

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-0133	Issue Date:	CBL: 149 G038001
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Location of Construction: 93 TORREY ST	Owner Name: LIBBY RANDALL A	Owner Address: 302 PINE POINT RD	Phone:
Business Name:	Contractor Name: Randall Libby	Contractor Address: 302 Pine Point Raod Scarborough	Phone 2078839218
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	Zone: R-3

Past Use: Vacant Land	Proposed Use: Single Family Home - New 1 Story 2780 sq ft Single Family Home w/ 2 car garage	Permit Fee:	Cost of Work: \$0.00	CEO District: 4
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FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: Type:
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Proposed Project Description: New 1 Story 2780 sq ft Single Family Home w/ 2 car garage	Signature:	Signature:
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PEDREGULATED ACTIVITIES DISTRICT (P.A.D.)
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied

Signature:	Date:
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Permit Taken By: ldobson	Date Applied For: 02/15/2008	<b>Zoning Approval</b>	
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<ol style="list-style-type: none"> <li>This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</li> <li>Building permits do not include plumbing, septic or electrical work.</li> <li>Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</li> </ol>	<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <i>N/A</i> <input type="checkbox"/> Wetland <i>N/A</i> <input type="checkbox"/> Flood Zone <i>panel 7-Zone X</i> <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan <i>2008-0013</i> Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input checked="" type="checkbox"/> Date:	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <i>ARM</i> Date:
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**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

\_\_\_\_\_  
SIGNATURE OF APPLICANT ADDRESS DATE PHONE

\_\_\_\_\_  
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

<b>Business Name:</b>	<b>Contractor Name:</b> Randall Libby	<b>Contractor Address:</b> 302 Pine Point Raod Scarborough	<b>Phone:</b> (207) 883-9218
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Single Family	
<b>Proposed Use:</b> Single Family Home - New 1 Story 2780 sq ft Single Family Home w/ 2 car garage		<b>Proposed Project Description:</b> New 1 Story 2780 sq ft Single Family Home w/ 2 car garage	
<b>Dept:</b> Zoning	<b>Status:</b>	<b>Reviewer:</b> Ann Machado	<b>Approval Date:</b>
<b>Note:</b>			<b>Ok to Issue:</b> <input type="checkbox"/>
<b>Dept:</b> Building	<b>Status:</b> Pending	<b>Reviewer:</b>	<b>Approval Date:</b>
<b>Note:</b>			<b>Ok to Issue:</b> <input type="checkbox"/>
<b>Dept:</b> DRC	<b>Status:</b> Pending	<b>Reviewer:</b>	<b>Approval Date:</b>
<b>Note:</b>			<b>Ok to Issue:</b> <input type="checkbox"/>
<b>Comments:</b>			
<p>12/8/2008-amachado: Section 105.3.2 of the 2003 IBC code says , "An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued." I sent the Randall Libby a letter on March 21, 2008. I hav heard nothing since then. The application has expired.</p> <p>2/19/2008-amachado: Spoke to Sherry Libby, Randall's mother. She told me to call Steve Walker at Pinkham and Greer to get the copy of the letter from Corporation Council dated 4/7/95. I also told her that we needed plans that matched the footprint on the site plan. She said that they might submit new plans for a samller house. I left a message for Steve Walker.</p> <p>3/21/2008-amachado: Street access and frontage to the lot is from Torrey Street only. Ther is not access to the lot off of Wellwood Street. The permit is on hold until we recieve a new site plan showing the access to the lot off ot Torrey Street. See letter dated March21, 2008.</p>			

EXPIRED



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>93 TORREY STREET</u>		
Total Square Footage of Proposed Structure/Area <u>2780</u>		Square Footage of Lot <u>36,189</u>
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot# <u>149</u> <u>6</u> <u>38</u>	Applicant * <b>must</b> be owner, Lessee or Buyer* Name <u>RANDALL LIBBY</u> Address <u>302 PINE POINT ROAD</u> City, State & Zip <u>SCARBOROUGH, ME 04074</u>	Telephone: <u>883-9218</u> <u>838-0717</u>
Lessee/DBA (If Applicable)  <u>N/A</u>	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>140,000</u> C of O Fee: \$ Total Fee: \$ <u>1795</u>
Current legal use (i.e. single family) <u>VACANT LOT</u> If vacant, what was the previous use? Proposed Specific use: <u>SINGLE FAMILY RESIDENTIAL HOUSE</u> Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>CONSTRUCTION OF A 1 STORY SINGLE FAMILY RESIDENTIAL HOUSE, INCLUDING DW AND UTILITIES ON A VACANT LOT @ 93 TORREY STREET</u>		
Contractor's name: <u>RANDALL LIBBY</u> Address: <u>302 PINE POINT ROAD</u> City, State & Zip <u>SCARBOROUGH, ME 04074</u> Telephone: <u>883-9218</u> Who should we contact when the permit is ready: <u>RANDALL LIBBY</u> Telephone: <u>883-9218</u> Mailing address: <u>302 PINE POINT ROAD SCARBOROUGH</u>		

**Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.**

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: R L Wal Pinkham & Green Date: 2-14-08  
Engineers

This is not a permit; you may not commence ANY work until the permit is issued



*Strengthening a Remarkable City, Building a Community for Life • [www.portlandmaine.gov](http://www.portlandmaine.gov)*

*Lee Urban- Director of Planning and Development  
Marge Schmuckal, Zoning Administrator*

March 21, 2008

Mr. Randall Libby  
302 Pine Point Road  
Scarborough, ME 04074

RE: 93 Torrey Street – 149 G038 –R-3 – new single-family home – Permit #08-0133

Dear Mr. Libby,

You submitted an application on February 15, 2008 for a building permit for a new single family home at 93 Torrey Street. The site plan shows the access to the lot as coming in from Wellwood Street. A letter submitted with the permit from Steve Walker from Pinkham and Greer also claims that the lot has fifty feet of frontage on Wellwood Street. 93 Torrey Street does not have frontage on Wellwood Street. There is a five-foot wide strip of land between your property and Wellwood Street that is owned by the City of Portland. Since you do not own that five-foot strip of land and the City of Portland does not intend to sell that strip at this time, you do not have frontage on Wellwood Street. The frontage to your lot is the sixty-five feet at the end of Torrey Street.

Penny Littell, from Corporation Counsel, has said that the City of Portland is willing to consider selling you an easement for utilities only over the five-foot wide strip of land at the end of Wellwood Street. The easement would be bound by the following covenants:

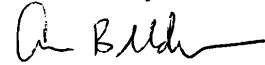
- No access would ever be allowed over the five-foot strip
- only one single family home would ever be built on the adjacent lot
- the lot would never be divided.

If you are interested in this option, you should make an offer to the City of Portland to purchase the easement by filling out the Application for Purchase of City Acquired Property, attached here to, and submitting it to Penny Littell in Corporation Counsel.

Your permit is on hold until we receive a revised site plan that shows the access to the lot coming in from Torrey Street. The footprint of the house on the site plan also has to match the building plans. You must build Torrey Street for the length of your frontage, up to city standards. (See section 14-403.) You will have to work with the Planning Division and Public Works to build the street as part of the application process for a new single family home.

Please feel free to call me at 874-8709 if you have any questions.

Yours truly,

A handwritten signature in black ink, appearing to read "Ann B. Machado". The signature is fluid and cursive, with a long horizontal stroke at the end.

Ann B. Machado  
Zoning Specialist  
(207) 874-8709

**From:** Ann Machado  
**To:** Penny Littell  
**Date:** 2/22/2008 8:20:42 AM  
**Subject:** Re: 93 Torrey Street

I do have a copy of the letter <sup>memo</sup> and some other stuff that was in assessing that talks about the strip. I can bring it down today. I won't be here Monday or Tuesday.

Thanks, Ann

>>> Penny Littell 2/21/2008 5:35:52 PM >>>

Ann: Did you get a copy of the letter? I looked in our system and only saw 1 letter from Natalie with that date but it dealt with public art and not Torrey or Wellwood. If you get the letter we can proceed from there.

I am emailing this to Bill Clark too.

Bill: It looks as if Wellwood may have had the same spite strip issue as Kineo. They are in the same vicinity. Any thoughts.

>>> Ann Machado 2/21/2008 11:32:05 AM >>>

Penny -

We have a building permit for a new single family home at 93 Torrey Street. The applicant would like to have his 50 feet of frontage be on Wellwood Street. There is a five foot wide strip at the end of Wellwood Street that appears to be owned by the city. There is a letter from Natalie Burns that discusses the 5' strip of land dated April 7, 1995 and some other information about the lot I got from the assessor's records.

I would like to go over it with you to see if the owner of 93 Torrey can access his property off of Wellwood.

Thanks, Ann

2/24/08 spoke to Steve Walker @ Pinkham & Green. He was wondering about the status of the permit. He said the street was rebuilt a couple of years ago - sewer manhole @ property line w/ stub to property water 30' - 40' down street, pavement over property line. city's construction plan right up to property line.

**From:** William Clark  
**To:** Penny Littell  
**Date:** 2/28/2008 9:25:54 AM  
**Subject:** Fwd: The former spite strip at the end of Wellwood Road

Here is an email from Jessica in Jan 2007 RE Wellwood.

>>> Jessica Hanscom January 23, 2007 3:45 PM >>>  
Hi Marge and/or Penny,

I spoke with a Randy Libby today (he had Marge's card with him) who was looking for proof that the City had acquired the 5x50 foot spite strip at the end of Wellwood from a tax acquisition. All I was able to find was the same deed he had, 1778/11. It appears to still be City land. He needs access to Wellwood to build on his lot back there. I have attached scanned versions of his survey and that deed to this email.

I think he wants to know what the City can do to get him the frontage he needs. Do we accept the street a smidgeon further or sell him the land maybe? The street now is accepted right up to the former spite strip parcel. His cell number is 838-0717.

Jessica Hanscom, E.I.T.  
Associate Engineer/GIS Professional/Engineering Archivist  
Portland Dept. of Public Works  
55 Portland Street  
Portland, ME 04101  
(207) 874-8818  
(207) 874-8852 FAX

**From:** Penny Littell  
**To:** Ann Machado  
**Date:** 3/20/2008 12:33:04 PM  
**Subject:** conditions

93 Tarrey

if you were ok with granting (I would say selling) a utility only easement across the spite strip to the property owner, then I could proceed along that course. The property owner said They would also be willing to covenant that 1) no access would ever be allowed over the strip 2) only one single family house would ever be built on the adjacent lot and 3) that the lot would never be divided.



CITY OF PORTLAND, MAINE  
M E M O R A N D U M

**TO:** Virginia Hildreth, Director of Economic Development  
**FROM:** Natalie L. Burns, Associate Corporation Counsel  
**DATE:** April 7, 1995  
**RE:** Sale of Property at end of Wellwood Road

At the request of the City Council at its meeting on April 3, I have researched the strip of land located at the end of Wellwood Road. This strip of land was created as part of the subdivision known as Wellwood Park, recorded in August of 1924. The subdivider of the property, Otis Perry Land Company, mortgaged the property to the original seller of the parcel, John J. Frye. He in turn assigned the mortgage of the entire parcel to Casco Mercantile Trust Company. Several of the individual lots were released from the mortgage over the course of the next several years. In 1936, Casco foreclosed upon the mortgage over the remaining land, including the strip in question. The City took the property sometime after that for nonpayment of taxes.

Nothing in any of the mortgage or foreclosure deeds or in the subdivision plan discusses the purpose of this strip of land or limits its use in any way. While it appears that such strips may have been created to prevent parcels outside the development from utilizing these streets for access (at least without payment to the subdivider who created the streets), there is nothing in the legal documents that either confirms or contradicts this.

Attached is a copy of the City Council Order accepting Wellwood Road. This does not make any reference to the strip of land at the end of the street.

Natalie L. Burns  
Associate Corporation Counsel

NLB:lab

WELLWOOD ROAD

Accepted by Order of the City Council, passed December 3, 1930.  
City of Portland Records, Vol 56, Page 405.

Beginning at a point in the westerly side line of Ocean Avenue, said point being distant 155.43 feet northerly along said westerly side line of Ocean Avenue from the first angle in said westerly side line of Ocean Avenue northerly of Torrey Street; thence westerly and making an included angle of 90° 37' with the northerly direction of said westerly side line of Ocean Avenue, a distance of 1037.65 feet to a point.

Said Street to be fifty (50) feet wide and to lie wholly on the southerly side of the above described line.

+++++

WELLWOOD RD.

Laying Out.

.....

Ocean Ave

Westerly

CITY OF PORTLAND, MAINE  
MEMORANDUM

**TO:** Anita Lachance, Assistant City Manager  
 Nadeen Daniels, Assistant City Manager  
 Rick Blackburn, Assessor  
 Anthony Forgione, Barron Center  
 George Flaherty, Director of Environmental Services & Intergovernmental Relations  
 Marge Schmuckal, Zoning Administrator  
 Mark Adelson, Director of Housing and Neighborhood Services  
 Natalie Burns, Associate Corporate Counsel  
 Kathy Staples, Engineer, Public Works  
 Kathleen Brown, Assistant Director, Economic Development  
 Duane Kline, Finance Director  
 Joe Thomas, Fire Chief  
 Gloria Thomas, Human Resource Director  
 Jeff Schultes, Jetport Manager  
 Joseph Gray, Director of Planning and Urban Development  
 Alex Jagerman, Chief Planner  
 Michael Chitwood, Police Chief  
 Bill Bray, Public Works  
 Larry Mead, Recreation Superintendent  
 Richard Jones, School Facilities Manager  
 Tom Vallean, Waterfront Facilities Director

**FROM:** William C. Tracy, Housing Coordinator *WCT*

**DATE:** September 17, 1996

**RE:** Tax Acquired Property:  
 Wellwood Road

DO NOT SEND

In accordance with City Code, Section 2-302, the Tax Acquired Property Committee (TAPC) is considering placing the above referenced parcel on a property list making it available for public sale. The purpose of this memorandum is to solicit possible City uses for the property.

Property Description:

CBL Number Land Footage Building Footage	Taxes Owed Assessed Value Annual Tax Revenue	Type of Zoning Land Use Code
<del>160-F-40</del> 250 sq. ft. 0.00 sq. feet	\$124.01 \$180.00 \$421.50 - ?	R3 Vacant Lot

160 - F - 30

Background Information:

The subject property is a vacant lot. The City acquired the property through real estate tax liens.

Adjacent City Controlled Properties (by CBL Number):

None

Potential City Uses:

Departments which have identified potential uses for the property should submit plans when returning this survey. The plans should include:

- 1) A written description of the proposed use to include identification of the benefits to the City.
- 2) Identification of the financial resources needed to maintain the property for the proposed use.
- 3) If the use of the property is to change, a drawing of the proposed project.
- 4) A specific time line as to when the project will be complete.

Any Department which has identified a possible use for the property must return their plan within 15 days of the writing of this memorandum.

Properties placed on the City's Available for Public Sale List:

If a City use is not identified, the Housing and Neighborhood Services Division will notify abutting neighbors of the availability of the property. Once proper notification has been given, the property will be added to the Available for Public Sale List. This memorandum also serves as an opportunity for City departments to express their concerns with regard to selling the property to the public. Concerns should be noted below:

This parcel should be retained by  
The City to prevent development  
beyond it. A neighbor wanted to buy  
it and went to City Council and was  
denied. See Natalie Burns of Corporate Control

By: Don Han

Attachments:

Assesor's Map  
City Location Map  
CPL Screen Printouts

from Assessors

Millwood Rd Plan 160 Block F Lot 40 Deed date 2-27-43 1943

STREET AND NUMBER

GRANTOR— Harry M. Verrill Conser. Casco Mercantile Trust Co. ✓

GRANTEE— C O P  
177E

Reference— // Part of— Same as— Rec. 3-27-43 Instr.— Tax Area— 2.50

Land and buildings

DEV. LOT NO.	NAME OF DEVELOPMENT	BOOK	PAGE
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Atty— E T Simmons

# of Excep.  Consid. \$ 3.62 U. S. R. S. \$ Mortgs.  Clerk— 13 Date 4-21-46

LOCATIONS OVER (MAKE SEPARATE CARD FOR EACH UNCONNECTED PARCEL IN DEED)



380 US Route One  
Falmouth, Maine 04105  
Tel. 207.781.5242  
Fax. 207.781.4245

February 14, 2008  
File: 07426

Department of Planning and Development  
Portland City Hall  
389 Congress Street  
Portland, Me 04101

RE: 93 Torrey Street, Minor-Minor Site Plan

Dear Sir:

Enclosed is a General Building Permit Application for a one story single family residential house on property at 93 Torrey Street owned by Randell Libby of Scarborough. Included with the application are 1 complete full size and 1-11x17 set of building plans, 4 complete full size and 1-11x17 set of site/boundary plans and description of the project. The building plan submitted are a complete mirror (left to right) of the proposed layout on the lot.

The owner plans to commence development the property as soon as all Building and Street Opening approvals are secured and allowed to commence construction within the roadway. I look forward in working with you on completing this application.

Sincerely,  
PINKHAM & GREER

A handwritten signature in black ink that reads "Steve Walker". The signature is written in a cursive, flowing style.

Steve Walker

Enclosures:

Related Information Regarding the Application

160-F-10140

Assessor's  
file - asked  
for copy.

\*send us a  
copy

This back lot was created in 2003 providing 65' of frontage and access off a non-developed portion of Torrey Street. Since then it has been determined that the lot has 50' of frontage off Well Wood Street per City of Portland Assessor's records and per Corporate Council letter on file dated 4-07-1995. The owner is proposing using the frontage, to access the site and tie into the existing utilities off the end of Well Wood Street. This will limit the disturbance of the wetland and ease the accessibility of the utilities. Accessing the utilities will require the excavation in the last 45'± of the roadway pavement to extend the existing water main, under drain and storm drain inlet to the proposed lot. The sewer main and overhead utilities are installed to the proposed lot and will be accessed from there. Well Wood Street was just reconstructed with base pavement and all proposed work within the ROW will be coordinated with the City Engineering Department. Per discussion with a representative of the Engineering department, they would be acceptable and recommended in accessing utilities off Well Wood Street.

- spoke to Rick?

The present drainage off the lot flows overland to the abutting property on the SE side and to a wetland in the center which overflows NW toward Torrey Street and SW to Well Wood Street, onto the pavement and into a CB on the westerly side of the pavement. We are proposing to keep the surface drainage generally the same, capturing the majority of the runoff into the wetland/drainage swale to flow to a proposed extension of the SD line to the property, thus eliminate surface water from flowing in the roadway. We are also proposing to tie in the proposed foundation drain into the existing 6" UD on the easterly side of the roadway. Proper erosion control measures as noted on the plans will be utilized during construction until all disturbed areas are stabilized and re-vegetated.

The lot is presently wooded with mix growth of hard and soft woods. We are requesting a wavier of the requirement for 2 street trees and are proposing to limit the tree removal along the southerly side of the property to instead of new street trees and also provide a buffer to the neighboring property and views from Well Wood Street. We also propose not removing any trees along or within the access strip from Torrey Street.

Applicant: Randall Libby

Date: 2/15/08

Address: 93 Torrey Street

C-B-L: 149-6-~~08~~<sup>38</sup>  
perm. # 08-0133

CHECK-LIST AGAINST ZONING ORDINANCE

Date - new

Zone Location - R-3

Interior or corner lot -

Proposed Use/Work - build single family house w/ attached garage, 10x16 deck.

Sewage Disposal - city

Lot Street Frontage - 50' min.

Front Yard - 25' min.

Rear Yard - 20' min.

Side Yard -  $\frac{1}{2}$  sides 8'  
2 sides 14'

Projections - sides bracket 2'  
deck 10x16' - 3 steps

Width of Lot - 65' min.

Height - 35' max - 18.25' calcd

Lot Area - 6,500  $\phi$  min. - 36,190 given

Lot Coverage/ Impervious Surface - 35% = 2,275  $\phi$

Area per Family - 6,500  $\phi$

Off-street Parking - 2 spaces required - 2 car garage

Loading Bays - N/A

Site Plan - minor/minor 2008-0013

Shoreland Zoning/ Stream Protection - N/A

Flood Plains - panel 7 - zone X

\* partial daylight basement,

40x56' = 2240  
10'x28' = 280  
10x16' = 160  
5x2 = 10  
2x2 = 4

OK

2750



**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM**

**Zoning Copy**

**Marge Schmuckal**

**2008-0013**  
Application I. D. Number

**2/15/2008**  
Application Date

**Libby Randall A**

Applicant

**302 Pine Point Rd , Scarborough , ME 04074**

Applicant's Mailing Address

**Randall Libby**

Consultant/Agent

**Agent Ph: (207)883-9218**

**Agent Fax:**

Applicant or Agent Daytime Telephone, Fax

**93 - 93 Torrey St , Portland, Maine**

Address of Proposed Site

**149 G038001**

Assessor's Reference: Chart-Block-Lot

**One Story Single Family Home**

Project Name/Description

Proposed Development (check all that apply):  New Building  Building Addition  Change Of Use  Residential  Office  Retail

Manufacturing  Warehouse/Distribution  Parking Lot  Apt 0  Condo 0  Other (specify) \_\_\_\_\_

0

Proposed Building square Feet or # of Units	Acreage of Site	Proposed Total Disturbed Area of the Site	Zoning
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**Check Review Required:**

- |   |   |  |
|---|---|--|
| <input type="checkbox"/> Site Plan (major/minor)          | <input type="checkbox"/> Zoning Conditional - PB  | <input type="checkbox"/> Subdivision # of lots _____ |
| <input type="checkbox"/> Amendment to Plan - Board Review | <input type="checkbox"/> Zoning Conditional - ZBA | <input type="checkbox"/> Shoreland                   |
| <input type="checkbox"/> Amendment to Plan - Staff Review | <input type="checkbox"/> Zoning Variance          | <input type="checkbox"/> Flood Hazard                |
| <input type="checkbox"/> After the Fact - Major           | <input type="checkbox"/> Stormwater               | <input type="checkbox"/> Traffic Movement            |
| <input type="checkbox"/> After the Fact - Minor           | <input type="checkbox"/> PAD Review               | <input type="checkbox"/> 14-403 Streets Review       |
|   |   | <input type="checkbox"/> Historic Preservation       |
|   |   | <input type="checkbox"/> DEP Local Certification     |
|   |   | <input type="checkbox"/> Site Location               |
|   |   | <input type="checkbox"/> Other _____                 |

Fees Paid: Site Plan \$50.00 Subdivision \_\_\_\_\_ Engineer Review \$250.00 Date 2/15/2008

**Zoning Approval Status:**

Reviewer \_\_\_\_\_

- Approved  Approved w/Conditions See Attached  Denied

Approval Date \_\_\_\_\_ Approval Expiration \_\_\_\_\_ Extension to \_\_\_\_\_  Additional Sheets Attached

Condition Compliance \_\_\_\_\_ signature \_\_\_\_\_ date \_\_\_\_\_

**Performance Guarantee**  Required\*  Not Required

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

- |   |                            |  |                             |
|---|----------------------------|--|-----------------------------|
| <input type="checkbox"/> Performance Guarantee Accepted     | _____ date _____           | _____ amount _____                                 | _____ expiration date _____ |
| <input type="checkbox"/> Inspection Fee Paid                | _____ date _____           | _____ amount _____                                 |                             |
| <input type="checkbox"/> Building Permit Issue              | _____ date _____           |  |                             |
| <input type="checkbox"/> Performance Guarantee Reduced      | _____ date _____           | _____ remaining balance _____                      | _____ signature _____       |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____ date _____           | <input type="checkbox"/> Conditions (See Attached) | _____ expiration date _____ |
| <input type="checkbox"/> Final Inspection                   | _____ date _____           | _____ signature _____                              |                             |
| <input type="checkbox"/> Certificate Of Occupancy           | _____ date _____           |  |                             |
| <input type="checkbox"/> Performance Guarantee Released     | _____ date _____           | _____ signature _____                              |                             |
| <input type="checkbox"/> Defect Guarantee Submitted         | _____ submitted date _____ | _____ amount _____                                 | _____ expiration date _____ |
| <input type="checkbox"/> Defect Guarantee Released          | _____ date _____           | _____ signature _____                              |                             |

## WARRANTY DEED

MAINE REAL ESTATE TAX PAID

Know all persons by these presents that, I, **John G. Ham**, of Portland, Cumberland County, Maine, with a mailing address of P.O. Box 8114, Portland, Maine 04104 (the Grantor herein), in consideration of one dollar (\$1.00) and other valuable consideration paid by **Randall A. Libby**, of Scarborough, Cumberland County, Maine, with a mailing address of 302 Pine Point Road, Scarborough, Maine 04074 (the Grantee herein), the receipt whereof I do hereby acknowledge, do hereby give, grant, bargain, sell, and convey unto the said **Randall A. Libby**, his or her heirs and assigns forever, the real property located in **Portland**, Cumberland County, Maine, bounded and described as follows:

A certain lot or parcel of land with any improvements located thereon, located in the City of **Portland**, County of Cumberland and State of Maine, and being **Lot B** as shown on "**Plan of Land on Torrey Street, Portland, Maine**," Made for Beth Barbour, 87 Torrey Street, Portland, Maine" dated August 21, 2003 by Owen Haskell, Inc. and recorded in the Cumberland County Registry of Deeds in. **Plan Book 203, Page 567.**

This lot is **subject** to the scenic buffer benefitting Lot A as shown on said Plan. Said scenic buffer shall be maintained by the owner of Lot A.

Meaning and intending to describe and convey and hereby conveying the same premises described in a warranty deed from Chessell N. McGee Corporation to John G. Ham by warranty deed dated June 12, 2006 and recorded in the Cumberland County Registry of Deeds in Book 24071, Page 56.

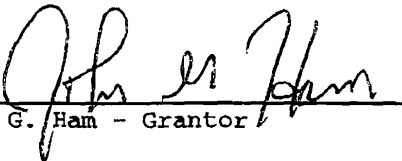
This conveyance is made subject to real estate taxes payable to the local municipality for the current fiscal year, municipal zoning and land use ordinances, and utility easements of record.

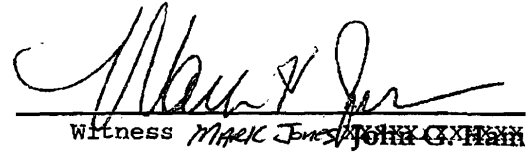
*To Have and to Hold* the aforegranted and bargained premises, with all the privileges and appurtenances thereof, to the said **Randall A. Libby**, his or her heirs and assigns, to him and their own use and behoof forever.

*And* I do covenant with the said Grantee, his or her heirs and assigns, that I am lawfully seized in fee of the premises, that they are free of all encumbrances; that I have good right to sell and convey the same to the said Grantee to hold as aforesaid; and that I and my heirs shall and will warrant and defend the same to the said Grantee, his or her heirs and assigns forever, against the lawful claims and demands of all persons.

In Witness Whereof, I, the said **John G. Ham**, relinquishing and conveying all rights by descent and all other rights to the above described premises, have hereunto set my hand and seal this November 22, 2006.

Signed Sealed and Delivered  
in the presence of

  
\_\_\_\_\_  
John G. Ham - Grantor

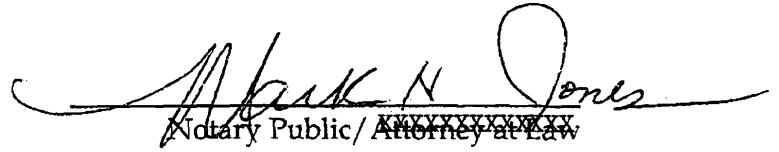
  
\_\_\_\_\_  
Witness ~~MARK H. JONES~~ ~~JOHN G. HAM~~

State of Maine  
County of Cumberland, ss.

November 22, 2006

Then personally appeared the above named **John G. Ham** and acknowledged the foregoing instrument to be his or her free act and deed.

My commission expires:  
10/21/07

  
\_\_\_\_\_  
Notary Public / ~~Attorney at Law~~

Mark H. Jones Printed Name  
My commission expires 10-21-2007

Prepared by:  
John W. Sawyer, Esquire  
Sawyer, Sawyer & Minott, P.A.  
P.O. Box 58, 157 Main Street  
Gorham, Maine 04038-0058

Received  
Recorded Register of Deeds  
Dec 06, 2006 12:25:39P  
Cumberland County  
John B O'Brien

054406

SHORT FORM DEED OF DISTRIBUTION BY  
PERSONAL REPRESENTATIVE (TESTATE)

DIANE M. GULLIKSON, of Portland, Maine, duly appointed and acting Personal Representative of the Estate of DORIS L. GOULD, deceased, Cumberland County Probate Court Docket Number 89-1167 by the power conferred by law, and every other power, in distribution of the estate, grants to DIANE M. GULLIKSON, with a mailing address of 35 Bay Street, Portland, Maine 04101, being the person entitled to distribution, certain real property, together with any improvements thereon, located in the City of Portland, County of Cumberland and State of Maine, more particularly described as follows:

Three certain lots or parcels of land located on the westerly side of Bay Street in said Portland, and being lots numbered 6, 7, and 35 as shown on a plan recorded in the Cumberland County Registry of Deeds in Plan Book 8, Page 99. Also six certain lots or parcels of land located on the easterly side of said Bay Street and being lots numbered 37, 38, 39, 60, 61 and 63 as shown on said plan.

Also a certain lot or parcel of land located on the easterly side of Torrey Street in said Portland, approximately nine hundred ninety (990) feet from Ocean Avenue and being the lot adjoining land sold by Charles L. Goodridge to Leo F. O'Brien on November 19, 1924, and recorded in Book 1186, Page 101, and being that lot as shown on the 1928 City Assessors' Plan 155 A 26, having a frontage of approximately one hundred sixty (160) feet and an area of twenty four thousand two hundred (24,200) square feet.

Also a triangular lot in the rear of land lying on the easterly side of said Bay Street, said triangular lot being on the westerly side of a proposed street, said proposed street being fifty (50) feet wide and distant two hundred (200) feet easterly from said Bay Street. Said triangular lot has a frontage of seventy five (75) feet on another proposed street running from Bay Street to Torrey Street. A part of said lot is shown on 1928 City Assessors' Plan as 155 D 29 having an area of twenty nine thousand six hundred eighty (29,680) square feet and another part of said lot comprises a portion of a lot as shown on the 1928 City Assessors' Plan as 155 C 11, the area of said portion being fifty five hundred twenty six (5526) square feet.

Being the same premises as conveyed by deed of Fidelity Trust Company to Doris L. Gould (formerly Doris L. Carney) dated March 22, 1928 and recorded in the Cumberland County Registry of Deeds in Book , Page 370. The said Doris L. Gould having died on August 16, 1989 (Testate). Also being the same property as shown on the current City of Portland's Tax Assessors' Maps as follows:

156-C-4	156-B-12-13	156-C-2-3
156-C-1	149-G-37	155-D-24 to 26
141-J-2	155-C-11	155-D-29 to 30

WITNESS my hand and seal this 8<sup>th</sup> day of November, 1990.

WITNESS:

Name:

Shene Antone

Diane M. Gullikson  
Diane M. Gullikson  
Personal Representative,  
Estate of Doris L. Gould

State of Maine  
County of Cumberland, ss.

11/8, 1990

PERSONALLY APPEARED the above-named Diane M. Gullikson, Personal Representative as aforesaid, and acknowledged the foregoing instrument to be her free act and deed in her said capacity.

Before me,

Shene Antone  
Notary/Attorney-at-Law  
Please Print Name  
MY COMMISSION EXPIRES NOVEMBER 18, 1996

SEAL

RECEIVED  
REGISTRY OF DEEDS  
1990 NOV -9 PH 3:38  
CUMBERLAND COUNTY

Robert

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

### Current Owner Information

<b>Card Number</b>	1 of 1
<b>Parcel ID</b>	160 F040001
<b>Location</b>	WELLWOOD RD
<b>Land Use</b>	GOVERNMENTAL
<b>Owner Address</b>	CITY OF PORTLAND 389 CONGRESS ST PORTLAND ME 04101
<b>Book/Page</b>	PNP03/
<b>Legal</b>	160-F-40 WELLWOOD RD 250 SF

### Current Assessed Valuation

<b>Land</b>	<b>Building</b>	<b>Total</b>
\$200	\$ 0.00	\$200

### Property Information

<b>Year Built</b>	<b>Style</b>	<b>Story Height</b>	<b>Sq. Ft.</b>	<b>Total Acres</b>	
				0.006	
<b>Bedrooms</b>	<b>Full Baths</b>	<b>Half Baths</b>	<b>Total Rooms</b>	<b>Attic</b>	<b>Basement</b>

### Outbuildings

<b>Type</b>	<b>Quantity</b>	<b>Year Built</b>	<b>Size</b>	<b>Grade</b>	<b>Condition</b>
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### Sales Information

<b>Date</b>	<b>Type</b>	<b>Price</b>	<b>Book/Page</b>
04/07/1995	LAND		11875-400

*made up by Don*

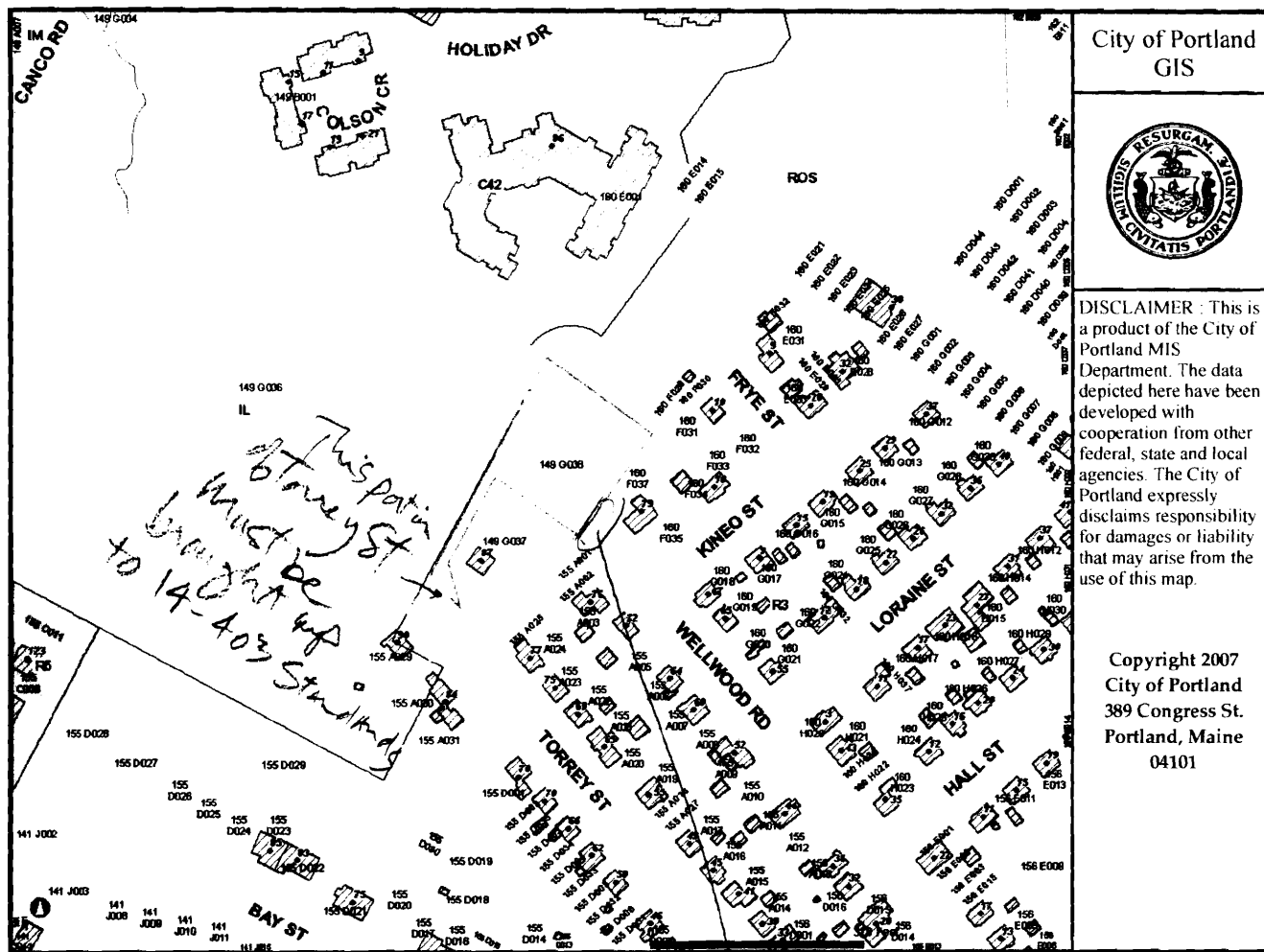
### Picture and Sketch

<u><a href="#">Picture</a></u>	<u><a href="#">Sketch</a></u>	<u><a href="#">Tax Map</a></u>
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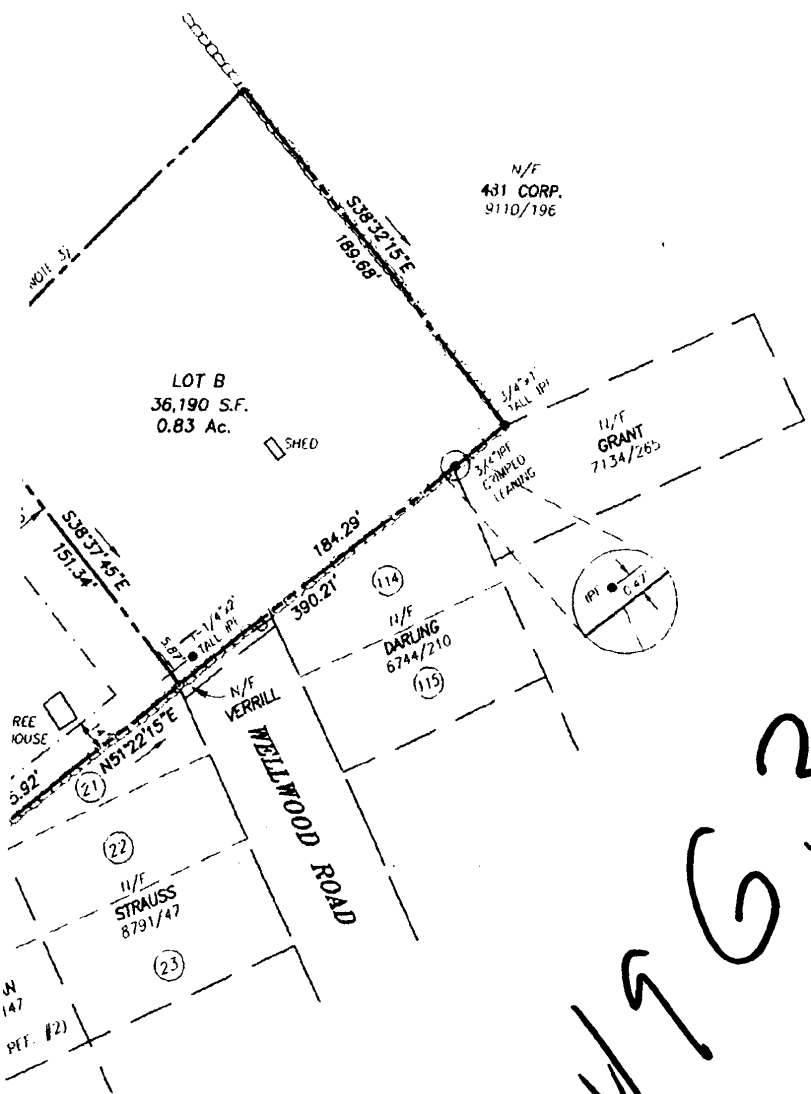
[Click here](#) to view Tax Roll Information.

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or [e-mailed](#).

**New Search!**



There is a Spite Strip  
Along here - so no Street  
Frontage



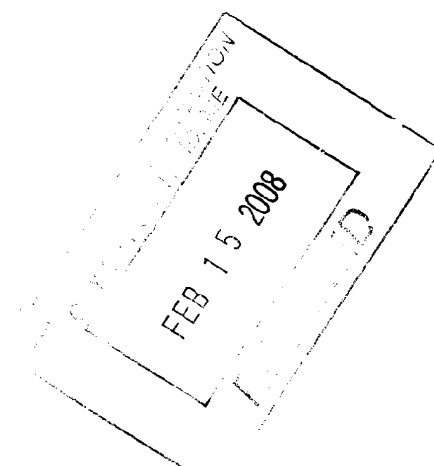
149638

**NOTES:**

1. BEARINGS ARE BASED ON MAGNETIC NORTH 1992.
2. TOTAL AREA = 62,007 SQUARE FEET.
3. PROPERTY LINE BASED ON THE PROLONGATION OF THE SOUTHEASTERLY LINE OF LOT 40 AS SHOWN ON PLAN REFERENCE #3.
4. STREET TERMINUS PER CITY OF PORTLAND RECORDS, VOL 74, PAGE 326.
5. THE PROPERTY SURVEYED IS SHOWN AS LOT 149-G-37 ON THE CITY OF PORTLAND'S TAX MAP. DEED REFERENCE 9382/047 CUMBERLAND COUNTY REGISTRY OF DEEDS.
6. UTILITIES SHOWN ARE BASED ON OBSERVED SURFACE FEATURES AND INFORMATION SUPPLIED BY THE FOLLOWING:
  - 1) PORTLAND WATER DISTRICT  
225 DOUGLASS STREET  
PORTLAND, MAINE 207-774-5961
  - 2) CITY OF PORTLAND PUBLIC WORKS DEPT.  
55 PORTLAND STREET  
PORTLAND, MAINE 207-874-8493
  - 3) NORTHERN UTILITIES  
1075 FOREST AVENUE  
PORTLAND, MAINE 207-797-8002

**PLAN REFERENCES:**

1. "LAND TITLE SURVEY ON TORREY STREET, PORTLAND, MAINE MADE FOR MARK F. STICKNEY" DATED SEPT 8, 1994 BY OWEN HASKELL, INC.
2. PLAN MADE FOR DIANE GULLIKSON BY OWEN HASKELL, INC. DATED JANUARY 4, 1993.
3. "PLAN MADE FOR C.L. GOODRIDGE AND J.A. BUELDUC" BY E.C. JORDAN & CO. DATED MAY 1895 RECORDED IN PLAN BOOK 8 PAGE 99 CUMBERLAND COUNTY REGISTRY OF DEEDS.
4. "WELLWOOD" THE OTIS H. PERRY LAND CO. OWNERS - 1924 BY PERCY RICHARDSON, C.E. DATED JUNE 1924 RECORDED IN PLAN BOOK 16 PAGE 12 CUMBERLAND COUNTY REGISTRY OF DEEDS.
5. "SITE PLAN ON TORREY STREET, PORTLAND, MAINE MADE FOR BETH O'DONNELL DATED MARCH 8, 1996 BY OWEN HASKELL, INC. RECORDED IN PLAN BOOK 203 PAGE 383.



State of Maine, Cumberland SS.  
Registry of Deeds  
Received OCT 15, 2003  
at 2:35 m. P M and recorded in  
Plan Book 203 Page 567

Attest:  
*John B. O'Brien* Register

REV 2	10-14-03	AMENDED PROPERTY LINES-LOT A
REV 1	08-26-03	MISC CHANGES
<b>PLAN OF LAND</b> ON TORREY STREET, PORTLAND, MAINE MADE FOR <b>BETH BARBOUR, Record Owner</b> 87 TORREY STREET, PORTLAND, MAINE <b>OWEN HASKELL, INC.</b> 16 CASCO ST., PORTLAND, ME 04101 (207) 774-0424 PROFESSIONAL LAND SURVEYORS		
Drwn By	LLB	Date
Trace By	JLW	AUGUST 21, 2003
Check By	JMW	Scale
Book No	778P	1" = 50'
		Job No.
		96027P
		Drwg. No.
		1

**CERTIFICATION**

OWEN HASKELL, INC. HEREBY CERTIFIES THAT THIS PLAN IS BASED ON AND THE RESULT OF, AN ON THE GROUND FIELD SURVEY AND THAT TO THE BEST OF OUR KNOWLEDGE, INFORMATION AND BELIEF, IT CONFORMS TO THE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS CURRENT STANDARDS OF PRACTICE.

DATE 10/14/03

*John M. Wainwright*  
JOHN M. WAINWRIGHT  
PROFESSIONAL LAND SURVEYOR  
SEAL

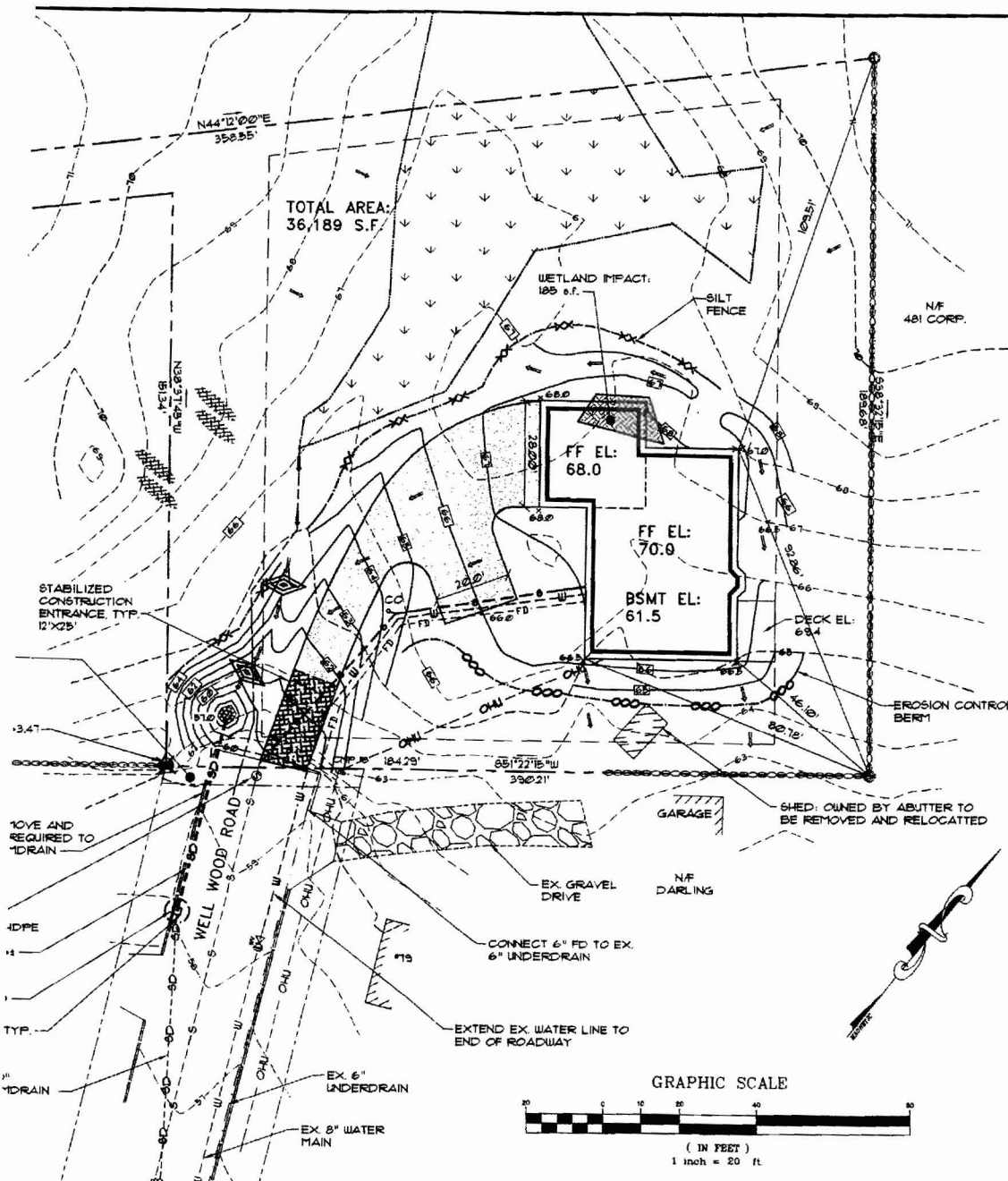


## GENERAL NOTES

- OWNER/BUILDER: RANDALL A. LIBBY, 302 PINE POINT ROAD, SCARBOROUGH, ME COUNTY REGISTRY OF DEEDS BK. 24633, PG. 53, DATE 11/22/06.
- ENGINEER: PINKHAM & GREER CONSULTING ENGINEERS, FALMOUTH, MAINE.
- BOUNDARY INFORMATION IS TAKEN FROM "PLAN OF LAND ON TORREY STREET, PORTLAND, ME MADE FOR BETH BABARBOUR" BY OWEN HASKELL, INC. DATED 8/21/03 AND RECORDED IN PLAN BOOK 203 PAGE 567.
- TOPOGRAPHIC INFORMATION PROVIDED BY DANIEL J. DALFONSO, PLS, SOUTH PORTLAND, MAINE JANUARY, 2008. BENCHMARK: TOP CAPPED ROD EL. = 63.47
- WETLAND MAPPING PROVIDED BY ALBERT FRICK ASSOCIATES, INC., GORHAM, MAINE DECEMBER, 2007.
- ZONE: R3 - RESIDENTIAL ZONE  
PROPOSED USE: SINGLE FAMILY DWELLING
- TAX MAP REFERENCE: 149-G-38
- TOTAL PARCEL = 36,189 s.f., @ 83 acres
- CALL DIG-SAFE PRIOR TO COMMENCING WORK. 1-800-DIG-SAFE.
- THE HOUSE SHALL HAVE A NUMBER CLEARLY VISIBLE FROM THE ROAD.
- SITE IS TREE COVERED.
- LOTS TO BE SERVICED BY PUBLIC WATER AND SEWER. FIELD VERIFY EXISTING UTILITY LOCATION AND INVERTS PRIOR TO ANY CONSTRUCTION.
- POWER, TELEPHONE AND CABLE ARE TO BE OVERHEAD
- ALL CONSTRUCTION AND SITE ALTERATIONS SHALL BE DONE IN ACCORDANCE WITH THE "MAINE EROSION AND SEDIMENT CONTROL BMPs" PUBLISHED BY THE BUREAU OF LAND AND WATER QUALITY, MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, LATEST EDITION, MARCH 2003.
- NO CONSTRUCTION OR FILLING OF WETLANDS OTHER THAN THAT SHOWN ON THE PLAN ARE ALLOWED. A NRPA PERMIT IS REQUIRED BY DEP.
- HIGH GROUNDWATER TABLES ARE A CONSIDERATION FOR MAINE SOILS. HOUSES WITH BASEMENTS ARE RECOMMENDED TO HAVE PROPER FOUNDATION DRAINAGE TO ACCOMMODATE THESE CONDITIONS.
- THIS APPROVAL IS DEPENDENT UPON, AND LIMITED TO, THE PROPOSALS AND PLANS CONTAINED IN THE APPLICATION AND SUPPORTING DOCUMENTS SUBMITTED AND AFFIRMED BY THE APPLICANT AND ANY VARIATION FROM THE PLANS, PROPOSALS AND SUPPORTING DOCUMENTS IS SUBJECT TO REVIEW AND APPROVAL BY THE PLANNING BOARD, EXCEPT FOR DE MINIMIS CHANGES WHICH THE DIRECTOR OF PLANNING AND ZONING MAY APPROVE.

## CITY OF PORTLAND SITE PLAN NOTES

- LANDSCAPING SHALL MEET THE "ARBORICULTURAL SPECIFICATIONS AND STANDARDS OF PRACTICE AND LANDSCAPE GUIDELINES" OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
- THE ENTIRE SITE SHALL BE DEVELOPED AND/OR MAINTAINED AS DEPICTED ON THE SITE PLAN. APPROVAL OF THE PLANNING AUTHORITY OR PLANNING BOARD SHALL BE REQUIRED FOR ANY ALTERATION TO OR DEVIATION FROM THE APPROVED SITE PLAN, INCLUDING, WITHOUT LIMITATION, TOPOGRAPHY, DRAINAGE, LANDSCAPING, RETENTION OF WOODED OR LAWN AREAS, ACCESS, SIZE, LOCATION, AND SURFACING OF PARKING AREAS AND LOCATION AND SIZE OF BUILDINGS.
- ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE MAINE EROSION AND SEDIMENT CONTROL BMPs PUBLISHED BY THE BUREAU OF LAND AND QUALITY, MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 2003.
- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SITE EXCAVATION OR REGRADING.
- ALL DISTURBED AREAS ON THE SITE NOT COVERED BY BUILDINGS OR PAVED AREAS SHALL BE STABILIZED WITH LOAM AND SEED OR OTHER METHODS AS REQUIRED BY BEST MANAGEMENT PRACTICES (SEE ABOVE).
- PRIOR TO CONSTRUCTION, A PRECONSTRUCTION MEETING SHALL BE HELD AT THE PROJECT SITE WITH THE CONTRACTOR, DEVELOPMENT REVIEW COORDINATOR, PUBLIC WORK'S REPRESENTATIVE AND OWNER TO REVIEW THE CONSTRUCTION SCHEDULE AND CRITICAL ASPECTS OF THE SITE WORK. AT THAT TIME, THE SITE/BUILDING CONTRACTOR SHALL PROVIDE THREE (3) COPIES OF A DETAILED CONSTRUCTION SCHEDULE TO THE ATTENDING CITY REPRESENTATIVE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE A MUTUALLY AGREEABLE TIME FOR THE PRECONSTRUCTION MEETING.



### PROPOSED

	EDGE OF PAVEMENT
	CONTOURS
	BUILDING
	SANITARY SEWER WATER LINE
	STORM DRAIN
	OVERHEAD UTILITY
	FOUNDATION DRAIN
	UNDERDRAIN
	SPOT GRADE
	RIFFRAP
	WETLAND IMPACT
	SURFACE DRAINAGE

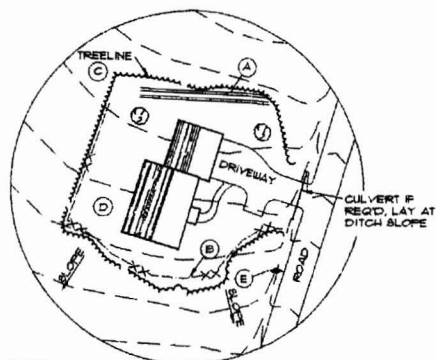
### EROSION CONTROL LEGEND

	CATCH BASIN PROTECTION WITH SILTSACK
	EROSION CONTROL BERM
	SILT FENCE
	STABILIZED ENTRANCE

### ZONE INFORMATION

ZONE: R-3 RESIDENTIAL PERMITTED USE: SINGLE FAMILY DWELLING UNIT		
SPACE STANDARDS	REQUIRED	PROPOSED
MINIMUM LOT SIZE	6,500 SQ. FT.	36,189 SQ. FT.
MINIMUM LOT AREA	6,500 SQ. FT.	36,189 SQ. FT.
MINIMUM STREET FRONTAGE	50 FEET	65 FEET
MINIMUM FRONT YARD	25 FEET	25 FEET
MINIMUM REAR	25 FEET	25 FEET
SIDE YARDS - 1 STORY	5 FEET	5 FEET
MAX. LOT COVERAGE	35 PERCENT	44 PERCENT
MIN. LOT WIDTH	65 FEET	160 FEET
MAXIMUM BUILDING HEIGHT	35 FEET	16 FEET

	REV.	DATE	DESCRIPTION
			RANDALL A. LIBBY 302 PINE POINT RD. SCARBOROUGH ME
			93 TORREY STREET PORTLAND MAINE
			<b>SITE PLAN</b>
	SCALE: AS SHOWN	DRN BY: SSW	C1.1
	DATE: FEBRUARY 11, 2008	DESG BY: TSG	
	PROJECT: 07426	CHK BY: TSG	



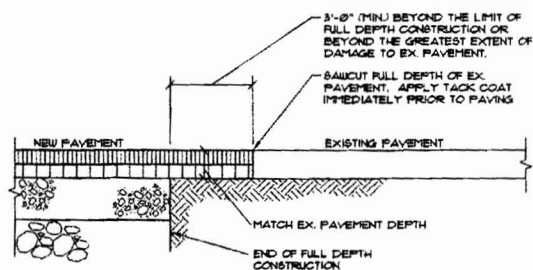
NOTES:  
THIS SKETCH INDICATES THE INTENT OF THE SOIL EROSION MEASURES.  
ACTUAL SITE CONDITIONS AND LAYOUTS WILL VARY FROM SITE TO SITE.

BUILDING CONTRACTORS MUST COMPLY WITH THE EROSION CONTROL NOTES SHOWN ON THESE DRAWINGS AND WITH "MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION BEST MANAGEMENT PRACTICES".

- A - CONSTRUCT DIVERSION DITCH TO KEEP UPSLOPE DRAINAGE FROM ENTERING SITE.
- B - INSTALL SILT FENCE BELOW ALL DISTURBED AREAS.
- C - KEEP CLEARING TO A MINIMUM.
- D - RESEED ALL DISTURBED AREAS. SEE SEEDING NOTES.
- E - INSTALL STONE CHECK DAM(S) DOWNSTREAM OF CULVERT AS NECESSARY.

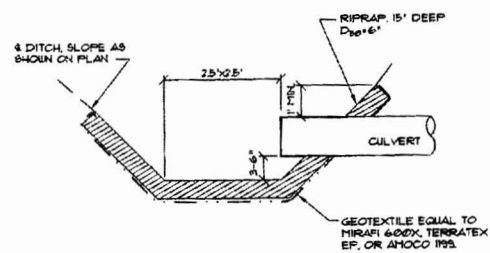
#### 6 BUILDING SITE EROSION CONTROL

NOT TO SCALE



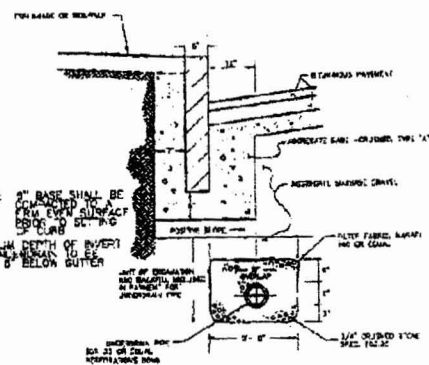
#### 4 PAVEMENT CUTTING & MATCHING SECTION

NOT TO SCALE



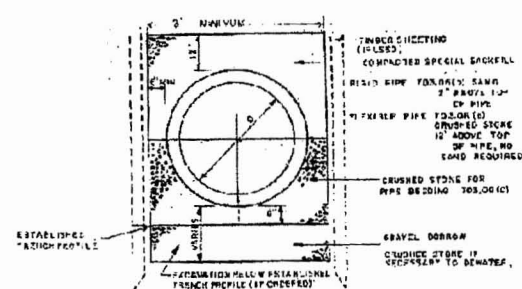
#### 1 INLET BASIN DETAIL

NOT TO SCALE



#### 2 TYPE "B" UNDERDRAIN WITH CURB

NOT TO SCALE



TYPICAL SECTION ALL PIPE

SHEETS TO BE DRIVEN BELOW SPRING LINE OF PIPE. SMALL NOT BE MOVED SET OUT-OF-PIPE FOOT ABOVE TOP OF PIPE.

#### 3 TRENCH SECTION

REV.	DATE	DESCRIPTION

RANDALL A. LIBBY  
302 PINE POINT RD. SCARBOROUGH ME

93 TORREY STREET  
PORTLAND MAINE

PINKHAM & GREER  
CONSULTING ENGINEERS  
FALMOUTH MAINE

DETAILS

SCALE: AS SHOWN	DRN BY: SSW
DATE: FEBRUARY 11, 2008	DESG BY: TSG
PROJECT: 07426	CHK BY: <i>TSG</i>

C1.2

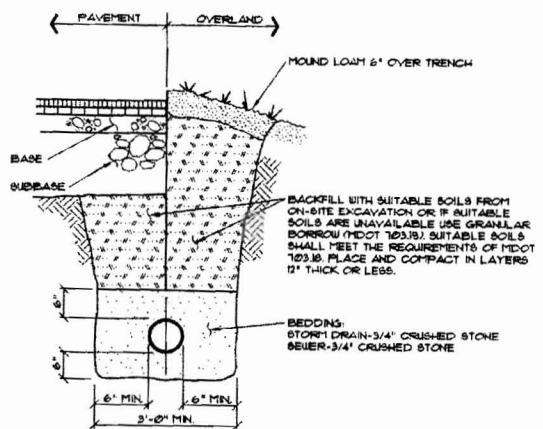
CONSTRUCTION	USE
1 1/4" HMA MDOT 95mm 2 1/4" HMA MDOT 75.0mm 3" COMPACTED AGGREGATE BASE, MDOT 103.06(A) TYPE A 1" COMPACTED AGGREGATE SUBBASE, MDOT 103.06(D) TYPE D COMPACTED SUBGRADE	BITUMINOUS WELL WOOD ROAD
2 - 1" LAYERS OF HMA MDOT 95mm 2" COMPACTED AGGREGATE BASE, MDOT 103.06(A) TYPE A 1" COMPACTED AGGREGATE SUBBASE, MDOT 103.06(D) TYPE D COMPACTED SUBGRADE	BITUMINOUS DRIVEWAY
2" COMPACTED AGGREGATE BASE, MDOT 103.06(A) TYPE A 1" COMPACTED AGGREGATE SUBBASE, MDOT 103.06(D) TYPE D COMPACTED SUBGRADE	GRAVEL DRIVEWAY
4" TOPSOIL, NO STONES OVER 3/4" DIA. GRANULAR MATERIAL IN FILL AREAS COMPACTED SUBGRADE	GRASS ALL DISTURBED AREAS OTHER THAN SECTIONS BARK MULCHED

NOTES:

1. HMA = HOT MIX ASPHALT.  
MDOT = MAINE DEPARTMENT OF TRANSPORTATION.
2. ALL COURSE THICKNESS AFTER FINAL COMPACTION.

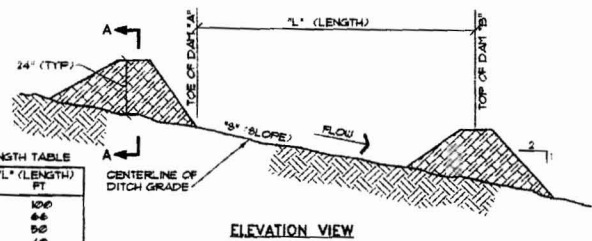
#### 5 SCHEDULE OF SURFACE FINISHES

NOT TO SCALE



#### 7 TYPICAL TRENCH SECTION

NOT TO SCALE



S' (SLOPE) FT/FT	L' (LENGTH) FT
0.010	100
0.030	44
0.040	50
0.050	40
0.060	25
0.100	20
0.150	17
0.250	13

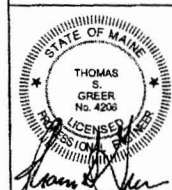
L' - THE DISTANCE SUCH THAT POINTS A AND B ARE OF EQUAL ELEVATION

- NOTES:
1. WHILE THIS PRACTICE IS NOT INTENDED TO BE USED PRIMARILY FOR SEDIMENT TRAPPING, SOME SEDIMENT WILL ACCUMULATE BEHIND DAMS. SEDIMENT SHOULD BE REMOVED FROM BEHIND DAMS WHEN IT HAS ACCUMULATED TO ONE HALF THE ORIGINAL HEIGHT OF THE DAM.
  2. STONE: 2"-3" CRUSHED STONE (MDOT 103.31)

SECTION A-A

#### 8 STONE CHECK DAM DETAIL

NOT TO SCALE



2/11/08

SHEET 149-B

(SEE 149-B-1)

3085	3085
14	15
218	217

945.15 TOTAL

SHEET 149-D

SHEET 155-A

LEE STREET

ROSEDALE

DUDLEY

FRYE STREET

STREET

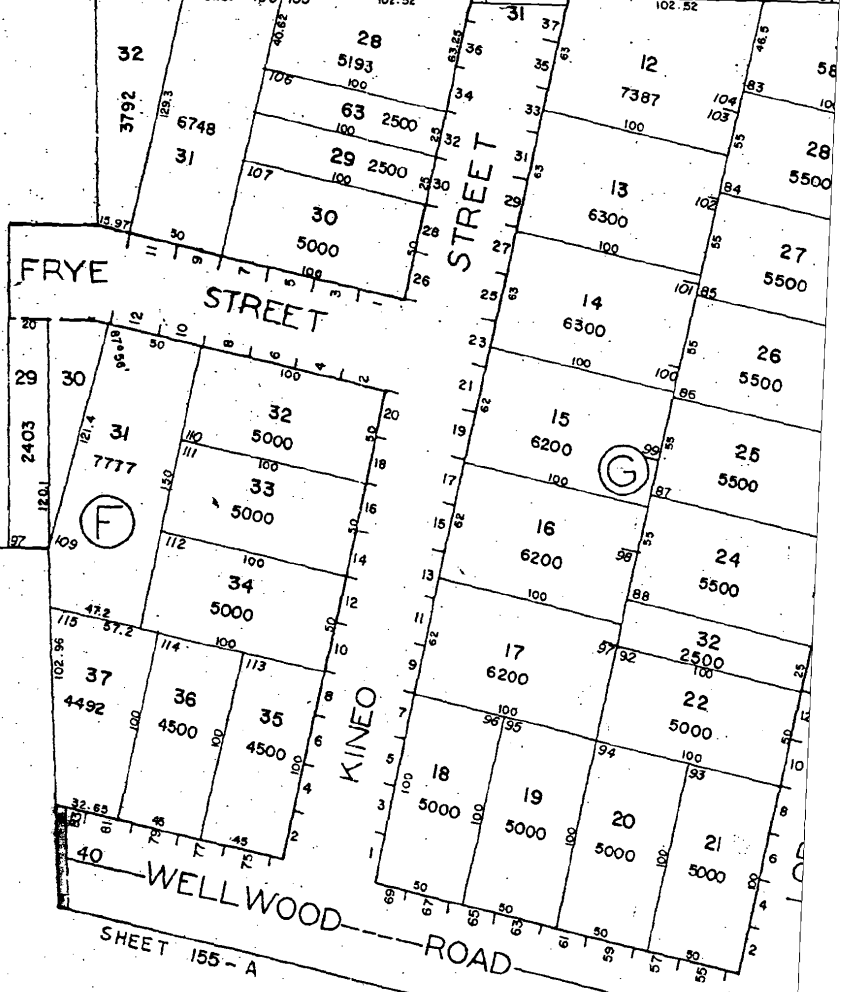
KINEO

WELLWOOD ROAD

285	286	287	288	289	290	291	292
113.31	113.87	113.83	113.88	113.73	113.79	113.84	113.90
3406	3407	3408	3411	3412	3414	3416	3418
30	30	30	30	30	30	30	30

30	30	30	30	30	30	30	30
1	2	3	4	5	6	7	8
40	39	38	37	36	35	34	33
122	123	124	125	126	127	128	129
100	100	100	100	100	100	100	100
44	43	42	41	40	39	38	37

45.18	51.26	108	105	102.52	103.02	103.04	103.08	103.08	103.10	103.12	103.14	103.16	103.18
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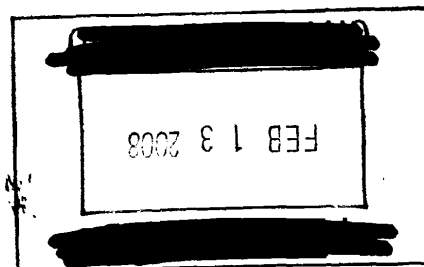
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SHEET TITLE:

COVER SHEET

C1 OF 10

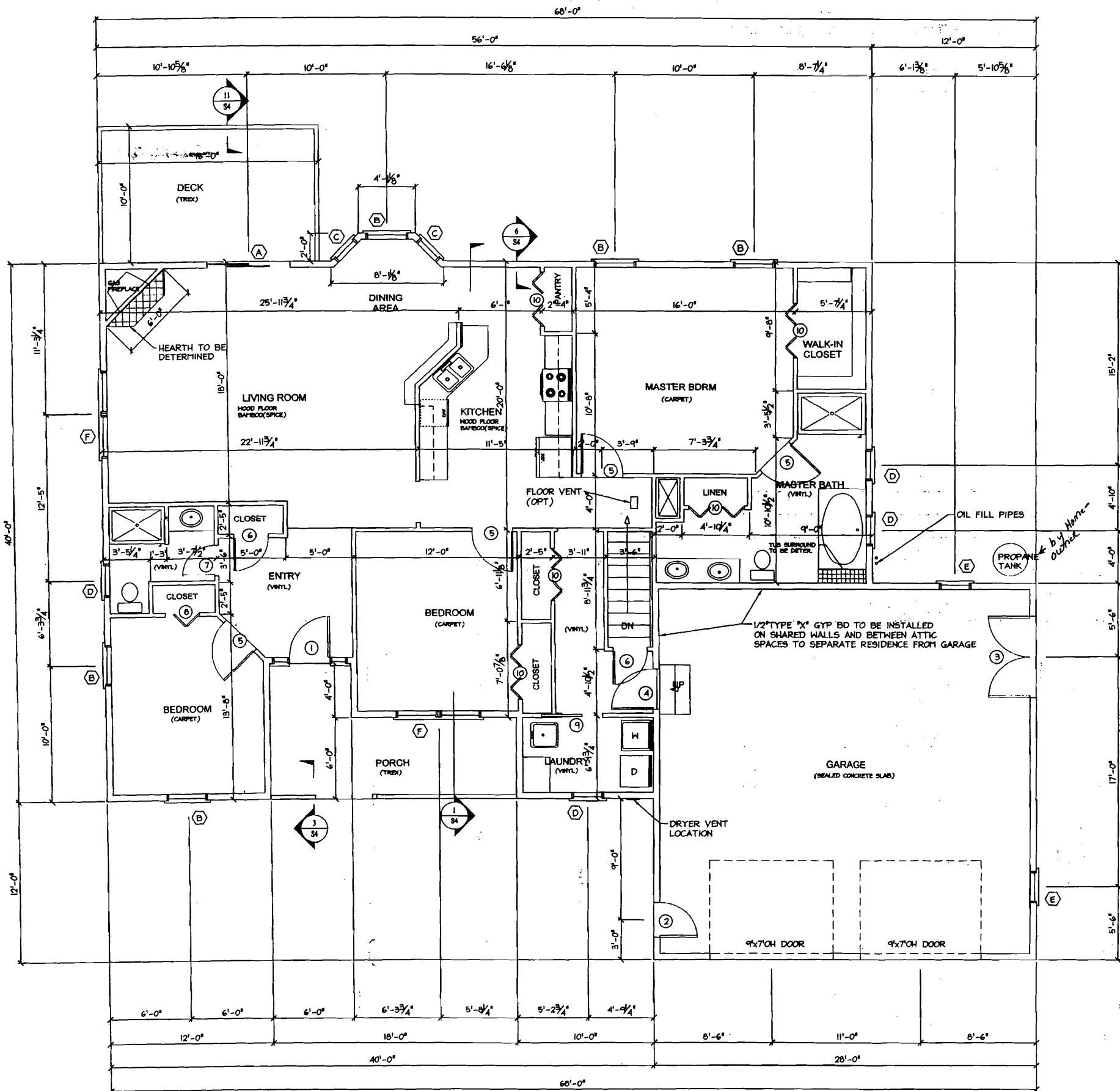
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INDEX OF DRAWINGS

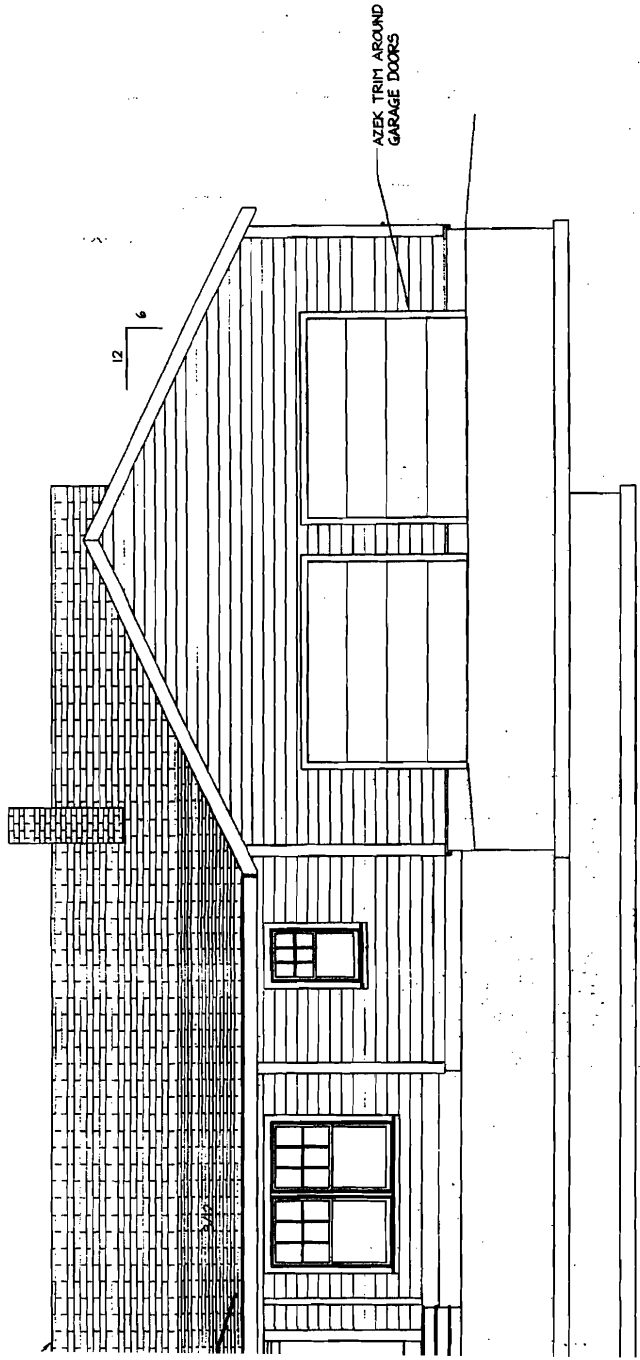
- A-1 FLOOR PLAN
- A-2 EXTERIOR ELEVATIONS A & B
- A-3 EXTERIOR ELEVATIONS C & D
- A-4 CROSS SECTION
- S-1 NOTES
- S-2 FOUNDATION/FLOOR FRAMING PLAN
- S-3 ROOF FRAMING PLAN
- S-4 FRAMING AND FOUNDATION DETAILS
- E-1 FIRST FLOOR ELECTRICAL PLAN
- E-2 BASEMENT ELECTRICAL PLAN



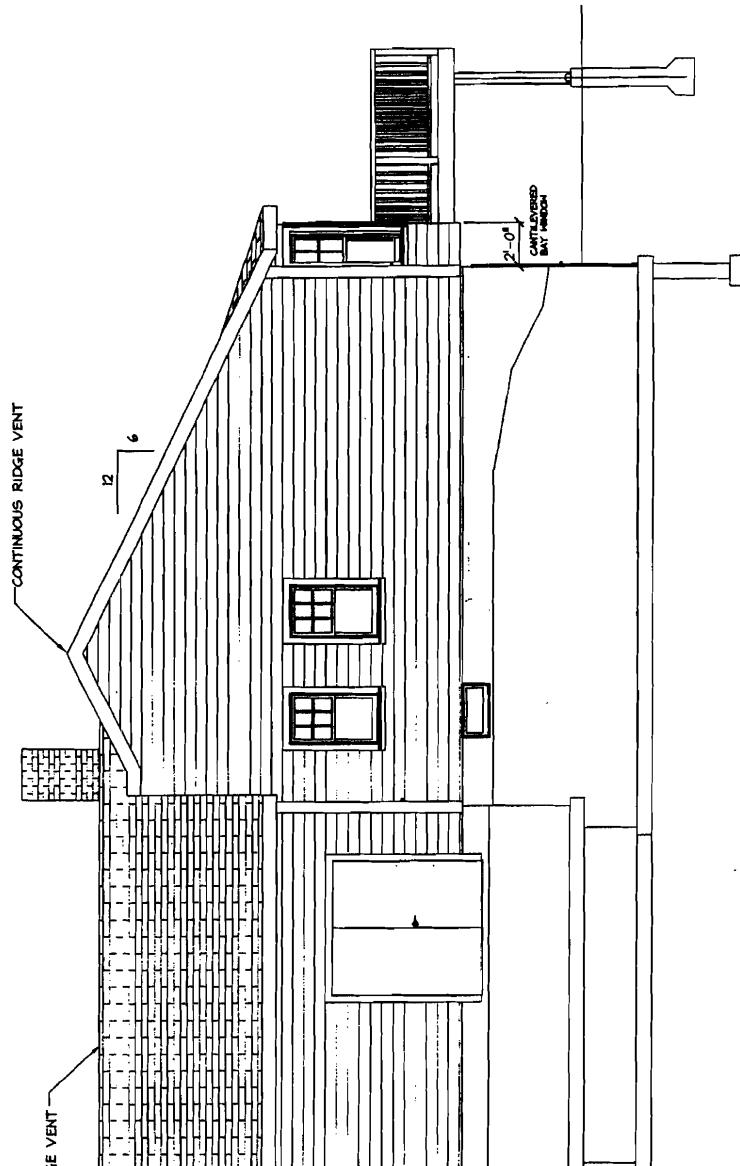


**FIRST FLOOR PLAN**

SCALE: 1/4" = 1'-0"



**ELEVATION A**  
SCALE: 1/4" = 1'-0"



**ELEVATION B**  
SCALE: 1/4" = 1'-0"

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SHEET TITLE:  
EXTERIOR  
ELEVATIONS  
A & B

A2 OF 10

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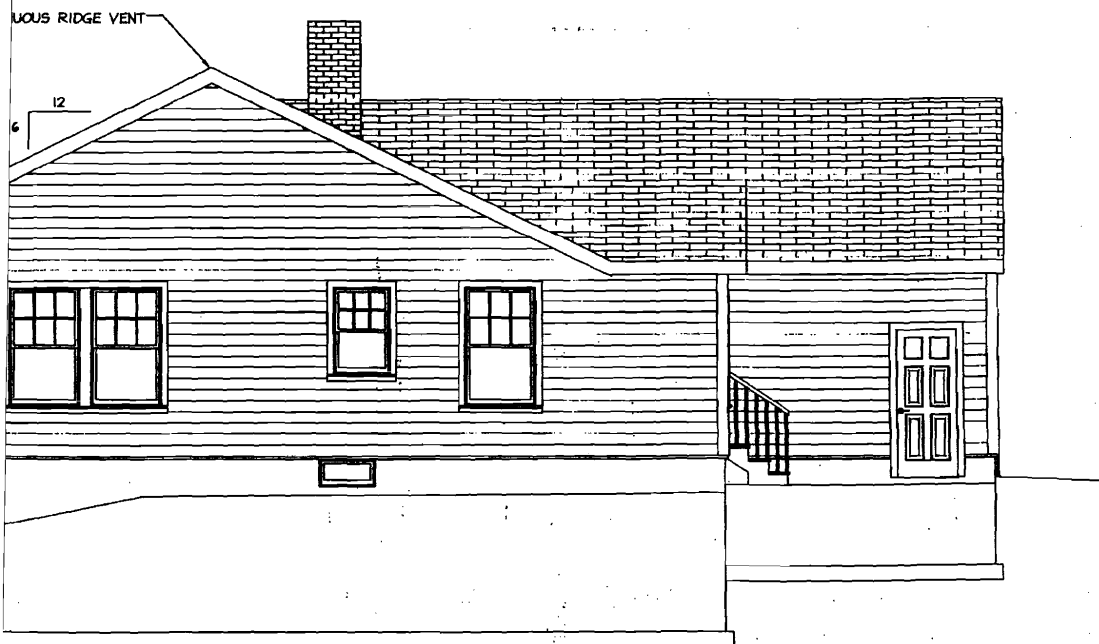
SHEET TITLE:

EXTERIOR  
ELEVATIONS  
C & D

A3 OF 10



ELEVATION C  
SCALE: 1/4" = 1'-0"



ELEVATION D  
SCALE: 1/4" = 1'-0"

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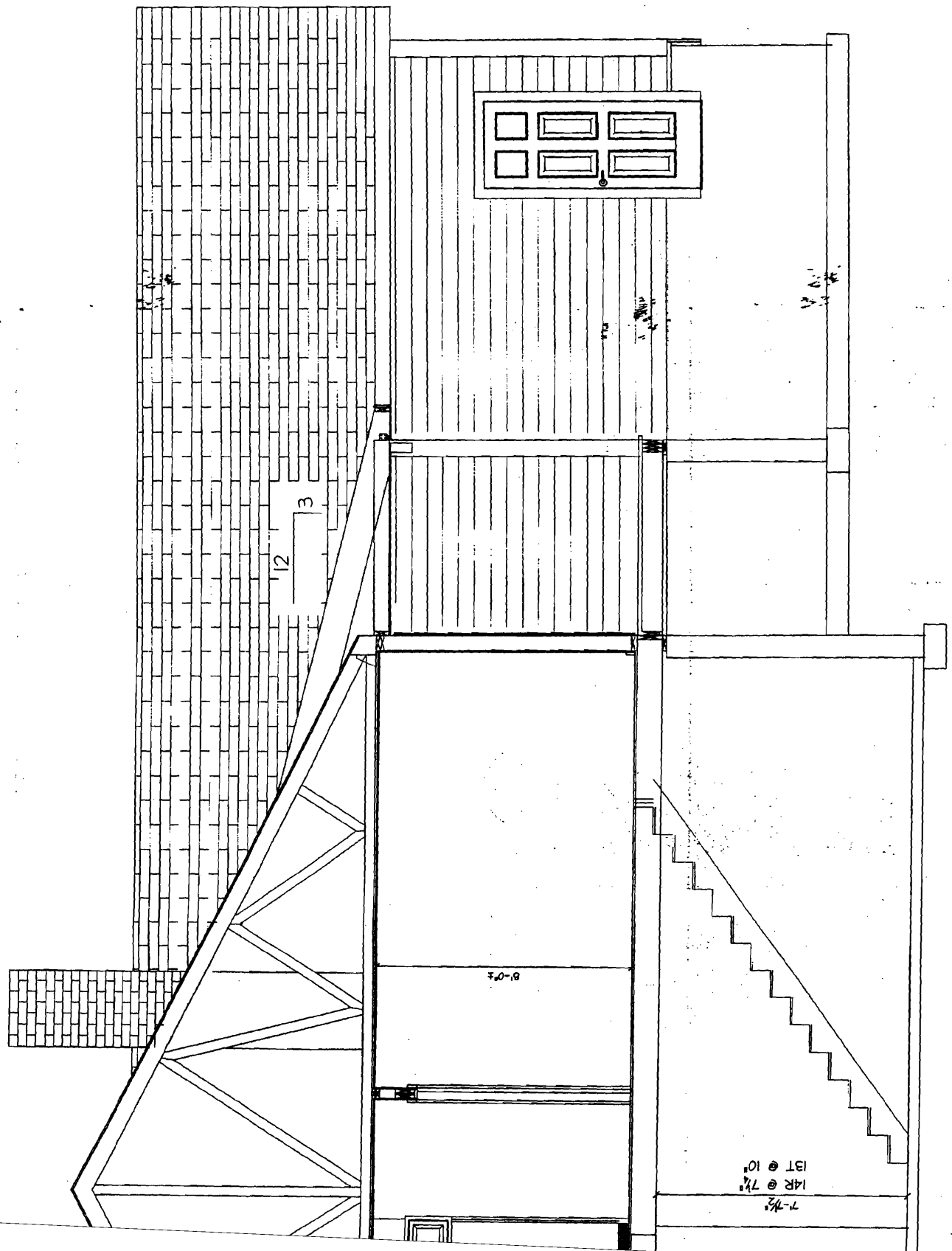


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 PROJ. NO.: 2006-051

SHEET TITLE:  
 CROSS SECTN

A4 OF D



SECTION 1  
 SCALE: 1/2" = 1'-0"  
 A4



**WOOD TRUSS NOTES:**

1. DESIGN CRITERIA FOR ROOF SYSTEM:
  - A. LIVE LOAD (SNOW) = 70 PSF (100 PSF GROUND SNOW LOAD)
  - B. DEAD LOAD  
TOP AND BOTTOM CHORDS = 10 PSF EACH + TRUSS WEIGHT
  - C. WIND LOAD  
PER STRUCTURAL DESIGN CRITERIA
  - D. LOAD COMBINATIONS  
PER THE 1999 BOCA CODE
  - E. ALLOWABLE DEFLECTION = L/360
  - F. PROVIDE BOTTOM CHORD CAMBER EQUAL TO THE TRUSS DEAD LOAD DEFLECTION.
2. DESIGN CRITERIA FOR FLOOR SYSTEM:
  - A. LIVE LOAD = Refer to Structural Design Criteria.
  - B. DEAD LOAD  
TOP AND BOTTOM CHORDS = TOP 10 PSF & BOTTOM 5 PSF + TRUSS WEIGHT
  - C. LOAD COMBINATIONS PER IBC
  - D. ALLOWABLE DEFLECTION = L/360
  - E. PROVIDE BOTTOM CHORD CAMBER EQUAL TO THE TRUSS DEAD LOAD DEFLECTION.
3. MATERIALS:
  - A. STRESS GRADED LUMBER, METAL PLATE CONNECTORS
4. APPLICABLE SPECIFICATIONS:
  - A. NATIONAL DESIGN SPECIFICATIONS FOR STRESS GRADE LUMBER AND ITS FASTENING (NDS).
  - B. MOST RECENT AISC STANDARDS.
  - C. DESIGN SPECIFICATIONS FOR LIGHT METAL PLATE CONNECTED WOOD TRUSSES. TPI LATEST EDITION.
5. BRACING:
  - A. TRUSS MANUFACTURER SHALL SPECIFY ALL BRACING FOR BOTH TEMPORARY CONSTRUCTION LOADING AND FOR PERMANENT LATERAL SUPPORT OF COMPRESSION MEMBERS, AS WELL AS ERECTION PROCEDURES.
  - B. MINIMUM BRACING REQUIREMENTS AND INSTRUCTIONS FURNISHED BY TRUSS MANUFACTURER SHALL INCLUDE AND CONFORM TO HIB-91. FOR TRUSSES OVER 60 FEET, TRUSS MANUFACTURER SHALL PROVIDE BRACING REQUIREMENTS WHERE NOT PROVIDED IN HIB-91.
  - C. ALL TEMPORARY AND PERMANENT BRACING SHALL BE MINIMUM 2X4 SPF No. 2 MATERIAL CONNECTED WITH MINIMUM 2-16d NAILS AT ALL CONNECTIONS, UNLESS OTHERWISE SPECIFIED BY TRUSS MANUFACTURER OR HIB-91.
  - D. THE CONTRACTOR SHALL COMPLY WITH THE "COMMENTARY" AND RECOMMENDATIONS FOR HANDLING, INSTALLING, AND BRACING METAL PLATE CONNECTED WOOD TRUSSES, HIB-91. IT IS THE RESPONSIBILITY OF THE INSTALLER/CONTRACTOR TO PROPERLY RECEIVE, UNLOAD, STORE, HANDLE, INSTALL, AND BRACE TRUSSES TO PROTECT LIFE AND PROPERTY.
6. ALL FABRICATED TRUSSES SHALL RECEIVE THE TPI MARK OF APPROVAL IN ACCORDANCE WITH THE TRUSS PLATE INSTITUTE PROCEDURES.
7. SUBMIT TRUSS SHOP DRAWINGS FOR REVIEW PRIOR TO TRUSS MANUFACTURE.
8. TRUSSES ARE SHOWN WITH 2X4 DIMENSION LUMBER. ANY VARIATIONS SHALL BE NOTED ON THE TRUSS SHOP DRAWINGS AND CLEARLY CALLED OUT TO THE ATTENTION OF THE ENGINEER.
9. ANY VARIATIONS BY THE TRUSS MANUFACTURER FROM THESE DRAWINGS INCLUDING BUT NOT LIMITED TO THE NEED FOR BIRD MOUTHS SHALL BE CLEARLY NOTED ON THE TRUSS DRAWINGS. APPROPRIATE DETAILS SHALL BE PROVIDED, WHICH SHOW SUCH VARIATIONS. ALL VARIATIONS SHALL BE APPROVED BY THE ENGINEER.
10. DESIGN TRUSSES TO MAINTAIN DIMENSIONS AND LOADS SHOWN.

**WOOD FRAMING NOTES:**

1. STRUCTURAL LUMBER: No. 2 SPRUCE PINE FIR OR BETTER.  
Fb = 750 PSI Fv = 70 PSI  
Fc = 475 PSI E = 1100000 PSI
2. DESIGN CODE: NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION BY THE NATIONAL FOREST PRODUCTS ASSOCIATION.
3. FASTENERS: COMPLY WITH RECOMMENDED FASTENING SCHEDULE OF THE BOCA BUILDING CODE, 1996 EDITION, UNLESS SHOWN OTHERWISE ON THE DRAWINGS.
4. NAILING REQUIREMENTS FOR PLYWOOD ROOF DECK:  
PROVIDE 8d NAILS AS FOLLOWS UNLESS SHOWN OTHERWISE:  
8d NAILS @ 4" o.c. ALONG BOUNDARY EDGES  
8d NAILS @ 12" o.c. ALONG INTERMEDIATE MEMBERS
5. SPIKE TOGETHER ALL FRAMING MEMBERS WHICH ARE BUILT-UP USING MULTIPLE 2x LUMBER.
6. PROVIDE GALVANIZED METAL TIES EQUAL TO SIMPSON H2.5 HURRICANE TIES BETWEEN ROOF TRUSSES AND SUPPORTING WALL MEMBERS, UNLESS SHOWN OTHERWISE.
7. PROVIDE PRESSURE TREATED LUMBER FOR ALL LUMBER IN CONTACT WITH MASONRY OR CONCRETE.
8. ROOF SHEATHING: 5/8" APA RATED SHEATHING, EXTERIOR OR STRUCTURAL I OR II RATED SHEATHING, SPAN RATING 32/16. INSTALL SHEETS WITH FACE GRAIN DIRECTION PERPENDICULAR TO SUPPORTING MEMBERS.
9. WALL SHEATHING: 1/2" APA RATED SHEATHING, EXTERIOR OR STRUCTURAL I OR II RATED SHEATHING, SPAN RATING 32/16. INSTALL SHEETS WITH FACE GRAIN DIRECTION PERPENDICULAR TO SUPPORTING MEMBERS.
10. NAILING REQUIREMENTS FOR EXTERIOR WALL SHEATHING:  
PROVIDE 8d NAILS AS FOLLOWS UNLESS SHOWN OTHERWISE:  
8d NAILS @ 4" o.c. ALONG BOUNDARY EDGES  
8d NAILS @ 12" o.c. ALONG INTERMEDIATE MEMBERS

**CONCRETE NOTES:**

1. ALL CONCRETE WORK SHALL CONFORM TO ACI-318.
2. CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS SHALL BE 3000 PSI AT FOUNDATION WALLS AND FOOTINGS, 4000 PSI AT ELEVATED FLOOR SLABS, MAXIMUM SIZE AGGREGATE SHALL BE 3/4". WATER CEMENT RATIO = .45 MAX
3. CONCRETE TO REMAIN EXPOSED TO WEATHER SHALL BE AIR ENTRAINED.
4. CONCRETE SHALL NOT BE PLACED IN WATER OR ON FROZEN GROUND.
5. REINFORCING BARS SHALL CONFORM TO ASTM A615 GRADE 60. DEFORMED BARS SHALL BE DETAILED AND FABRICATED IN ACCORDANCE TO ACI-315 LATEST EDITION, AND PLACED IN ACCORDANCE WITH ACI-318.
6. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185 AND BE PROVIDED IN FLAT SHEETS.
7. SPLICES OF REINFORCING BARS SHALL BE IN ACCORDANCE WITH ACI-318. SPLICES OF WWF SHALL BE 6" MINIMUM.
8. ANCHOR BOLTS SHALL CONFORM TO ASTM A307.
9. HOOKS NOT DIMENSIONED SHALL BE ACI STANDARD HOOKS.
10. CONCRETE COVER OVER REINFORCEMENT SHALL BE AS FOLLOWS:
 

CONCRETE CAST AGAINST EARTH	= 3"
CONCRETE EXPOSED TO EARTH OR WEATHER	= 1 1/2"
CONCRETE NOT EXPOSED TO EARTH OR WEATHER	= 3/4"
11. SUBMIT COMPLETE REBAR SHOP DRAWINGS AND SCHEDULES SHOWING ALL DETAILS AND ELEVATIONS PRIOR TO ANY FABRICATION.

**GENERAL SYSTEMS SPECIFICATIONS:****FLOOR SYSTEM**

JOISTS AS INDICATED  
BRIDGING AT CENTER  
2X6 FT SILL W/ SEALER  
3/4" T&G ADVANTEC SUBFLOOR

**EXTERIOR WALLS**

2X6 STUDS AS INDICATED  
1/2" CDX SHEATHING OR EQUIVALENT  
AIR INFILTRATION WRAP  
VAPOR BARRIER  
SIDING - VINYL AS INDICATED

**INTERIOR WALLS**

2X4 STUDS AT 16" OC  
1/2" GYPBOARD AS INDICATED  
1/2" MOISTURE RESISTANT GYPBOARD  
IN BATHROOMS

**ROOF SYSTEM**

RAFTERS/TRUSSES AS INDICATED  
5/8" CDX SHEATHING AS INDICATED  
15# UNDERLAYMENT  
ICE SHIELD AT EAVES/VALLEYS  
24# SHINGLES AS INDICATED

**HEATING SYSTEM**

OIL FIRED CAST IRON BOILER  
BURNHAM (V8 SERIES) OR EQUIVALENT  
FORCED HOT WATER BASEBOARD SYSTEM  
TO INCLUDE DOMESTIC HOT WATER  
275 GAL. VERTICAL OIL TANK  
TO BE LOCATED AS INDICATED  
ALL NECESSARY CIRCULATORS, THERMOSTATS  
AND CONTROLS TO RENDER 70 DEGREES  
AT MINUS 20 DEGREE WEATHER

**PLUMBING**

ALL PLUMBING SHALL MEET OR EXCEED  
LOCAL AND STATE CODES  
ALL WATER LINES FROM METER  
SHALL BE TYPE M COPPER OR PEX  
DRAINS, TRAPS AND VENTS SHALL BE PVC  
PROVIDE TWO(2) EXTERIOR HOSE BIBS  
ALL FIXTURES, FAUCETS TO BE APPROVED  
BY OWNER  
GAS HOOKUPS FOR FIREPLACE AND RANGE TO BE  
ARRANGED BY OWNER

**MASONRY**

CHIMNEY SHALL BE DOUBLE FLUE  
STANDARD BLOCK CONSTRUCTION  
STANDARD BRICK ABOVE ROOF LINE

**INSULATION**

EXTERIOR WALLS R-19  
ATTIC CAP R-38  
SILLS R-19  
FROST WALL 2" RIGID XPS

**VENTILATION**

SOFFIT - 2" CONT STRIP  
RIDGES - CONT SHINGLE VENT  
CIRCULATION VENTS BETWEEN  
ROOF FRAMING MEMBERS

**BEAMS/HEADERS**

3-2X6 MAX. 36" SPAN  
3-2X8 MAX. 54" SPAN  
3-2X10 MAX. 72" SPAN  
3-2X12 MAX. 88" SPAN  
BEAMS AS INDICATED  
MIN. 4" BEARING ALL BEAMS

**INTERIOR FINISHES**

1/2" GYPBOARD PAINTED AS INDICATED  
1/2" AT WALLS/CEILINGS  
FLOORING AS INDICATED  
INTERIOR TRIM- MDF, PAINTED  
CLOSETS - PROVIDE ROD & 1 SHELF (TYP)  
PANTRY - PROVIDE FULL HEIGHT SHELVING

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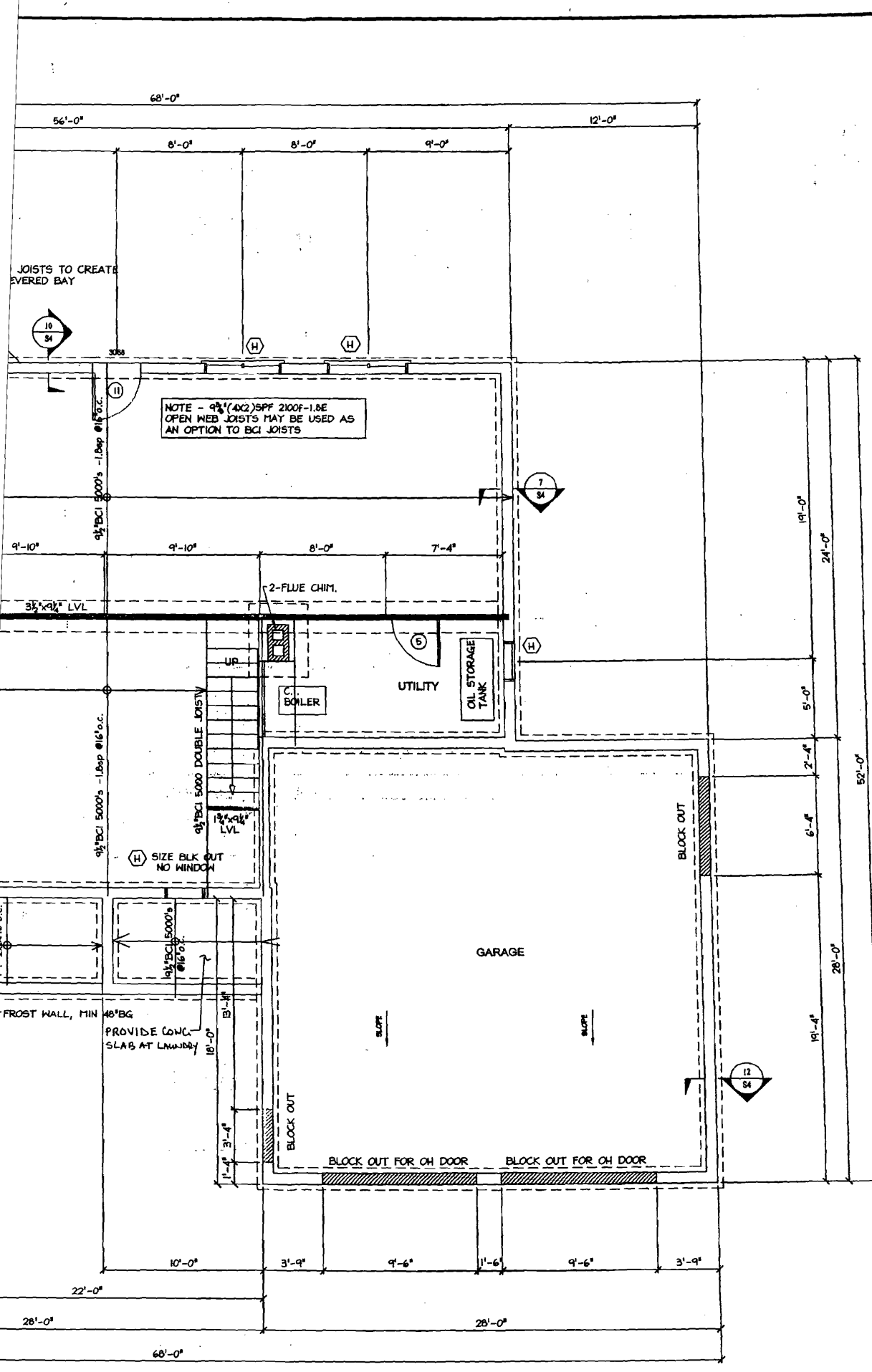
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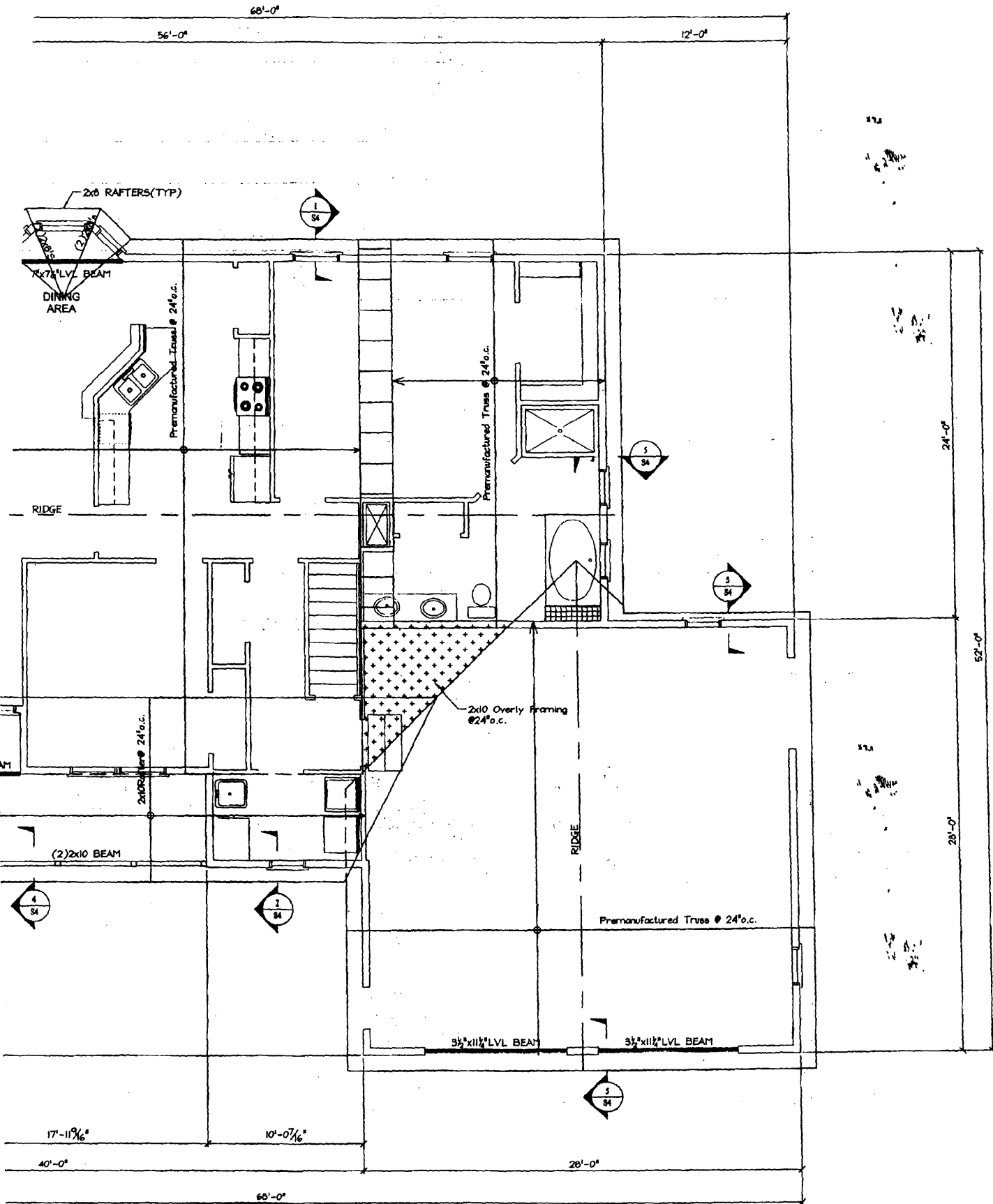
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 FOUNDATION  
 PLAN

S2 OF 10

FOUNDATION/FLOOR FRAMING PLAN  
 SCALE: 1/4" = 1'-0"



**ROOF FRAMING PLAN**

SCALE: 1/8" = 1'-0"

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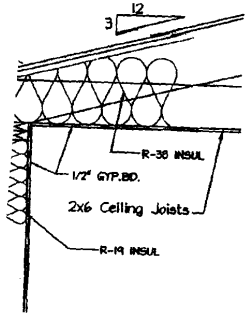
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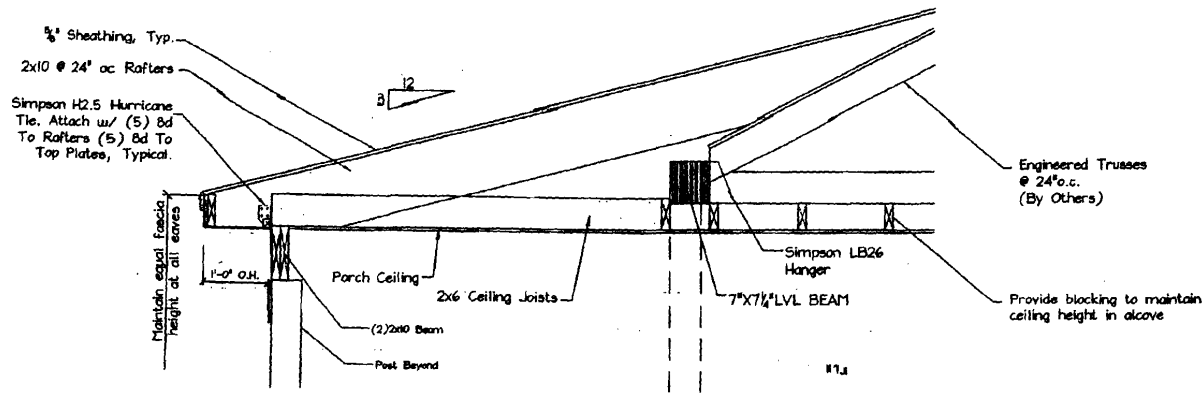
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PLAN

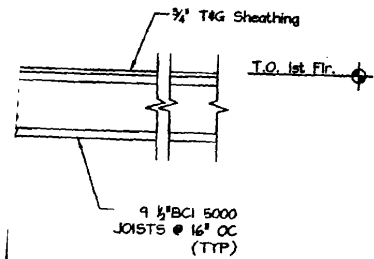
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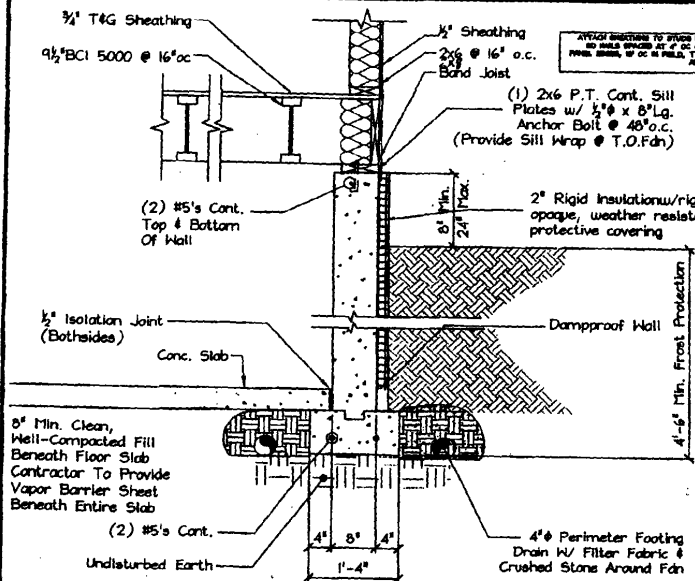
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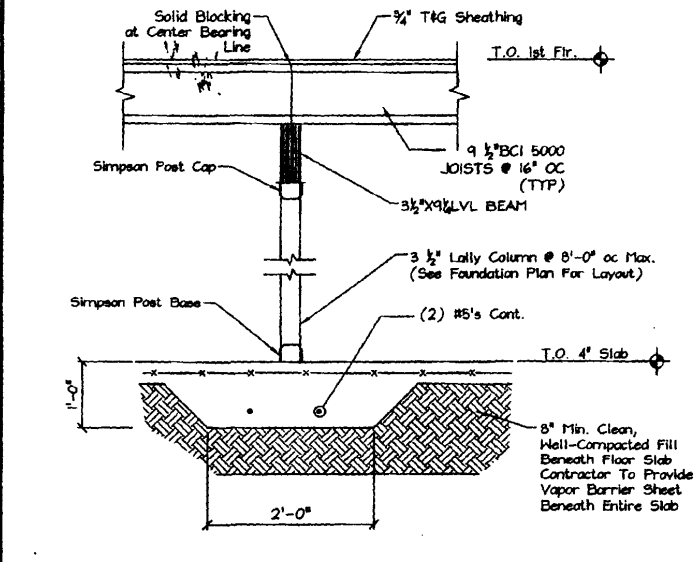
SECTION 3 THROUGH PORCH AT ALCOVE  
SIMILAR AT DINING BAY  
SCALE: 3/4" = 1'-0"



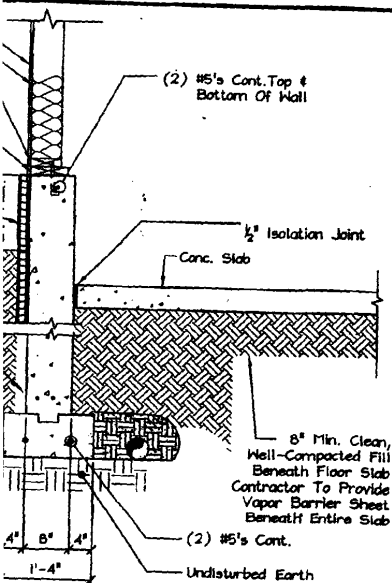
WALL AT EXTERIOR WALL - DAYLIGHT BSMT WALL



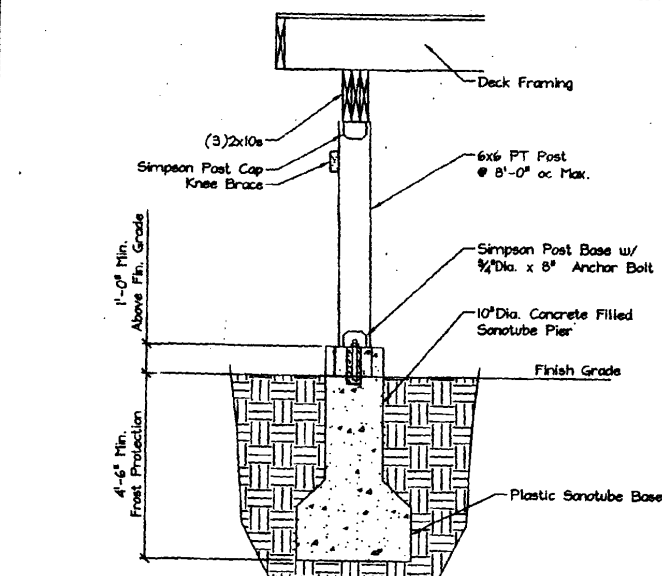
SECTION 7 TYPICAL EXTERIOR FOUNDATION WALL  
SCALE: 3/4" = 1'-0"



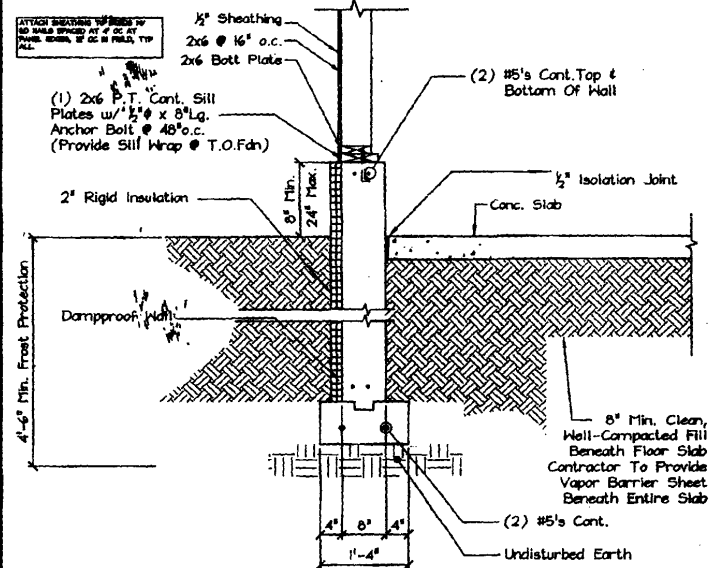
SECTION 8 TYPICAL INTERIOR BEARING WALL  
SCALE: 3/4" = 1'-0"



FOUNDATION WALL AT STEP DOWN WALL



SECTION 11 TYPICAL EXTERIOR DECK DETAIL  
SCALE: 3/4" = 1'-0"



SECTION 12 FOUNDATION AT GARAGE  
SCALE: 3/4" = 1'-0"

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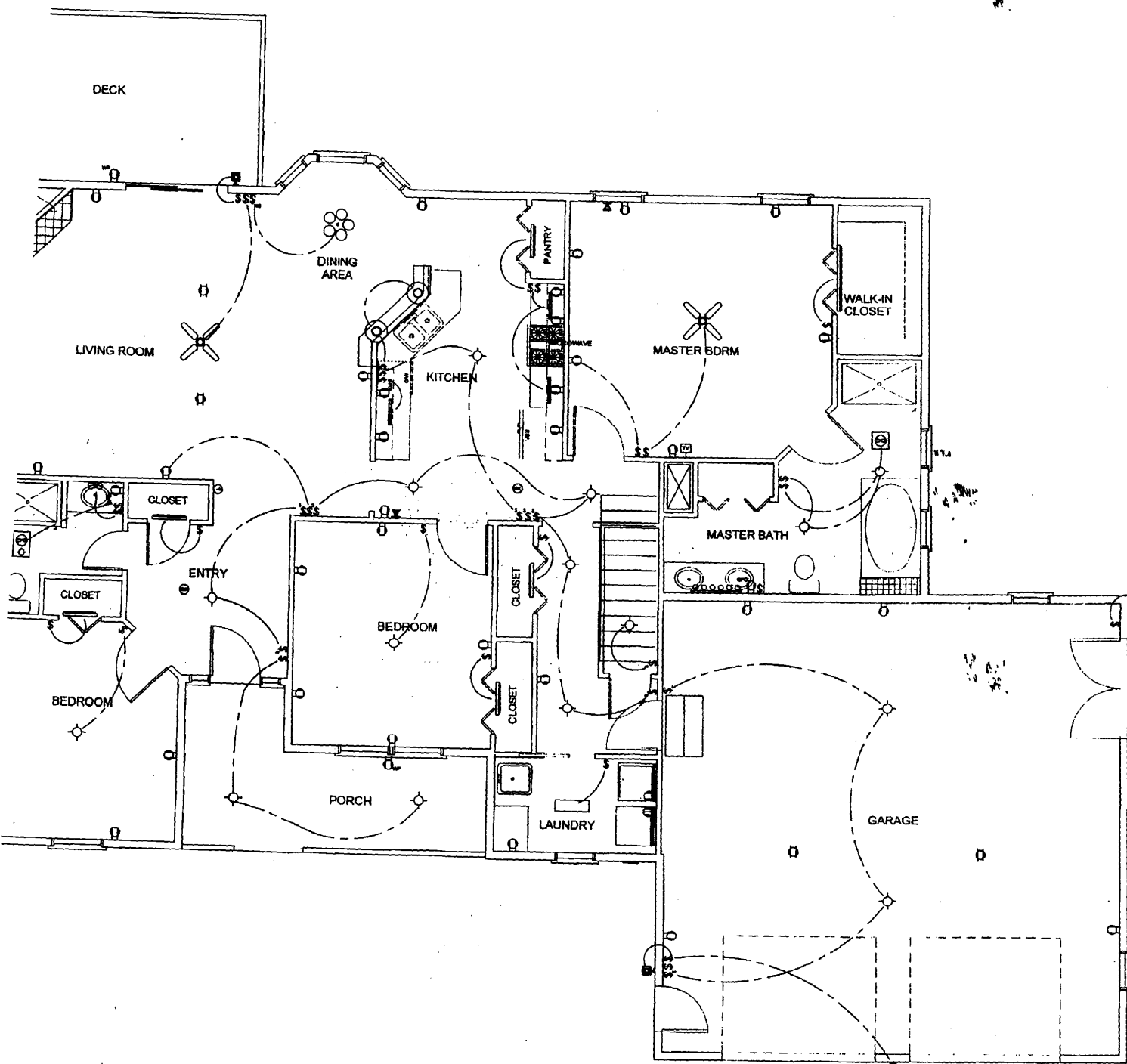
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DETAILS

S4 OF 10



**ELECTRICAL PLAN**  
SCALE: 1/4" = 1'-0"

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PROJ. NO: 2006-049

SHEET TITLE:

FIRST FLOOR  
ELECTRICAL PLAN

E1 OF 10

