

THIS HOME HAS BEEN DESIGNED SPECIFICALLY FOR:

BARTON

83 WELLWOOD DRIVE
PORTLAND, ME
CUMBERLAND COUNTY

BUILDER:

MARTIN'S COUNTRY HOMES

THIS IS DESIGNED AS A SINGLE FAMILY DWELLING WITH AN IN-LAW SUITE,
NOT USED FOR ANY OTHER USE



Rick
Wenner
PFS 2014.05.1
5
11:45:04
-04'00'

PFS CORPORATION
Approval Limited to Factory Built Portion Only
State: Maine Male
Signature: Rick Wenner
Title: Staff Engineer
Date: 5/15/14

SITE CONDITIONS:
GROUND SNOW LOAD: 80 PSF
WIND SPEED: LESS THAN 100 MPH
EXPOSURE: C
SEISMO CATEGORY: C
USE GROUP: SINGLE FAMILY
CONSTRUCTION TYPE: VB WOOD FRAME UNPROTECTED

SQUARE FOOTAGE:
FIRST FLOOR: 1,728 SQ. FT.
SECOND FLOOR: 1,104 SQ. FT.
GARAGE STORAGE 2ND STORY: 837 SQ. FT.
GARAGE: 80 SQ. FT.
TOTAL: 3,498 SQ. FT.
FIRST FLOOR w/ FOUNDATION: 1,880 SQ. FT.
GARAGE: 814 SQ. FT.
TOTAL FOOT PRINT OF FOUNDATION: 2,694 SQ. FT.
OVERALL SIZE: 28'-0" x 43'-0" x 43'-0" x 28'-0"
MODEL: CUSTOM

PTLR 31217 STATE ME
DPO ME DM DMD
excel
HOMES
WWW.EXCELHOMES.COM
300 CORPORATE CENTER DR
SUITE 801
CAMP HILL, PA 17011

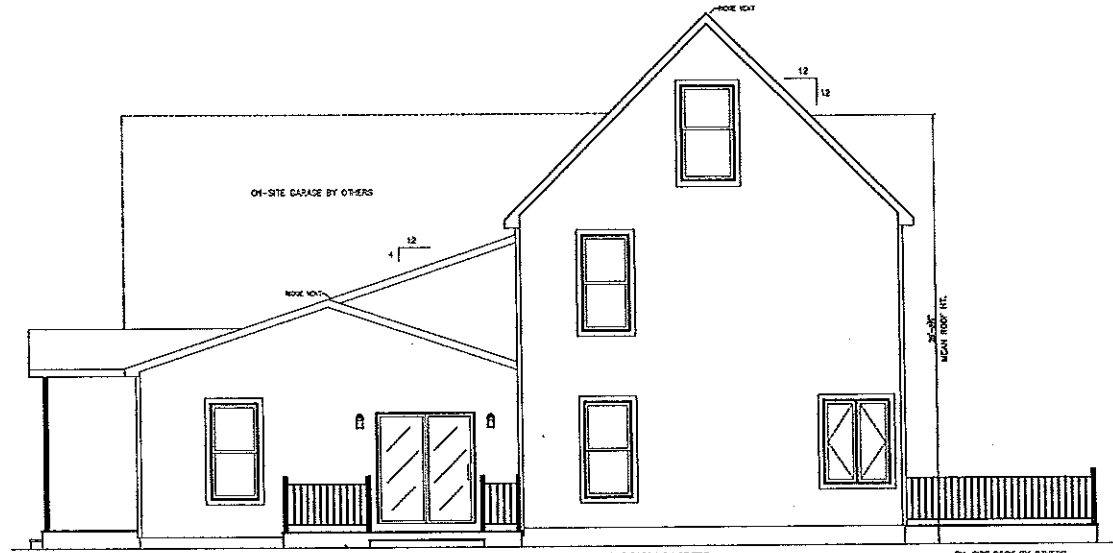
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MARTIN'S COUNTRY HOMES
CUSTOMER PROJECT:
BARTON

DATE: 04-14-14
BY: [Signature]
DESCRIPTION: [Blank]
APPROVAL STAMP: [Blank]

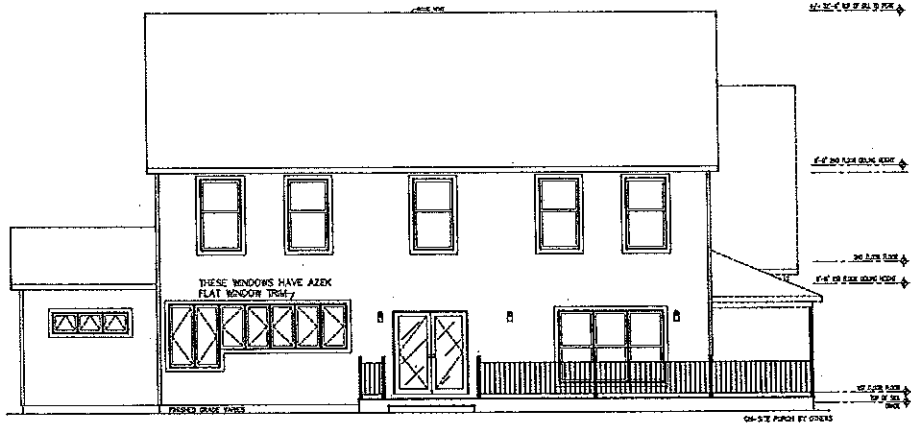
DRAWING TITLE
COVER SHEET

SCALE: 1/4"=1'-0"
SHEET: 1

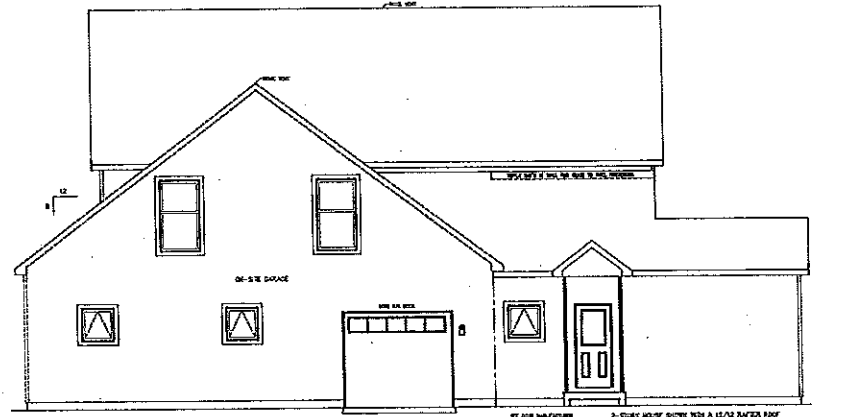


2-STORY HOUSE SHOWN WITH A 12/12 RAFTER ROOF
 ON-SITE GARAGE SHOWN WITH 10' WALLS AND A 6/12 RAFTER ROOF
 REAR SINGLE STORY ADDITION SHOWN WITH 8' WALLS AND 4/12 RAFTER ROOF

REAR ELEVATION
 1/4"=1'-0"



LEFT ELEVATION
 3/16"=1'-0"



RIGHT ELEVATION
 3/16"=1'-0"

NOTES:
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 500 CORPORATE CENTER DR
 SUITE 602
 CAMP HILL, PA 17011

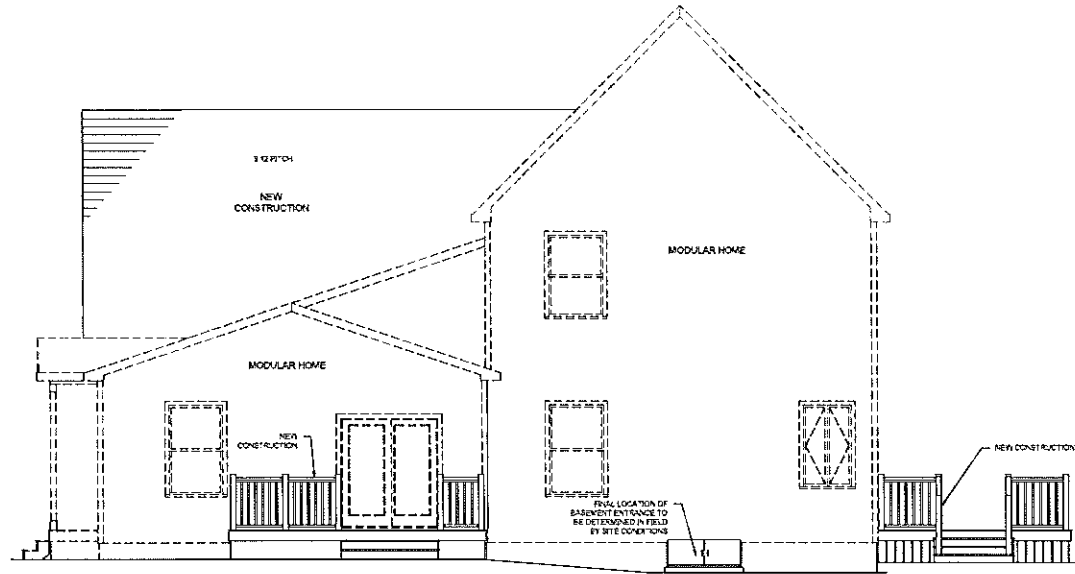
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MARTINS COUNTY HOMES
 CUSTOMER PRODUCT
 BARTON

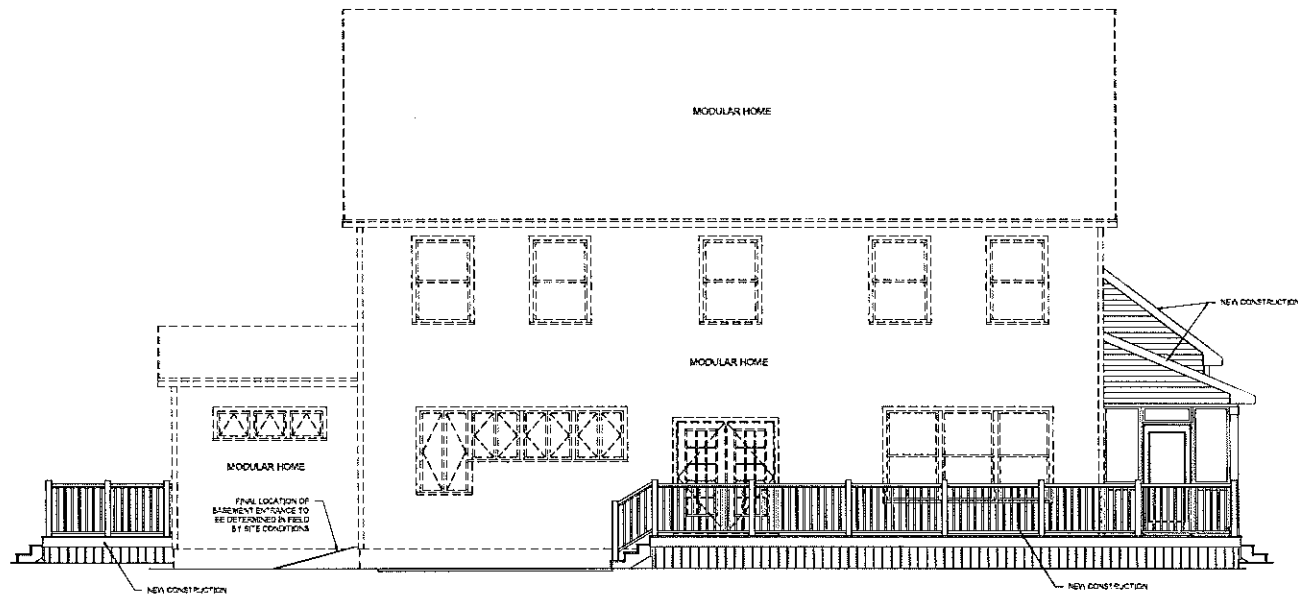
PPS Corporation
 Northeast Region
APPROVED
 R Wenner - 1
 5/16/14
 Approved Subject to
 Factory B-BI Factors

DRAWING TITLE
ELEVATIONS
 SCALE AS NOTED SHEET 2

CONSTRUCTION NOTE:
 CONTRACTOR IS TO VERIFY GRADE AND ALL DIMENSIONS
 IN FIELD BEFORE CONSTRUCTION.



2 NORTH ELEVATION
 1/2" = 1'-0"



1 WEST ELEVATION
 1/2" = 1'-0"



CONTACT
REID TOZIER
 DRAFTING
 (207) 638-4927
 reidtozier@gmail.com

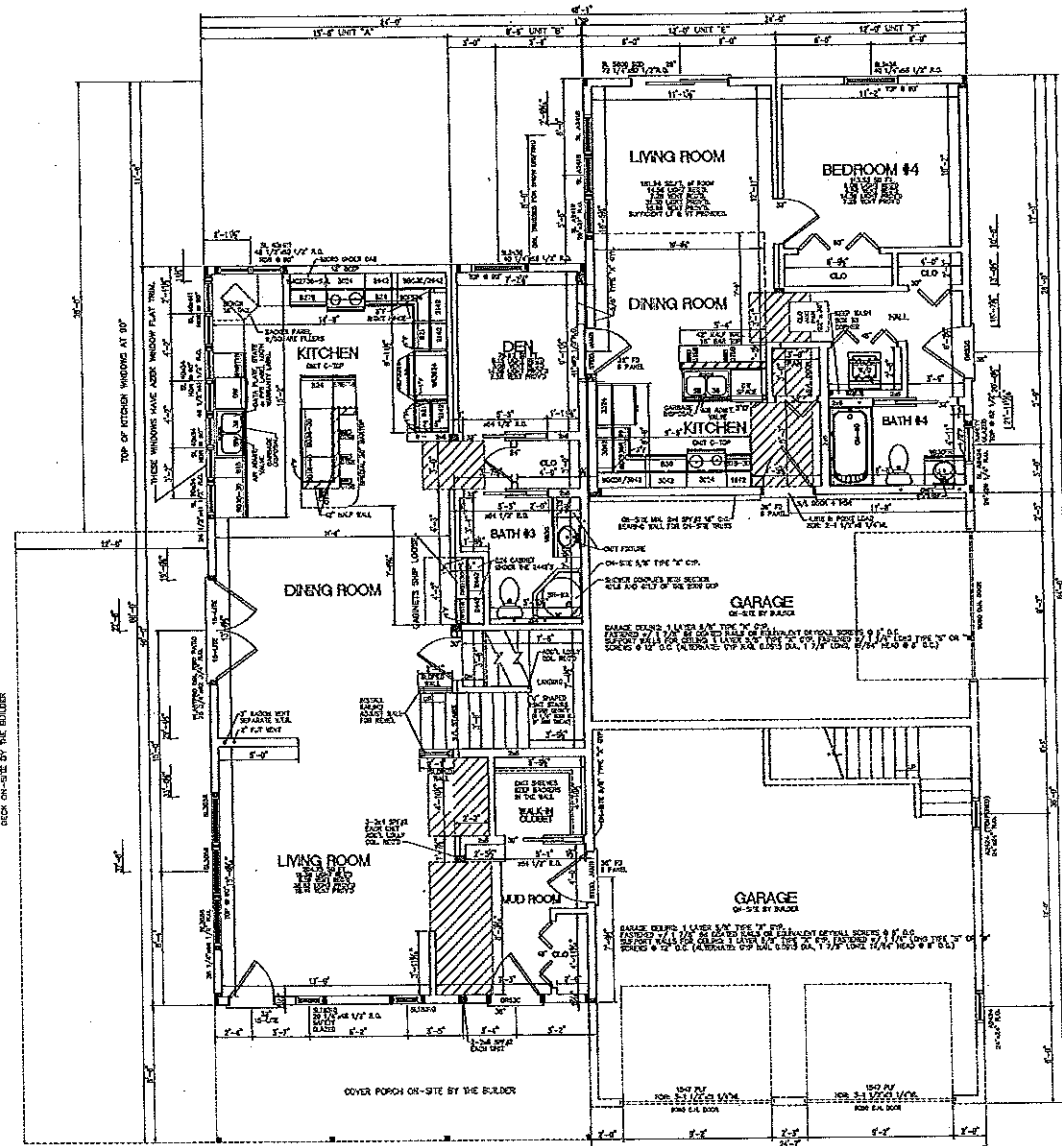
BARTON HOME
 83 WELLMOOD RD
 PORTLAND, MAINE

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REVISIONS	
DATE	MAY 5, 2014
PROJECT No.	
DRAWN BY	
CHECKED BY	
SCALE	AS NOTED
SHEET TITLE	
NORTH AND WEST ELEVATIONS	

A2-1

THIS IS DESIGNED AS A SINGLE FAMILY DWELLING WITH AN IN-LAW SUITE,
NOT TO BE USED AS ANY OTHER USE



MAJOR ENERGY SPECIFICATION TABLES

MEMBER	U-VALUE	NOTES
CEILING	R-13	EXTRUSION DOORS
ROOF/CEILING	R-30	SPECIALTY DOORS
WALLS	R-13	WOODS
FLOORS	R-9	SCREENS

NOTE TO BE FULLY DETAIL SPECIFIED. BLDG IS RESPONSIBLE TO PROVIDE A WEATHER STRIP ON THE 1/2" DOOR FOR THE MAIN ENTRY. THE BLDG IS ALSO REQUIRED TO PROVIDE A WEATHER STRIP ON ALL OTHER DOORS AS REQUIRED. THIS TO PROVIDE A WEATHER STRIP ON ALL DOORS AND TO BE INSTALLED IN THE GAPS OF ALL SCREENS AND ENCLOSURES.

ADDITIONAL MAJOR REQUIREMENTS

- 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 IBC.
- 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 IBC.
- 3. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 IBC.

FOR THE STATE OF MICHIGAN, FOR BLDG'S DESIGN FROM 7'-0" TO 8'-0" HEIGHT, STAIRS ARE A COMPONENT OF THE DESIGN WITH A MINIMUM CLEARANCE OF 8'-0" IN THE CLEAR. THE STAIRS SHALL BE PROVIDED ON ALL FLOORS WITH MINIMUM CLEARANCE OF 8'-0" IN THE CLEAR.

ALL WORK SHALL BE PROVIDED WITH A SEPARATE ONE-WAY WITH A MINIMUM OF ONE (1) INCH. EACH BROWSHOOD WILL BE EXPOSED WITH A MINIMUM CLEARANCE OF 8'-0" IN THE CLEAR. THE STAIRS SHALL BE PROVIDED FOR STAIRS IN A MINIMUM CLEARANCE OF 8'-0" IN THE CLEAR. ALL STAIRS SHALL BE PROVIDED TO BE INSTALLED TO THE DESIGN.

FOR EACH ROOM REQUIREMENTS, THE DESIGN SHALL BE A MINIMUM OF 8'-0" IN THE CLEAR AND HAVE A MINIMUM OF 2' CLEARANCE CLEARANCE FOR COMPLIANCE.

MAJOR

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 IBC.

2. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 IBC.

3. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 IBC.

- NOTES:**
1. ALL WALLS @ 16" O.C./24" MASS WALLS @ 16" O.C.
 2. ALL FLOOR JOISTS @ 16" O.C. (17" O.C. UNIT "A")
 3. ALL ROOFING TO BE 1/2" CD.
 4. ALL ROOFING TO BE 1/2" CD.
 5. ALL ROOFING TO BE 1/2" CD.
 6. ALL ROOFING TO BE 1/2" CD.
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 17. ALL ROOFING TO BE 1/2" CD.
 18. ALL ROOFING TO BE 1/2" CD.
 19. ALL ROOFING TO BE 1/2" CD.
 20. ALL ROOFING TO BE 1/2" CD.

PTL# 31217 STATE ME
C/O B.M. D.M. C.D.

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MARTINS COUNTY HOMES
BARTON

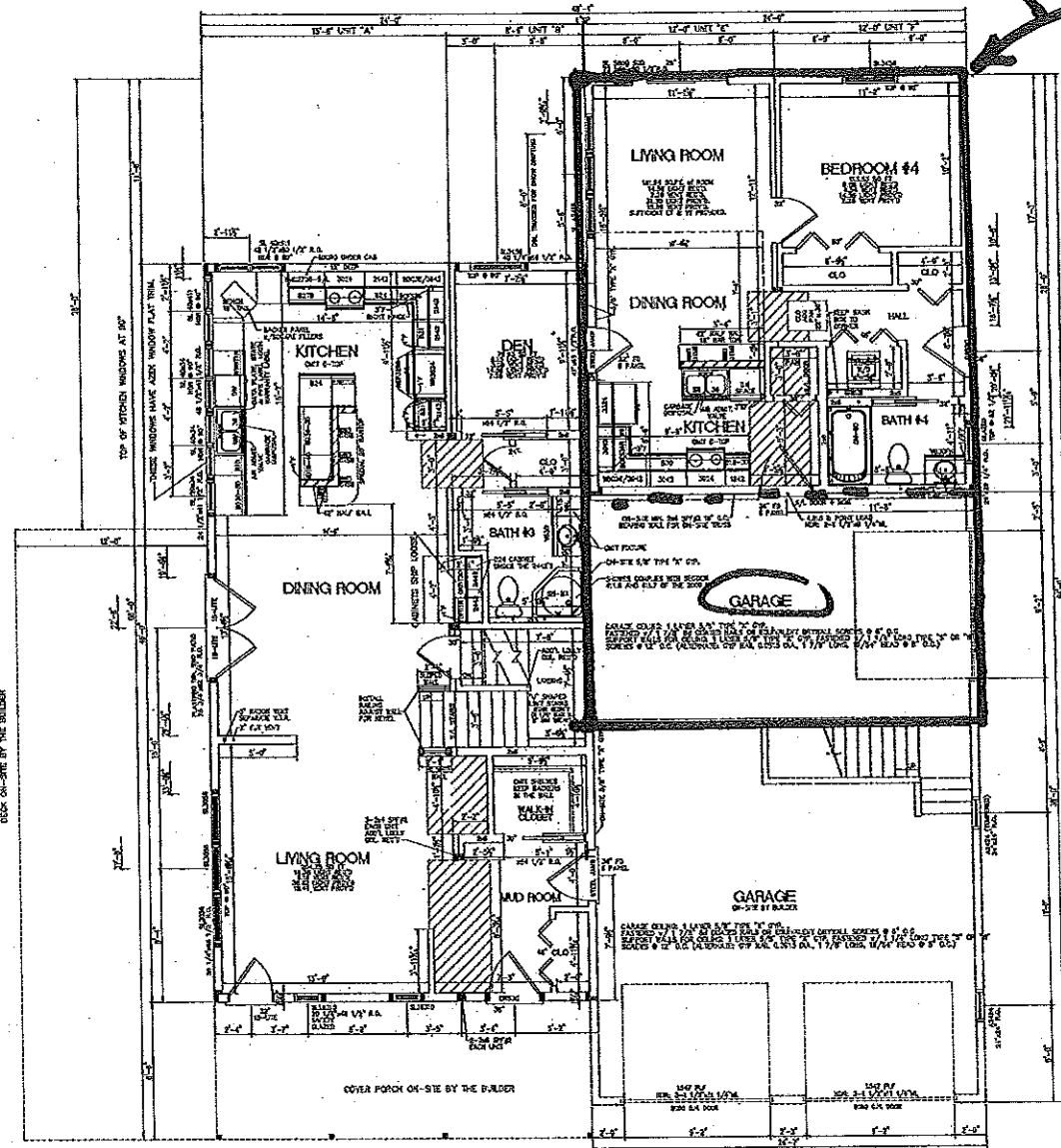
PFS Corporation
Northeast Region
APPROVED
R. Wanner - 1
5/15/14
Approved for use by
Fidelity Real Estate

DRAWING TITLE
FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"
SHEET: 3

THIS IS DESIGNED AS A SINGLE FAMILY DWELLING WITH AN IN-LAW SUITE,
NOT TO BE USED AS ANY OTHER USE

24' x 26'
624
sq. ft.
22% of
Total sq. ft.



MAJOR ENERGY SPECIFICATION TABLES

MEASUREMENT	MINIMUM VALUE	MAXIMUM VALUE	
CEILING	R-35	EXTERIOR DOORS	.35
ROOF/CEILING	R-38	SPECIALTY DOORS	.45
WALLS	R-13	WINDOWS	.25
FLOORS	R-25	SKYLIGHTS	.80

NOTE: TO BE MET OR EXCEEDED UNLESS OTHERWISE SPECIFIED. OWNER IS RESPONSIBLE TO OBTAIN A PERMIT FROM THE LOCAL JURISDICTION FOR THE PERMITS FOR THE WORK SHOWN ON THIS PLAN. THE OWNER IS RESPONSIBLE TO OBTAIN A PERMIT FROM THE LOCAL JURISDICTION FOR THE PERMITS FOR THE WORK SHOWN ON THIS PLAN. THE OWNER IS RESPONSIBLE TO OBTAIN A PERMIT FROM THE LOCAL JURISDICTION FOR THE PERMITS FOR THE WORK SHOWN ON THIS PLAN.

ADDITIONAL MAJOR REQUIREMENTS

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF ANNAPOLIS BUILDING CODE. THE CITY OF ANNAPOLIS BUILDING CODE IS INCORPORATED BY REFERENCE INTO THIS PLAN. THE OWNER IS RESPONSIBLE TO OBTAIN A PERMIT FROM THE LOCAL JURISDICTION FOR THE PERMITS FOR THE WORK SHOWN ON THIS PLAN.

2. FOR THE PURPOSE OF THIS PLAN, THE MINIMUM HEIGHT FOR THE ROOF SHALL BE 10'-0" AT THE GABLE ENDS AND 8'-0" AT THE RIDGE. THE ROOF SHALL BE PROVIDED ON ALL TROUGS WITH A MINIMUM SLOPE OF 1/4" PER FOOT.

3. ROOFING SHALL BE PROVIDED WITH A SEPARATE FINISH WITH A MINIMUM RAINFALL RATE OF 1.5" PER HOUR. THE ROOFING SHALL BE PROVIDED WITH A MINIMUM RAINFALL RATE OF 1.5" PER HOUR. THE ROOFING SHALL BE PROVIDED WITH A MINIMUM RAINFALL RATE OF 1.5" PER HOUR.

4. FOR THE PURPOSE OF THIS PLAN, THE MINIMUM HEIGHT FOR THE ROOF SHALL BE 10'-0" AT THE GABLE ENDS AND 8'-0" AT THE RIDGE. THE ROOF SHALL BE PROVIDED ON ALL TROUGS WITH A MINIMUM SLOPE OF 1/4" PER FOOT.

- NOTES:**
1. ALL EXTERIOR WALLS @ 15" O.C. / 24" MASS WALLS @ 15" O.C.
 2. ALL INTERIOR WALLS @ 12" O.C. / 12" O.C. UNIT "A"
 3. ALL FLOOR JOISTS @ 16" O.C. / 12" O.C. UNIT "A"
 4. ALL ROOFING SHALL BE IN ACCORDANCE WITH THE CITY OF ANNAPOLIS BUILDING CODE.
 5. ALL ROOFING SHALL BE PROVIDED WITH A SEPARATE FINISH WITH A MINIMUM RAINFALL RATE OF 1.5" PER HOUR.
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 14. ALL ROOFING SHALL BE PROVIDED WITH A MINIMUM RAINFALL RATE OF 1.5" PER HOUR.
 15. ALL ROOFING SHALL BE PROVIDED WITH A MINIMUM RAINFALL RATE OF 1.5" PER HOUR.

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MARTINS COUNTY HOMES

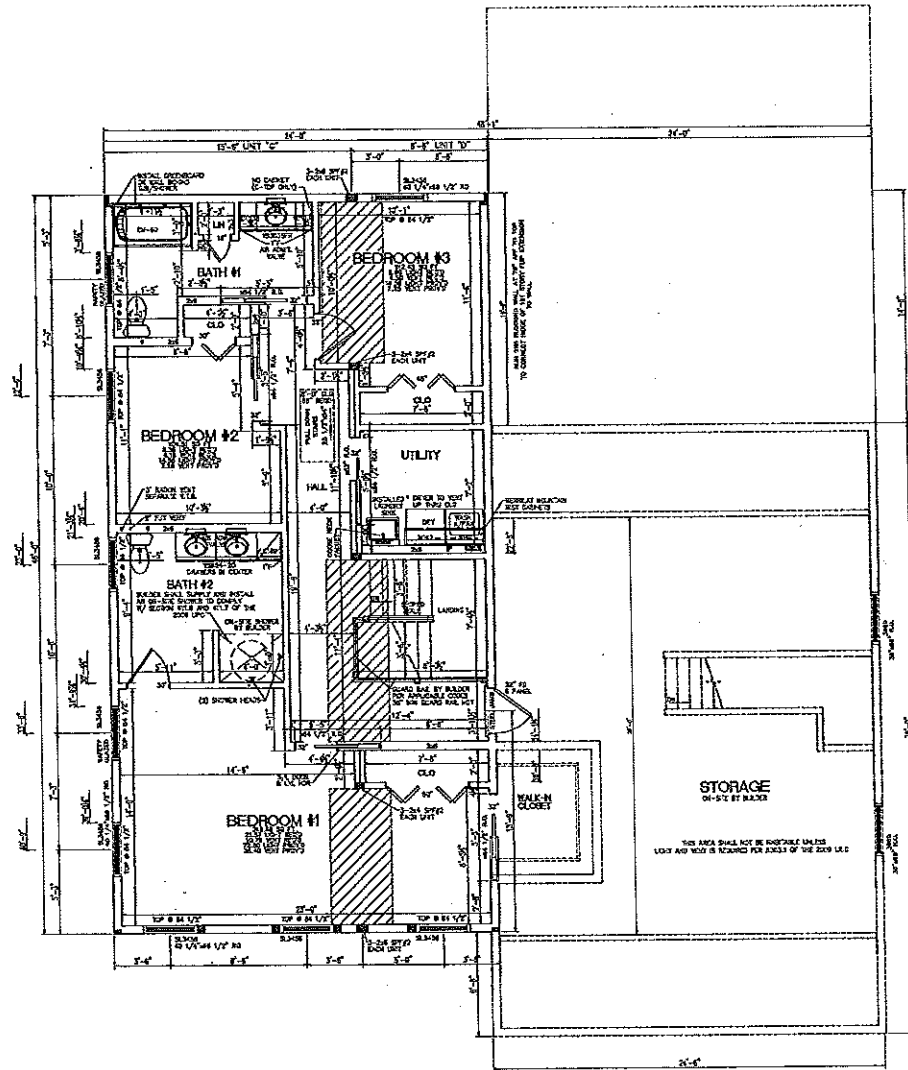
BARTON

PFS Corporation
Northeast Region
APPROVED
R Wanner + 1
5/15/14
Approved In Accordance to
Factory Built Protocol

DATE: 04-14-14
REV: 01

DRAWING TITLE
FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"
SHEET: 3



NOTES:
 1. D.C. EXT. WALLS @ 15" O.C./24" WARE WALLS @ 16" O.C.
 2. D.C. INT. WALLS @ 16" O.C./12" WARE WALLS @ 16" O.C.
 3. FLOOR FINISH @ 15" O.C. (12" O.C. UNIT 10")
 4. FLOOR FINISH @ 16" O.C.
 5. FLOOR FINISH @ 16" O.C.
 6. FLOOR FINISH @ 16" O.C.
 7. FLOOR FINISH @ 16" O.C.
 8. FLOOR FINISH @ 16" O.C.
 9. FLOOR FINISH @ 16" O.C.
 10. FLOOR FINISH @ 16" O.C.

FILE# 31217 STATE ME
 C/PD M/GH D/BH L/SB
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MARTIN'S COUNTY HOMES
 CUSTOMER/PROJECT: BARTON

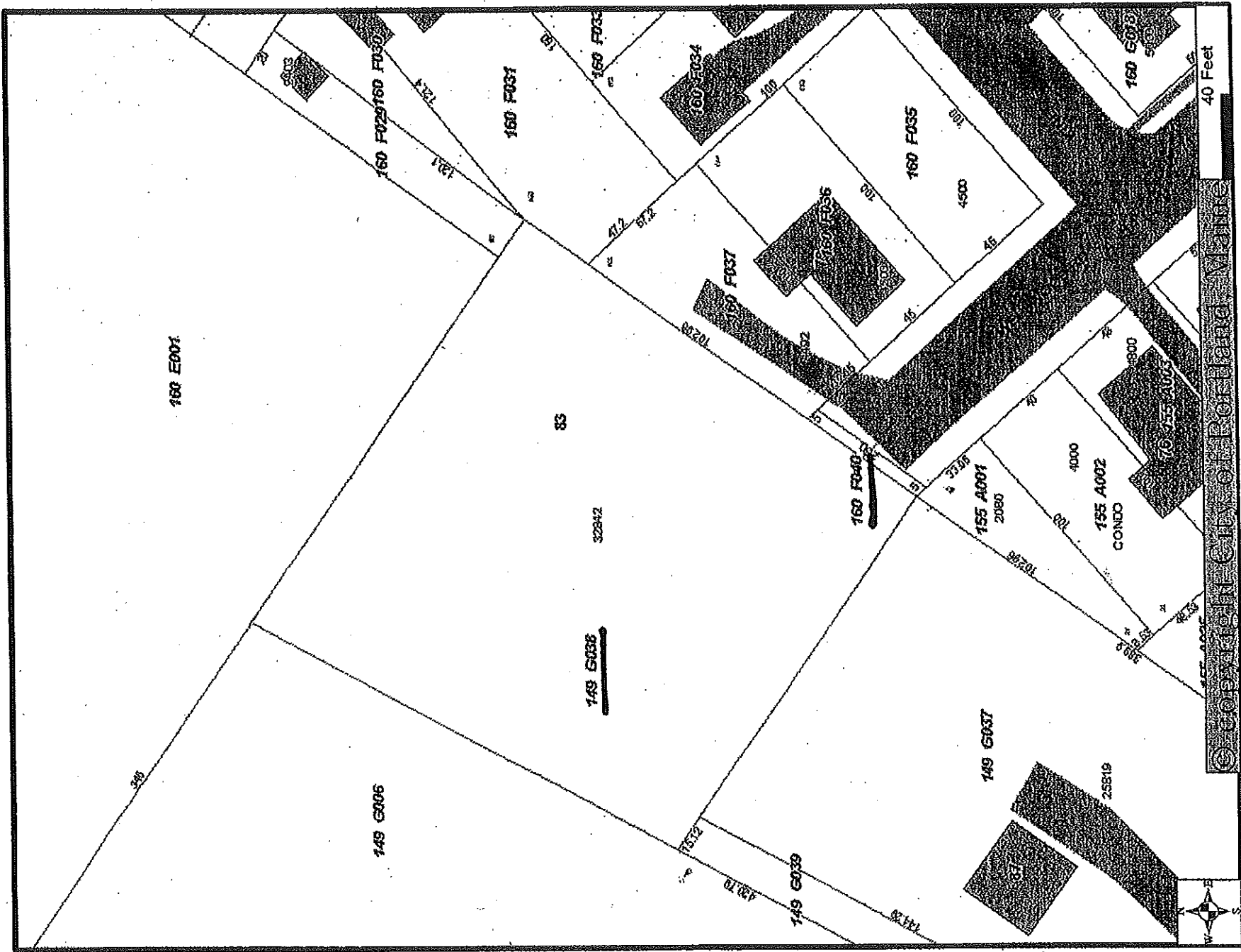
PFS Corporation
 Northeast Region
 APPROVED
 R Wanner - 1
 5/15/14
 Approval limited to Factory Built Pools

NO. DATE
 104414

APPROVAL STAMP

DRAWING TITLE
SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0" SHEET: 4



40 Feet

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