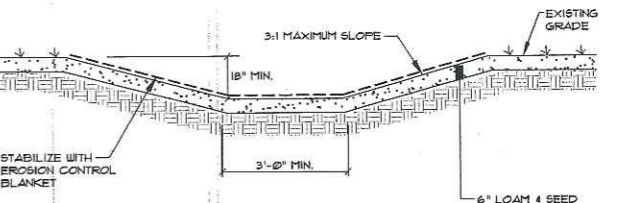


- NOTES:
- STONE SIZE - AASHTO DESIGNATION M43, SIZE NO. 2 (2 1/2" TO 1 1/2"). USE CRUSHED STONE.
 - LENGTH - AS SHOWN ON PLANS, MIN. 50 FEET.
 - THICKNESS - NOT LESS THAN EIGHT (8) INCHES.
 - WIDTH - NOT LESS THAN FULL WIDTH OF ALL POINT OF INGRESS OR EGRESS.
 - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY.

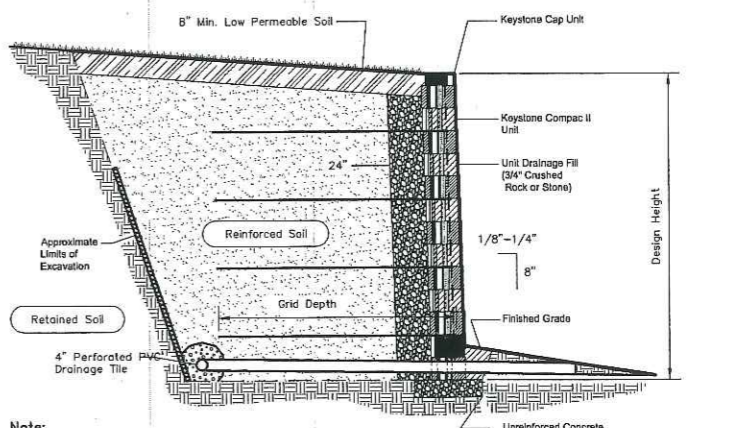
STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE



TYPICAL DUMPSTER ENCLOSURE
NOT TO SCALE



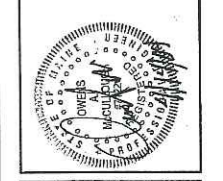
GRASSED SWALE
NOT TO SCALE



- Note:
- When site conditions require, wrap drainage tile in 3/4" aggregate and filter fabric with drainage composite or aggregate back drain system, as directed by geotechnical engineer.
 - WALL TO BE DESIGNED BY MANUFACTURE AND SHALL BE STAMPED BY A MAINE REGISTERED PROFESSIONAL ENGINEER CONTRACTOR TO SUBMIT SHOP/DESIGN DRAWINGS FOR OWNERS REVIEW AND APPROVAL.

Typical Reinforced Wall Section
Compac II Unit - Near Vertical Setback
(DETAIL PROVIDED BY KEYSTONE RETAINING WALL SYSTEMS)

31h



REV.	DATE	BY	STATUS	REVISIONS
C	04-14-04	OAM	REVISED PER ENGINEERING REVIEW COMMENTS	
B	03-05-04	OAM	ISSUED FOR CITY REVIEW	
A	1-23-04	OAM	ISSUED FOR PRELIMINARY PLAN REVIEW	

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Engineering Experience You Can Build On
2250 McGillchrist St., Suite 200
Portland, Maine 04108-1339
Tel: (207) 866-0277

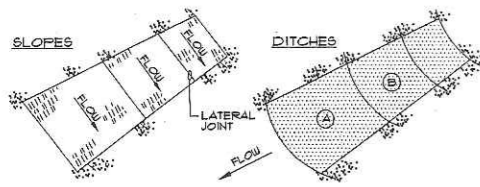
PROJECT NO: FIELD BOOK DESIGN CHRD DRAWN: OAM
DATE: 04/14/04

PORTLAND ASSISTED LIVING FACILITY - PHASE II
CANCOR ROAD
PORTLAND, MAINE

FOR: **XL MGMT. CO., LLC & HOLIDAY RETIREMENT CORP.**
2250 MCGILCHRIST ST., SUITE 200
SALEM, OREGON 97302

DATE: 1-16-04 SCALE: AS NOTED

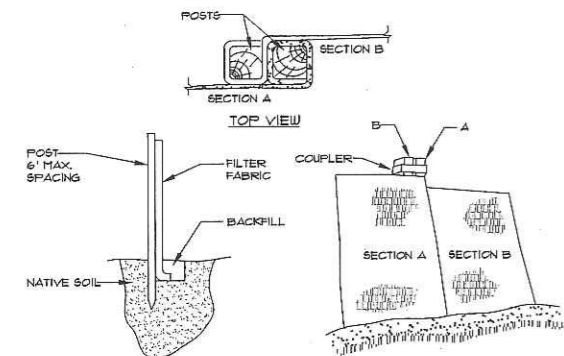
SHEET 9 OF 13



NOTES:

- BURY THE TOP END OF THE MESH MATERIAL IN A 6" TRENCH AND BACKFILL, AND TAMP TRENCHING SECURE END WITH STAPLES AT 6" SPACING, 4" DOWN FROM EXPOSED END.
- FLOW DIRECTION JOINTS TO HAVE UPPER END OF LOWER STRIP BURIED WITH UPPER LAYERS OVERLAPPED 4" AND STAPLED, OVERLAP B OVER A.
- LATERAL JOINTS TO HAVE 4" OVERLAP OF STRIPS, STAPLE 18" ON CENTER.
- STAPLE OUTSIDE LATERAL EDGE 2" ON CENTER.
- WIRE STAPLES TO BE MIN. OF #11 WIRE 6" LONG AND 1-1/2" WIDE.
- USE NORTH AMERICAN GREEN D9 150 OR APPROVED EQUAL.

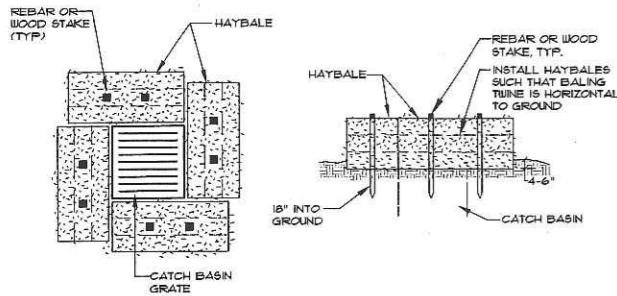
EROSION CONTROL BLANKET
NOT TO SCALE



INSTALLATION:

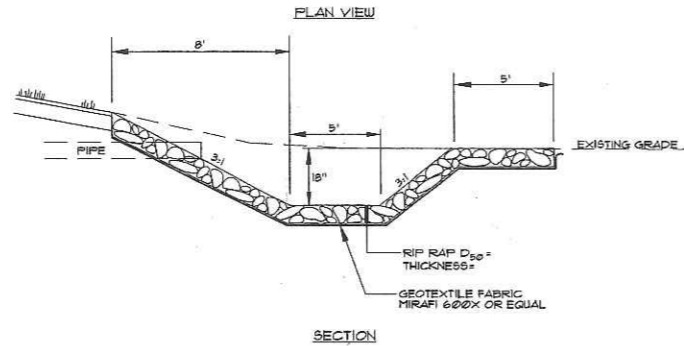
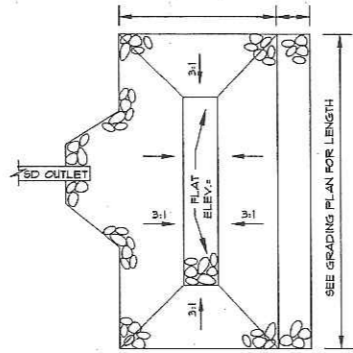
- EXCAVATE A 6"x6" TRENCH ALONG THE LINE OF PLACEMENT FOR THE FILTER BARRIER.
- UNROLL A SECTION AT A TIME AND POSITION THE POSTS AGAINST THE BACK (DOWNSTREAM) WALL OF THE TRENCH.
- DRIVE POSTS INTO THE GROUND UNTIL APPROXIMATELY 2" OF FABRIC IS LYING ON THE TRENCH BOTTOM.
- LAY THE TOE-IN FLAP OF FABRIC ONTO THE UNDISTURBED BOTTOM OF THE TRENCH, BACKFILL THE TRENCH AND TAMP THE SOIL. TOE-IN CAN ALSO BE ACCOMPLISHED BY LAYING THE FABRIC FLAP ON UNDISTURBED GROUND AND PILING AND TAMPING FILL AT THE BASE, BUT MUST BE ACCOMPANIED BY AN INTERCEPTION DITCH.
- JOIN SECTION AS SHOWN ABOVE.
- BARRIER SHALL BE MIRAFI SILT FENCE OR EQUAL.

FILTER BARRIER
NOT TO SCALE

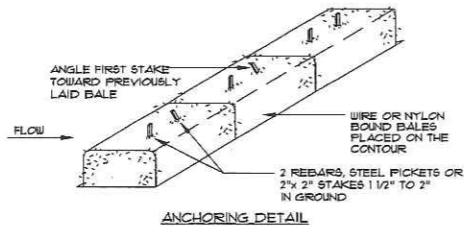


NOTE: INSTALL BARRIER AT EACH CATCH BASIN

CATCH BASIN HAYBALE BARRIER
NOT TO SCALE



RIPRAP LEVEL SPREADER OUTLET
NOT TO SCALE



NOTES:

- BALES SHALL BE PLACED IN A ROW WITH ENDS TIGHTLY ABUTTING THE ADJACENT BALES.
- EACH BALE SHALL BE EMBEDDED IN THE SOIL A MINIMUM OF 4".
- BALES SHALL BE SECURELY ANCHORED IN PLACES BY STAKES OR REBARS DRIVEN THROUGH THE BALES. THE FIRST STAKE IN EACH BALE SHALL BE ANGLED TOWARD PREVIOUSLY LAID BALE TO FORCE BALES TOGETHER.
- INSPECTION SHALL BE FREQUENT AND REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
- BALES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS SO AS NOT TO BLOCK OR IMPED EROSION FLOW OR DRAINAGE.

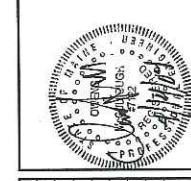
HAY BALE BARRIER
NOT TO SCALE

CONSTRUCTION NOTES

- THE CONTRACTOR SHALL PROVIDE ADEQUATE MEANS OF CLEANING MUD FROM TRUCKS AND/OR OTHER EQUIPMENT PRIOR TO ENTERING PUBLIC STREETS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CLEAN STREETS, ALLAY DUST, AND TAKE WHATEVER MEASURES ARE NECESSARY TO INSURE THAT THE STREETS ARE MAINTAINED IN A CLEAN, MUD AND DUST FREE CONDITION AT ALL TIMES.
- CONTRACTORS SHALL NOTIFY OPERATORS WHO MAINTAIN UNDERGROUND UTILITIES IN THE AREA OF PROPOSED EXCAVATION OR BLASTING AT LEAST THREE (3) BUT NOT MORE THAN THIRTY (30) DAYS PRIOR TO COMMENCEMENT OF EXCAVATION OR DEMOLITION. CONTRACTORS SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE REQUIREMENTS OF 23 MRSA 336-0-A.
- ALL DISTURBED AREAS SHALL BE LOAMED AND SEEDED IN ACCORDANCE WITH THE EROSION AND SEDIMENTATION CONTROL PLAN AND CITY REQUIREMENTS.
- ALL STORM DRAINAGE PIPE SHALL BE SMOOTH BORE HDPE PIPING OR AS NOTED ON PLANS. ALL SEWER PIPE SHALL BE PVC SDR 35.
- PROTECT, CLEAN AND REMOVE SEDIMENT FROM ALL DRAINAGE STRUCTURES (INCLUDING DETENTION POND) WITHIN THE CONSTRUCTION AREA.
- PRIOR TO CONSTRUCTION CONTRACTOR SHALL INSPECT THE SITE FOR GENERAL CONDITIONS AND ANY SPECIAL REQUIREMENTS NECESSARY FOR PROJECT CONSTRUCTION. THESE COSTS SHALL BE INCLUDED IN CONTRACTOR'S BID.
- CONTRACTOR SHALL INCORPORATE PROVISIONS AS NECESSARY IN PROJECT CONSTRUCTION TO PROTECT EXISTING STRUCTURES, PHYSICAL FEATURES AND MAINTAIN SITE STABILITY. DURING CONSTRUCTION, CONTRACTOR SHALL RESTORE ALL AREAS TO ORIGINAL CONDITION AND AS DIRECTED BY DESIGN DRAWINGS.
- CONTRACTOR SHALL PROVIDE AND INSTALL ALL NECESSARY ELECTRICAL SERVICES IN CONDUIT TO SITE LIGHTING, COMPLYING WITH APPLICABLE CODES. COORDINATE WITH OWNER AND ARCHITECTURAL AND CIP PLANS. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL CONFORM WITH CIP, CABLE 4 TELEPHONE COMPANIES INDIVIDUAL UTILITY REQUIREMENTS FOR INSTALLATION AND LOCATIONS OF UTILITIES.
- CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO CONSTRUCTION.
- FILL AREAS UNDER PAVEMENT SHALL BE GRANULAR BORROW. ALL OTHER FILL AREAS SHALL BE A COMMON BORROW MATERIAL SUITABLE FOR EMBANKMENT CONSTRUCTION, FREE FROM FROZEN MATERIAL, PERISHABLE RUBBLE, PEAT, ORGANICS, ROCKS LARGER THAN 12" IN DIAMETER, VEGETATION AND OTHER MATERIAL UNSUITABLE FOR ROADWAY AND SUBGRADE CONSTRUCTION. EXCAVATED ON-SITE MATERIALS MAY BE USED FOR FILL PROVIDED THE MATERIAL IS FREE FROM UNSUITABLE MATERIAL DESCRIBED IN THIS NOTE AND UPON APPROVAL OF THE ENGINEER. GRANULAR BORROW AND COMMON BORROW SHALL COMPLY WITH MDT SPECIFICATIONS.
- ALL FILLS SHALL BE PLACED LAYERS NOT MORE THAN 12" LOOSE DEPTH AND COMPACTED BY HEAVY COMPACTION EQUIPMENT. MINIMUM COMPACTION SHALL BE 95% OF MAXIMUM DENSITY ASTM 1557, MODIFIED FIELD DENSITY ASTM D3232 (NUCLEAR METHODS).
- IMMEDIATELY UPON COMPLETION OF CUTS/FILLS, THE CONTRACTOR SHALL STABILIZE DISTURBED AREAS IN ACCORDANCE WITH EROSION CONTROL NOTES AND AS SPECIFIED ON PLANS.
- REMOVE TOPSOIL AND ROUGHEN SUBGRADE TO ESTABLISH SUITABLE INTERFACE FOR ALL FILLS. FILLS AROUND TREE SAVES ARE SUBJECT TO SPECIAL PROVISIONS THAT ARE NOTED IN SPECIFICATIONS AND PLANS.
- PRIOR TO CONSTRUCTION THE SITE CONTRACTOR SHALL CONFORM SETBACKS, BUILDING DIMENSIONS AND COORDINATES BETWEEN SITE AND ARCHITECTURAL DRAWINGS. CONTRACTOR SHALL NOTIFY ENGINEER AND OWNER OF ANY DIFFERENCES AFFECTING BUILDING OR SITE CONSTRUCTION. COORDINATE SITE WORK WITH REQUIREMENTS OF ARCHITECTURAL, MECHANICAL, ELECTRICAL AND FOUNDATION PLANS.
- METHODS AND MATERIALS USED IN THE CONSTRUCTION OF THE IMPROVEMENTS HEREIN SHALL CONFORM TO THE CURRENT CITY CONSTRUCTION STANDARDS AND SPECIFICATIONS AND/OR CURRENT MDT STANDARDS AND SPECIFICATIONS.
- THE CONTRACTOR OR DEVELOPER IS REQUIRED TO NOTIFY THE CITY OF PORTLAND PARKS AND PUBLIC WORKS INSPECTION SERVICES DIVISION IN WRITING THREE (3) DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION (814-8300 EXT. 8838). SHOULD THE IMPROVEMENTS BE OF SIGNIFICANT CONCERN OR IN A SENSITIVE AREA A PRE-CONSTRUCTION MEETING MAY BE REQUIRED AT THE DISCRETION OF THE PUBLIC WORKS AUTHORITY.
- PRIOR TO BURNING, BLASTING OR TRANSPORTATION OR STORAGE OF EXPLOSIVES WITHIN THE CITY OF PORTLAND, A PERMIT MUST BE OBTAINED FROM THE FIRE PREVENTION BUREAU (814-8400).
- AN APPROVED SET OF PLANS AND ALL APPLICABLE PERMITS MUST BE AVAILABLE AT THE CONSTRUCTION SITE. THE DEVELOPER, OR AN AUTHORIZED AGENT, MUST BE AVAILABLE AT ALL TIMES DURING CONSTRUCTION.
- WARNING SIGNS, MARKERS, BARRICADES OR FLAGMEN, APPROPRIATE FOR THE TYPE OF CONSTRUCTION, MUST BE EMPLOYED TO REGULATE TRAFFIC AND IN ACCORDANCE WITH M.D.O.T. STANDARDS.
- CONSTRUCTION DEBRIS SHALL BE CONTAINERIZED AND DISPOSED OF IN ACCORDANCE WITH CITY OF PORTLAND'S SOLID WASTE ORDINANCE CHAPTER 12.
- ANY DAMAGE TO PUBLIC OR PRIVATE PROPERTY RESULTING FROM CONSTRUCTION ACTIVITIES SHALL BE REPAIRED BY THE DEVELOPER/CONTRACTOR AT THEIR EXPENSE.

- PROPERTY MARKERS AND STREET LINE MONUMENTS SHALL BE PROPERLY PROTECTED AT ALL TIMES DURING CONSTRUCTION TO INSURE THEIR INTEGRITY. IF DISTURBED THEY SHALL BE REPLACED BY A SURVEYOR, REGISTERED IN THE STATE OF MAINE AT THE CONTRACTOR/DEVELOPER'S EXPENSE.
- ALL SANITARY SEWERS AND AFFURTEANCES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF PORTLAND PARKS AND PUBLIC WORKS SEWER DIVISION.
- ALL NEW CONNECTIONS, RECONNECTIONS ETC. TO SANITARY OR STORM SEWERS SHALL REQUIRE A CONNECTION PERMIT PRIOR TO BEGINNING ANY WORK. THE CITY OF PORTLAND PARKS AND PUBLIC WORKS DEPARTMENT MUST BE NOTIFIED AT LEAST 24 HOURS PRIOR TO COMMENCEMENT TO ALLOW FOR INSPECTION.
- A PERMIT MUST BE OBTAINED FROM THE CITY OF PORTLAND PARKS AND PUBLIC WORKS DEPARTMENT PRIOR TO BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY.
- SEWER MANHOLES SHALL BE VACUUM TESTED AND SANITARY LINES SHALL BE LEAKAGE TESTED.
- WATER MAIN SHALL BE CEMENT LINED DUCTILE IRON CLASS B2 OR APPROVED EQUAL AND INSTALLED IN ACCORDANCE WITH PORTLAND WATER DISTRICT STANDARDS. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL COORDINATE CONSTRUCTION WITH PWD AND OBTAIN ALL APPROVALS/PERMITS.
- WOODED BUFFER MAINTENANCE (OPEN SPACE)
 - INSPECTION FREQUENCY:
 - BUFFERS SHOULD BE INSPECTED ANNUALLY FOR EVIDENCE OF EROSION OR CONCENTRATED FLOW THROUGH OR AROUND THE BUFFER. ALL ERODED AREAS SHOULD BE REPAIRED, SEEDED AND MULCHED. A SHALLOW STONE TRENCH SHOULD BE INSTALLED AND MAINTAINED AS A LEVEL SPREADER TO DISTRIBUTE FLOW EVENLY IN ANY AREA SHOWING CONCENTRATED FLOW.
 - ACCESS AND USE:
 - BUFFERS SHOULD NOT BE TRAVERSED BY ALL-TERRAIN VEHICLES OR VEHICLES. ACTIVITIES WITHIN BUFFERS SHOULD BE CONDUCTED SO AS NOT TO DAMAGE VEGETATION, DISTURB ANY ORGANIC DUFF LAYER AND EXPOSE SOIL.
 - MAINTENANCE PLAN:
 - THE FOLLOWING TECHNIQUES SHOULD BE FOLLOWED TO MAINTAIN THE INTEGRITY OF BUFFERS FROM CONSTRUCTION THROUGH POST-CONSTRUCTION STAGE:
 - PRE-CONSTRUCTION STAKEOUT OF BUFFERS TO DEFINE LIMIT OF DISTURBANCE (LOD).
 - SET LOD BASED ON DRIP-LINE OF THE FORESTED BUFFER.
 - CONDUCT PRE-CONSTRUCTION MEETINGS TO FAMILIARIZE CONTRACTORS AND FOREMEN WITH LOD AND BUFFER LIMIT.
 - MARK THE LOD WITH SILT FENCE BARRIER, SIGNS OR OTHER METHODS TO EXCLUDE CONSTRUCTION EQUIPMENT.
 - POST-DEVELOPMENT:
 - CONDUCT PERIODIC "BUFFER WALKS" TO INSPECT THE CONDITION OF THE BUFFER NETWORK (USING VOLUNTEERS, WHERE POSSIBLE).
 - REPLANT UNUSED GRASS OR LAWN BUFFERS WITH TREES AND SHRUBS, IF POSSIBLE.
 - MAINTENANCE SHALL BE COMPLETED BY THE OWNER (PORTLAND RETIREMENT RESIDENCE, LLC).
 - LEVEL SPREADERS:
 - LEVEL SPREADERS SHALL CONSTRUCTED ON UNDISTURBED SOIL WHERE POSSIBLE. IF FILL IS USED, IT SHALL BE CONSTRUCTED OF MATERIAL COMPACTED TO 95% OF STANDARD PROCTOR TEST LEVEL 6 PRIOR TO SEEDING FOR THAT AREA NOT CONSIDERED THE SEEDBED.
 - AFTER CONSTRUCTION, LEVEL SPREADERS NEED TO BE CAREFULLY INSPECTED FOR ANY SIGNS OF CHANNELIZATION AND IMMEDIATELY REPAIRED. THE STRUCTURE WILL FAIL IF WATER EXITS FROM IT IN CHANNELIZATION FLOW. VEGETATED LEVEL SPREADERS MAY REQUIRE PERIODIC MOWING. SPREADERS CONSTRUCTED OF WOOD, ASPHALT, STONE OR CONCRETE CURBING ALSO REQUIRE PERIODIC INSPECTION TO CHECK FOR DAMAGE AND TO BE REPAIRED AS NEEDED.
- PRIOR TO BIDDING AND CONSTRUCTION, CONTRACTOR SHALL REVIEW ARCHITECTURAL, MECHANICAL, ELECTRICAL AND FOUNDATION PLANS FOR COORDINATION WITH SITE PLANS. ANY AND ALL DISCREPANCIES SHALL BE BROUGHT TO THE ENGINEER'S/OWNER'S ATTENTION PRIOR TO BIDDING AND SHALL BE RESOLVED PRIOR TO BIDDING.
- SEE ARCHITECTURAL/MECHANICAL/ELECTRICAL PLANS FOR LOCATIONS AND REQUIREMENTS FOR UTILITY SERVICES TO BUILDINGS AND SITE INCLUDING BUT NOT LIMITED TO ELECTRICAL, GAS, WATER, SEWER, FOUNDATION DRAINAGE. CONTRACTOR SHALL INSTALL UNDERGROUND ELECTRICAL/TELEPHONE AND CABLE SERVICES TO ALL BUILDINGS AND SHALL COORDINATE WITH RESPECTIVE UTILITIES FOR LOCATIONS OF SERVICE LINES, TRANSFORMER PADS, AND OTHER NECESSARY STRUCTURES. THIS SHALL BE COMPLETED BY THE CONTRACTOR AS PART OF THE BIDDING PROCESS AND SHALL BE COORDINATED WITH THE OWNER.

310



REV.	BY:	DATE:	STATUS:
C	OAM	04-14-04	REVISED PER ENGINEERING REVIEW COMMENTS
B	OAM	03-05-04	ISSUED FOR CITY REVIEW
A	OAM	1-23-04	ISSUED FOR PRELIMINARY PLAN REVIEW

Sebago Technics
Engineering Expertise You Can Build On
1000 Main Street
Waterville, ME 04981-1339
Tel: (207) 856-0277

PROJECT NO. 96592
FIELD BOOK DESIGN CHKD DRAWN
OAM BRF SAB

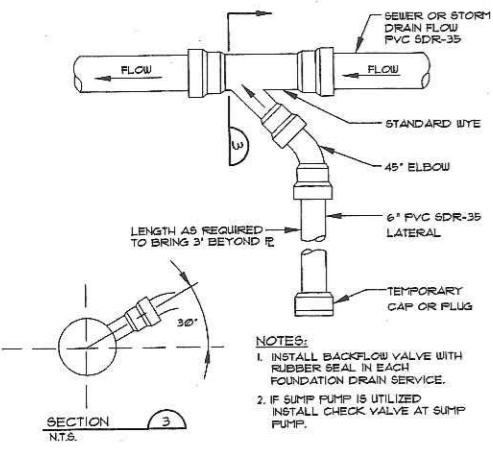
DETAILS
OF:
PORTLAND ASSISTED LIVING FACILITY - PHASE II
CANCO ROAD
PORTLAND, MAINE

FOR:
XL MGMT. CO., LLC & HOLIDAY RETIREMENT CORP.
2250 MCGLOCHRIST ST., SUITE 200
SALEM, OREGON 97302

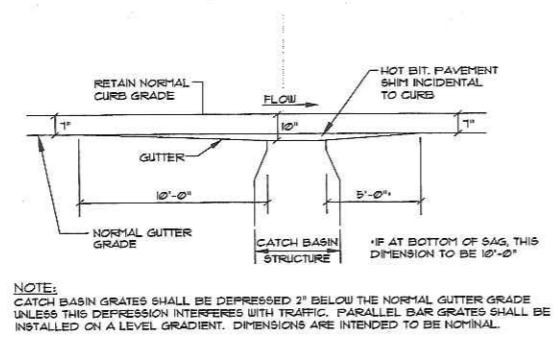
DATE: 1-16-04
SCALE: AS NOTED

SHEET 10 OF 13

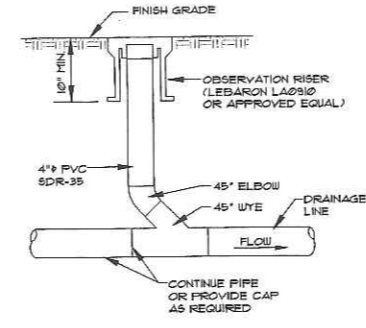
96592-PH2-D2



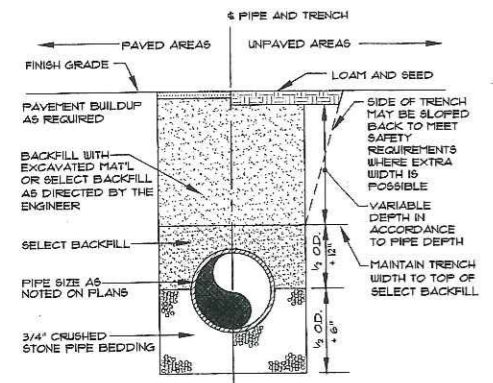
SEWER / FOUNDATION DRAIN / ROOF DRAIN SERVICE CONNECTION
NOT TO SCALE



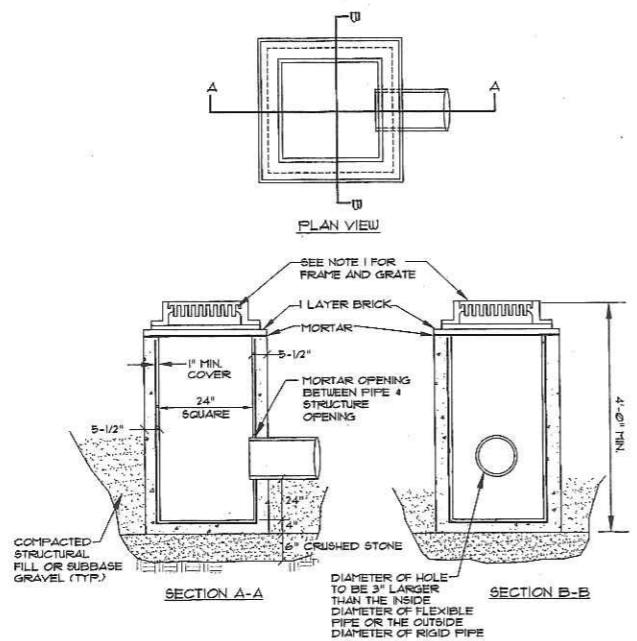
GUTTER GRADE TRANSITION AT CATCH BASIN
NOT TO SCALE



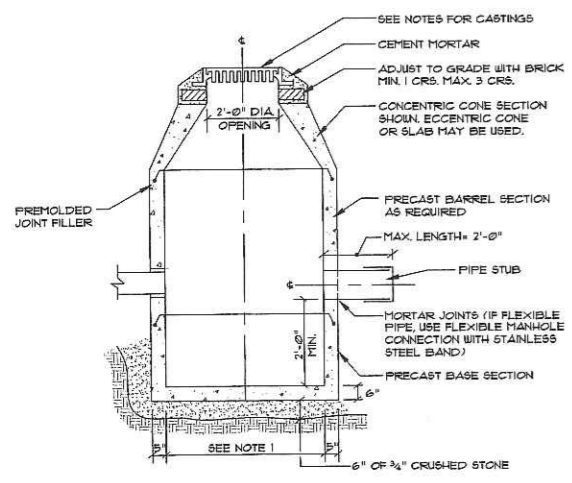
DRAINAGE CLEANOUT
NOT TO SCALE



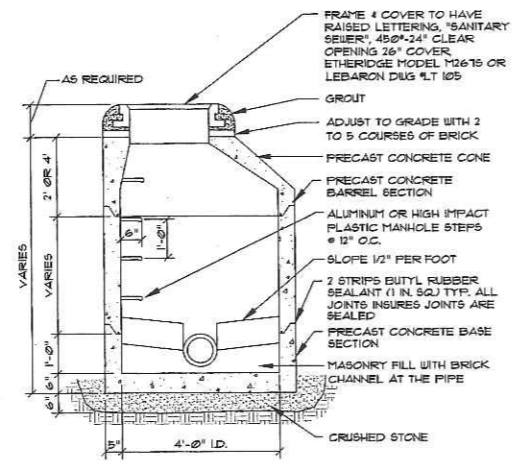
TYPICAL TRENCH SECTION
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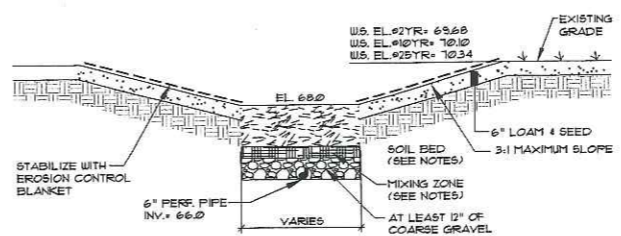
TYPE "F" CATCH BASIN (YARD DRAIN)
NOT TO SCALE



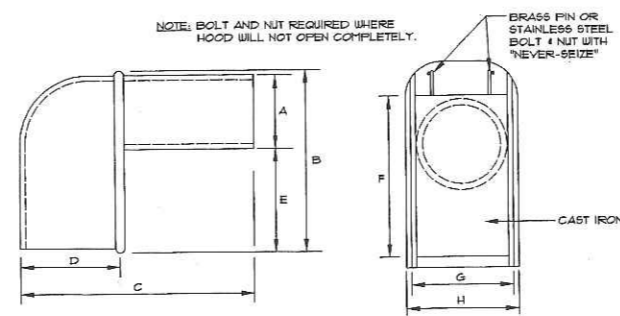
TYPICAL CATCH BASIN
NOT TO SCALE



PRECAST MANHOLE
NOT TO SCALE

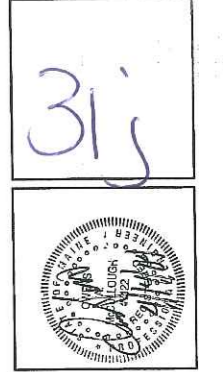


DRY SWALE
NOT TO SCALE



SIZE	A	B	C	D	E	F	G	H
6 IN.	5 1/2"	13 3/8"	13 3/4"	5 3/8"	5 7/8"	11 9/8"	6 1/2"	7 1/4"
8 IN.	7 1/2"	15"	15 3/8"	5 1/2"	5 3/8"	13 3/4"	8 3/4"	9 3/8"
10 IN.	9 1/2"	16"	16 1/4"	6"	4 1/2"	14 1/8"	11 1/2"	12 3/8"
12 IN.	11 1/2"	17"	22"	8"	3 1/2"	17"	12 1/2"	13 3/8"

CASCO TRAP
NOT TO SCALE



REV.	BY	DATE	STATUS
C	OAM	04-14-04	REVISED PER ENGINEERING REVIEW COMMENTS
B	OAM	03-05-04	ISSUED FOR CITY REVIEW
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Engineering Experts You Can Build On
One Clough Blvd., Suite 200
Portland, ME 04108-1339
Tel: (207) 856-0277

PROJECT NO. FIELD BOOK DESIGN CHKD DRAWN
96592 OAM BRB SAB

DETAILS OF: PORTLAND ASSISTED LIVING FACILITY - PHASE II
CANCOR ROAD
PORTLAND, MAINE

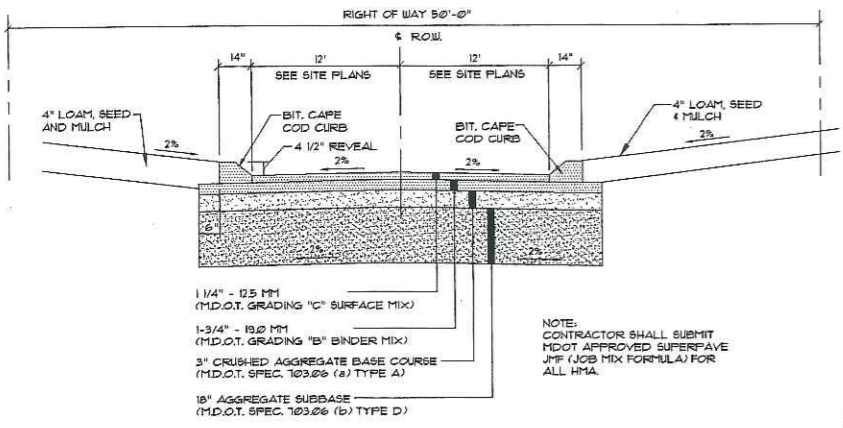
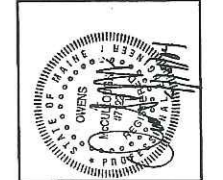
FOR: **XL MGMT. CO. LLC & HOLIDAY RETIREMENT CORP.**
2300 MCDONALD ST. SE. SUITE 200
SALEM, OREGON 97302

DATE	SCALE
1-16-04	AS NOTED

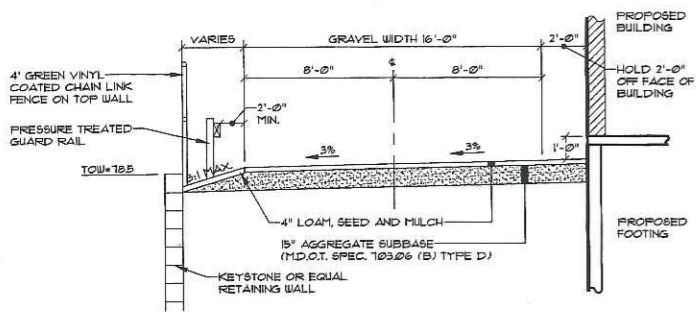
SHEET 11 OF 13

96592-PH2-D3

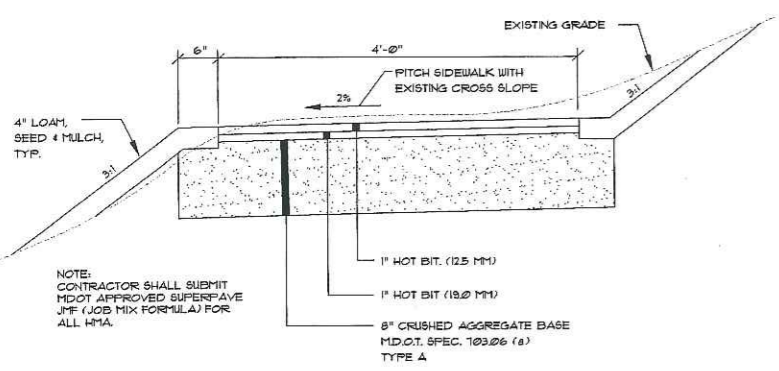
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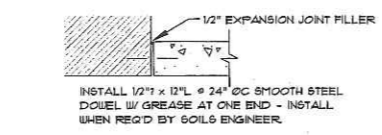
TYPICAL ROAD SECTION WITH BIT. CURB
NOT TO SCALE



EMERGENCY ACCESS CROSS-SECTION
NOT TO SCALE



BITUMINOUS SIDEWALK
NOT TO SCALE

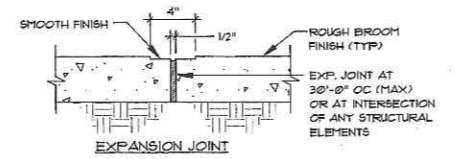
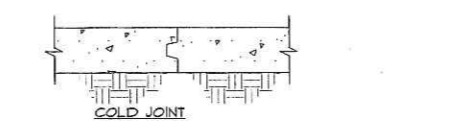
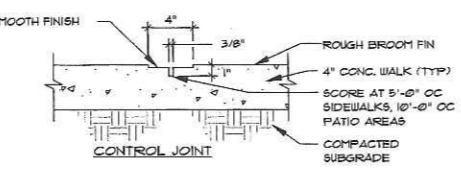
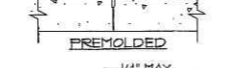
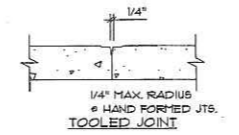


INSTALL 1/2" x 12" x 24" SMOOTH STEEL DOUCEL W/ GREASE AT ONE END - INSTALL WHEN REQ'D BY SOILS ENGINEER.

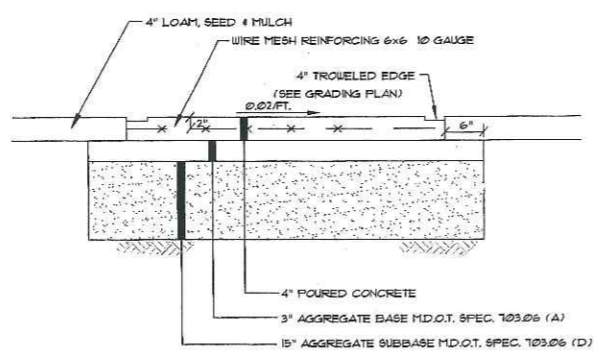
NOTE: USE AT ALL FIXED OBJECTS WITHIN OR ADJACENT PAVED AREA.

ISOLATION EXPANSION JOINT

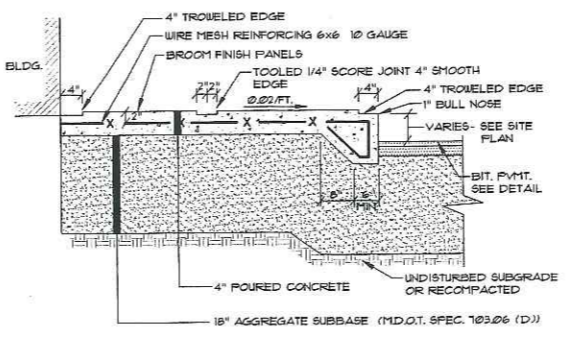
- GENERAL NOTES:
1. POUR CONCRETE IN CHECKER BOARD FASHION AS PER JOINT LAYOUT (SEE PLAN)
 2. ALL LONGITUDINAL JOINTS MAY BE CONST JOINTS AT CONTRACTOR'S OPTION TRANSVERSE CONST JOINTS SHALL BE INSTALLED WHENEVER THE PLACING OF CONCRETE IS SUSPENDED A SUFFICIENT LENGTH OF TIME THAT THE CONCRETE MAY BEGIN TO HARDEN.
 3. SEE ARCHITECTURAL & LANDSCAPE SITE PLANS FOR COLORED CONCRETE & DECORATIVE STAMPED PATTERN LOCATIONS.
 4. REFER TO SOILS INVESTIGATION REPORT FOR ADDITIONAL PAVEMENT INSTALLATION SPECIFICATIONS



CONTROL JOINT DETAILS
NOT TO SCALE

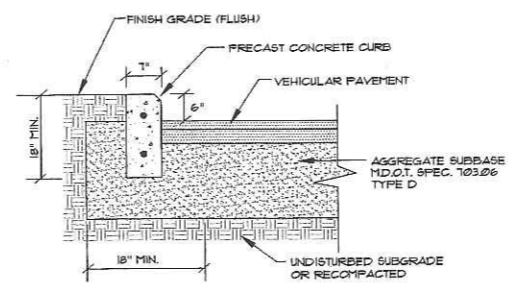


4\"/>

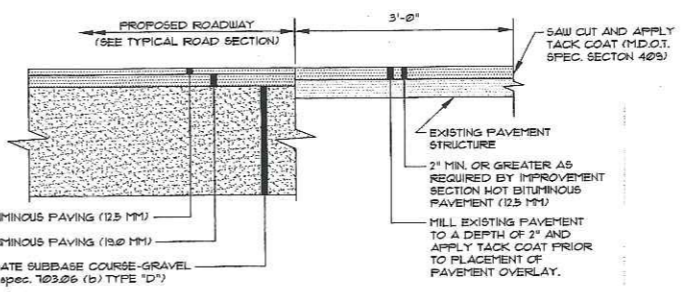


NOTE: INSTALL 5'-0\"/>

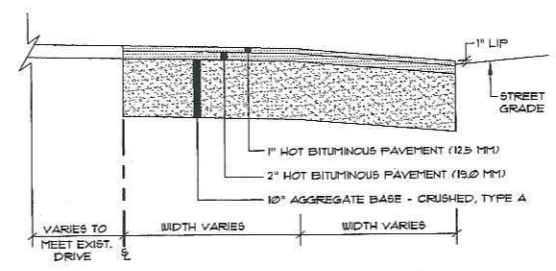
CONCRETE SIDEWALK
NOT TO SCALE



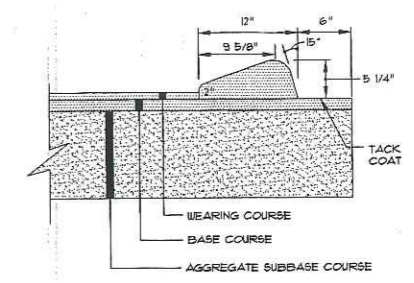
PRECAST CONCRETE CURB
NOT TO SCALE



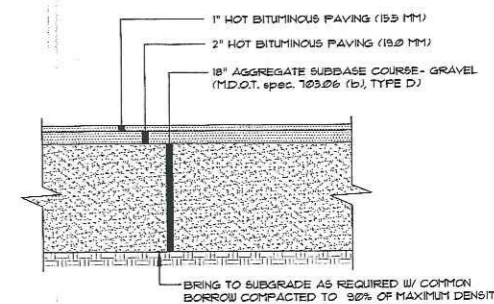
TYPICAL PAVEMENT JOINT
NOT TO SCALE



BITUMINOUS DRIVEWAY CONSTRUCTION
NOT TO SCALE

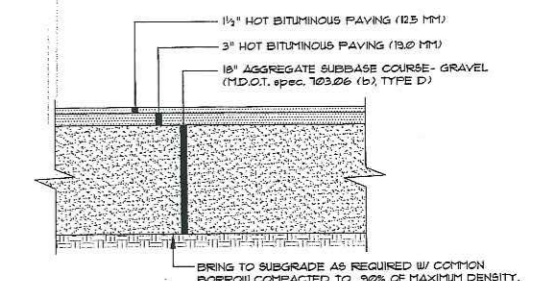


CAPE COD CURB
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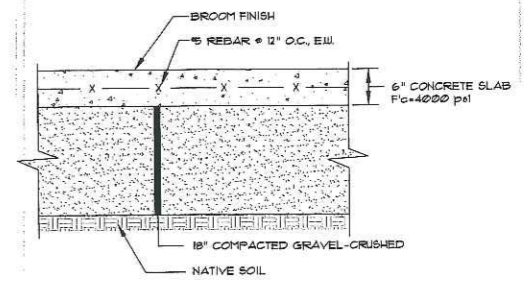
- BRING TO SUBGRADE AS REQUIRED W/ COMMON BORROW COMPACTED TO 90% OF MAXIMUM DENSITY.
- NOTES:
1. COMPACT GRAVEL SUBBASE BASE COURSE TO 90% OF MAXIMUM DENSITY USING HEAVY ROLLER COMPACTION.
 2. CONTRACTOR SHALL SET GRADE STAKES MARKING SUBBASE AND FINISH GRADE ELEVATIONS FOR CONSTRUCTION REFERENCE.
 3. CONTRACTOR SHALL SUBMIT M.D.O.T. APPROVED SUPERPAVE JMF (JOB MIX FORMULA) FOR ALL HMA.

TYP. PAVED PARKING LOT SECTION
NOT TO SCALE



- BRING TO SUBGRADE AS REQUIRED W/ COMMON BORROW COMPACTED TO 90% OF MAXIMUM DENSITY.
- NOTES:
1. COMPACT GRAVEL SUBBASE BASE COURSE TO 90% OF MAXIMUM DENSITY USING HEAVY ROLLER COMPACTION.
 2. CONTRACTOR SHALL SET GRADE STAKES MARKING SUBBASE AND FINISH GRADE ELEVATIONS FOR CONSTRUCTION REFERENCE.
 3. CONTRACTOR SHALL SUBMIT M.D.O.T. APPROVED SUPERPAVE JMF (JOB MIX FORMULA) FOR ALL HMA.

HEAVY DUTY BITUMINOUS PAVEMENT
NOT TO SCALE



NOTE: PROVIDE CONTRACTION CONTROL JOINTS EVERY 6' IN EACH DIRECTION

TYPICAL CONCRETE SLAB
NOT TO SCALE

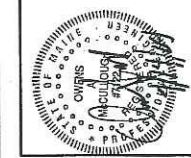
REV.	BY:	DATE:	STATUS:
C	OAM	04-14-04	REVISED PER ENGINEERING REVIEW COMMENTS
B	OAM	03-05-04	ISSUED FOR CITY REVIEW
A	OAM	1-23-04	ISSUED FOR PRELIMINARY PLAN REVIEW

Sebago Technics
Engineering Expertise You Can Build On.
One Cahoon Street
Newport, Oregon 97135
Tel: (503) 856-0277

PROJECT NO: FIELD BOOK DESIGN CHKD DRAWN
96592 OAM BRJ SAB

DETAILS OF:
PORTLAND ASSISTED LIVING FACILITY - PHASE II
CANGO ROAD
PORTLAND, MAINE
FOR:
XL MGMT. CO. LLC & HOLIDAY RETIREMENT CORP.
2250 MCGILCHRIST ST. SE. SUITE 200
SALEM, OREGON 97302

31L



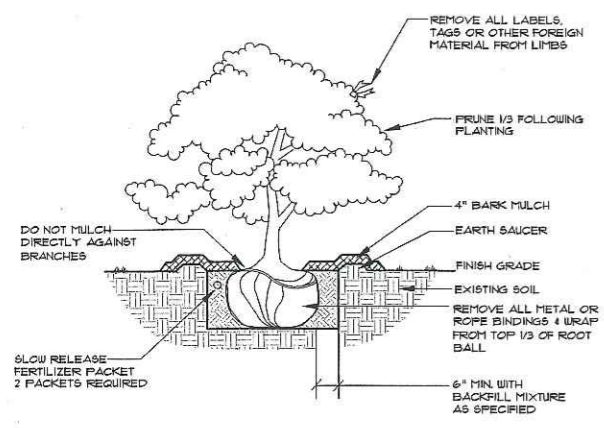
REVISED PER ENGINEERING REVIEW COMMENTS	04-14-04	OAM
ISSUED FOR CITY REVIEW	03-05-04	OAM
ISSUED FOR PRELIMINARY PLAN REVIEW	1-23-04	OAM
STATUS:	DATE:	BY:

Sebago Technics
 Engineering Experts You Can Build On
 2250 McCLCHRIST ST. SE, SUITE 200
 SALEM, OREGON 97302
 Tel (503) 856-0277

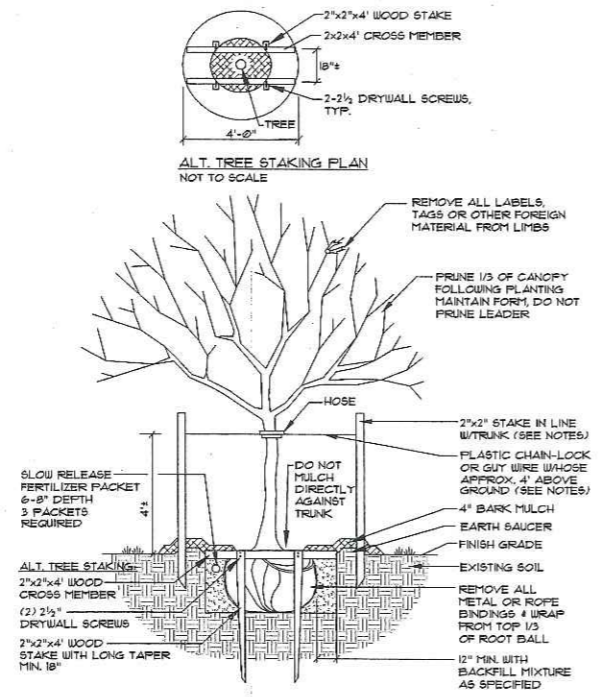
DETAILS OF: PORTLAND ASSISTED LIVING FACILITY - PHASE II
 CANCO ROAD
 PORTLAND, MAINE
FOR: XL MGMT. CO., LLC & HOLIDAY RETIREMENT CORP.
 2250 McCLCHRIST ST. SE, SUITE 200
 SALEM, OREGON 97302

DATE	SCALE
1-16-04	AS NOTED

SHEET 13 OF 13

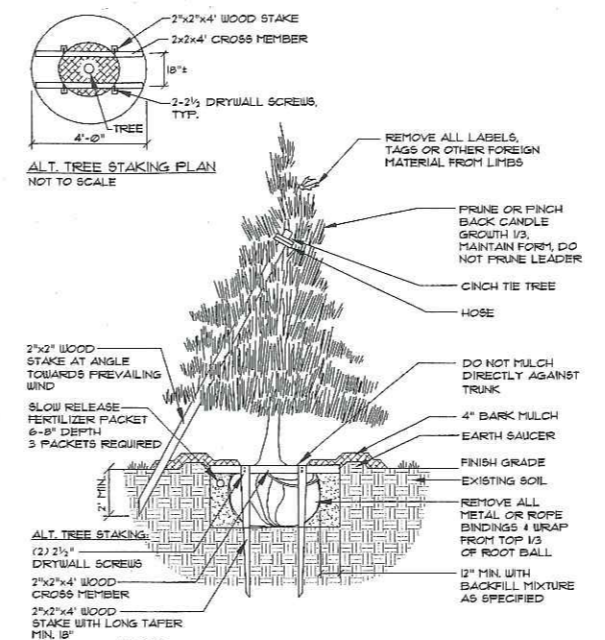


DECIDUOUS & EVERGREEN SHRUB
NOT TO SCALE



- NOTES:**
 INSTALL STAKES AND GUYS TO TREES IF THE FOLLOWING APPLY:
 1. THE TREE IS OF SUBSTANTIAL SIZE.
 2. THE PLANTING LOCATION IS EXTREMELY WINDY, AS ON OPEN UNDEVELOPED SITES.
 3. THE PLANTING LOCATION IS COMPRISED OF SAND OR OTHER LOOSE TEXTURED SOILS.
 4. IF STAKES AND GUYS ARE REQUIRED, REMOVE AFTER ONE YEAR TIME.

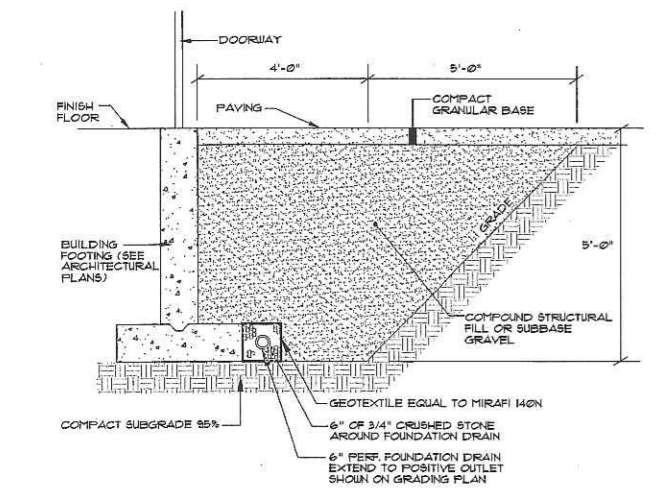
DECIDUOUS TREES 2\"/>



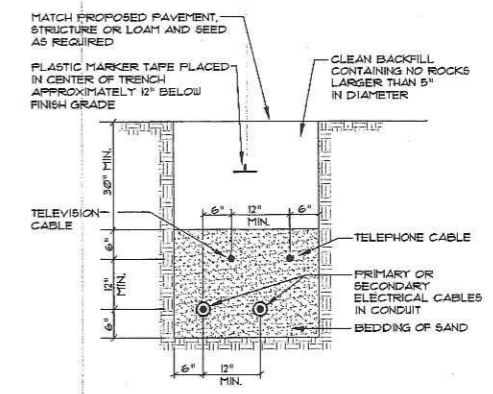
- NOTES:**
 INSTALL STAKES AND GUYS TO TREES IF THE FOLLOWING APPLY:
 1. THE TREE IS OF SUBSTANTIAL SIZE.
 2. THE PLANTING LOCATION IS EXTREMELY WINDY, AS ON OPEN UNDEVELOPED SITES.
 3. THE PLANTING LOCATION IS COMPRISED OF SAND OR OTHER LOOSE TEXTURED SOILS.
 4. IF STAKES AND GUYS ARE REQUIRED, REMOVE AFTER ONE YEAR TIME.

DECIDUOUS TREES UNDER 2\"/>

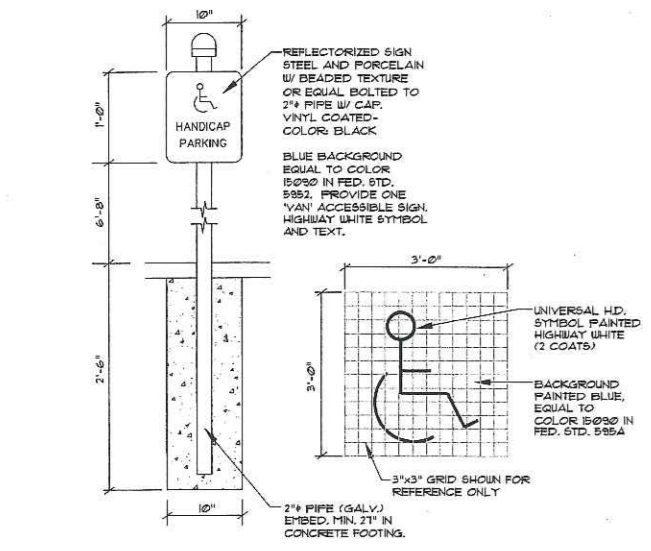
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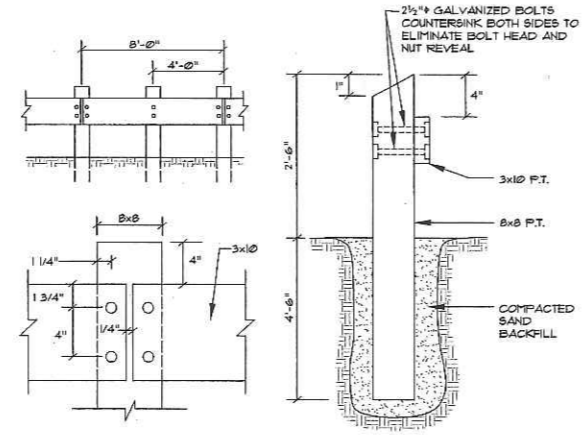
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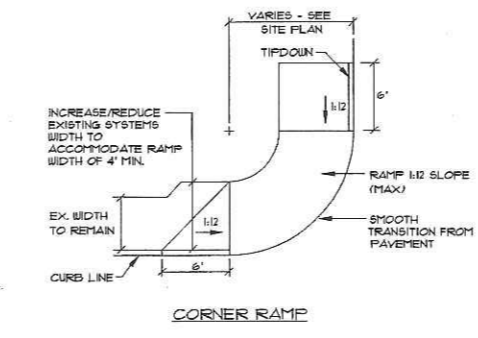
TYPICAL UNDERGROUND CABLE INSTALLATION
NOT TO SCALE



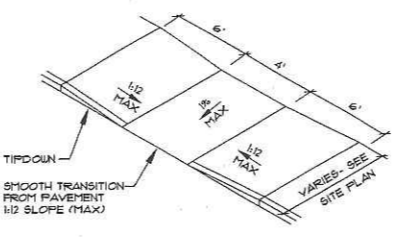
HANDICAP SIGNS
NOT TO SCALE



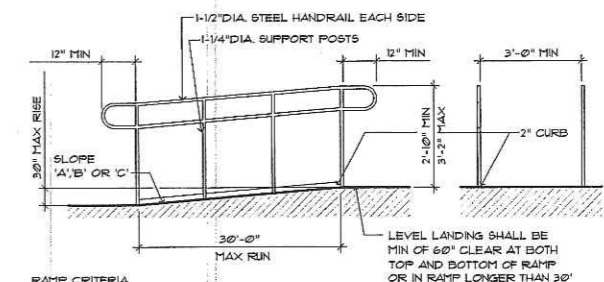
PRESSURE TREATED WOOD GUARDRAIL
NOT TO SCALE



CORNER RAMP



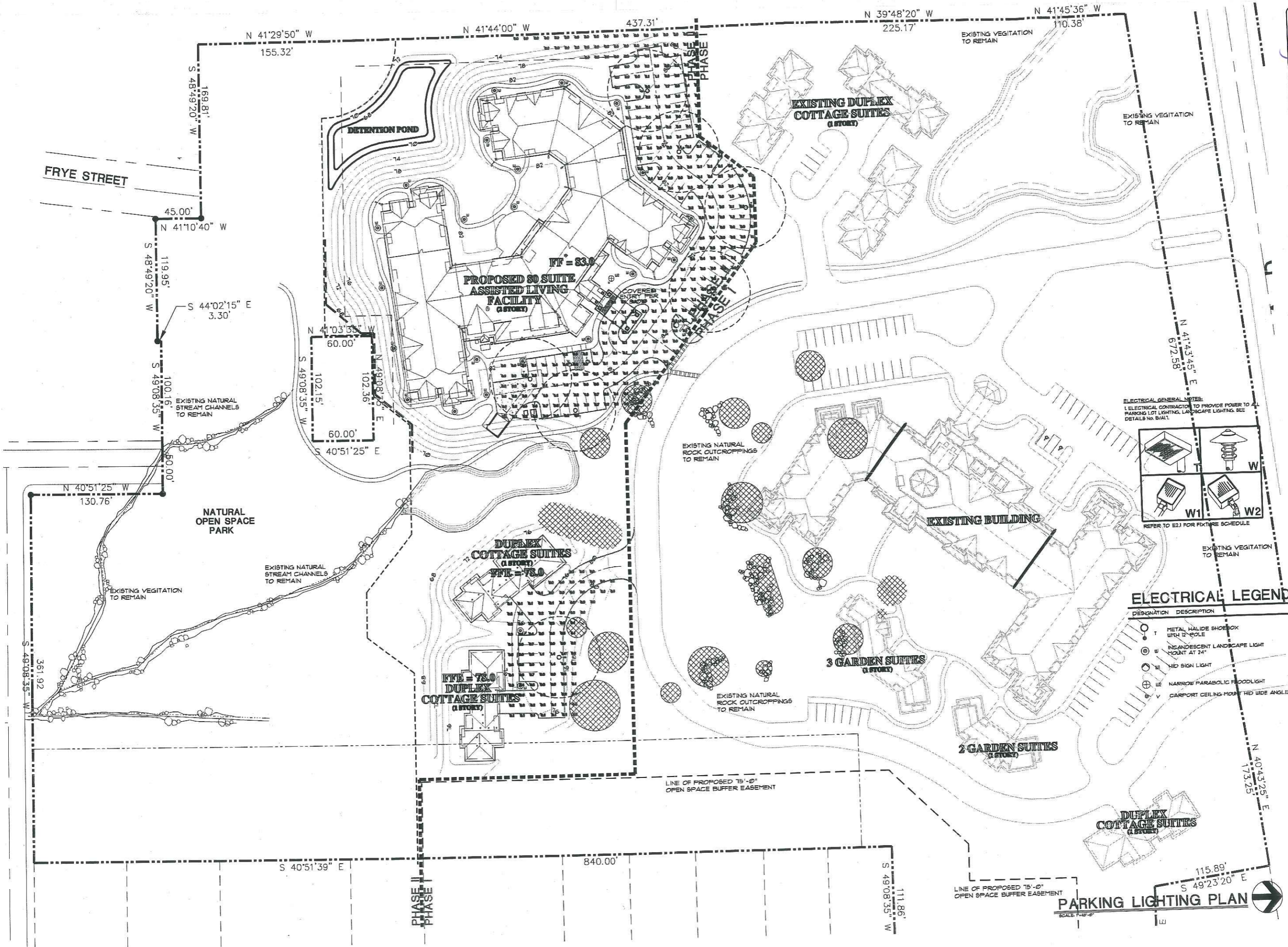
STRAIGHT RAMP



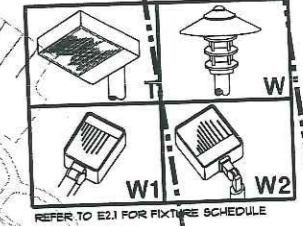
HANDICAP RAMP RAILING
NOT TO SCALE

- RAMP CRITERIA**
 'A' SLOPE LESS THAN 1:20 - NOT CONSIDERED A RAMP
 'B' SLOPE 1:12 - 1:20 - HANDRAILS & 2\"/>
- NOTES:**
 1. CONCRETE RAMPS ARE TO BE TEXTURED BY BROOCHING IN A DIRECTION PARALLEL TO THE LENGTH OF THE RAMP
 2. SEE ARCHITECTURAL PLANS.

96592-PR2-05



ELECTRICAL GENERAL NOTES:
 1. ELECTRICAL CONTRACTOR TO PROVIDE POWER TO ALL PARKING LOT LIGHTING, LANDSCAPE LIGHTING. SEE DETAILS NO. 8/1A1.



ELECTRICAL LEGEND

DESIGNATION	DESCRIPTION
⊙	METAL HALIDE SHOEBOX WITH 12" POLE
⊙	INCANDESCENT LANDSCAPE LIGHT MOUNT AT 24"
⊙	HID SIGN LIGHT
⊙	NARROW PARABOLIC FLOODLIGHT
⊙	CARPORCEILING-MOUNT HID WIDE ANGLE

PARKING LIGHTING PLAN

BIM

Curry Brandraw Architects

1000 NE Oregon Street, Suite 200
 Portland, Oregon 97232
 Phone: (503) 370-7070

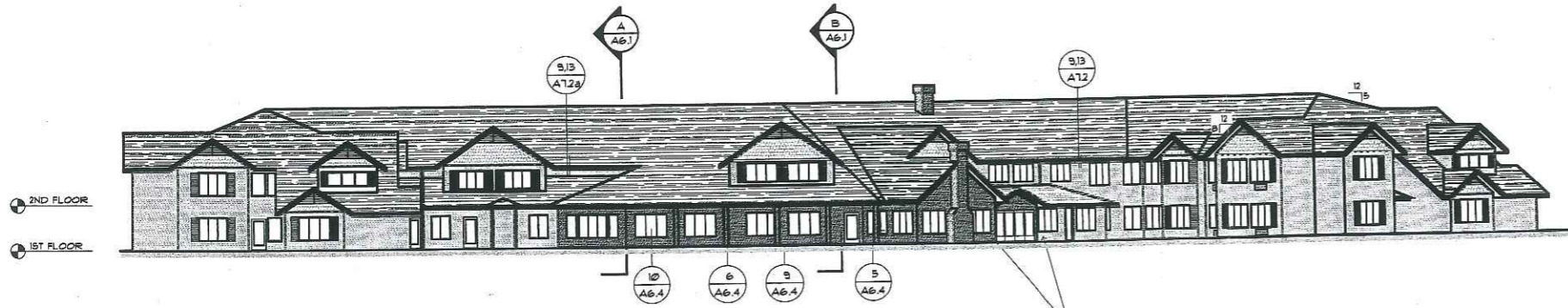
COLSON AND COLSON
 GENERAL CONTRACTOR, INC.
 2250 McILCHRIST STREET SE, SUITE 200
 SALEM, OREGON, 97302
 PHONE (503) 370-7070

PORTLAND
 RETIREMENT RESIDENCE
 PORTLAND, ME.

PARKING
 LIGHTING
 PLAN

DATE: 00/00/00
 REVISED DATE:
 SHEET
 A
 1.2

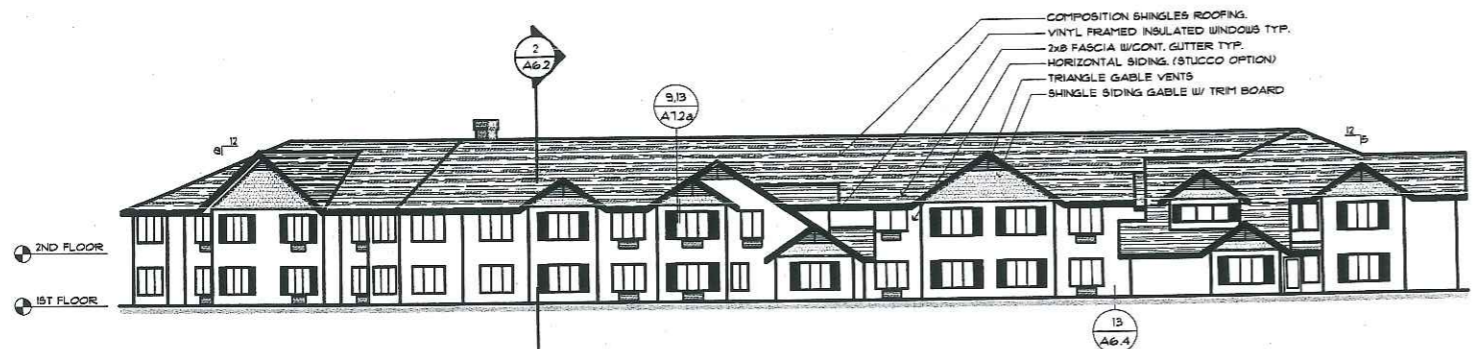
10/10/00
 ALL RIGHTS RESERVED
 10/10/00



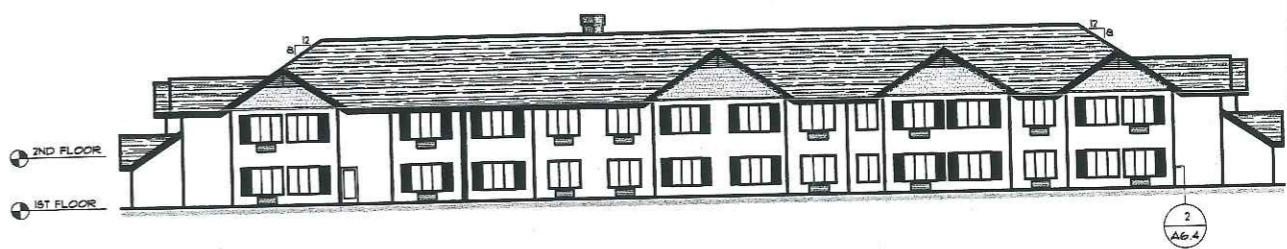
A FRONT ELEVATION
SCALE: 1/16"=1'-0" (TYP. ALL DIMS THIS SHEET UNLESS OTHERWISE NOTED)

NOTE ENTRY CANOPY NOT SHOWN FOR CLARITY SEE A4.0 AND S6.0 FOR ADDITIONAL INFORMATION.

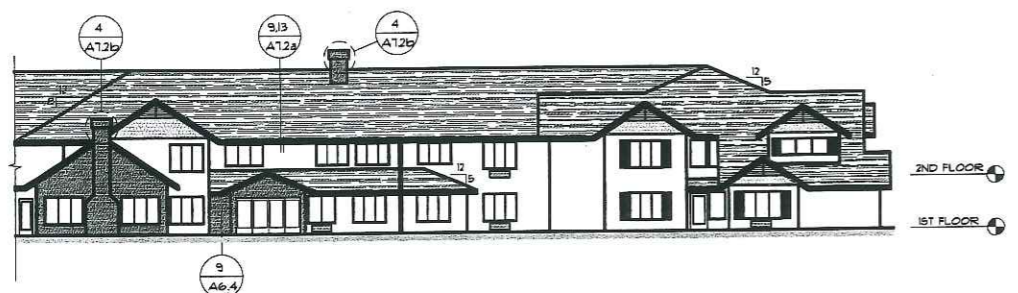
BRICK VENEER W/ HORIZONTAL SIDING OR STUCCO OPTION



B REAR ELEVATION
SCALE: 1/16"=1'-0" (TYP. ALL DIMS THIS SHEET UNLESS OTHERWISE NOTED)



C LEFT ELEVATION
SCALE: 1/16"=1'-0" (TYP. ALL DIMS THIS SHEET UNLESS OTHERWISE NOTED)



D FRONT ELEVATION
SCALE: 1/16"=1'-0" (TYP. ALL DIMS THIS SHEET UNLESS OTHERWISE NOTED)

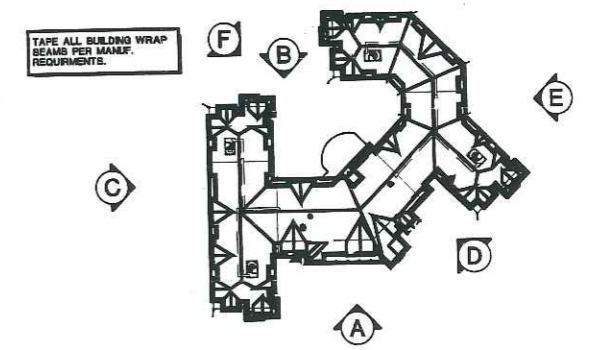


E RIGHT ELEVATION
SCALE: 1/16"=1'-0" (TYP. ALL DIMS THIS SHEET UNLESS OTHERWISE NOTED)

BRICK VENEER



F REAR ELEVATION
SCALE: 1/16"=1'-0" (TYP. ALL DIMS THIS SHEET UNLESS OTHERWISE NOTED)



Bin

Curry Brandaw Architects
ARCHITECTS
2200 SW 25th St., Suite 200
Salem, Oregon 97302
Tel: 503-585-1100 Fax: 503-585-1101

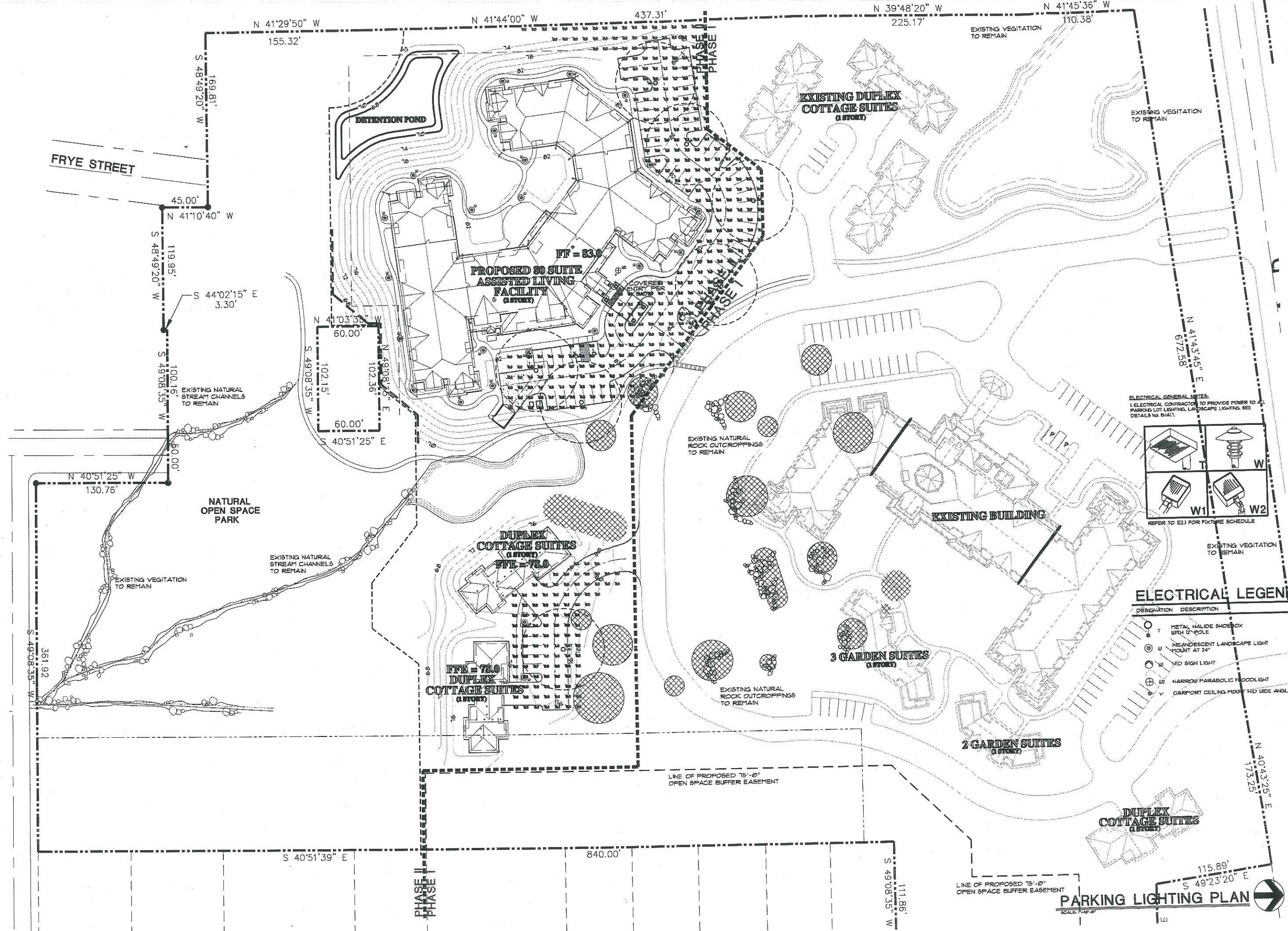
COLSON AND COLSON
GENERAL CONTRACTOR, INC.
2250 McCLURE STREET SE, SUITE 200
SALEM, OREGON, 97302
PHONE (503) 370-7070

PORTLAND RESIDENCE
RETIREMENT RESIDENCE
PORTLAND, ME.

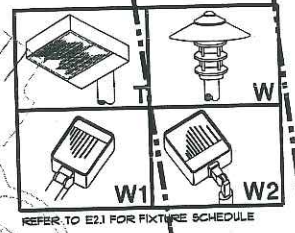
EXTERIOR BUILDING ELEVATIONS

DATE: 02/02/00
REVISED DATE:
SHEET: A 6.3

PRELIMINARY DRAWING FOR MARK UP ONLY



ELECTRICAL GENERAL NOTES:
 1. ELECTRICAL CONTRACTOR TO PROVIDE POWER TO ALL PARKING LOT LIGHTING, LANDSCAPE LIGHTING. SEE DETAILS NO. 8/A/1.



ELECTRICAL LEGEND

DESIGNATION	DESCRIPTION
○	METAL HALIDE SHOEBOX WITH 12' POLE
⊙	INCANDESCENT LANDSCAPE LIGHT MOUNT AT 24"
⊞	HID SIGN LIGHT
⊕	NARROW PARABOLIC FLOODLIGHT
⊖	CARPORCEILING MOUNT HID WIDE ANGLE

PARKING LIGHTING PLAN
 SCALE: 1/4"=1'-0"

31M

Curry Brandaw Architects
 ARCHITECTS
 2250 MCGLICHRIST STREET SE, SUITE 200
 SALEM, OREGON, 97302
 TEL: 503-585-1000 FAX: 503-585-1004

COLSON AND COLSON
 GENERAL CONTRACTOR, INC.
 2250 MCGLICHRIST STREET SE, SUITE 200
 SALEM, OREGON, 97302
 PHONE (503) 370-7070

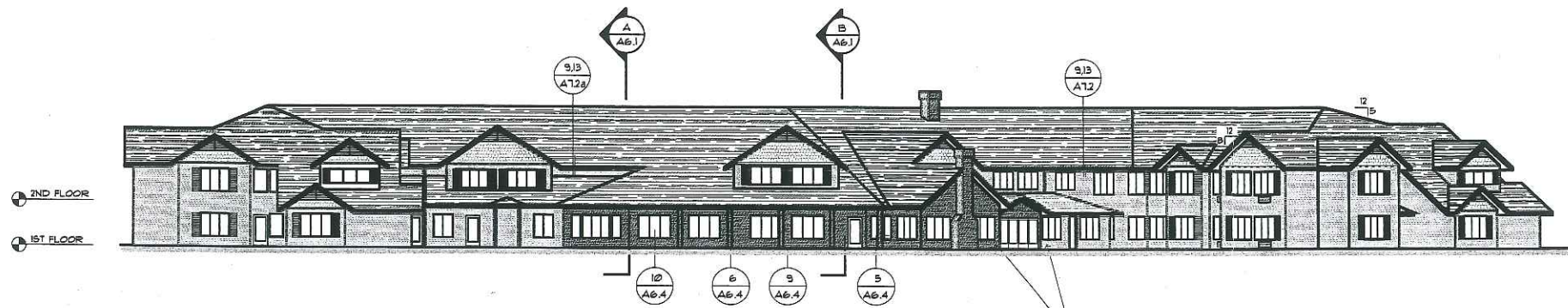
PORTLAND
 RETIREMENT RESIDENCE
 PORTLAND, ME

PARKING
 LIGHTING
 PLAN

DATE: 08/02/00
 REVISED DATE:
 SHEET: A 1.2

PRELIMINARY DRAWING FOR MARK UP ONLY

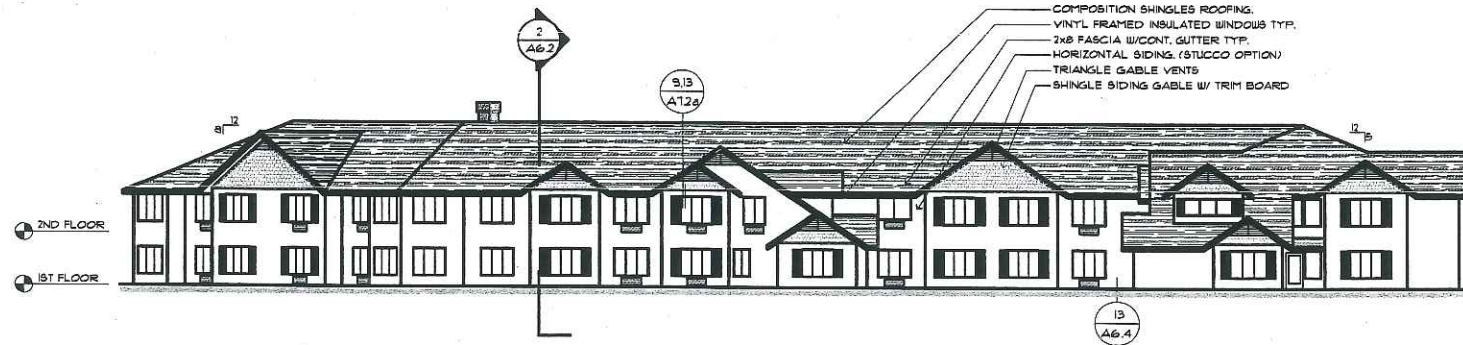
February 28, 2000 12:03:14
 P:\Projects\Arch\Arch-1994
 ALL LIGHT
 8/18/00 Curry Brandaw Architects / Curry Brandaw Architects, Inc. / Curry Brandaw Architects, Inc.



A FRONT ELEVATION
SCALE: 1/16"=1'-0" (TYP. ALL DIMS THIS SHEET UON)

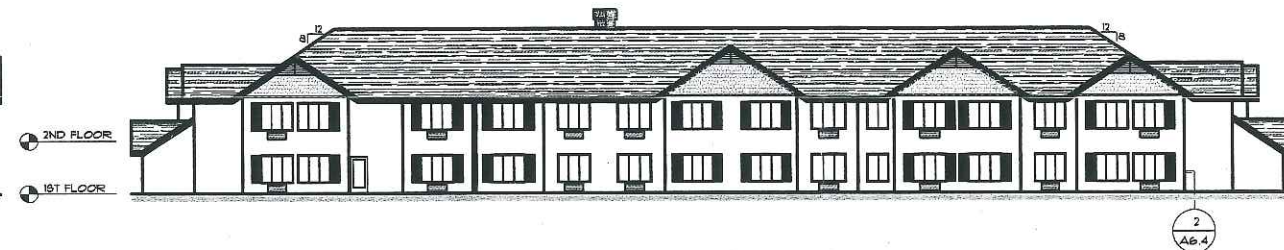
NOTE:
ENTRY CANOPY NOT
SHOWN FOR
CLARITY SEE A4.2
AND S2.2 FOR
ADDITIONAL
INFORMATION.

BRICK VENEER W/ HORIZONTAL SIDING
OR STUCCO OPTION

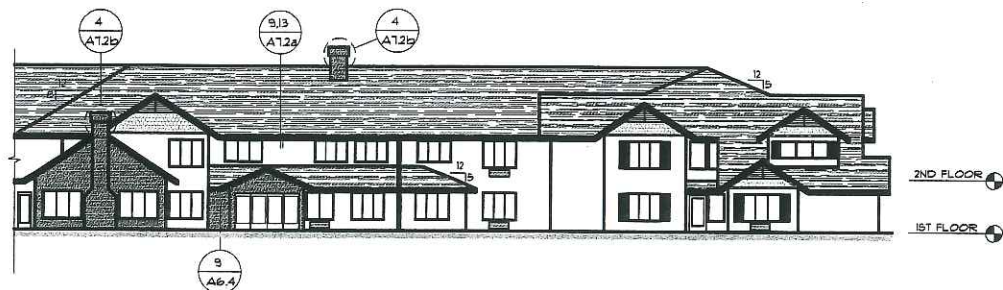


B REAR ELEVATION
SCALE: 1/16"=1'-0" (TYP. ALL DIMS THIS SHEET UON)

COMPOSITION SHINGLES ROOFING
VINYL FRAMED INSULATED WINDOWS TYP.
2x6 FASCIA W/CONT. GUTTER TYP.
HORIZONTAL SIDING (STUCCO OPTION)
TRIANGLE GABLE VENTS
SHINGLE SIDING GABLE W/ TRIM BOARD



C LEFT ELEVATION
SCALE: 1/16"=1'-0" (TYP. ALL DIMS THIS SHEET UON)

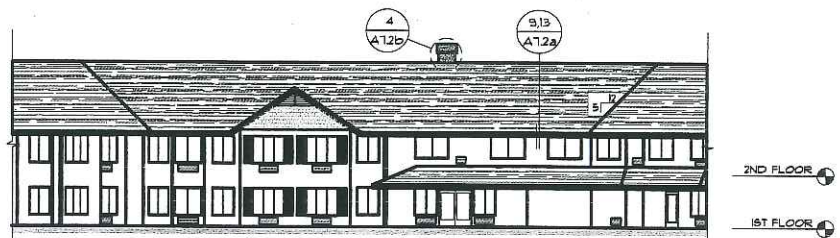


D FRONT ELEVATION
SCALE: 1/16"=1'-0" (TYP. ALL DIMS THIS SHEET UON)

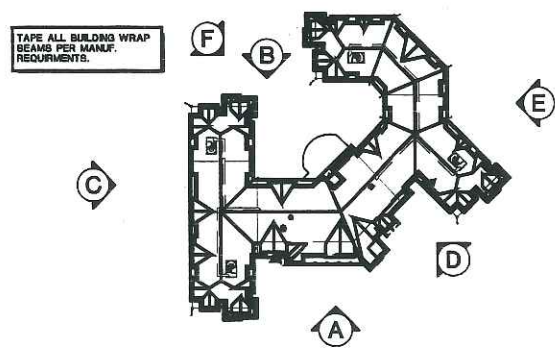


E RIGHT ELEVATION
SCALE: 1/16"=1'-0" (TYP. ALL DIMS THIS SHEET UON)

BRICK VENEER



F REAR ELEVATION
SCALE: 1/16"=1'-0" (TYP. ALL DIMS THIS SHEET UON)



Bin

Curry Brandaw Architects
ARCHITECTS
1000 SW 10TH AVE. SUITE 200
PORTLAND, OREGON 97204
TEL: 503-255-1100 FAX: 503-255-1101

COLSON AND COLSON
GENERAL CONTRACTOR, INC.
2250 MCGLOTHLIN STREET SE, SUITE 200
SALEM, OREGON, 97302
PHONE (503) 370-7070

PORTLAND RETIREMENT RESIDENCE
PORTLAND, ME.

EXTERIOR BUILDING ELEVATIONS

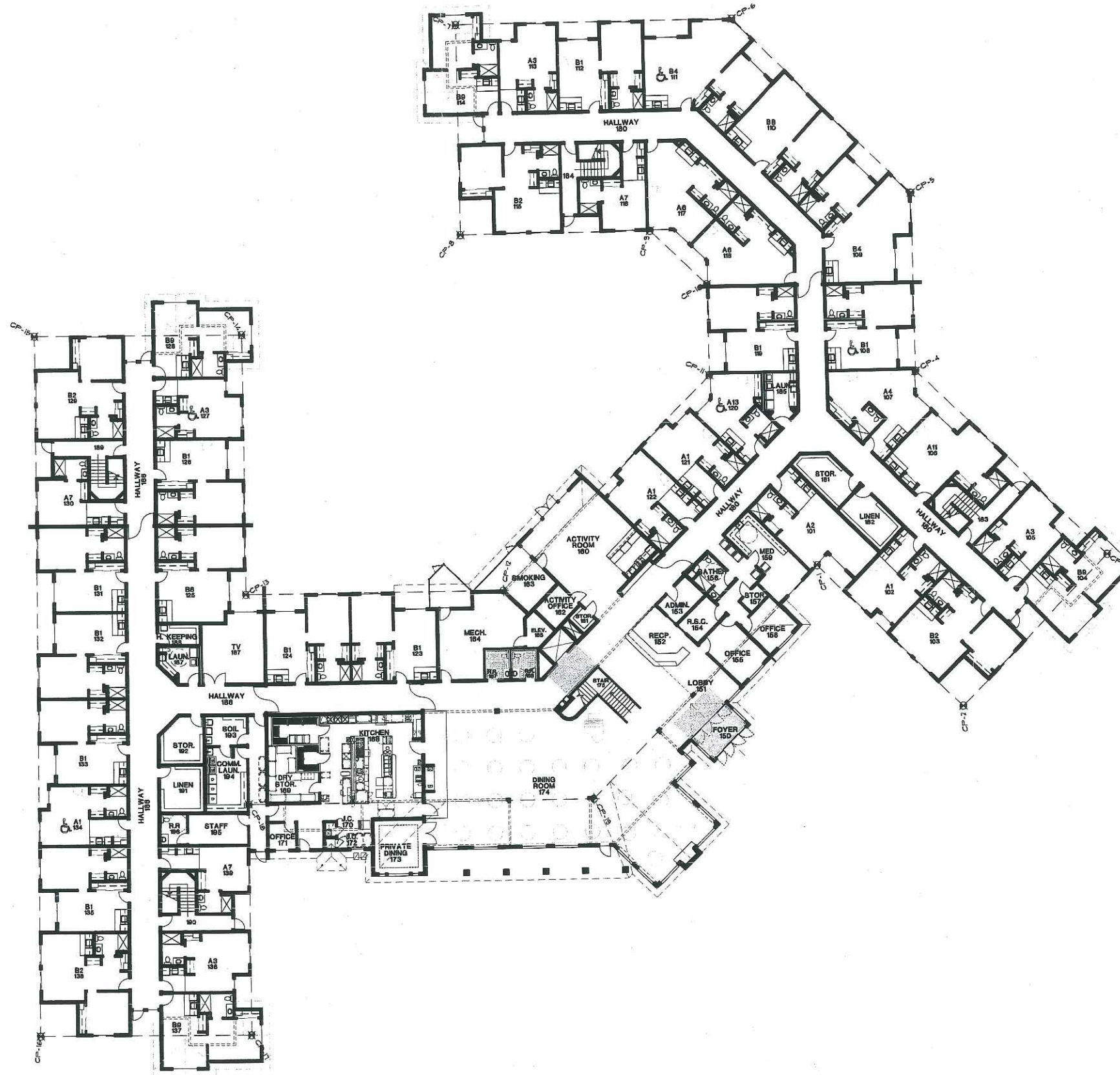
DATE: 00/00/00
REVISED DATE:

SHEET
A
6.3

----- PRELIMINARY DRAWING FOR MARK UP ONLY -----

01000 Curry Brandaw Architects / Colson & Colson Construction Company
 A2.3 ELEV
 February 23, 2004 08:36:33

310



First Floor Plan

1"=16'-0"
02/26/04 MCF



Portland Assisted Living Facility
Portland, Maine

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Engineering Copy**

2003-0196 *AH-22*
Application I. D. Number
09/18/2003
Application Date
Holiday Retirement - Phase 2
Project Name/Description

Portland Retirement Residence
Applicant
PO Box 14111, Salem, OR 97302
Applicant's Mailing Address

Consultant/Agent
Applicant Ph: (503) 370-7070 Agent Fax:
Applicant or Agent Daytime Telephone, Fax

217 - 217 Canco Rd, Portland, Maine
Address of Proposed Site
149 B001001
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

72,000 s.f. Proposed Building square Feet or # of Units **_____** Acreage of Site **_____** **R3/OP** Zoning

Check Review Required:

- | | | | |
|---|--|--|--|
| <input checked="" type="checkbox"/> Site Plan (major/minor) | <input type="checkbox"/> Subdivision # of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | | <input type="checkbox"/> Other _____ |

Fees Paid: Site Plan **\$1,000.00** Subdivision _____ Engineer Review _____ Date **09/23/2003**

Engineering Comments

PUBLIC WORKS ENGINEERING REVIEW...10/02/03

I have reviewed the conceptual plans and application 9/18/03 and offer the following general comments:

- Public Works will require information regarding sanitary sewer flows for the added development.
- We will also have concerns regarding stormwater management and downstream impact, as it relates to this development.

PUBLIC WORKS ENGINEERING REVIEW...3/10/04

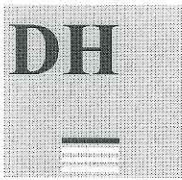
I have reviewed the plans and submittal dated 3/5/04 and offer the following comments:

- Sheet 7 of 12...The sanitary sewer connection into the manhole in Murray Street must specify the structure will be "core drilled" to create the proposed invert in.

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- | | | | |
|---|-------|--|-----------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ | _____ | _____ |
| | date | amount | expiration date |
| <input type="checkbox"/> Inspection Fee Paid | _____ | _____ | |
| | date | amount | |
| <input type="checkbox"/> Building Permit Issue | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Reduced | _____ | _____ | _____ |
| | date | remaining balance | signature |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____ | <input type="checkbox"/> Conditions (See Attached) | _____ |
| | date | | expiration date |



DeLUCA-HOFFMAN ASSOCIATES, INC.
CONSULTING ENGINEERS

778 MAIN STREET
SUITE 8
SOUTH PORTLAND, MAINE 04106
TEL. 207 775 1121
FAX 207 879 0896

- ROADWAY DESIGN
- ENVIRONMENTAL ENGINEERING
- TRAFFIC STUDIES AND MANAGEMENT
- PERMITTING
- AIRPORT ENGINEERING
- SITE PLANNING
- CONSTRUCTION ADMINISTRATION

MEMORANDUM

AH.23

DATE: March 30, 2004

TO: Kandi Talbot, Portland Planning Authority

C: Owens McCullough, Sebago Technics

FROM: Stephen R. Bushey, P.E.

SUBJECT: The Woods at Canco
Site Plan Review

DeLuca-Hoffman Associates, Inc. has reviewed the Site Plan Application materials dated 3-05-04 prepared by Sebago Technics for the Portland Assisted living Facility-Phase II and find that the plans and supporting materials are substantially complete and acceptable for processing and consideration for approval. Our comments are as follows:

Stormwater Management

1. The plans include a stormwater management system consisting of a closed drainage system with catch basins and drainage pipe collecting and conveying stormwater runoff. A predevelopment and postdevelopment analysis has been completed with a point of analysis located at the southeast corner of the property at a drainage swale that crosses the paper street called Lee Street. The drainage swale continues behind the Murray Street homes and ultimately discharges into Fall Brook.
2. The analysis includes 2, 10 and 25 yr storm routing computations using the HydroCad Modeling software. The overall results show there to be a small increase in peak flow at the point of analysis for the 2 yr. Storm and slight decreases in peak flow during the 10 and 25 yr. Storms.
3. The predevelopment and postdevelopment watershed maps should better identify the limits of Subcatchment 10A since it is not delineated on either of the maps. The watershed area appears to have decreased in size during the postdevelopment conditions.
4. The postdevelopment watershed map delineates the subcatchment boundary for 1A as running along a setback line rather than along a natural grade boundary, therefore is has not accounted for runoff from the west or south of the subcatchment entering into Basin 1. These areas are not developed, however, runoff from these wooded areas appears to shed towards the basin and should therefore be accounted for within the subcatchment sizing. The grading lines appear to depict the construction of a shallow swale along the westerly boundary and this area must be included in the subcatchment limits.
5. The engineer should also confirm that no other areas, such as to the northwest of subcatchment 1A and 2B, are draining towards these areas.

6. In the postdevelopment analysis it appears that an additional reach length is necessary to connect point D in the Subcatchment 2b flow path to Reach 2. This would include a reach length through the existing wetland connecting to the existing drainage way.
7. The plans depict a shallow basin that has been configured in accordance with the latest DEP standards for basin design. The basin will generally be a dry basin that contains an underdrain pipe and soil leaching bed designed to allow the smaller storm events to be collected and the runoff infiltrated through a soil bed. During larger storms runoff will be collected and released through a culvert outlet pipe.
8. We recommend that the pond routing be rerun assuming that the basin storage is available only above elevation 69.5' in order to understand how the basin will function if the basin has not drained down. This condition could occur during back-to-back rainfalls or during frozen ground conditions.
9. The detail for the dry swale states that a trench with pea gravel shall be installed upstream of the dry swale. It is unclear where this trench is intended.
10. We recommend that sod be placed over the soil bed in accordance with the detail.
11. The grading plan calls for 12" dia. Pipe from DMH -1. DMH -1 intercepts an existing 15" culvert, therefore we ask that the designer consider a 15" pipe size to the outlet.
12. We recommend that Casco Traps be installed on all catch basin drainage outlets less than 15" dia.

General

1. The Site plan should include the placement of Stop Signs, Pedestrian crossing signs and other controls at intersections etc.
2. The Site plan calls for Bit Asphalt curb around most of the parking areas. This will match what currently exists.
3. The handicap ramp in front of the 80-suite assisted living facility should not be a "dust pan" type ramp (straight ramp) but rather the landing should be at grade and the ramps to each side sloped at less the 1:12.
4. We suggest that the sidewalk around the Assisted living facility be connected to the relocated Bit. Paved trail if possible, therefore avoiding the need to cross the parking lot from the building to the trail. A short link from the NE corner of the building appears feasible.
5. The project will require rock blasting therefore the conditions of approval should require the proper notifications and permits for this activity.
6. What is the status of the Powers property and any access rights that excess across the development site?
7. The engineer should clarify if the clearing limits will coincide with the grading limits.
8. Doe the Bit. Asphalt trail need to comply with ADA requirements and if so, does it as designed?
9. The driveway into the two duplex Cottage suites appears to be approximately 8% up to the intersection. The designer should consider a short length of drive that is less than 3% at the intersection with the existing drive if possible. Perhaps 25' or so to allow one vehicle to stop and then proceed on something less than an 8% slope.
10. The plan should clarify that a level spreader outlet is required at the 12" pond outlet.
11. A portion of the proposed sanitary sewer is within the Dudley Street and Lee Street Right-of-ways. Are easements necessary or is this alignment within land under the control of the applicant?
12. We recommend that the sewer connection from SMH 5 to SMH 6 be an 8" dia. Pipe rather than a 6".
13. We assume that the Pedestrian Access and recreational open space easement to the City of Portland allows for the relocation of the trail.

14. The Typical pavement sections may need to be revised to reference the placement of 9.5 mm or 19.0 mm bituminous asphalt pavement rather than the old Grade 'C' and Grade 'B' mixes.
15. The plans contain erosion control measures and a detailed narrative describing the necessary measures to be in place to prevent onsite erosion. The standard conditions of approval regarding erosion control and maintenance will continue to apply.
16. We assume that the planning staff is reviewing the landscaping and lighting for the project.

23b

We trust these comments are beneficial and look forward to reviewing and finalizing comments prior to project approval.

If you have any questions please call this office.

Steve Bushey, PE
Senior Engineer
DeLuca-Hoffman Associates, Inc.

SRB/jn1350.10/woodsatcanco/03-30-04



STATE OF MAINE
DEPARTMENT OF ENVIRONMENTAL PROTECTION

Att. 24

JOHN ELIAS BALDACCI
GOVERNOR

DAWN R. GALLAGHER
COMMISSIONER

March 31, 2004

City of Portland
Ms. Kandice Talbot, Planner
389 Congress ST,
Portland, ME 04101

RE: XL Management Co. LLC/Holiday Retirement Corp – Portland Retirement
Residence (257 Canco Road) DEP #L21747-L3-A-D

Dear Ms. Talbot:

This letter is to inform you that the Department of Environmental Protection has received the Notification of Application Acceptance concerning the application of the City of Portland regarding the project above. The Department is satisfied that the notice provisions of 38 M.R.S.A. Section 489-A Subsection 8 for Municipal Review of Development have been satisfied by the City of Portland. Based upon its review of the notice and application, the Department will not be exercising jurisdiction over this application pursuant to 38 M.R.S.A. Section 489-A Subsection 9. However, this determination of non-jurisdiction does not apply to any Natural Resources Protection Act (NRPA) issues that may relate to the proposed project. The applicant has submitted a NRPA application to this office to fill wetlands to construct the project. This NRPA application has been assigned Department #L-21747-TC-B-N and is currently under review.

If the application is amended prior to the municipality taking final action, another Notification of Application Acceptance may be required. The municipality is also required to submit one copy of the record of review and basis of decision within 40 working days of the final action by the reviewing authority.

If you have any questions concerning this, please call me at 822-6380.

Sincerely,

William Bullard
Project Manager
Division of Land Resource Regulation
Bureau of Land and Water Quality
Southern Maine Regional Office

AUGUSTA C: File
17 STATE HOUSE STATION
AUGUSTA, MAINE 04333-0017
(207) 287-7688
RAY BLDG., HOSPITAL ST.
web site: www.state.me.us/dep

BANGOR
106 HOGAN ROAD
BANGOR, MAINE 04401
(207) 941-4570 FAX: (207) 941-4584

PORTLAND
312 CANCO ROAD
PORTLAND, MAINE 04103
(207) 822-6300 FAX: (207) 822-6303

PRESQUE ISLE
1235 CENTRAL DRIVE, SKYWAY PARK
PRESQUE ISLE, MAINE 04769-2094
(207) 764-6477 FAX: (207) 764-1507
printed on recycled paper

April 14, 2004
96592

Att. 25

Stephen Bushey, P.E.
DeLuca Hoffman Associates, Inc
778 Main Street, Suite 8
South Portland, ME 04106

Portland Assisted Living Facility - Portland, Maine

Dear Steve:

We have prepared the following document to address the items requested in your March 30, 2004 memorandum. The following responses correspond to the numbered comments in your letter:

Stormwater Management

1. No response required.
2. No response required.
3. Revised Pre & Post-Watershed Maps to reflect the boundaries of Subcatchment 10A.
4. Revised the Subcatchment 1A as noted.
5. There is no off-site drainage coming from the northwest of Subcatchment 1A. The property is divided by an existing stone wall which delineates the watershed to the west.
6. Revised the post-development watershed map to connect Subcatchment 2b to Reach 2 by adding Reach 2A.
7. No response required.
8. We recalculated the pond assuming that the basin storage is available only above elevation 69.5. This change increased the peak elevation for a 25-year storm event to 70.82, which is 0.6 foot higher than it was if the basin were dry. This also increases the peak flow by approximately 10% in a 10-year storm event.
9. Revised the dry swale detail to eliminate the pea gravel note.
10. We will add a plan note that requires the contractor to submit a sample and sieve analysis of the soil bed material used for the dry swale. The contractor shall also be required to notify the inspecting engineer so that he/she may be present to observe the placement of this material.

11. Revised the 12" pipe to a 15" as noted between DMH#1 and outlet.
12. Added Casco Traps as noted.

25a

General

1. Added stop and pedestrian crossing signs as noted.
2. As noted, bituminous curb will be used except around the front portion of the building where concrete curb will be used.
3. Revised handicap ramps as noted.
4. We have revised the site plan so that the Assisted Living Facility sidewalk connects to the relocated bituminous trail.
5. The contractor will be advised of the required permit at a pre-construction meeting.
6. The Power property will remain as is, with no title or easement changes concerning either party.
7. Added clearing limits to the plan.
8. We have designed the site and building access with at least one accessible route to the building. In addition, there are several trails around the building perimeter that were designed to meet ADA requirements. The cut-through trail from Frye Street was originally required by the planning staff as a link and addition to Portland Trails to provide a secondary more direct link for foot and bicycle traffic from Frye Street to Canco Road. As a result, it is our understanding that the trail is not required to meet ADA requirements given its intended use. We understand that Portland Trails and the City have reserved the right to add or modify trails within the easement area if they so choose. Where practical and allowed by the topographical conditions, we have minimized the cut-through trail grade.
9. Revised the driveway grading at the cottage suite to include a 25' section at 3% as noted.
10. The pond outlets to a defined drainage channel. For this reason, we felt a level spreader was not necessary.
11. The City of Portland still maintains rights to Dudley Street and Lee Street. We have reviewed the sewer location with the City Engineering Department.
12. We will revise the 6" sewer between SMH 5 and SMH 6 to 8".
13. Yes, the ROS zone language is generic and was intended to allow flexibility in the location of trails within the zone.
14. We have revised the details to reference the superpave specifications of 12.5 mm and 19.0 mm.

Mr. Bushey

-3-

April 14, 2004

25b

15. No response required.

16. No response required.

Please feel free to contact us with any questions regarding our responses to your comments.

Sincerely,

SEBAGO TECHNICS, INC.



Steven A. Groves

Project Manager

SAG:sag/df/jc

Enc.

cc: Kandice Talbot, Planner - City of Portland

Att. 26

STORMWATER RUNOFF EVALUATION

Portland Assisted Living Facility
Canco Road
Portland, Maine
Revised April 13, 2004

General

The following Stormwater Management Plan has been prepared for XL Management Co., LLC and Holiday Retirement Corporation to evaluate stormwater runoff and erosion control for the proposed second phase of Portland Retirement Assisted Living Facility in Portland, Maine. The Retirement Assisted Living Facility will be sited on a 9.7-acre parcel of land of which half is dedicated open space.

Project improvements will entail the construction of 80 assisted living facility suites and four (4) cottage units. Since this project will be accessed from Phase 1, there are no new access roads being constructed. Stormwater collection for the 80 suite assisted living facility will be managed through a drainage infrastructure which includes catch basins and drainage swales integrated with a dry swale/detention pond. The dry swale/detention has been designed for both stormwater quantity and quality. Stormwater collection for the cottages is managed through a catch basin collection system and discharged to a wooded buffer area. The combined stormwater management plan utilizes "Best Management Practices" to achieve a 54% TSS removal rate and similar peak stormwater runoff flows for the pre and post-development.

Site Characteristics

The 9.7-acre parcel is located in a forested area east of Phase 1 and west of Ocean Avenue. The property is presently undeveloped and is predominately forested. The topography on site is moderate, with a surface gradient ranging from 3% to 11%. Stormwater runoff in the development area is primary collected in two on-site wetlands. These wetlands discharge through two separate drainage channels, which merge along the southeasterly property line. This is where the majority of the stormwater runoff from the site channelizes before outletting to Fall Brook.

The enclosed USGS quadrangle map depicts the general characteristics of the site and surrounding areas. In addition, a detailed on-site topographical survey was completed as part of the project and utilized to develop specific on-site grading, drainage and utility plans.

Soils

Soil information used in the stormwater analysis was obtained from a Cumberland County Medium Intensity Soil Survey. The Medium Intensity Soil Survey indicates the predominant

2609

site soils as Hollis very rocky fine sandy loam and Scantic silt loam. The Hydrologic Groups (HSG) of the soils are classified by Technical Release TR-55 of the Soil Conservation Service as follows:

Hollis C/D
Scantic D

Drainage Characteristics (Pre and Post-Development Watershed Delineation)

In the pre-development, the watersheds were divided into four subcatchments with one point of analysis. The point of analysis is Reach 5, which is located along the southeasterly property line. This is where the majority of the stormwater runoff from the site channelizes before outletting to Fall Brook. Stormwater runoff from Subcatchment 1a drains in an easterly direction through overland sheet flow and shallow concentrated flow to an on-site wetland. Stormwater runoff from Subcatchments 1 and 2 drains in an easterly direction and channelizes at Reach 5. Subcatchment 10A is the pre-development runoff that was modeled in 1996. Again, all subcatchments eventually outlet along the southeast property line at Reach 5.

In the post-development, the watersheds were divided into seven subcatchments with one point of analysis. The post-development utilizes the same points of discharge as the pre-development. In the post-development, there is 2.13 acres of new impervious surface area. To mitigate peak runoff and to provide stormwater treatment, an assortment of "Best Management Practices" methods are used. Subcatchment 1a, which includes 0.97 acre of impervious surface area, is routed through a dry swale. The dry swale has been designed to provide 90% TSS removal and detention. Subcatchment 2a includes 0.28 acre of new impervious surface area and is collected in a catch basin system that outlets through a level lip spreader. The level lip spreader outlets to a wooded buffer area where the expected TSS removal rate is 62%. Subcatchments 1 and 2 will remain similar to the pre-development except for a reduction in area as a result of this development.

Stormwater Management

In order to evaluate drainage characteristics as a result of the proposed development activities, a quantitative analysis was performed to determine peak rates of runoff for the 2, 10 and 25-year storm events in the pre and post-development conditions. The evaluation was performed using the methodology outlined in the USDA Soil Conservation Service's "Urban Hydrology for Small Watersheds - Technical Release #55 (TR-55)". HydroCAD computer software was utilized to perform the calculations. Data output sheets from this analysis are appended to this report, along with watershed maps.

The analysis also included the sizing of a stormwater dry swale/detention pond, level spreader outlets, and a subsurface drainage infrastructure. The following tables present the results of the stormwater runoff calculations for pre and post-development conditions. Each table provides watershed data for each of the subcatchments delineated for the analysis, together with results of the pre development and post-development assessments routed through the proposed detention pond.

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Portland Retirement Watershed Data Summary Table						
Watershed	Pre-Development			Post-Development		
	Area (Ac)	Cn	Tc (Min)	Area (Ac)	Cn	Tc (Min)
1	1.76	77	18.1	1.34	77	17.2
1a	3.20	71	13.3	2.02	86	7.3
1b	-			0.57	73	14.3
2	4.65	73	20.0	3.69	74	20.0
2a	-			0.7	84	10.0
2b	-			1.28	89	7.9
10A	1.71	79	15.7	1.38	83	12.5

Stormwater Runoff – Summary Table				
Condition	Study Point	Peak Runoff Rate (cfs)		
		2-Year	10-Year	25-Year
Pre-Development	Flow Entering Reach 5	7.12	17.75	23.71
Post-Development	Flow Entering Reach 5	8.15	18.22	23.95
Net Change with Detention		+1.03	+0.47	+0.24

As presented in the above summary table, there will be a change in hydraulic characteristics due to the development of this project. This can be attributed to the changes in surficial conditions through the construction of vehicle circulation areas, buildings, clearing and grading activities, resulting in an increase in stormwater runoff from the project development. In order to mitigate this expected increase, a formal stormwater collection system will be constructed. The drainage infrastructure collection system will be comprised of several components to include overland sheet flow to stabilized swales and a catch basin collection system with a subsurface conduit system conveying drainage to the stormwater pond and wooded buffer area. Culverts with stabilized inlets and outlets will also be installed at key locations tailored to the design development of this project. The dry swale/detention pond will be sited to collect stormwater runoff through a drainage infrastructure and limit peak discharge rates to near pre-development rates. There will be a slight increase in peak stormwater discharge. The detention pond has been designed as a dry swale to treat the first 1.25 inches of runoff from the impervious surface area. The dry swale can remove up to 90% of the total suspended solids.

A specific Erosion & Sedimentation Control Plan will also be implemented as an integral part of the stormwater management plan regulating both during and after construction activities. These measures will include the placement of sedimentation barriers (siltation fence) along downgradient areas, together with specific requirements for the use of riprap, erosion control blanket, stone check dams, hay bale barriers, and temporary/permanent revegetation measures.

260

These construction requirements have been developed following Best Management Practice guidelines and have been placed directly on the design plans for construction reference.

Summary

The Portland Retirement Facility project will include a comprehensive grading, drainage and utility plan responsive to site characteristics, topographical conditions, and requirements of the Maine Department of Environmental Protection's Stormwater Management Law. The proposed stormwater management plan utilizes "Best Management Practices" to achieve a 54% TSS removal rate and similar peak stormwater runoff flows for the pre and post development. Although there will be a small increase in peak flow, we feel that this will not be detrimental to the downstream area. Stormwater runoff leaves the sites in a well-defined channel that eventually merges with Fall Brook. A site-specific erosion and sedimentation control plan is also proposed to address during and after construction conditions. Temporary erosion control measures will be required to be implemented during the construction phase of the project as specified on the Erosion & Sedimentation Control Plan as provided on the site plans.

Permanent erosion control measures have also been incorporated into the plan for long-term stabilization of the site. These measures will be integrated with the overall site development, which includes limits for disturbance and clearing (see clearing limits on site plans), and a permanent revegetation plan.

Prepared by:

SEBAGO TECHNICS, INC.



Steven A. Groves
Project Engineer

SAG:sag/df
April 13, 2004

AH 27

From: "Steve Bushey" <SBushey@DelucaHoffman.com>
To: "Kandi Talbot (E-mail)" <KCOTE@ci.portland.me.us>
Date: Wed, Apr 21, 2004 1:16 PM
Subject: Woods at Canco Review

Kandi,

I have reviewed the modified plans prepared by Sebago Technics dated 4-14-04 and the supporting letter and stormwater report and find that my earlier review comments have been satisfactorily addressed. The project appears acceptable for consideration of Final Approval as the applicant has provided adequate evidence of stormwater management and erosion control within the plans and supporting materials. I note that the applicant's proposal for stormwater management results in an increase to the 2, 10, and 25 storm peak stormwater runoff discharges from the site. The engineer has stated that they find there to be no detrimental impacts to downstream areas since this runoff concentrates within a drainage swale running along the rear of the Murray Street properties and enters into Fall Brook just below Murray Street. I concur that the Fall Brook Channel has adequate capacity to convey the small increase in peak flows attributable to the site. The drainage swale behind the Murray Street Properties appears also to be adequate to handle the site flows. It may be wise for the engineer to review these conditions once more to solidify their opinion that the swale is adequate and that no impacts to these abutting properties will result from the flows generated by the proposed development.

If you have any questions regarding these comments please call.

Stephen Bushey, PE
Senior Engineer
Deluca-Hoffman Associates, Inc.
778 Main Street, South Portland, ME
207-775-1121
(fax) 207-879-0896
sbushey@delucahoffman.com

From: "Tom Errico" <terrico@wilbursmith.com>
To: "Kandi Talbot" <KCOTE@portlandmaine.gov>
Date: Fri, Apr 23, 2004 9:41 AM
Subject: Re: Canco Woods

AH. 28

Kandi--

I did look at the traffic study and found the conclusions to be acceptable.
Sorry for not getting that feedback.

Tom

----- Original Message -----

From: "Kandi Talbot" <KCOTE@portlandmaine.gov>
To: <terrico@wilbursmith.com>
Sent: Friday, April 23, 2004 9:26 AM
Subject: Canco Woods

In March, a newer plan was submitted for Canco Woods and an updated traffic study was submitted. I'm not sure if you looked at it or not. It doesn't appear to have much impact, but just wanted to check to make sure you had taken a look at it. Thanks.

Kandi

From: "Tom Errico" <terrigo@wilbursmith.com>
To: "Kandi Talbot" <KCOTE@portlandmaine.gov>
Date: Fri, Apr 23, 2004 2:39 PM
Subject: Re: Canco Woods

Kandi--

Based upon the publication, Parking Generation, prepared by the Institute of Transportation Engineers, the parking generation rate for Land Use Code 250: Retirement Community is on average 0.27 parking spaces per unit with a maximum parking generation rate of 0.48 parking spaces per unit. Based upon this information, it is my opinion that the provision of 52 parking spaces for the proposed 84 assisted living unit is adequate.

Please call if you have any questions.

Tom Errico, P.E.
Senior Traffic Engineer

Nathan H. Smith
Mayor



City of Portland
Office of the Mayor and Council
Portland, Maine

March 29, 2004

AH. 30
Councilors

James F. Cloutier
James J. Cohen
Jill C. Dusen
Karen A. Geraghty
William R. Gorham
Cheryl A. Leeman
Nicholas M. Mavodones, Jr.
Peter E. O'Donnell
Nathan H. Smith

Kandice Talbot, Planner
Planning Division
City of Portland
389 Congress Street
Portland, ME 04101

Dear Kandice:

I am writing to express my strong support for Phase II of the Woods at Canco Road proposal.

The Holiday Retirement Corp. has a proven track record of delivering on their promises for quality development and being a good neighbor. They made a commitment to the above and delivered with their Phase I implementation. It is with this commitment in mind that I lend my support to their request.

It is my understanding that approval of their site plan will allow them to proceed with construction of an 80-suite assisted living facility with four cottage suites. I believe this project would be a wonderful addition to the existing facility and our neighborhood.

Please give Holiday Retirement Corp. every consideration for approval of Phase II of Woods at Canco Road.

Sincerely,

Cheryl A. Leeman

Cheryl A. Leeman
City Councilor
District 4

Copies to: Stan & Kim Poplaski (Woods @ Canco Road)
Residents of Woods @ Canco Road
Neighborhood Interested Parties

MOTIONS FOR THE BOARD TO CONSIDER – REVISED April 27, 2004
Canco Woods, Phase II

On the basis of plans and materials submitted by the applicant and on the basis of information contained in Planning Report #15-04 relevant to standards for subdivision and site plan regulations, and other findings as follows:

- i. That the proposed development [is/is not] in conformance with the Site Location of Development Review.
 - 1. that the project engineer address the Development Review Coordinator's comments raised in the April 21, 2004 memo,
- ii. That the proposed development [is/is not] in conformance with the Subdivision Ordinance of the Land Use Code.

Potential Conditions of Approval:

- 1. that the applicant provide a subdivision recording plat for the development, as required by the subdivision ordinance, *which shall include all easements bet. Parcel A + Parcel B.*
 - 2. that the applicant revise the plans in accordance with the Public Works' comments dated March 10, 2004 regarding the sewer connection.
 - 3. that the project engineer address the Development Review Coordinator's comments raised in the April 21, 2004 memo, *and the DRC final plans shall req. approval by DRC after such consultation.*
 - 4. that the applicant submit to staff the Tier 1 Wetlands Alteration Permit approval from the Maine Department of Environmental Protection prior to issuance of a building permit.
 - 5. *that the app. submit easement deed or deeds bet. owners of A + PB.*
- iii. That the proposed development is/is not in conformance with the Site Plan Ordinance of the Land Use Code.

Conditions 2-7

*In rec'd +
appr. by
Corp. Counsel.*

6. That the applicant shall provide satisfactory evidence of its legal right to install a sewer line w/in Dudley St and Lee St as shown on the plans, and, if no such right is shown, applic. will provide an alternative design and location to PL. Auth. for rev. + approval prior to the issuance of Certif of Occup.

7. Prior to issuance of a bldg. permit, the Zoning Administrator will be provided the subd. plan for review w/ compliance w/ zoning provisions of Ordinance relative to the lots.

From: Jeff Tarling
To: Kandi Talbot
Date: Fri, Apr 23, 2004 3:33 PM
Subject: Re: Canco Wood

Kandi,

I have reviewed the updated landscape plan for Canco Woods. The revisions to the species / plant list by Sebago Technics improve the original landscape plan. This second phase should blend in nicely to the original project.

Jeff Tarling



Commercial Mortgage Finance

MAC P6202-022
580 State St.
Salem, OR 97301

April 26, 2004

Kandi Talbot
City of Portland
389 Congress St.
Portland, ME 04101

RE: Colson & Colson/Holiday Retirement Corp. – Canco Woods

Dear Ms. Talbot,

This letter is to inform you that Colson & Colson and Holiday Retirement Corp. are financially capable of building the subject property. If Colson & Colson/Holiday Retirement Corp. requested construction financing for this project, Wells Fargo Bank would be willing to consider financing the project. Although Wells Fargo has not received a loan application for this project, I assume that terms mutually acceptable to both parties could be agreed on.

Sincerely,

A handwritten signature in cursive script that reads "Jennifer Tyler".

Jennifer Tyler
Vice President
Wells Fargo Bank
(503) 945-2413

cc: Greg Tibbot

MOTIONS FOR THE BOARD TO CONSIDER – REVISED April 27, 2004
Canco Woods, Phase II

On the basis of plans and materials submitted by the applicant and on the basis of information contained in Planning Report #15-04 relevant to standards for subdivision and site plan regulations, and other findings as follows:

- i. That the proposed development [is/is not] in conformance with the Site Location of Development Review.
1. that the project engineer address the Development Review Coordinator's comments raised in the April 21, 2004 memo. *and the final plan shall be approved by DRC after consultation*
- ii. That the proposed development [is/is not] in conformance with the Subdivision Ordinance of the Land Use Code.

Potential Conditions of Approval:

1. that the applicant provide a subdivision recording plat for the development, as required by the subdivision ordinance. *which shall include all easements between Parcel A & Parcel B*
2. that the applicant revise the plans in accordance with the Public Works' comments dated March 10, 2004 regarding the sewer connection.
3. that the project engineer address the Development Review Coordinator's comments raised in the April 21, 2004 memo. *and the final plan...*
4. that the applicant submit to staff the Tier 1 Wetlands Alteration Permit approval from the Maine Department of Environmental Protection prior to issuance of a building permit.

iii. That the proposed development is/is not in conformance with the Site Plan Ordinance of the Land Use Code. *w/ cond. 2-7*

5. That *easement deeds between Parcel A + B for review*

6. *Satifa evidence to Dudley St / Lee +*

7. *prior to issuance of bldg permit Subd & Site Plan for review*

From: Jeff Tarling
To: Kandi Talbot
Date: Fri, Apr 23, 2004 3:33 PM
Subject: Re: Canco Wood

Kandi,

I have reviewed the updated landscape plan for Canco Woods. The revisions to the species / plant list by Sebago Technics improve the original landscape plan. This second phase should blend in nicely to the original project.

Jeff Tarling



Commercial Mortgage Finance

MAC P6202-022
500 State St.
Salem, OR 97301

April 26, 2004

Kandi Talbot
City of Portland
389 Congress St.
Portland, ME 04101

RE: Colson & Colson/Holiday Retirement Corp. – Canco Woods

Dear Ms. Talbot,

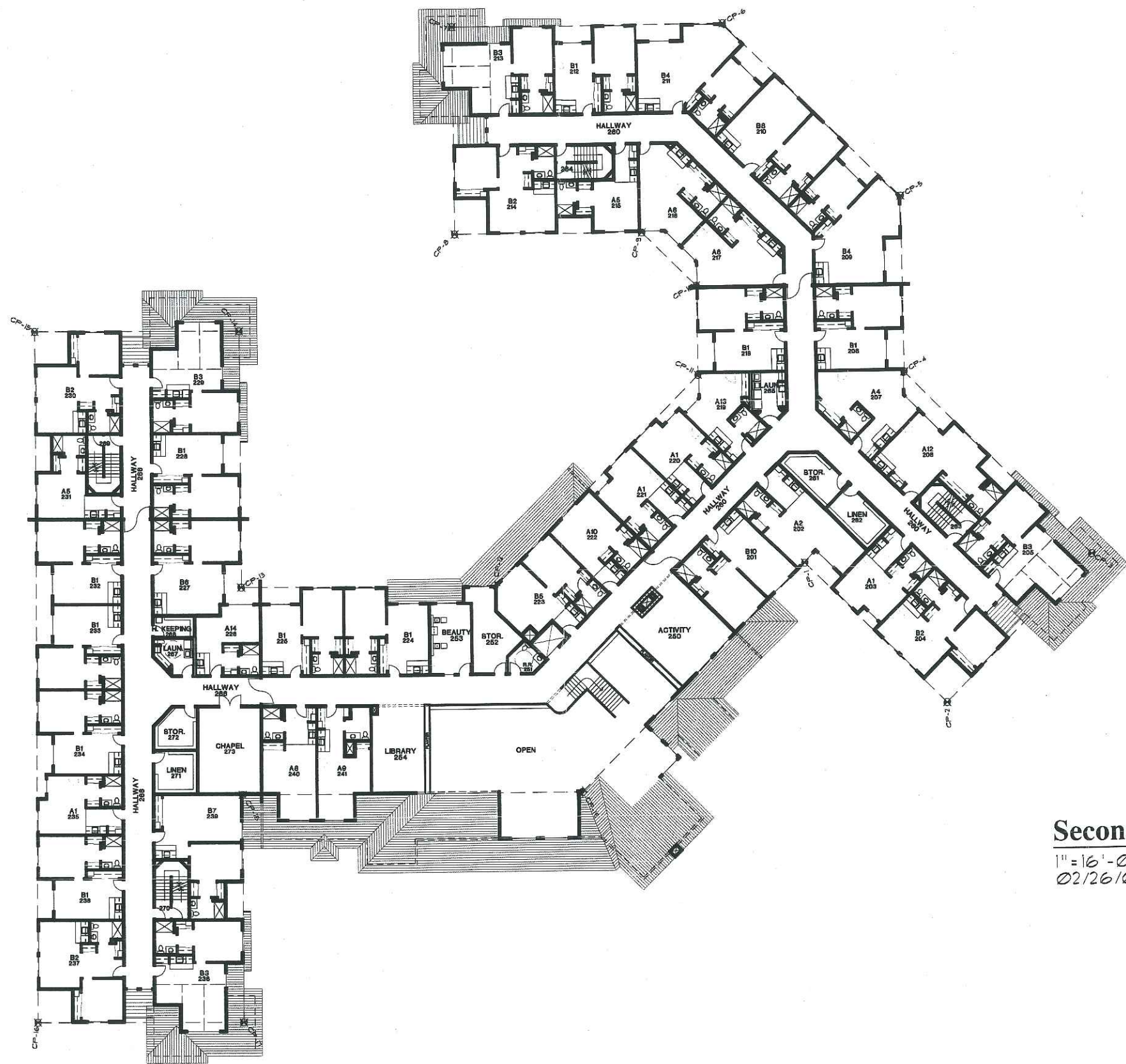
This letter is to inform you that Colson & Colson and Holiday Retirement Corp. are financially capable of building the subject property. If Colson & Colson/Holiday Retirement Corp. requested construction financing for this project, Wells Fargo Bank would be willing to consider financing the project. Although Wells Fargo has not received a loan application for this project, I assume that terms mutually acceptable to both parties could be agreed on.

Sincerely,

Jennifer Tyler
Vice President
Wells Fargo Bank
(503) 945-2413

cc: Greg Tibbot

31P



Second Floor Plan

1" = 16'-0"
02/26/04 MCF



Portland Assisted Living Facility

Portland, Maine