



PORTLAND MAINE

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Reviewed for Code Compliance
Inspections Division
Approved with Conditions
Date: 09/29/14

Jeff Levine, AICP, Director
Director of Planning and Urban Development

Tammy Munson
Director, Inspections Division

Electronic Signature and Fee Payment Confirmation

Notice: Your electronic signature is considered a legal signature per state law.

By digitally signing the attached document(s), you are signifying your understanding this is a legal document and your electronic signature is considered a **legal signature** per Maine state law. You are also signifying your intent on paying your fees by the opportunities below.

I, the undersigned, intend and acknowledge that no permit application can be reviewed until payment of appropriate permit fees are **paid in full** to the Inspections Office, City of Portland Maine by method noted below:

Within 24-48 hours, upon receipt of an e-mailed invoice from Building Inspections, which signifies that my electronic permit application and corresponding paperwork have been received, determined complete, entered by an administrative representative, and assigned a permit number, I then have the following four (4) payment options:

- to provide an on-line electronic check or credit/debit card (we now accept American Express, Discover, VISA, and MasterCard) payment (along with applicable fees beginning July 1, 2014),
- call the Inspections Office at (207) 874-8703 and speak to an administrative representative to provide a credit/debit card payment over the phone,
- hand-deliver a payment method to the Inspections Office, Room 315, Portland City Hall,
- or deliver a payment method through the U.S. Postal Service, at the following address:

City of Portland
Inspections Division
389 Congress Street, Room 315
Portland, Maine 04101

Once my payment has been received, this then starts the review process of my permit. **After all approvals have been met and completed, I will then be issued my permit via e-mail.** No work shall be started until I have received my permit.

Applicant Signature: Scott D. Anderson Digitally signed by Scott D. Anderson
DN: cn=Scott D. Anderson, o=Verrill Dana, ou,
email=sanderson@verrilldana.com, c=US
Date: 2014.09.03 12:19:07 -04'00' Date: 9/10/14

I have provided digital copies and sent them on: Scott D. Anderson Digitally signed by Scott D. Anderson
DN: cn=Scott D. Anderson, o=Verrill Dana, ou,
email=sanderson@verrilldana.com, c=US
Date: 2014.09.03 12:25:03 -04'00' Date: 9/10/14

NOTE: All electronic paperwork must be delivered to buildinginspections@portlandmaine.gov or by physical means ie; a thumb drive or CD to the office.

Room 315 - 389 Congress Street- Portland, Maine 04101 (207) 874-8703 - Fax: 874-8716 - TTY: 874-8936



Jeff Levine, AICP, Director
 Planning & Urban Development Department

Tammy Munson, Director
 Inspections Division

Residential Additions/Alterations Permit Application Checklist

All of the following information is required and must be submitted. Checking off each item as you prepare your application package will ensure your package is complete and will help to expedite the permitting process.

The Maine Home Construction Contracts Act requires that any home construction or repair work for more than \$3000. in materials or labor must be based on a written contract unless the parties agree to exempt themselves. A sample contract is available on the City's website at www.portlandmaine.gov, in the Inspection Office, Room 315 of Portland City Hall or call (207)874-8703 to have one mailed to you.

One (1) complete set of construction drawings must include:

- Cross sections w/framing details
- Floor plans and elevations existing & proposed
- Detail removal of all partitions & any new structural beams
- Detail any new walls or permanent partitions
- Stair details including dimensions of: rise/run, head room, guards/handrails, baluster spacing
- Window and door schedules
- Foundation plans w/required drainage and damp proofing (if applicable)
- Detail egress requirements and fire separation/sound transmission ratings (if applicable)
- Insulation R-factors of walls, ceilings & floors & U-factors of windows per the IECC 2009
- Deck construction including: pier layout, framing, fastenings, guards, stair dimensions
- Electronic files in pdf format are also required
- Proof of ownership is required if it is inconsistent with the assessors records

Separate permits are required for internal & external plumbing, HVAC, and electrical installations.

If there are any additions to the footprint or volume of the structure, any new or rebuilt structures or, accessory detached structures a plot plan is required. A plot must include:

- The shape and dimension of the lot, footprint of the existing and proposed structure and the distance from the actual property lines. Structures include decks, porches; bow windows, cantilever sections and roof overhangs, sheds, pools, garages and any other accessory structures must be shown with dimensions if not to scale.
- Location and dimensions of parking areas and driveways
- A change of use may require a site plan exemption application to be filed.

Please submit all of the information outlined in this application checklist. If the application is incomplete, the application may be refused.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

**Permit Fee: \$25.00 for the first \$1000.00 construction cost, \$11.00 per additional \$1000.00 cost
 This is not a Permit; you may not commence any work until the Permit is issued.**



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General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any Date: _____
within the City, payment arrangements must be made before permits of any kind are accepted.

| | | |
|--|--|---|
| Address/Location of Construction: 52 Canco Road, Portland, ME 04103 | | |
| Total Square Footage of Proposed Structure: | | 312 sq. ft. |
| Tax Assessor's Chart, Block & Lot Chart# Block# Lot# 147 C 1 | Applicant Name: Verizon Wireless Address 400 Friberg Parkway City, State & Zip Westborough, MA 0 | Telephone: Email: |
| Lessee/Owner Name : (if different than applicant) F. Gilbert Congdon III ET ALS Address: 141 Prospect St. City, State & Zip: Portland, ME Telephone E-mail: | Contractor Name: To be determine (if different from Applicant) Address: City, State & Zip: Telephone E-mail: | Cost Of Work: \$ 50,000.00 C of O Fee: \$ _____ Historic Rev \$ _____ Total Fees : \$ _____ |
| Current use (i.e. single family) wireless telecommunications facility If vacant, what was the previous use? N/A Proposed Specific use: wireless telecommunications facility Is property part of a subdivision? ___ If yes, please name _____ Project description: Collocate antennas on existing wireless telecommunications tower and install equipment shelter | | |
| Who should we contact when the permit is ready: Scott D. Anderson | | |
| Address: One Portland Square, PO Box 586 | | |
| City, State & Zip: Portland, ME 04112-0586 | | |
| E-mail Address: sanderson@verrilldana.com | | |
| Telephone: 207-253-4540 | | |

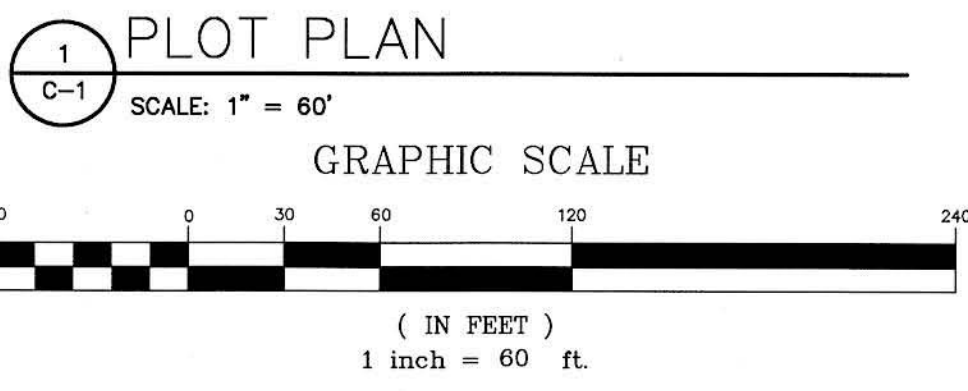
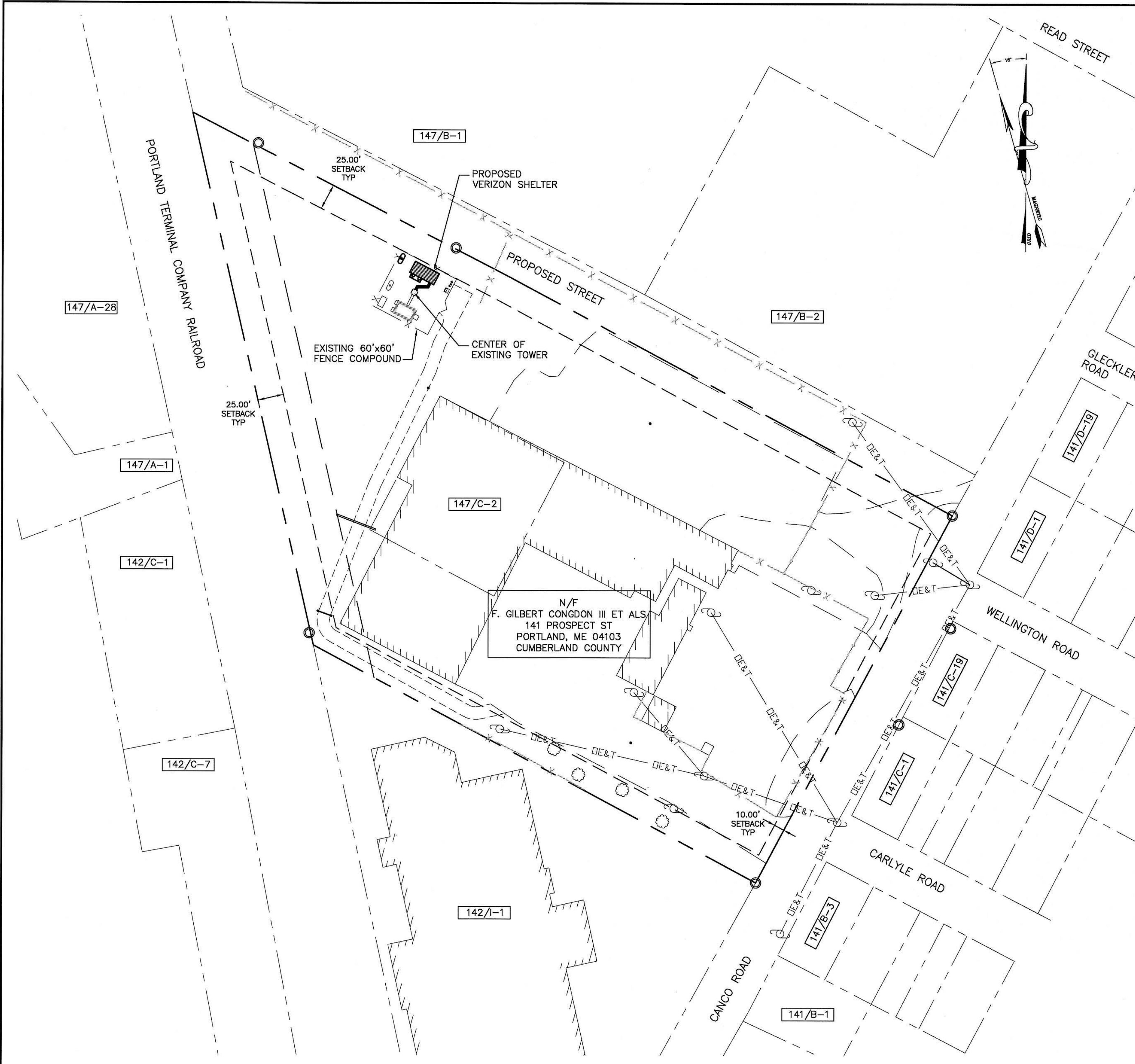
Please submit all of the information outlined on the applicable checklist. Failure to do so causes an automatic permit denial.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at <http://www.portlandmaine.gov/754/Applications-Fees> or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Scott D. Anderson Digitally signed by Scott D. Anderson
DN: cn=Scott D. Anderson, o=Verrill Dana, ou,
email=sanderson@verrilldana.com, c=US
Date: 2014.09.03 12:25:44 -0400 **Date:** 9/10/14

This is not a permit; you may not commence ANY work until the permit is issued.

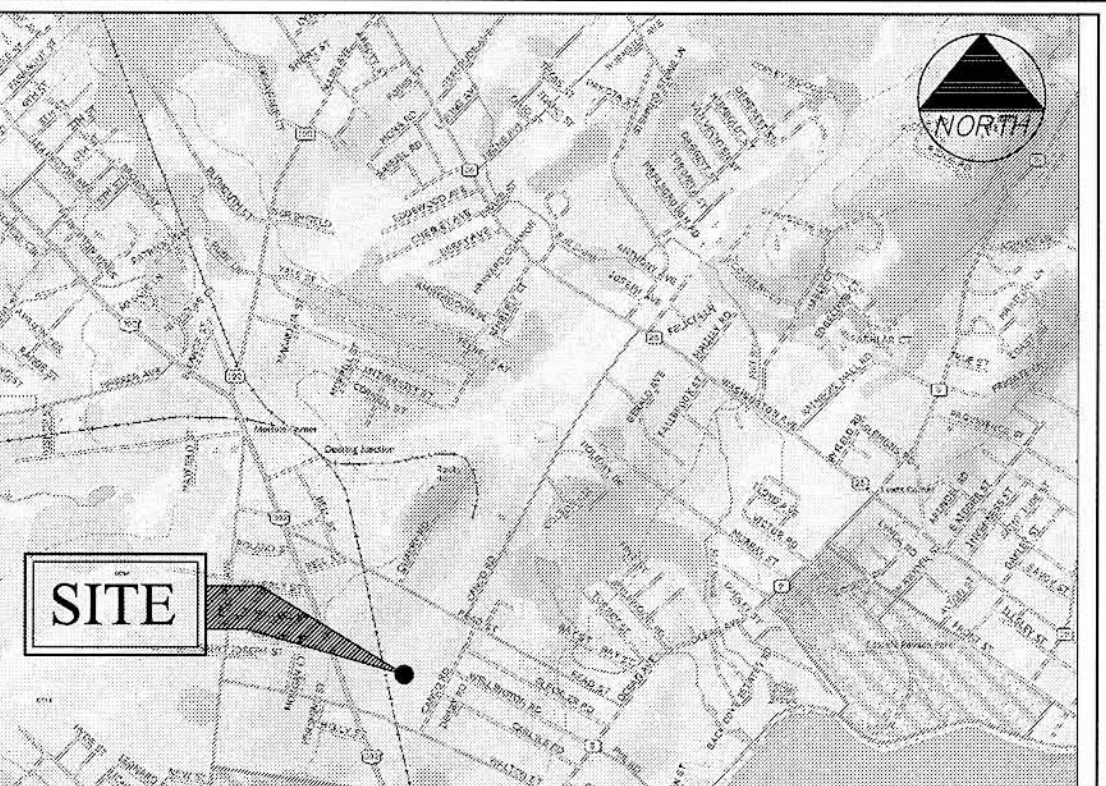


EQUIPMENT INSTALLATION SHALL MEET ALL LOCAL, STATE AND FEDERAL REQUIREMENTS FOR EQUIPMENT EMISSIONS.

| LIST OF ABUTTERS | | |
|------------------|-------------------------------|--------------------------------------|
| CITY OF PORTLAND | | |
| MAP/LOT | RECORD OWNER | ADDRESS |
| 141/B-1 | PETER A. & JOSEPH M. TUCCI | P.O. BOX 1321 SACO, ME 04072 |
| 141/B-3 | KATHERINE M. KARATSANOS | 33 CONCO ROAD PORTLAND, ME 04103 |
| 141/C-1 | ROBB & ELLEN COUTURE | 47 CANCO RD PORTLAND, ME 04103 |
| 141/C-19 | NANCY HOLLAND | 53 CANCO RD PORTLAND, ME 04103 |
| 141/D-1 | NORMAN HUNTLEY KW VET | 63 CANCO RD PORTLAND, ME 04103 |
| 141/D-19 | ALFRED F. & JULIE P. LUCCI II | 73 CANCO RD PORTLAND, ME 04103 |
| 142/C-1 | A HAUSMANN ASSOCIATES, INC. | 380 WARREN AVE PORTLAND, ME 04101 |
| 147/A-1 | STAMCO | 151 WALTON STREET PORTLAND, ME 04103 |
| 142/I-1 | DAKOTA BEAR PROPERTIES LLC | 45 SOME VIEW DRIVE SWEDEN, ME 04040 |
| 147/A-28 | J&L CORP | 256 READ ST PORTLAND, ME 04102 |
| 147/B-1 | JB BROWN & SONS | P.O. BOX 207 PORTLAND, ME 04102 |
| 147/B-2 | | |

| ZONING INFORMATION | |
|--------------------------|---------------------------------|
| ZONING DISTRICT: | INDUSTRIAL-MODERATE IMPACT (IM) |
| MINIMUM STREET FRONTAGE: | 60 FEET |
| FRONT YARD SETBACK: | 10 FEET |
| SIDE YARD SETBACK: | 25 FEET |
| REAR YARD SETBACK: | 25 FEET |
| MINIMUM LOT SIZE: | N/A |

| LEGEND | |
|--------|----------------------------|
| --- | PROPERTY LINE |
| ○ | IRON PIPE FOUND (AS NOTED) |
| ● | 5/8 REBAR SET |
| ⊕ | UTILITY POLE |
| ⊠ | GRANITE MONUMENT FOUND |
| --- | ZONING BOUNDARY LINE |



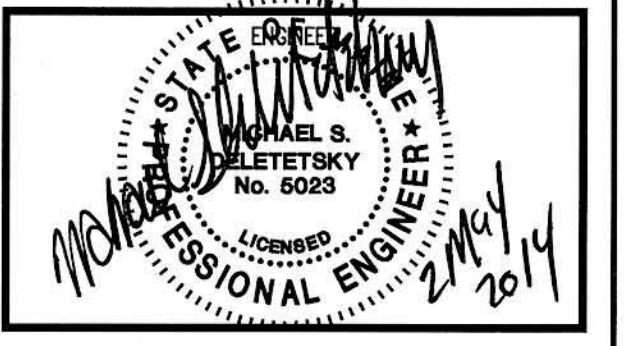
- GENERAL NOTES**
- DATES OF FIELD SURVEY: MARCH 2014
 - SITE NAME: PORTLAND 5
 - SITE NUMBER: 20130930169
 - SITE ADDRESS: 52 CANCO ROAD PORTLAND, ME 04103 CUMBERLAND COUNTY
 - OWNER: F. GILBERT CONGDON III ET ALS 141 PROSPECT ST PORTLAND, ME 04103 CUMBERLAND COUNTY
 - APPLICANT: VERIZON WIRELESS 400 FRIBERG PARKWAY WESTBOROUGH, MA 01581
 - JURISDICTION: PORTLAND, MAINE
 - ZONING DISTRICT: INDUSTRIAL-MODERATE IMPACT (IM)
 - TAX IDENTIFICATION: MAP 147 BLOCK C LOT 1 DEED BOOK/PAGE: 18547/226
 - VERTICAL DATUM: NATIONAL GEODETIC VERTICAL DATUM OF 1929. (MEAN SEA LEVEL).
 - HORIZONTAL DATUM: NORTH AMERICAN DATUM OF 1983 (NAD83)
 - CENTER OF EXISTING TOWER: LATITUDE: 43° 40' 54.07" N (NAD 83) LONGITUDE: 70° 17' 13.28" W (NAD 83) GROUND EL. = 88.0'±
 - BEARINGS ARE BASED ON MAINE STATE GRID COORDINATE SYSTEM, WEST ZONE, (NAD83).
 - ALL UNDERGROUND UTILITY INFORMATION PRESENTED HEREON WAS DETERMINED FROM SURFACE EVIDENCE AND PLANS OF RECORD. ALL UNDERGROUND UTILITIES SHOULD BE LOCATED IN THE FIELD PRIOR TO COMMENCEMENT OF ALL SITE WORK. CALL DIGSAFE 1(888) 344-7233 A MINIMUM OF 72 HOURS PRIOR TO PLANNED ACTIVITY.
 - PROPERTY IS LOCATED IN FLOOD ZONE "C" AS SHOWN ON FLOOD INSURANCE RATE MAP IN THE CITY OF PORTLAND MAINE, CUMBERLAND COUNTY PANEL 7 OF 17, COMMUNITY PANEL NUMBER 230051 0007 B EFFECTIVE DATE JULY 17, 1986. ZONE C IS DEFINED AS AN AREA OF MINIMAL FLOODING.

verizon wireless
400 FRIBERG PARKWAY WESTBOROUGH, MA 01581
PHONE: (508) 330-3300
FAX: (781) 481-1396

amec
343 Gorham Road, South Portland ME 04106
P: (207) 761-1770 F: (207) 774-1246 www.amec.com

PROJECT COORDINATION BY:

SURVEYOR



PROJECT NO: 3618148351

DRAWN BY: CBM

RELEASED BY: MSD

SUBMITTALS

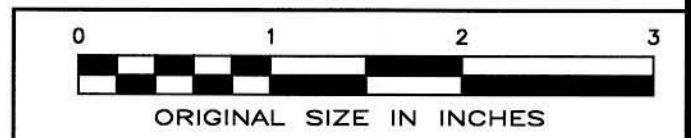
| DATE | DESCRIPTION |
|--------|-------------------------|
| 5/2/14 | ISSUED FOR CONSTRUCTION |

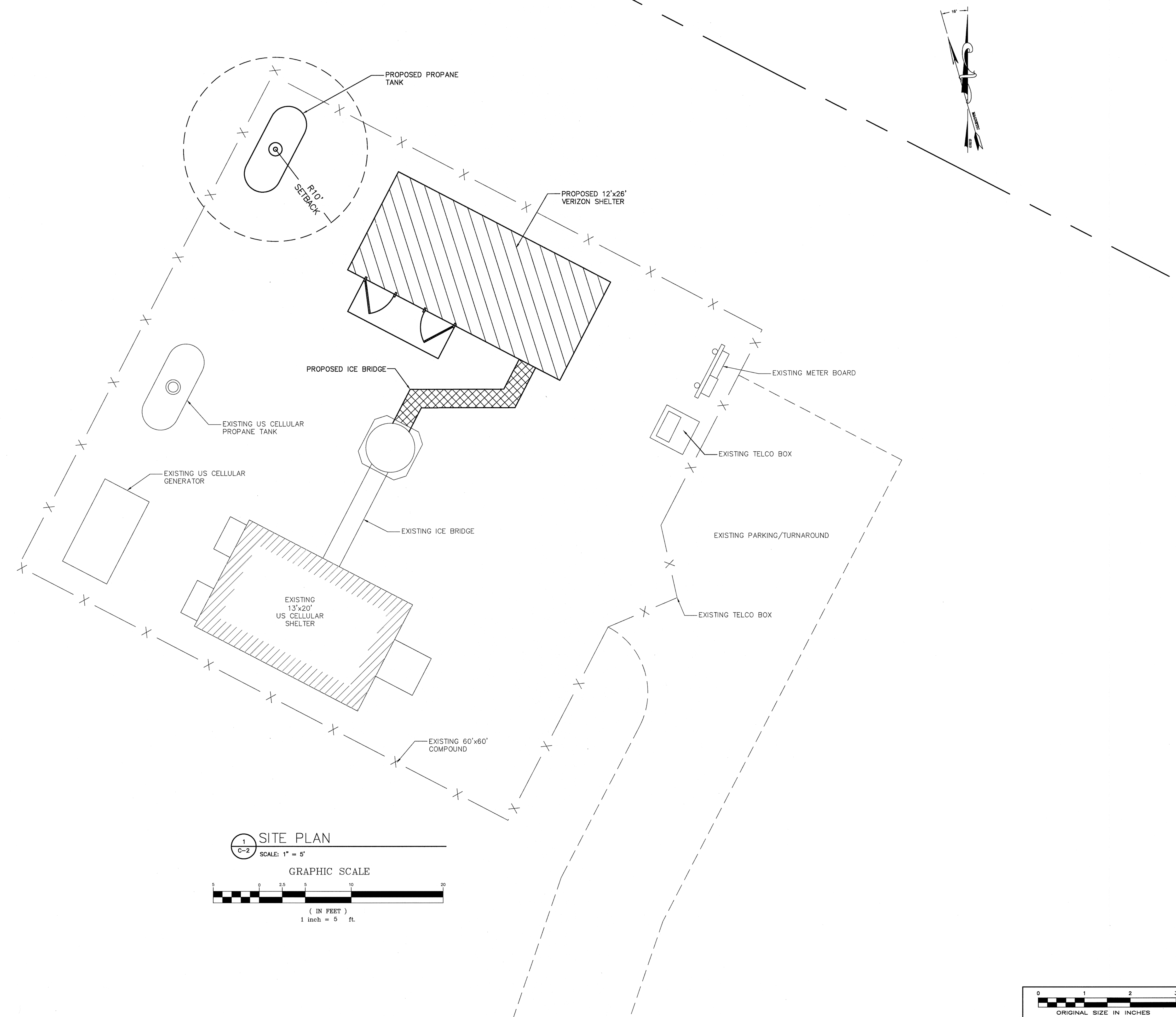
PORTLAND 5
20130930169

52 CANCO ROAD
PORTLAND, ME 04103

SHEET TITLE
PLOT PLAN

SHEET NUMBER
C-1



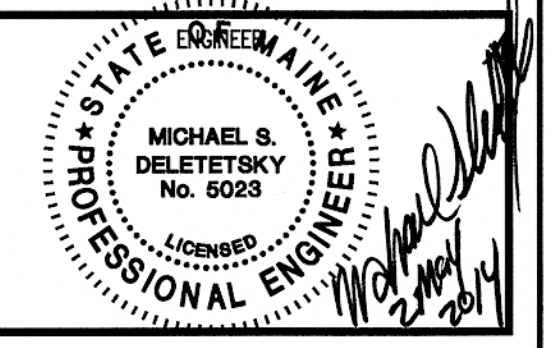


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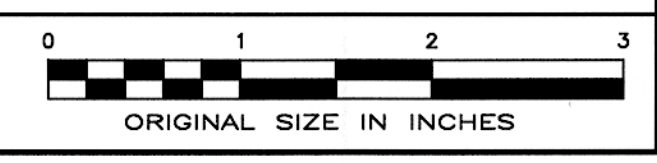
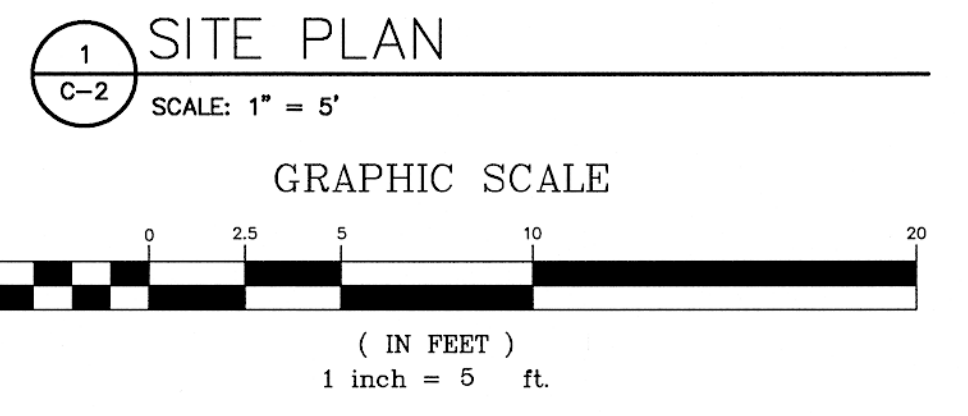
5/2/14 ISSUED FOR CONSTRUCTION

PORTLAND 5
 20130930169

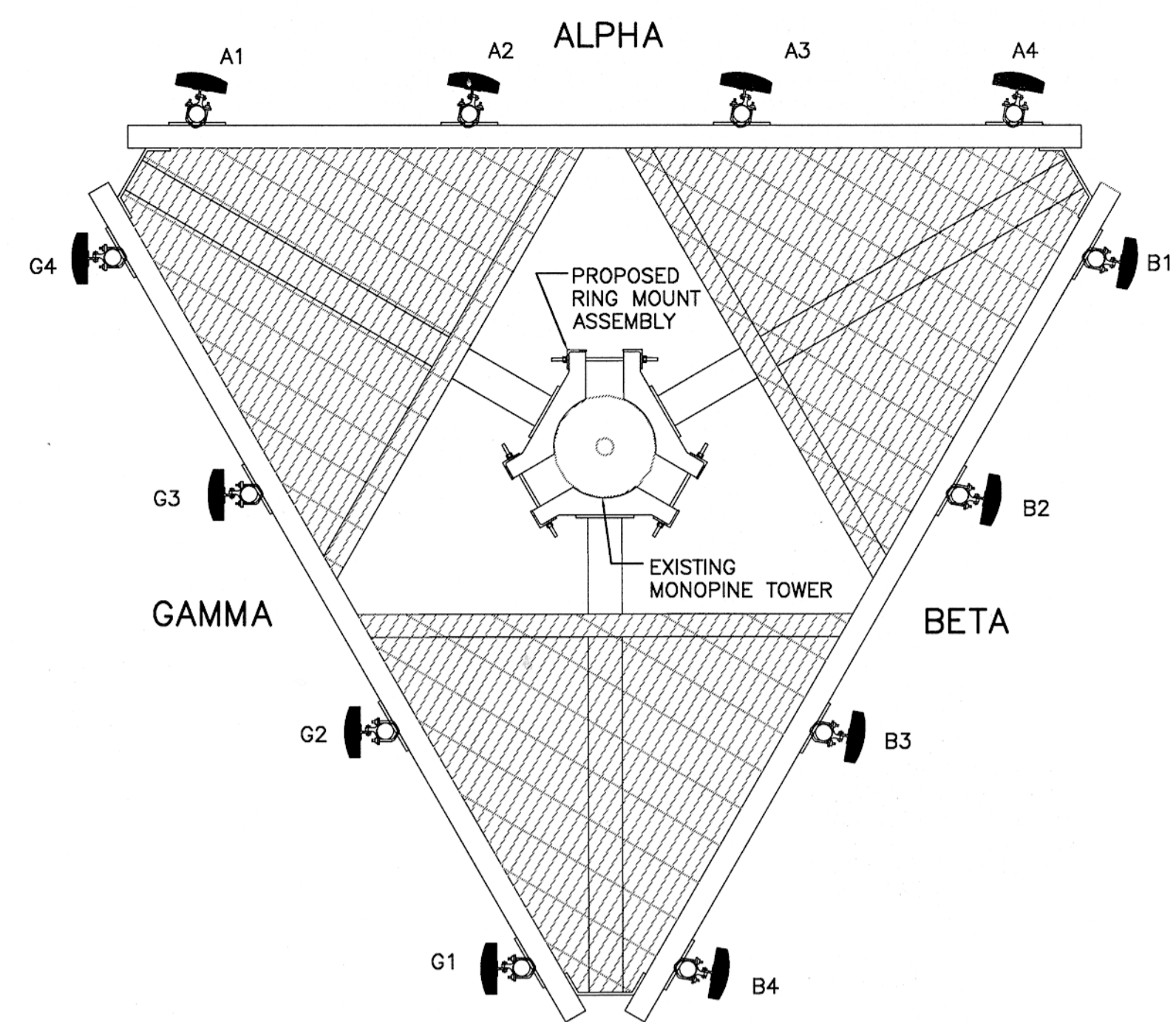
52 CANCO ROAD
 PORTLAND, ME 04103

SHEET TITLE
 SITE PLAN

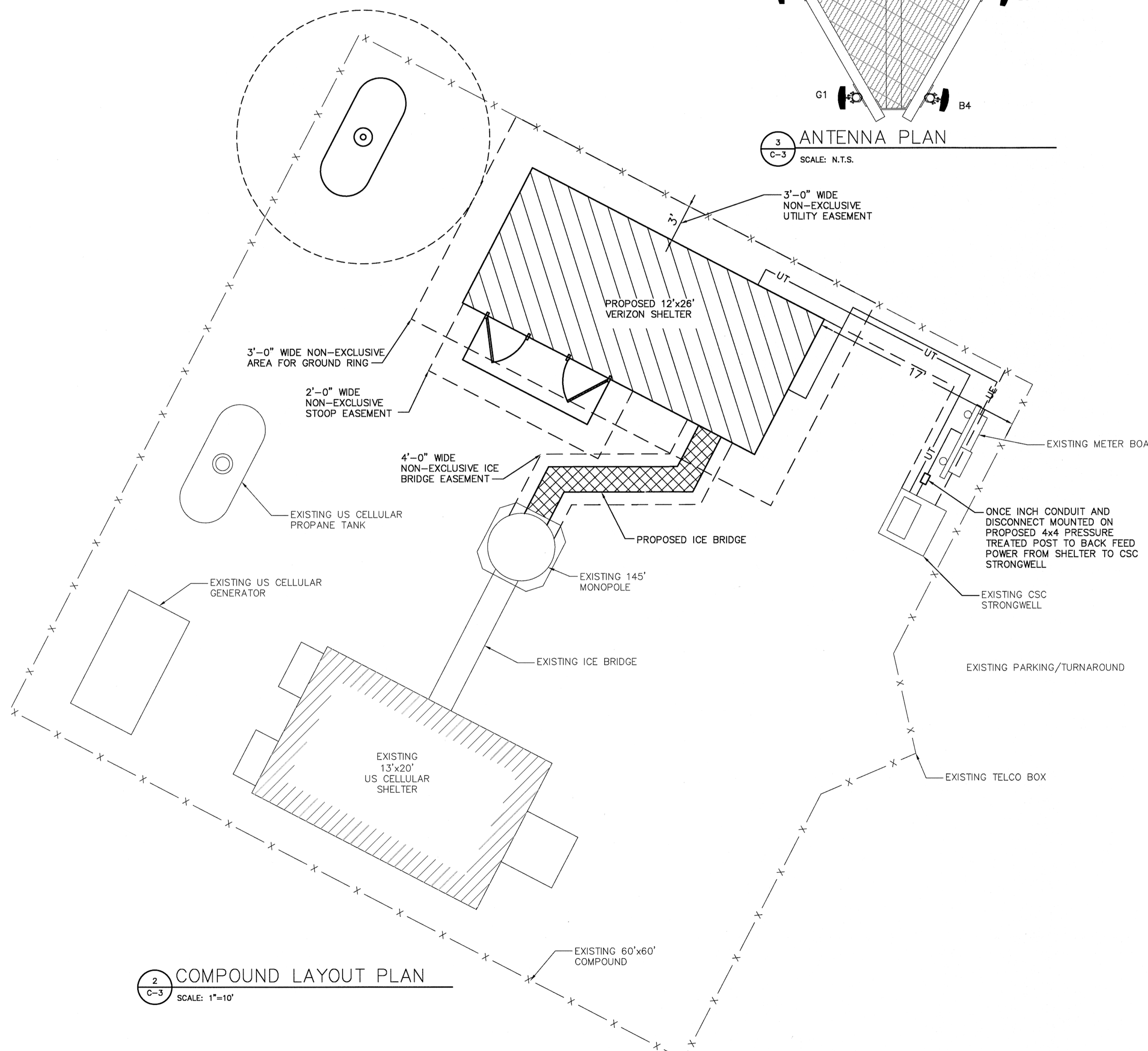
SHEET NUMBER
 C-2



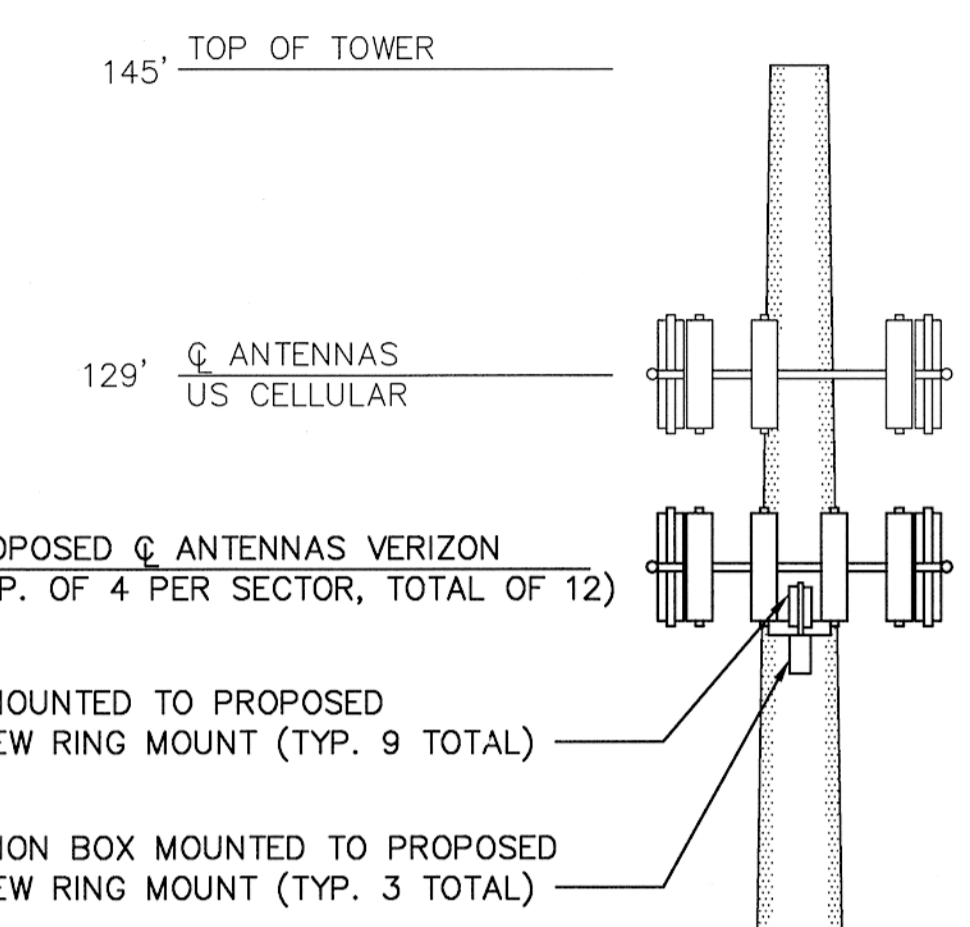
| ANTENNA AND COAXIAL CABLE SCHEDULE | | | | | | | |
|------------------------------------|--------|-------------|----------------------|--------------------------|------------|---------------------|---------------------|
| ANTENNA MARK | SECTOR | ANTENNA | AZIMUTH (TRUE NORTH) | AZIMUTH (MAGNETIC NORTH) | RAD CENTER | ELECTRICAL DOWNTILT | MECHANICAL DOWNTILT |
| A1 | ALPHA | SWCP 2X5515 | 10° | 26° | 119' | 0° | -2° |
| A2 | 1 | SACP 2X5516 | 10° | 26° | 119' | 0° | -1° |
| A3 | 1 | SWCP 2X5515 | 10° | 26° | 119' | 0° | -2° |
| A4 | 1 | SACP 2X5516 | 10° | 26° | 119' | 0° | -1° |
| B1 | BETA | SWCP 2X5515 | 105° | 121° | 119' | 0° | -4° |
| B2 | 2 | SACP 2X5516 | 105° | 121° | 119' | 0° | -2° |
| B3 | 2 | SWCP 2X5515 | 105° | 121° | 119' | 0° | -4° |
| B4 | 2 | SACP 2X5516 | 105° | 121° | 119' | 0° | -2° |
| G1 | GAMMA | SWCP 2X5515 | 270° | 286° | 119' | 0° | -5° |
| G2 | 3 | SACP 2X5516 | 270° | 286° | 119' | 0° | -4° |
| G3 | 3 | SWCP 2X5515 | 270° | 286° | 119' | 0° | -5° |
| G4 | 3 | SACP 2X5516 | 270° | 286° | 119' | 0° | -4° |



3 ANTENNA PLAN
SCALE: N.T.S.

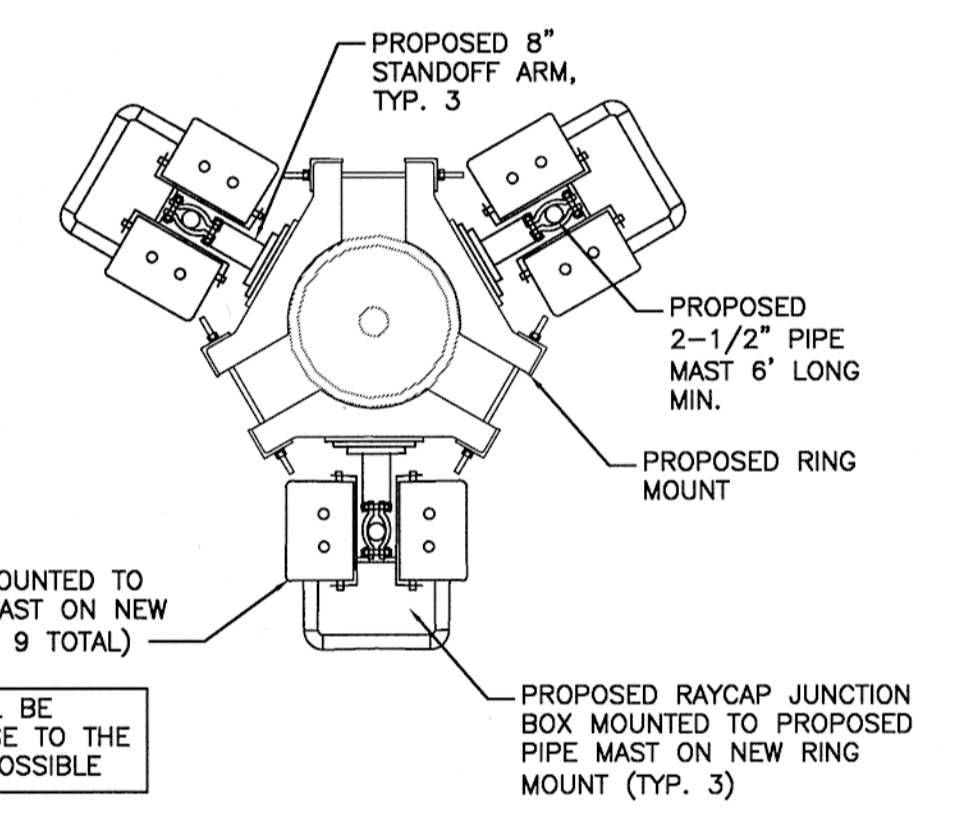


2 COMPOUND LAYOUT PLAN
SCALE: 1"=10'



PROPOSED RRH MOUNTED TO PROPOSED PIPE MAST ON NEW RING MOUNT (TYP. 9 TOTAL)
PROPOSED JUNCTION BOX MOUNTED TO PROPOSED PIPE MAST ON NEW RING MOUNT (TYP. 3 TOTAL)

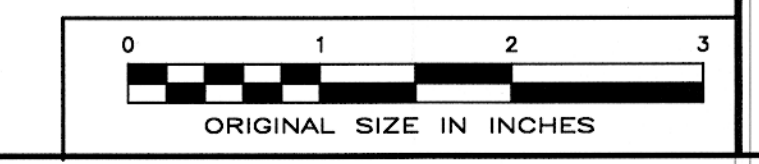
RRH MOUNT SHALL BE MOUNTED AS CLOSE TO THE RAD CENTER AS POSSIBLE



4 RRH & JUNCTION BOX PLAN
SCALE: N.T.S.

GROUND ELEVATION 88.0' AMSL
(ABOVE MEAN SEA LEVEL)

2 EXISTING TOWER ELEVATION
SCALE: N.T.S.



verizon wireless
400 FRIBERG PARKWAY
WESTBOROUGH, MA 01581
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amec
343 Gorham Road, South Portland ME 04106
P: (207) 761-1770 F: (207) 774-1246 www.amec.com

PROJECT COORDINATION BY:

SURVEYOR

MAINE STATE ENGINEERING BOARD
MICHAEL S. LETETSKY
No. 6023
LICENSED PROFESSIONAL ENGINEER
2/2/14

PROJECT NO: 3618148351

DRAWN BY: CBM

RELEASED BY: MSD

| SUBMITTALS | |
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5/2/14 ISSUED FOR CONSTRUCTION

PORTALND 5
20130930169
52 CANCO ROAD
PORTLAND, ME 04103

SHEET TITLE
LAYOUT PLAN AND TOWER ELEVATION

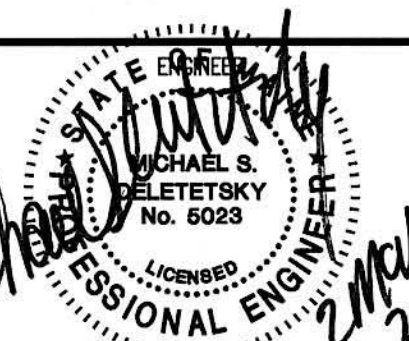
SHEET NUMBER
C-3

verizon wireless
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PROJECT NO: 3618148351

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20130930169

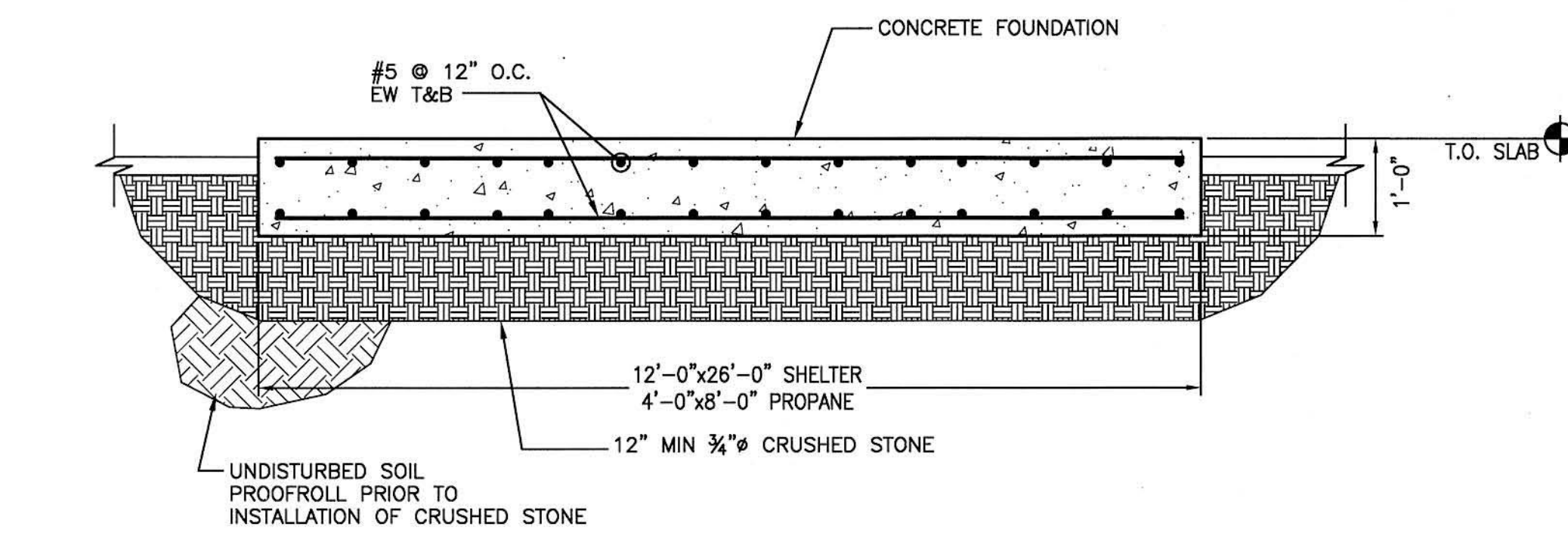
52 CANCO ROAD
PORTLAND, ME 04103

SHEET TITLE

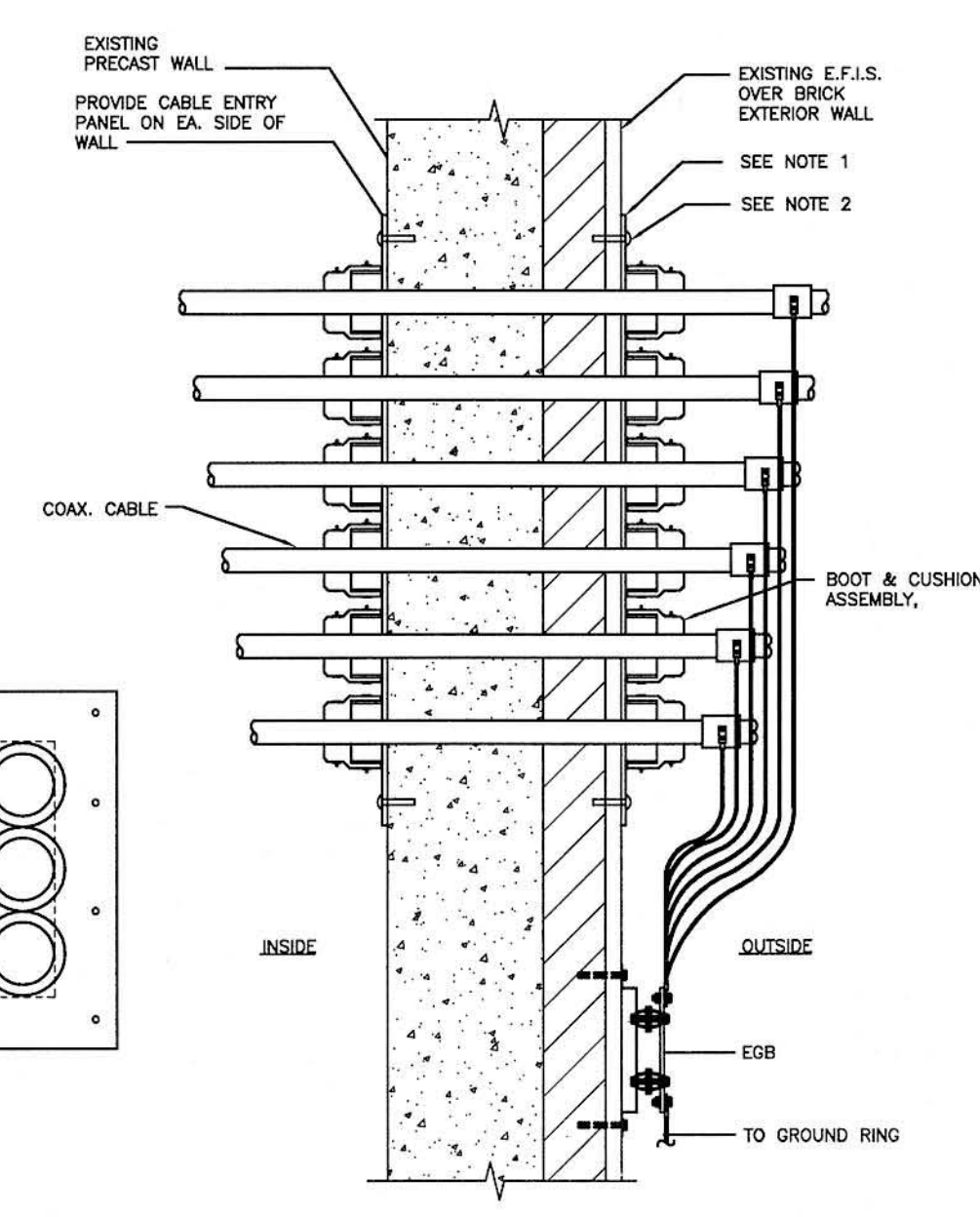
SECTIONS AND DETAILS

SHEET NUMBER

D-1

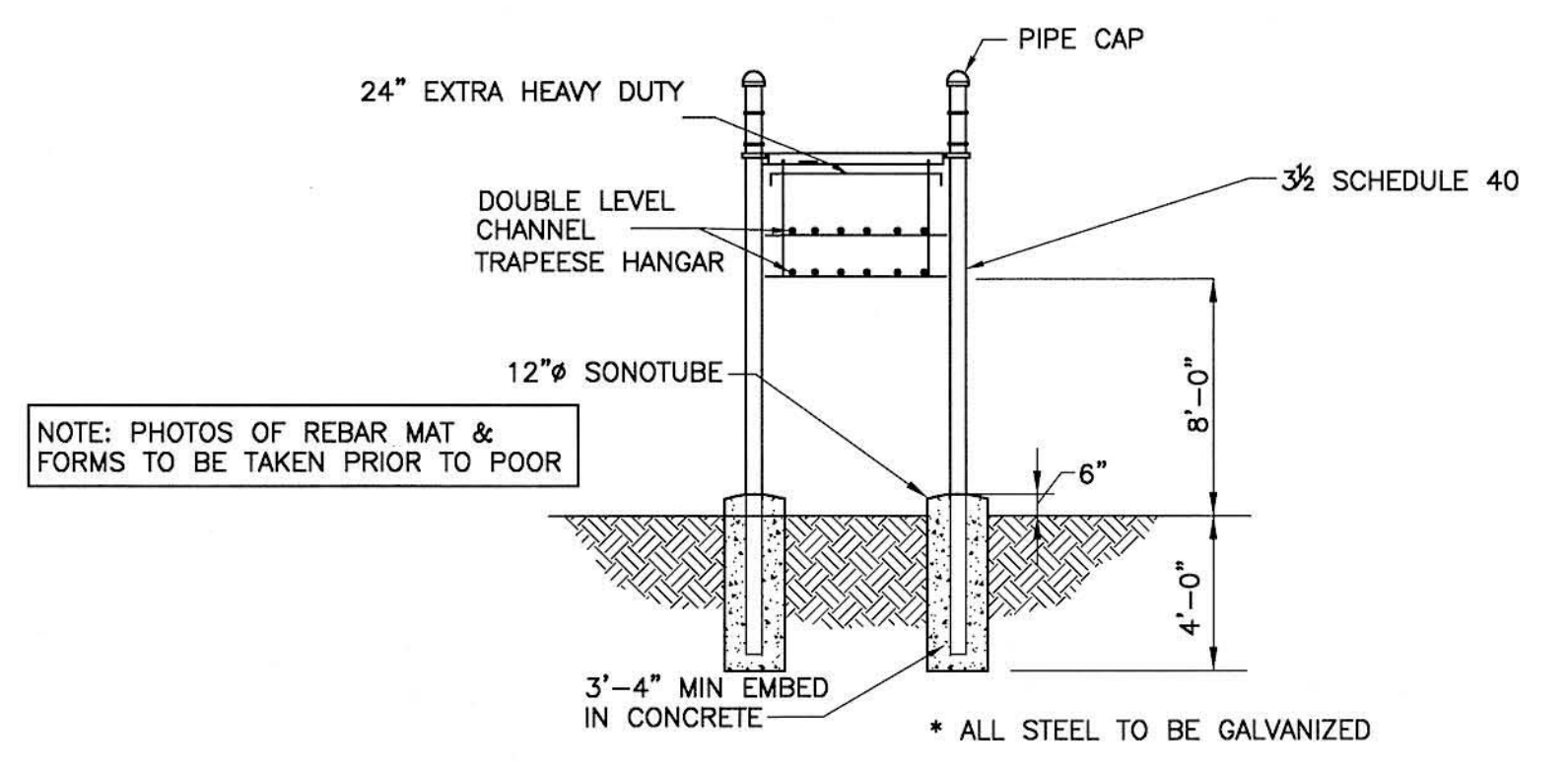


TYPICAL EQUIPMENT SHELTER FOUNDATION DETAIL
N.T.S.



WAVEPORT ENTRY DETAIL
N.T.S.

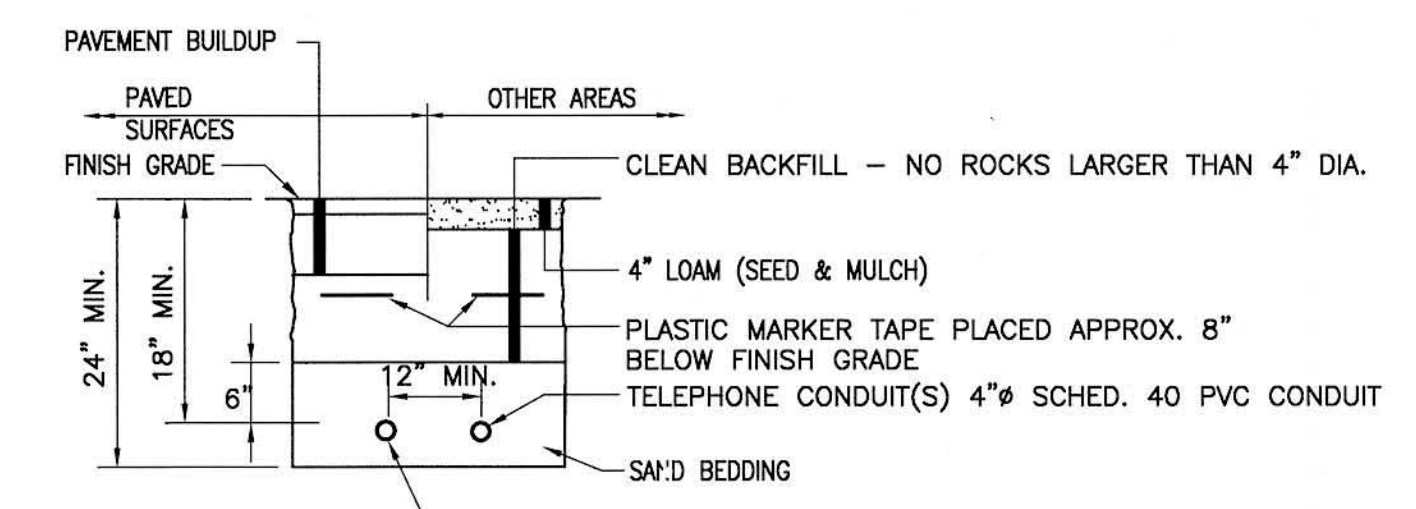
1. SEAL PERIMETER OF CABLE ENTRY TO SURFACE OF WALL W/ A ONE COMPONENT POLYURETHANE BASE ELASTOMERIC SEALANT.
2. FASTEN CABLE ENTRY TO WALL W/ STAINLESS STEEL SCREWS W/ LEAD SHIELD INSERTS INTO BRICK, MASONRY, AND CONC. USE TOGGLE BOLTS INTO STUD WALLS.



NOTE: PHOTOS OF REBAR MAT & FORMS TO BE TAKEN PRIOR TO POOR

- NOTES:
1. TYPICAL HANGER KIT SHOWN. CONTRACTOR MAY REPLACE WITH EQUAL AS APPROVED BY CONSTRUCTION MANAGER.
 2. SEE COAXIAL CABLE BRIDGE NOTES SHEET G-1
 3. FOR BURIED LEDGE AT LESS THAN 3'-6", CORE LEDGE WITH 4-1/2"x8" DEEP HOLES & GROUT. #3 REINFORCING STEEL WITH #3 TIES @ 6" O.C.

ICE BRIDGE DETAIL



TYPICAL SECTION
ELECTRICAL & TELEPHONE SERVICE TRENCH
N.T.S.

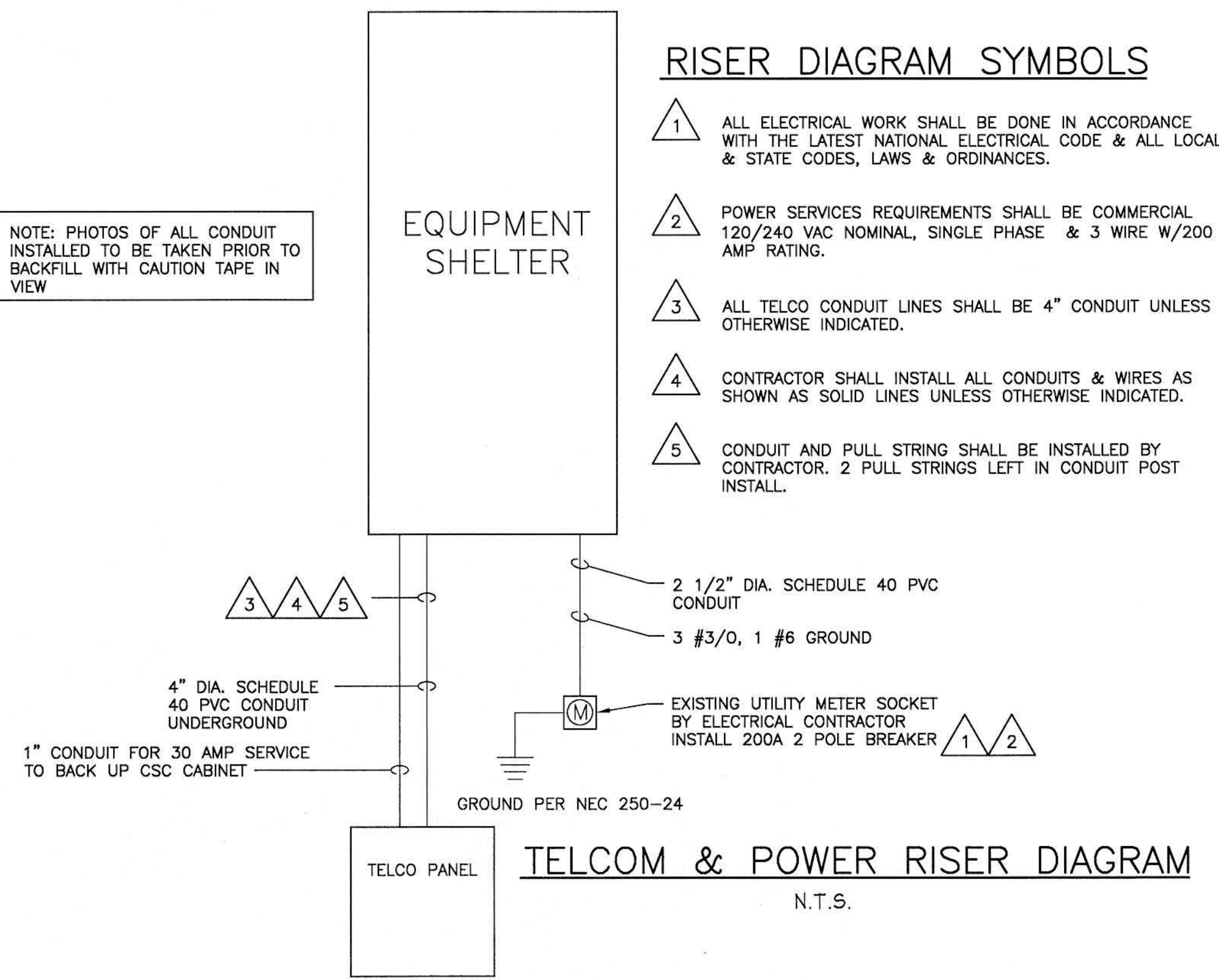
RISER DIAGRAM SYMBOLS

- 1 ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST NATIONAL ELECTRICAL CODE & ALL LOCAL & STATE CODES, LAWS & ORDINANCES.
- 2 POWER SERVICES REQUIREMENTS SHALL BE COMMERCIAL 120/240 VAC NOMINAL, SINGLE PHASE & 3 WIRE W/200 AMP RATING.
- 3 ALL TELCO CONDUIT LINES SHALL BE 4" CONDUIT UNLESS OTHERWISE INDICATED.
- 4 CONTRACTOR SHALL INSTALL ALL CONDUITS & WIRES AS SHOWN AS SOLID LINES UNLESS OTHERWISE INDICATED.
- 5 CONDUIT AND PULL STRING SHALL BE INSTALLED BY CONTRACTOR. 2 PULL STRINGS LEFT IN CONDUIT POST INSTALL.

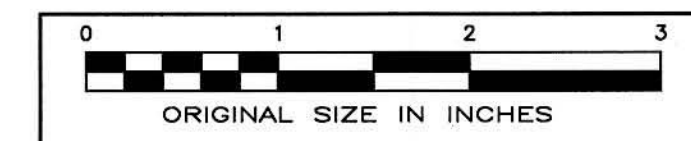
RISER DIAGRAM NOTES:

1. THE ELECTRICAL CONTRACTOR SHALL COORDINATE ALL CONDUIT ROUTING WITH LOCAL UTILITY COMPANIES AND VERIZON CONSTRUCTION MANAGER.
2. UTILITY SERVICES SHOWN ARE PROPOSED, THE ELECTRIC CONTRACTOR SHALL COORDINATE EXACT TELEPHONE AND ELECTRIC SERVICE CONNECTION POINTS, ROUTING, ASSOCIATED REQUIREMENTS AND BACK CHARGES WITH LOCAL UTILITY COMPANIES.
3. ALL CONDUITS ROUTED BELOW GRADE SHALL TRANSITION TO RIGID GALVANIZED ELBOWS WITH RIGID GALVANIZED STEEL CONDUIT ABOVE GRADE.
4. ALL METAL CONDUITS SHALL BE PROVIDED WITH GROUNDING BUSHINGS.
5. GENERAL CONTRACTOR SHALL PROVIDE ALL DIRECT BURIED CONDUITS WITH PLASTIC WARNING TAPE IDENTIFYING CONTENTS. TAPE COLORS SHALL BE ORANGE FOR TELEPHONE AND RED FOR ELECTRIC.

NOTE: PHOTOS OF ALL CONDUIT INSTALLED TO BE TAKEN PRIOR TO BACKFILL WITH CAUTION TAPE IN VIEW



TELCOM & POWER RISER DIAGRAM
N.T.S.



verizonwireless
 400 FRIBERG PARKWAY
 WESTBOROUGH, MA 01581
 PHONE: (508) 330-3300
 FAX: (781) 481-1396

amec
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PROJECT COORDINATION BY:

SURVEYOR

(Signature)
 MICHAEL S. DELETETSKY
 No. 6023
 LICENSED PROFESSIONAL ENGINEER
 May 2014

PROJECT NO: 3618148351

DRAWN BY: CBM

RELEASED BY: MSD

SUBMITTALS

5/2/14 ISSUED FOR CONSTRUCTION

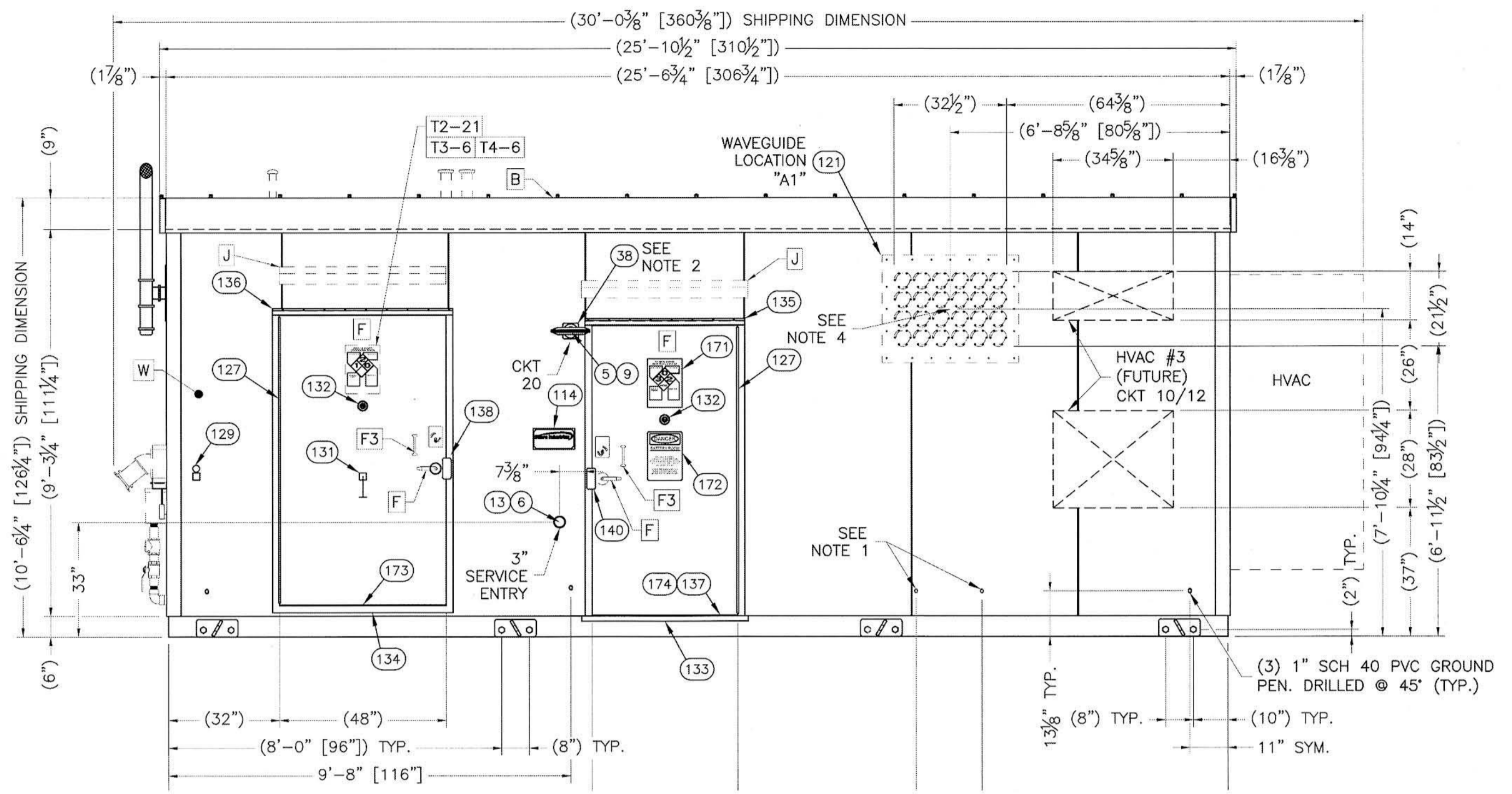
PORTLAND 5
 20130930169

52 CANCO ROAD
 PORTLAND, ME 04103

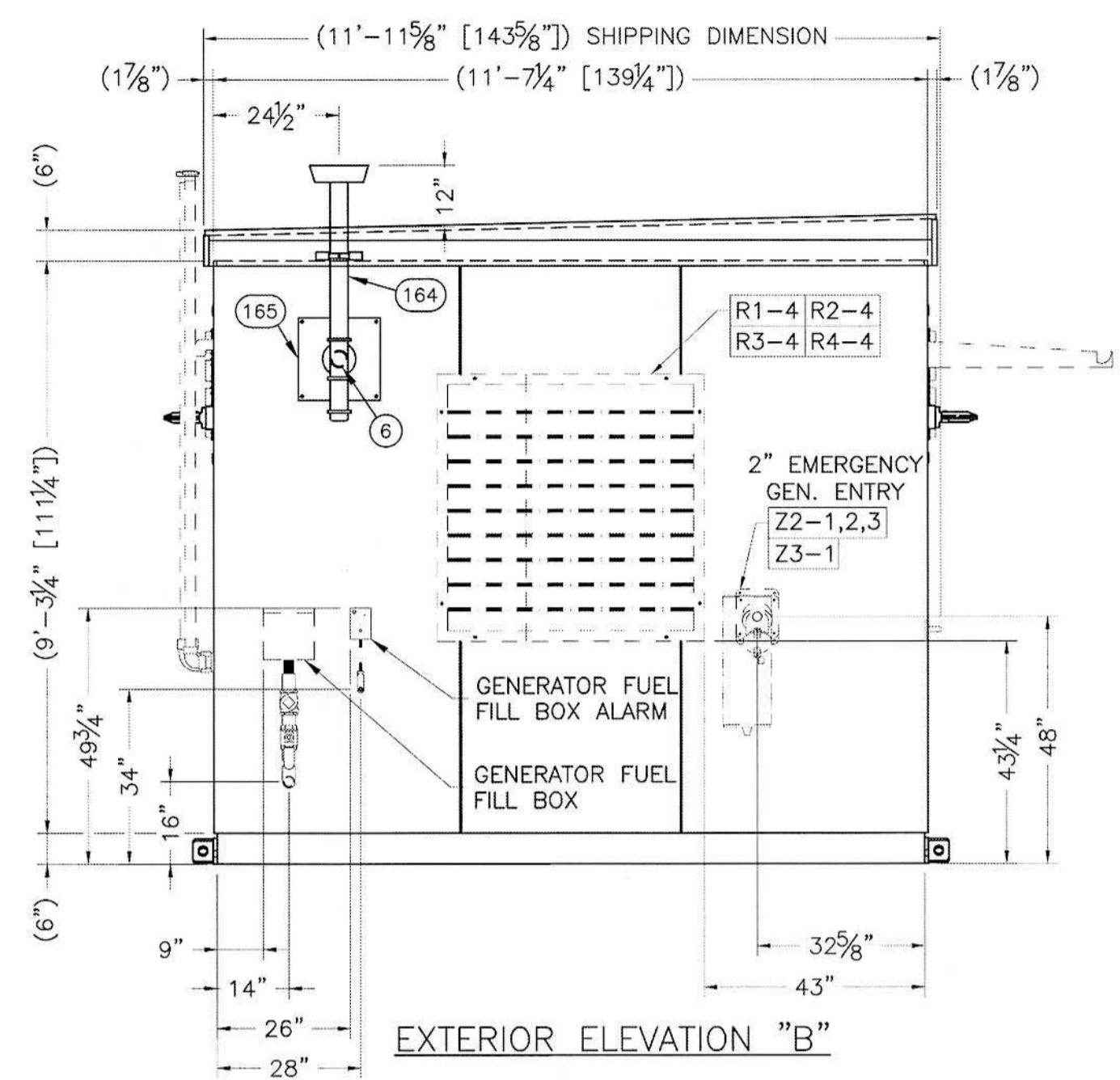
SHEET TITLE
 SHELTER ELEVATIONS PLAN

SHEET NUMBER

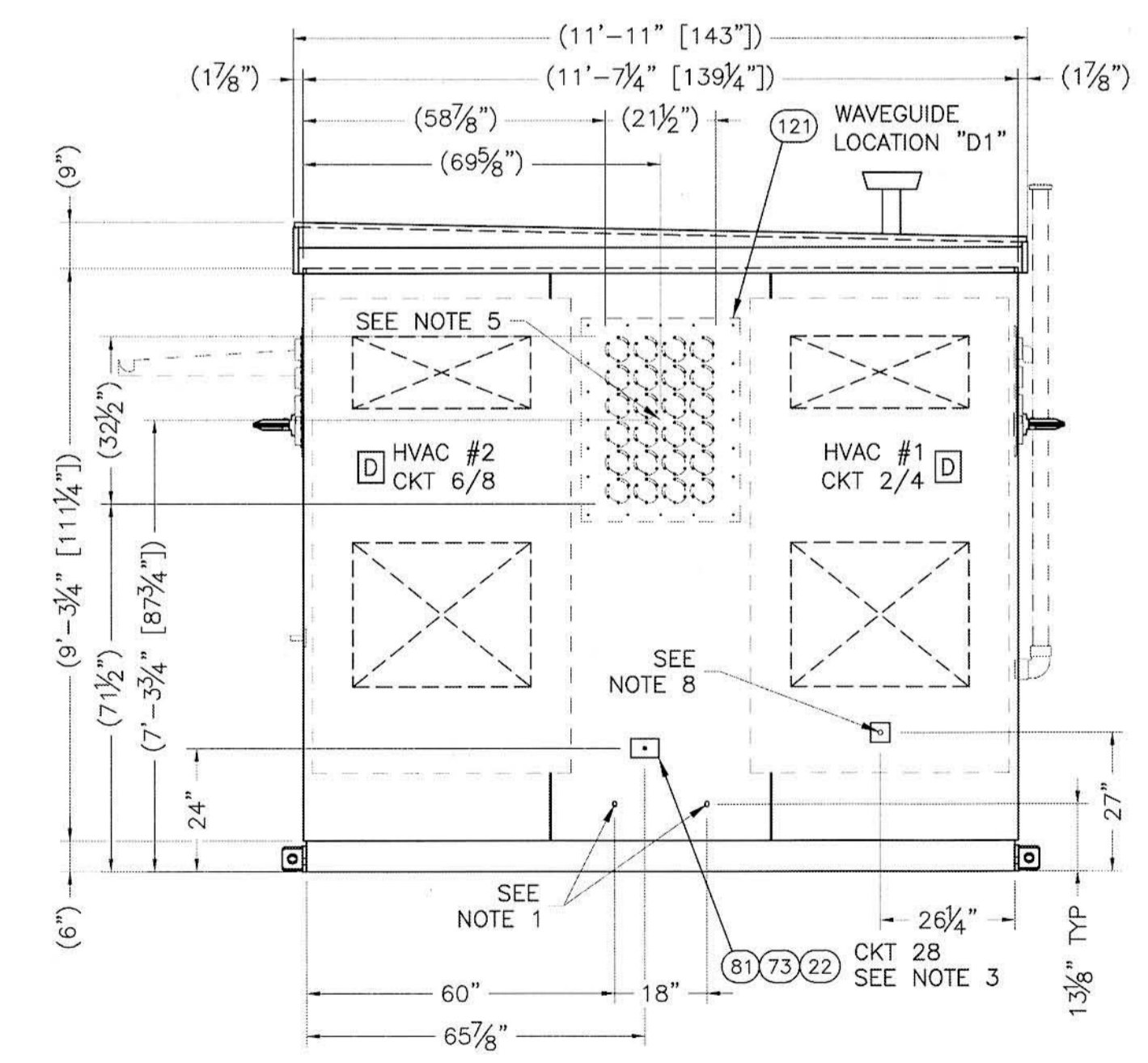
D-2



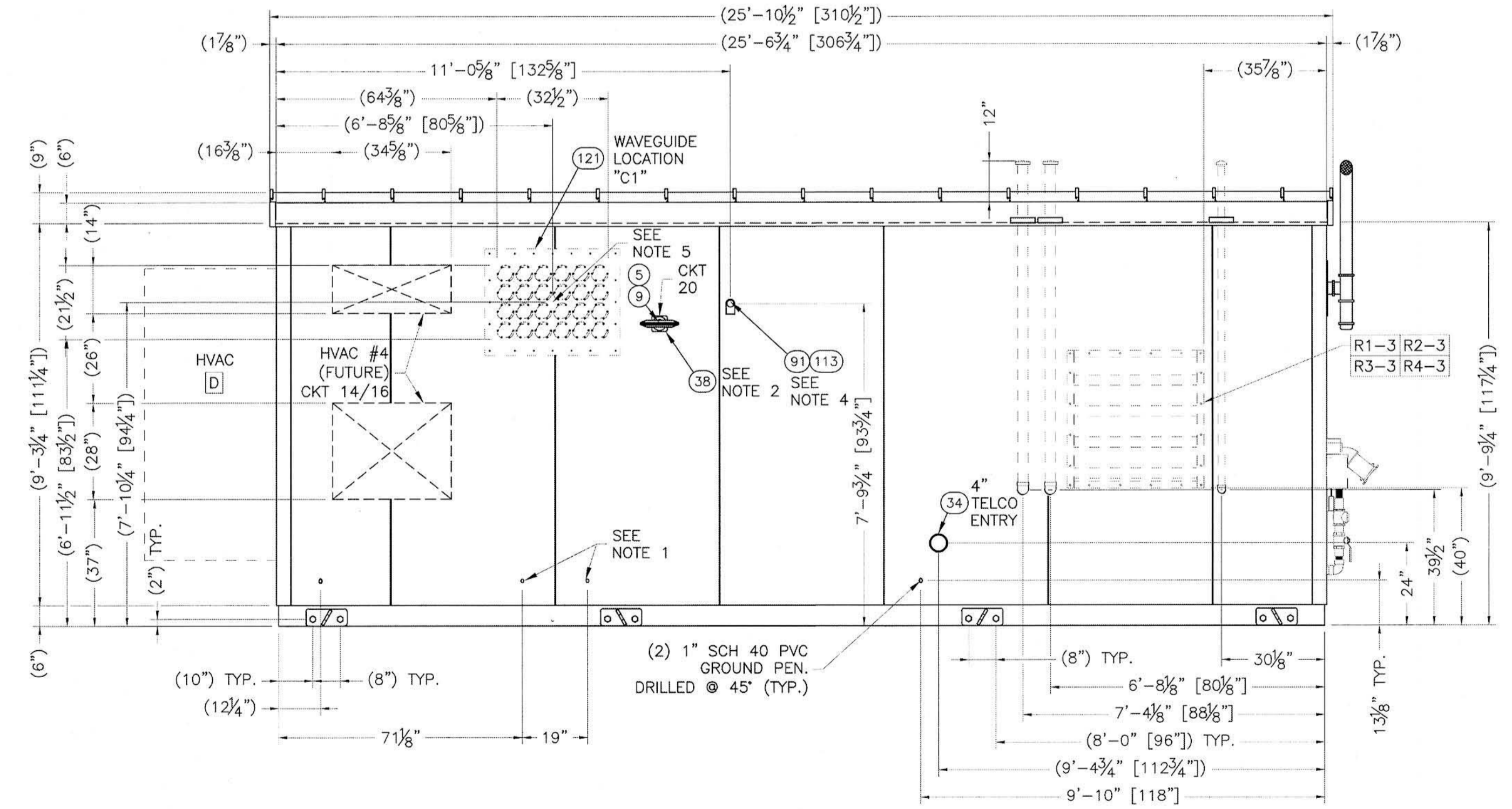
EXTERIOR ELEVATION "A"



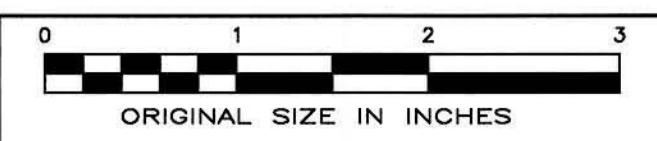
EXTERIOR ELEVATION "B"



EXTERIOR ELEVATION "D"



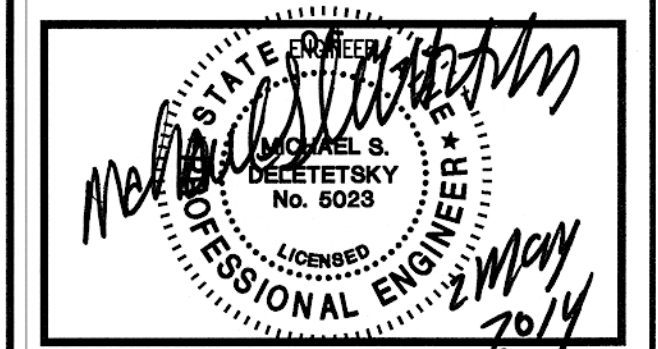
EXTERIOR ELEVATION "C"





PROJECT COORDINATION BY:

SURVEYOR



PROJECT NO: 3618148351

DRAWN BY: CBM

RELEASED BY: MSD

SUBMITTALS

| No. | Description | Date |
|-----|-------------|------|
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5/2/14 ISSUED FOR CONSTRUCTION

PORTLAND 5
201.309.30169

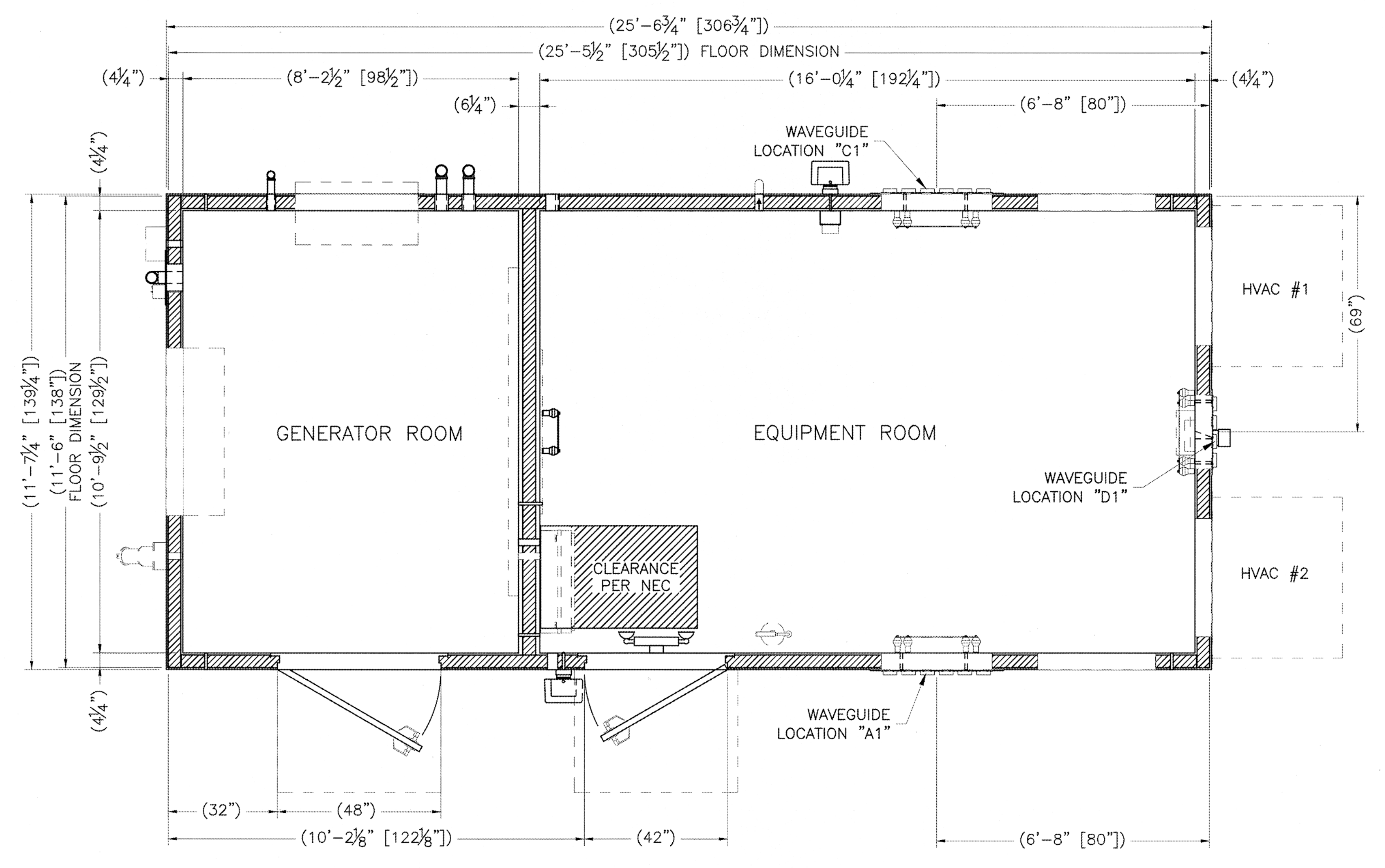
52 CANCO ROAD
PORTLAND, ME 04103

SHEET TITLE

SHELTER FLOOR PLAN

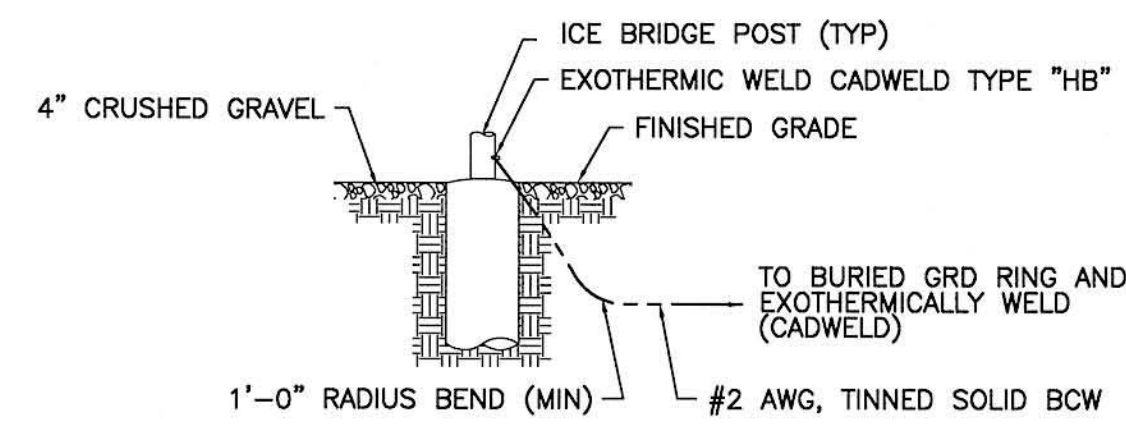
SHEET NUMBER

D-3

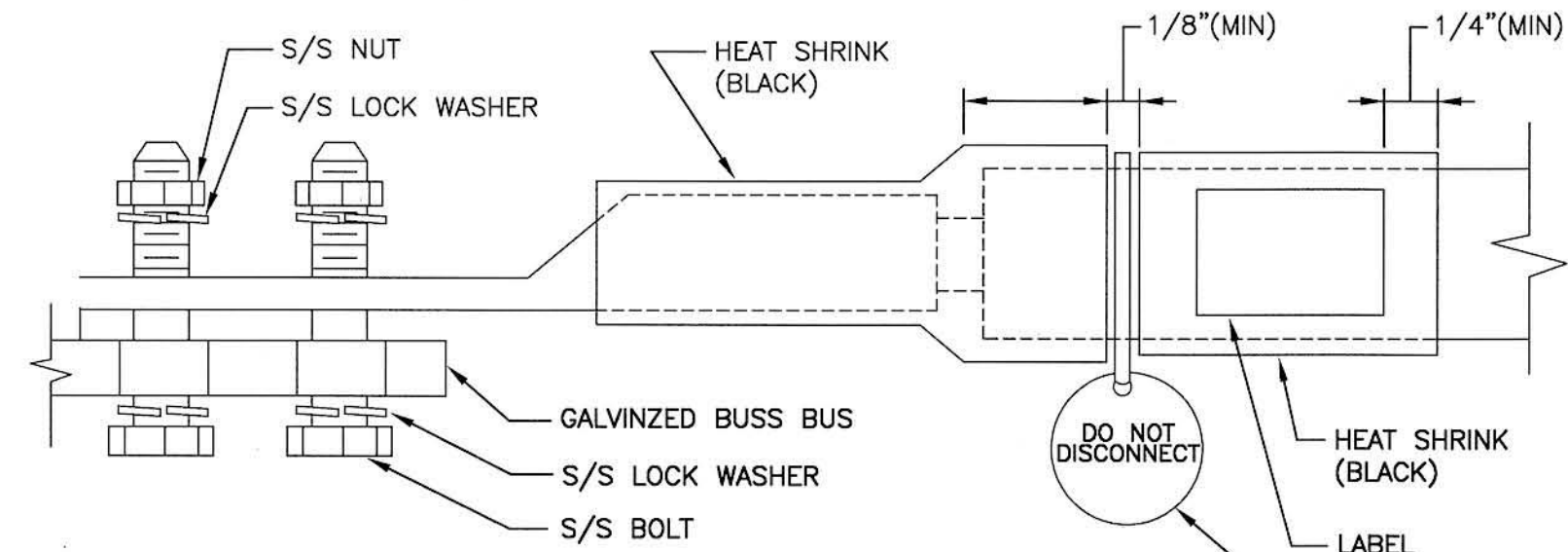


FLOOR PLAN
 296.63 SQ. FT. EXTERIOR AREA
 172.89 SQ. FT. EQUIPMENT ROOM
 88.58 SQ. FT. GENERATOR ROOM





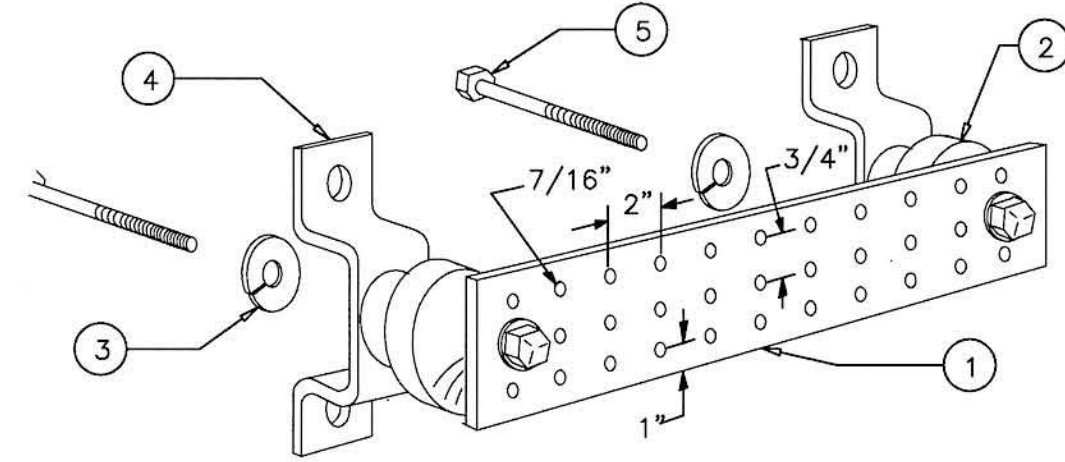
TYPICAL POST GROUNDING
SCALE: N.T.S.



GROUND LUG DETAIL
SCALE: N.T.S.

| WIRE SIZE | BURNDY LUG | BOLT SIZE |
|-----------------|------------|---------------------|
| #6 AWG | YA6C-2TC38 | 3/8" - 16NC S 3 BOL |
| #2 AWG SOLID | YA3C-2TC38 | 3/8" - 16NC S 3 BOL |
| #2 AWG STRANDED | YA2C-2TC38 | 3/8" - 16NC S 3 BOL |
| #2/0 AWG | YA26-2TC38 | 3/8" - 16NC S 3 BOL |
| #4/0 AWG | YA28-2N | 1/2" - 16NC S 3 BOL |

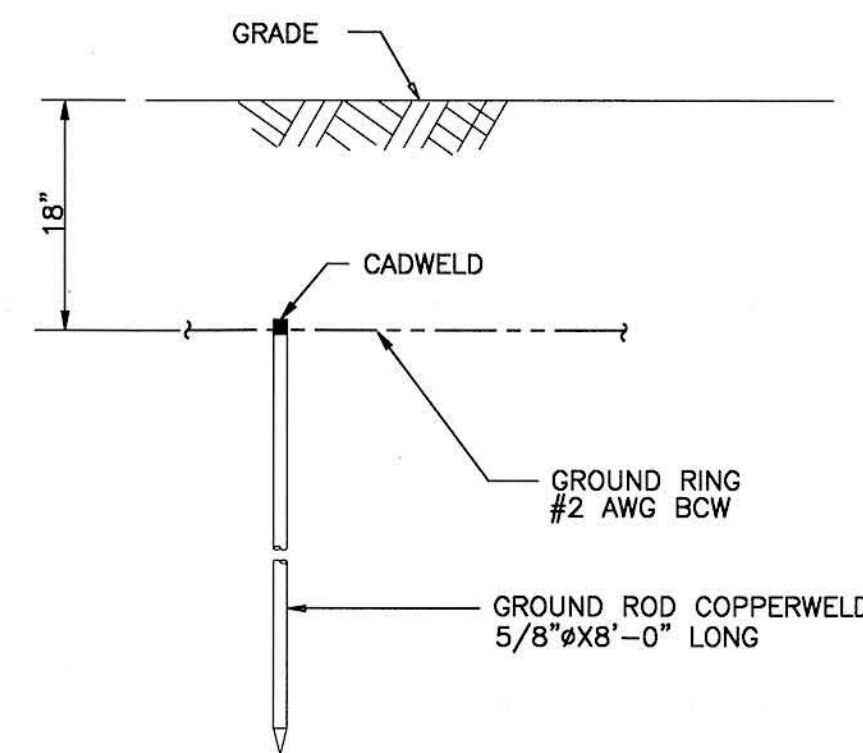
- NOTES:
- ALL HARDWARE 18-8 STAINLESS STEEL INCLUDING LOCK WASHERS, COAT ALL SURFACES WITH KOPR-SHIELD BEFORE MATING.
 - FOR GROUND BOND TO STEEL ONLY: INSERT A DRAGON TOOTH WASHER BETWEEN LUG AND STEEL. COAT ALL SURFACES WITH KOPR-SHIELD.
 - PROVIDE "DO NOT DISCONNECT" TAG AS REQUIRED BY ITEM 2.7 OF NORTHCOAST ENGINEERING LETTER 01.



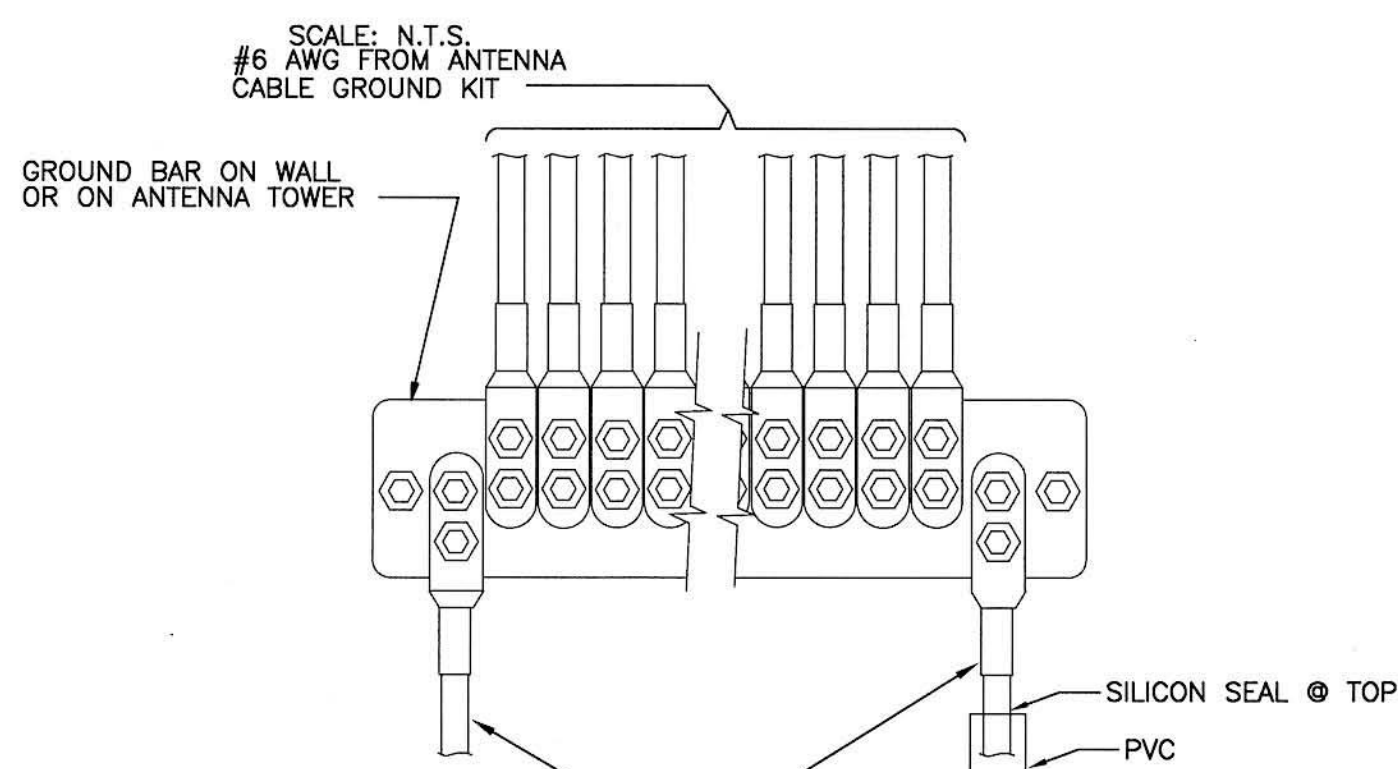
LEGEND

- GALVANIZED BAR, 1/4" X 4" X 20". HOLE CENTERS TO MATCH NEMA DOUBLE LUG CONFIGURATION
- INSULATORS.
- 5/8" LOCKWASHERS.
- WALL MOUNTING BRACKET
- 5/8-11 X 1" H.H.C.S.BOLTS

GROUNDING- STANDARD DETAIL
GROUND BAR
SCALE: N.T.S.



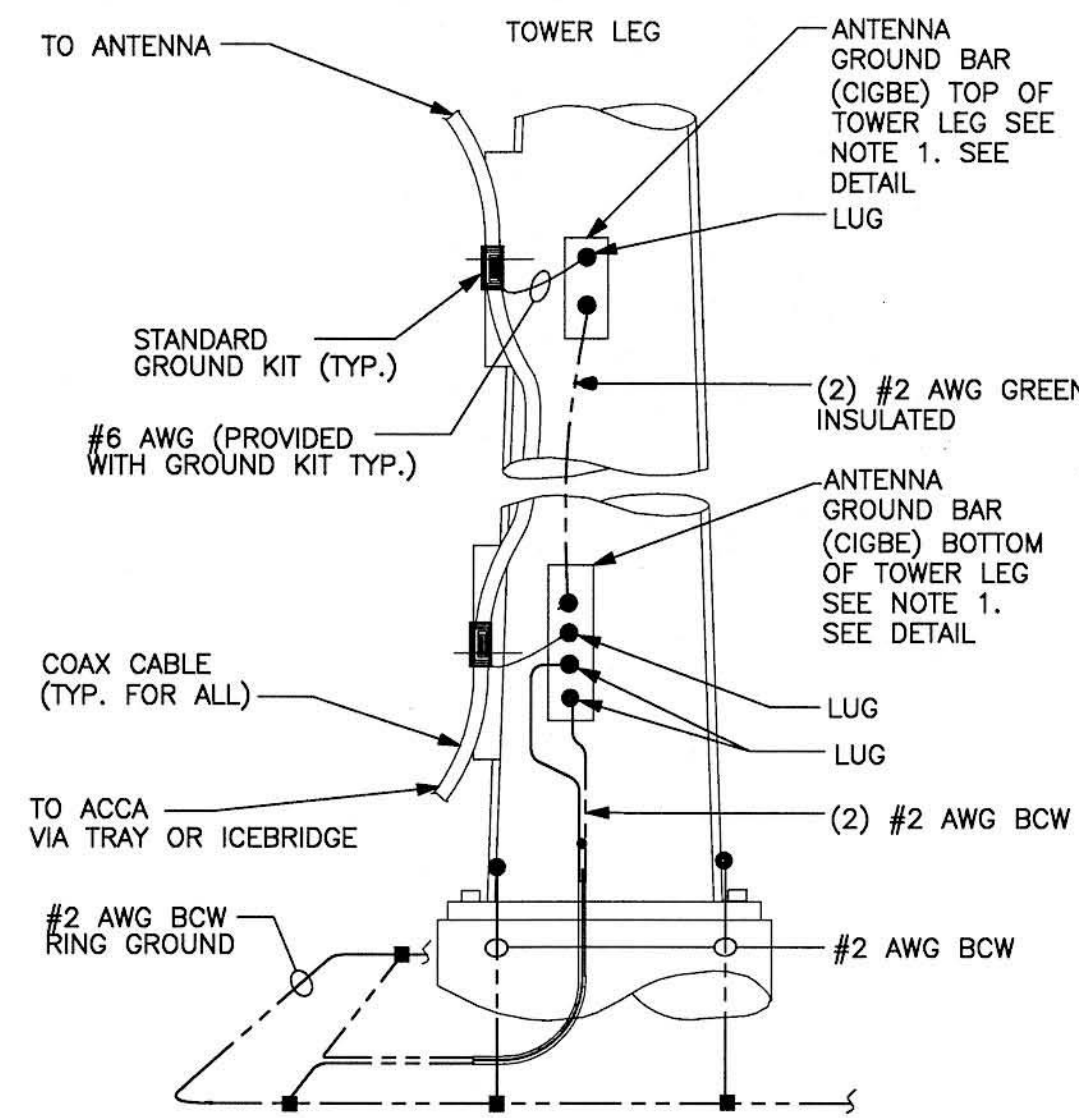
GROUNDING- STANDARD DETAIL
GROUND ROD
SCALE: N.T.S.



NOTE:

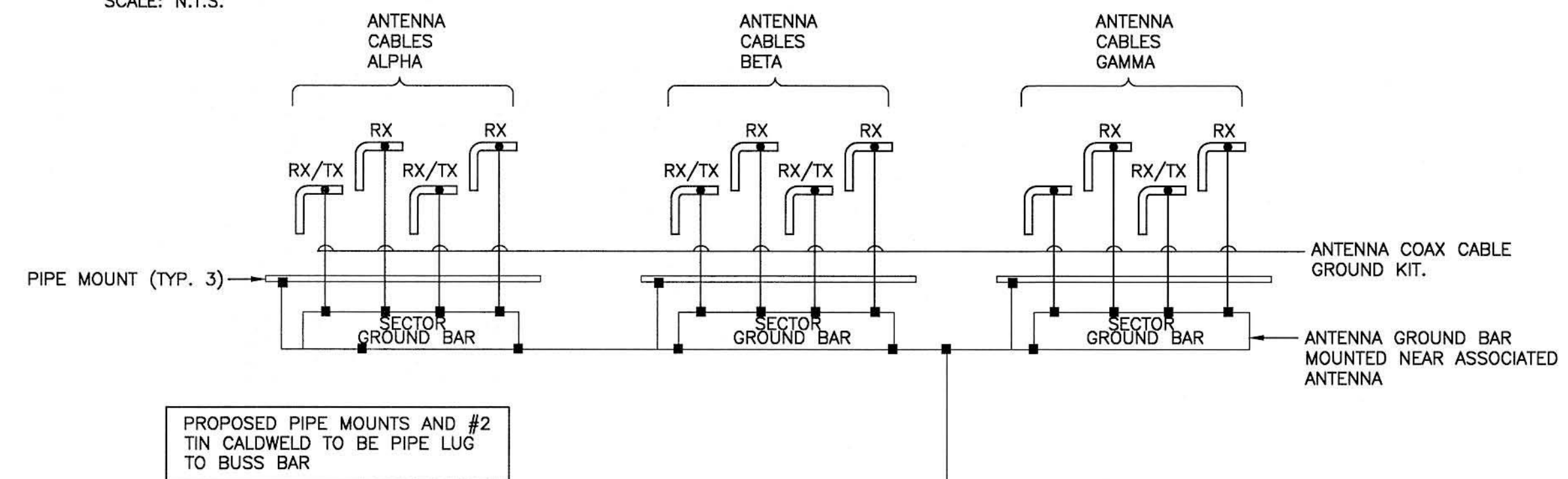
- CONTRACTOR TO UTILIZE KOPR-SHIELD (THOMAS & BETTS) ON ALL LUG CONNECTIONS.

GROUNDING- STANDARD DETAIL INSTALLATION
OF GROUND WIRE TO GROUND BAR
SCALE: N.T.S.



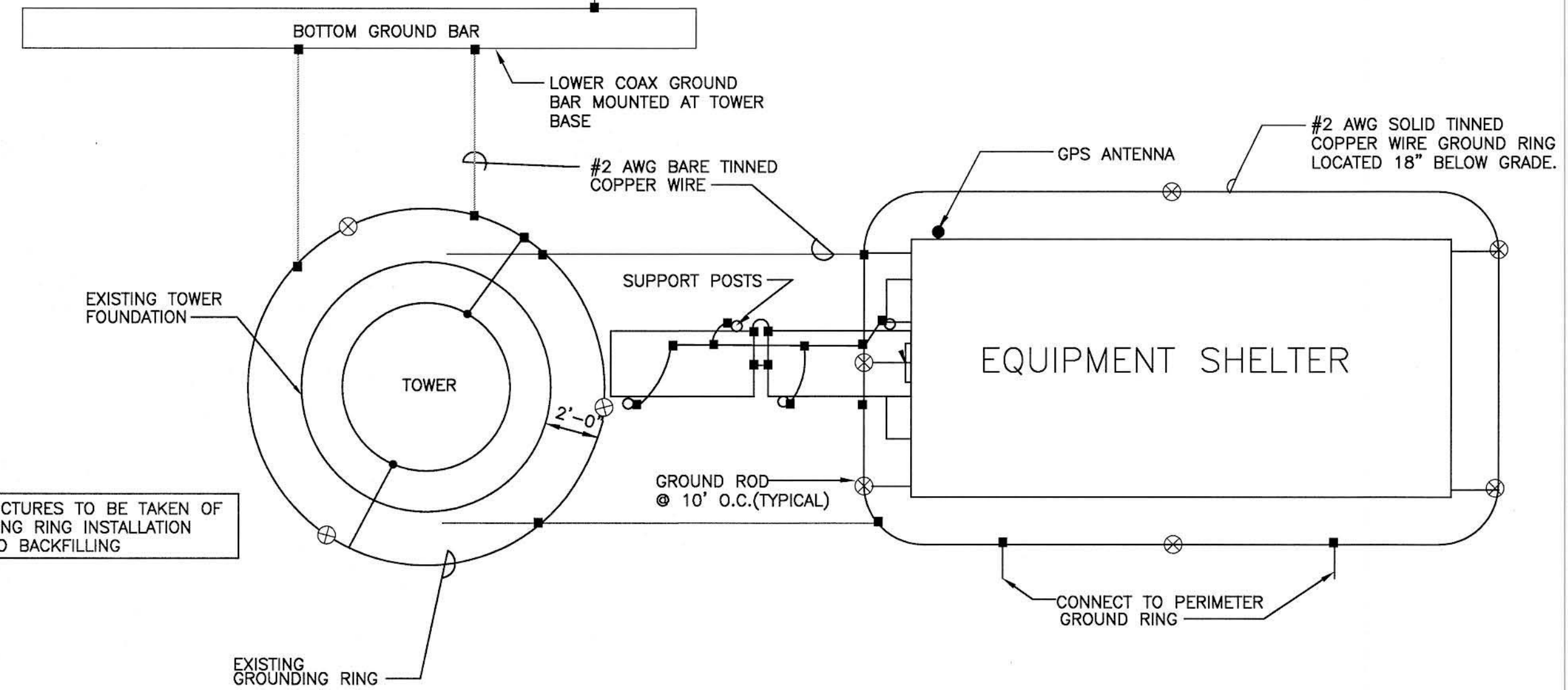
- NOTE:
- NUMBER OF GROUND BARS MAY VARY DEPENDING ON THE TYPE OF TOWER. ANTENNA LOCATION AND CONNECTION ANTENNA LOCATION AND CONNECTION ORIENTATION. PROVIDE AS REQUIRED.
 - A SEPARATE GROUND BAR TO BE USED FOR GPS ANTENNA IF REQUIRED.

ANTENNA CABLE
GROUNDING LUG DETAIL
SCALE: N.T.S.



PROPOSED PIPE MOUNTS AND #2 TIN CALDWELD TO BE PIPE LUG TO BUSS BAR

#2 STRANDED INSULATED GREEN



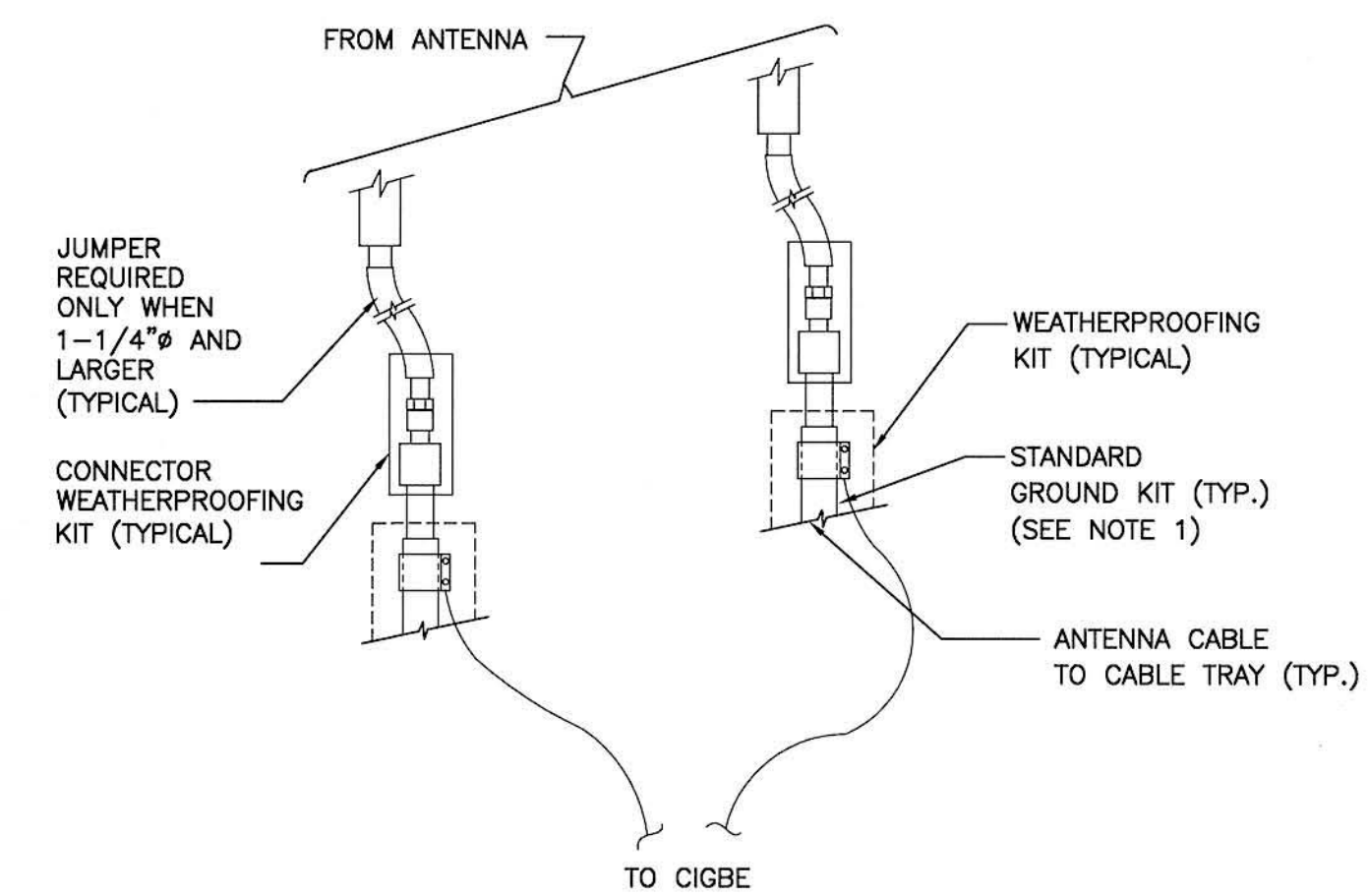
NOTE: PICTURES TO BE TAKEN OF GROUNDING RING INSTALLATION PRIOR TO BACKFILLING

GROUND RISER DIAGRAM
N.T.S.

■ - GROUND CONNECTION



STANDARD DETAIL CONNECTION OF
GROUND WIRES TO COAXIAL CABLES
SCALE: N.T.S.



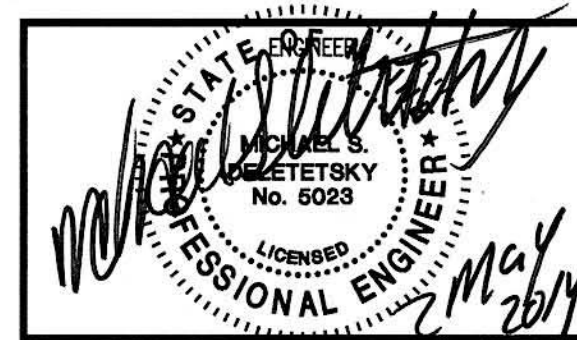
- NOTE:
- DO NOT INSTALL CABLE GROUND KIT AT A BEND AND ALWAYS DIRECT GROUND WIRE DOWN TO CIGBE.

verizon wireless
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FAX: (781) 481-1396

amec
343 Gorham Road, South Portland ME 04108
P: (207) 761-1770 F: (207) 774-1246 www.amec.com

PROJECT COORDINATION BY:

SURVEYOR



PROJECT NO: 3618148351

DRAWN BY: CBM

RELEASED BY: MSD

SUBMITTALS

5/2/14 ISSUED FOR CONSTRUCTION

PORTLAND 5
20130930169

52 CANCO ROAD
PORTLAND, ME 04103

SHEET TITLE

GROUNDING DETAILS

SHEET NUMBER

E-1

GENERAL

- COORDINATE THE STRUCTURAL WORK WITH THE ARCHITECTURAL, CIVIL, MECHANICAL, ELECTRICAL AND PIPING WORKS.
- VERIFY ALL DIMENSIONS IN THE FIELD. DURING ERECTION AND CONSTRUCTION PHASES, PROVIDE ADEQUATE SHORING AND TEMPORARY BRACING OF ALL STRUCTURAL COMPONENTS AND ASSEMBLAGES. NOTIFY OEST OF ALL FIELD CHANGES OR DIMENSION DISCREPANCIES PRIOR TO FABRICATION OR ERECTION.

CODES

- ALL DESIGN AND CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE 2009 I CODE SERIES WITH THE 2011 NEC.
- ADDITIONAL REFERENCED STANDARDS:
 - AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC) MANUAL OF STEEL CONSTRUCTION – ALLOWABLE STRESS DESIGN 1989, 9TH EDITION
 - METAL BUILDING MANUFACTURES ASSOCIATION (MBMA) 1986 LOW RISE BUILDING SYSTEMS MANUAL
 - AMERICAN CONCRETE INSTITUTE ACI 318-95 BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE
 - AMERICAN IRON AND STEEL INSTITUTE (AISI) SPECIFICATION FOR THE DESIGN OF COLD-FORMED STEEL STRUCTURAL MEMBERS
 - AMERICAN SOCIETY OF CIVIL ENGINEERS ASCE 7-98 MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES
- ALL APPLICABLE FEDERAL DEPARTMENT OF LABOR OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA) AND THE AMERICANS WITH DISABILITIES ACT (ADA).

CONCRETE AND REINFORCING STEEL

- ALL TOPSOIL AND ORGANIC MATERIAL SHALL BE REMOVED FROM BENEATH FOUNDATION AREAS.
- SUBGRADE BELOW FOUNDATIONS SHALL BE COMPACTED TO AT LEAST 95% OF MAXIMUM DENSITY FROM ASTM D698 (STANDARD PROCTOR).
- CONCRETE WORK SHALL CONFORM TO ALL REQUIREMENTS OF ACI 301 AND ACI 318. CONCRETE STRENGTHS SHALL BE VERIFIED BY STANDARD 28-DAY CYLINDER TESTS, UNLESS AN ALTERNATE CONCRETE MIX DESIGN IS APPROVED, CONCRETE MIXES SHALL BE AS FOLLOWS:
 - CONCRETE SHALL HAVE 4000 PSI MINIMUM 28 DAY COMPRESSIVE STRENGTH.
 - MAXIMUM AGGREGATE SIZE SHALL BE 3/4" (ASTM C33/467).
 - CEMENT SHALL BE ASTM C150 TYPE I OR TYPE II
 - ALL STRUCTURAL CONCRETE SHALL BE AIR ENTRAINED (5.5 +/- 1.5%).
 - SLUMP SHALL BE 2" TO 4".
- REINFORCING STEEL SHALL HAVE MINIMUM COVER PROTECTION AS FOLLOWS:
 - CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH: 3"
 - CONCRETE EXPOSED TO EARTH OR WEATHER: 2"
 - CONCRETE NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND:

| | |
|-------------------------------------|--------|
| SLABS | 1 1/2" |
| WALLS, JOISTS – #11 BAR AND SMALLER | 3/4" |
| BEAMS, COLUMNS: | |
| PRIMARY REINFORCEMENT, TIES, | |
| STIRRUPS, SPIRALS | 1 1/2" |

STRUCTURAL AND MISCELLANEOUS STEEL

- STRUCTURAL STEEL DESIGN, FABRICATION AND ERECTION SHALL BE IN ACCORDANCE WITH AISC – SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS – ALLOWABLE STRESS DESIGN, JUNE 1, 1989 (9TH EDITION).
- HIGH STRENGTH BOLTS SHALL BE IN ACCORDANCE WITH AISC – SPECIFICATION FOR STRUCTURAL JOINTS USING ASTM A325 OR 490 BOLTS, NOVEMBER 13, 1985.
- WELDING SHALL BE IN ACCORDANCE WITH AWS D1.1 USE AWS PREQUALIFIED JOINT DETAILS.
- STRUCTURAL STEEL MATERIALS SHALL CONFORM TO THE FOLLOWING:
 - CONNECTION MATERIAL, EMBEDDED ITEMS, HOT ROLLED STRUCTURAL SHAPES, BASE PLATES AND MIS. STEEL. ASTM A36
 - STRUCTURAL TUBES ASTM A500 GRADE B
 - STEEL PIPE ASTM A53, GRADE B
 - STRUCTURAL BOLTS ASTM A325-W U.N.O.
 - ANCHOR BOLTS ASTM A307 OR ASTM A36
 - THREADED RODS ASTM A36 OR ASTM A307
 - WELDING ELECTRODES E70XX

GROUNDING NOTES:

- ALL DETAILS ARE SHOWN DIAGRAMATICALLY. ACTUAL GROUNDING INSTALLATION AND CONSTRUCTION MAY VARY DUE TO SITE SPECIFIC CONDITIONS.
- ALL GROUND WIRE SHALL BE BARE TINNED COPPER #2 AWG UNLESS OTHERWISE NOTED.
- ALL GROUND WIRES SHALL PROVIDE A STRAIGHT, DOWNWARD PATH TO GROUND WITH GRADUAL BENDS AS REQUIRED. GROUND WIRES SHALL NOT BE LOOPED OR SHARPLY BENT.
- ELECTRICAL CONTRACTOR SHALL COORDINATE CONNECTIONS TO EXISTING GROUND RINGS WITH SITE CONSTRUCTION MANAGER.
- ANTENNA GROUND KITS SHALL BE FURNISHED BY US CELLULAR AND INSTALLED BY CONTRACTOR.
- GROUND SYSTEM SHALL BE TESTED AND SHALL HAVE A RESISTANCE OF 5 OHMS OR LESS. PHOTO REQUIRED

COAXIAL-CABLE BRIDGE NOTES

- ALL BRIDGE KITS SHALL BE INSTALLED AS PER THE MANUFACTURERS RECOMMENDATIONS.
- STRUCTURAL STEEL SHALL BE ASTM A36. PIPE SHALL BE ASTM A53, GRADE B (SEAMLESS)
- EXTERIOR STEEL SHALL BE HOT-DIP GALVANIZED, AFTER FABRICATION AND WELDING, TO ASTM A123. HARDWARE SHALL BE EITHER A325 STEEL, GALVANIZED TO ASTM A153, OR 18-8 STAINLESS.
- SIZE, NUMBER AND POSITION OF COAXIAL CABLES MAY VARY.
- POSITION BRIDGE ASSEMBLY SO THAT COAXIAL CABLES INTERSECT AT LADDER CENTERLINE. HEIGHT ABOVE GROUND MAY VARY ACCORDING TO SITE LAYOUT.
- FOUNDATION SHALL BE 18" DIAM. SONOTUBE 48" DEEP BELOW GRADE AND 6" ABOVE GRADE FILLED WITH 4000 psi CONCRETE WITH 3/4" MAXIMUM AGGREGATE.

EROSION AND SEDIMENT CONTROL PLAN

THIS PLAN HAS BEEN DEVELOPED TO PROVIDE A STRATEGY FOR CONTROLLING SOIL EROSION AND SEDIMENTATION DURING AND AFTER CONSTRUCTION OF THE PROPOSED DEVELOPMENT. THIS PLAN IS BASED ON STANDARDS AND SPECIFICATIONS FOR EROSION PREVENTION IN DEVELOPING AREAS AS CONTAINED IN STORMWATER MANAGEMENT AND EROSION AND SEDIMENT CONTROL HANDBOOK FOR URBAN AND DEVELOPING AREAS IN MAINE.

SEEDING AND REVEGETATION PLAN

UPON COMPLETION OF SITE CONSTRUCTION, ALL AREAS PREVIOUSLY DISTURBED WILL BE TREATED AS STATED BELOW. THESE AREAS WILL BE CLOSELY MONITORED BY THE CONTRACTOR UNTIL SUCH TIME AS A SATISFACTORY GROWTH OF VEGETATION IS ESTABLISHED.

- OUTSIDE THE LIMITS OF THE PLAYING FIELD, LOAM WILL BE SPREAD OVER ALL DISTURBED AREAS AND GRADED TO A UNIFORM DEPTH OF 4 INCHES. LOAM DEPTH FOR THE PLAYING FIELD WILL BE AS SPECIFIED IN ACCORDANCE WITH THE TYPICAL SECTION AS SHOWN ON DRAWING C-300.
- THE FOLLOWING WILL BE INCORPORATED INTO THE SOIL PRIOR TO SEEDING: AGRICULTURAL LIMESTONE AT THE RATE OF 130 POUNDS PER 1,000 SQUARE FEET, FOLLOWED BY 10-10-10 FERTILIZER AT THE RATE OF 14 POUNDS PER 1,000 SQUARE FEET.
- DISTURBED AREAS WILL BE SEEDING AT THE RATE OF 3 LBS. PER 1,000 SQ. FT. OF THE MIXTURE AS SPECIFIED IN ACCORDANCE WITH THE TYPICAL SECTION AS SHOWN ON DRAWING C-300.
- SEEDING WILL BE COMPLETED BETWEEN THE DATES OF APRIL 1 AND SEPTEMBER 15. WATERING MAY BE REQUIRED DURING DRY PERIODS PRIOR TO THE INSTALLATION OF THE NEW IRRIGATION SYSTEM.
- HAY MULCH WILL BE APPLIED AT THE RATE OF 100 LBS. PER 1,000 SQ. FT. FOLLOWING SEEDING. MULCH SHALL BE ANCHORED BY WATERING OR TRACKING BY BULLDOZER FLAT AREAS, USING ANCHORING EMULSION OR TRACKING BY BULLDOZER ON AREAS OF MODERATE SLOPES AND INSTALLING BIODEGRADABLE NETS ON STEEP SLOPES (3:1 AND STEEPER).
- ALL SEDIMENT CONTROL STRUCTURES WILL REMAIN IN PLACE UNTIL VEGETATION IS ESTABLISHED. ESTABLISHED MEANS A MINIMUM OF 75% OF THE AREA IS VEGETATED WITH VIGOROUS GROWTH.

GENERAL CONSTRUCTION DETAILS

THE EQUIPMENT ANTICIPATED TO BE USED FOR THE CONSTRUCTION INCLUDES THE FOLLOWING: BACKHOES, BULLDOZERS, LOADERS, TRUCKS, COMPACTORS, CRANES, AND GRADERS. THE FOLLOWING MEASURES WILL BE UNDERTAKEN TO PROVIDE MAXIMUM PROTECTION TO THE SOIL, WATER, AND ADJUTING LANDS:

- PRIOR TO GRUBBING OR ANY EARTH MOVING OPERATION, SILTATION FENCE WILL BE INSTALLED AS SHOWN ON THE ATTACHED DRAWINGS AS PROTECTION AGAINST CONSTRUCTION RELATED EROSION.
- PERMANENT SOIL EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, OR ANY DISTURBED LAND AREA WILL BE COMPLETED WITHIN FIFTEEN CALENDAR DAYS AFTER FINAL GRADING HAS BEEN COMPLETED. WHEN IT IS NOT POSSIBLE OR PRACTICAL TO PERMANENTLY STABILIZE DISTURBED LAND, TEMPORARY EROSION CONTROL MEASURES WILL BE IMPLEMENTED WITHIN THIRTY CALENDAR DAYS OF EXPOSURE OF SOIL. ALL DISTURBED AREAS WILL BE MULCHED FOR EROSION CONTROL UPON COMPLETION OF ROUGH GRADING.
- ANY EXPOSED SLOPES GREATER THAN 3:1 AND NEWLY CONSTRUCTED DRAINAGE SWALES WILL BE STABILIZED WITH EROSION CONTROL MESH TO PREVENT EROSION DURING CONSTRUCTION AND TO FACILITATE REVEGETATION AFTER LOAMING AND SEEDING.
- NATIVE TOPSOIL SHALL BE SAVED, STOCKPILED, MULCHED, AND REUSED AS MUCH AS POSSIBLE ON THE SITE. SILTATION FENCE SHALL BE INSTALLED AT THE BASE OF STOCKPILES AT THE DOWNHILL LIMIT TO PROTECT AGAINST EROSION. STOCKPILES WILL BE STABILIZED BY SEEDING AND MULCHING UPON FORMATION OF THE PILES. UPHILL OF THE STOCKPILES, STABILIZED DITCHES AND/OR BERMS WILL BE CONSTRUCTED TO DIVERT STORMWATER RUNOFF AWAY FROM THE PILES.
- ALL SILTATION FENCE AND HAY BALE BARRIERS WILL BE INSPECTED BY THE CONTRACTOR ON A WEEKLY BASIS OR FOLLOWING ANY SIGNIFICANT RAINFALL (1/2 INCH OR MORE) OR SNOWMELT. ALL DAMAGED EROSION CONTROL DEVICES WILL BE REPAIRED AND/OR REPLACED IMMEDIATELY. TRAPPED SEDIMENT WILL BE REMOVED BEFORE IT HAS ACCUMULATED TO ONE-HALF OF THE INSTALLED SILTATION FENCE OR HAY BALE BARRIER HEIGHT. DEVICES NO LONGER SERVICEABLE DUE TO SEDIMENT ACCUMULATION WILL ALSO BE REPAIRED AND/OR REPLACED AS NECESSARY.
- IF FINAL SEEDING OF THE DISTURBED AREAS IS NOT COMPLETED BY SEPTEMBER 15 OF THE YEAR OF CONSTRUCTION, THEN WITHIN THE NEXT 10 CALENDAR DAYS THESE AREAS WILL BE GRADED AND SMOOTHED, THEN SEEDING TO A WINTER COVER CROP OF RYE AT A RATE OF 3 LBS. PER 1,000 SQ. FT. THE FOLLOWING WILL BE INCORPORATED INTO THE SOIL PRIOR TO RYE SEEDING: GROUND LIMESTONE AT A RATE OF 130 LBS. PER 1,000 SQ. FT., FOLLOWED BY A 10-10-10 FERTILIZER AT A RATE OF 14 LBS. PER 1,000 SQ. FT. HAY MULCH WILL BE APPLIED AT A RATE OF 100 LBS. PER 1,000 SQ. FT. FOLLOWING SEEDING. IF THE RYE SEEDING CANNOT BE COMPLETED BY OCTOBER 1, THEN ON THAT DATE HAY MULCH SHALL BE APPLIED AT THE RATE OF 2 TONS PER ACRE TO PROVIDE WINTER PROTECTION. IF RYE DOES NOT MAKE ADEQUATE GROWTH BY NOVEMBER 5, THEN ON THAT DATE, HAY MULCH SHALL BE APPLIED AT THE RATE OF 100 LBS. PER 1,000 SQ. FT. A SUITABLE BINDER SUCH AS CURASOL OR RMB PLUS SHALL BE USED ON HAY MULCH FOR WIND CONTROL. BIODEGRADABLE NETTING WILL BE INSTALLED ON STEEP SLOPES (3:1 AND STEEPER) AND ON AREAS OF CONCENTRATED FLOWS.
- INTERCEPTED SEDIMENT WILL BE RETURNED TO THE SITE AND INCORPORATED INTO THE PROJECT AREA.
- SHOULD CONSTRUCTION OCCUR AFTER OCTOBER 1, ADDITIONAL EROSION CONTROL METHODS WILL BE IMPLEMENTED. ALL DISTURBED AREAS WILL BE MINIMIZED AS MUCH AS POSSIBLE. PRIOR TO FREEZING, ADDITIONAL EROSION CONTROL DEVICES WILL BE INSTALLED AS APPROPRIATE. INSPECTION OF THESE EROSION CONTROL ITEMS WILL BE CONSTANT, WITH PARTICULAR ATTENTION PAID TO WEATHER PREDICTIONS TO ENSURE THAT THESE MEASURES ARE PROPERLY IN PLACE TO HANDLE LARGE AMOUNTS OF RUNOFF FROM HEAVY RAINS OR THAWS.
- CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS AND ASSOCIATED FEES
- CONTRACTOR IS REQUIRED TO BE PREPARED FOR ALL WEATHER CONDITIONS AND ACCOUNT FOR THEM IN BID



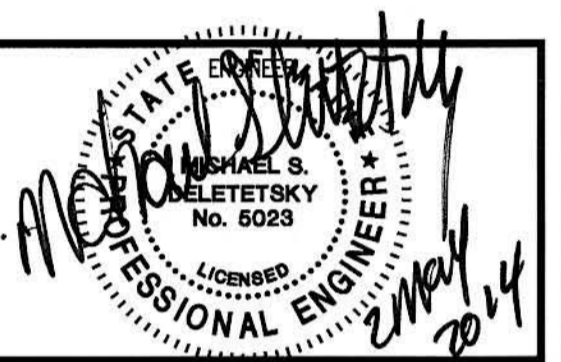
400 FRIBERG PARKWAY
WESTBOROUGH, MA 01581
PHONE: (508) 330-3300
FAX: (781) 481-1396



343 Gorham Road, South Portland ME 04106
P: (207) 781-1770 F: (207) 774-1246 www.amec.com

PROJECT COORDINATION BY:

SURVEYOR



PROJECT NO: 3618148351

DRAWN BY: CBM

RELEASED BY: MSD

SUBMITTALS

| NO. | DESCRIPTION | DATE | STATUS |
|-----|-------------|--------|-------------------------|
| 1 | AS BUILT | 5/2/14 | ISSUED FOR CONSTRUCTION |

PORTLAND 5
20130930169

52 CANCO ROAD
PORTLAND, ME 04103

SHEET TITLE

GENERAL NOTES

SHEET NUMBER

G-1





verizon wireless

SITE NAME: PORTLAND 5
 SITE NO. 20130930169
 LATITUDE: 43° 40' 54.07"
 LONGITUDE: 70° 17' 13.28"

EXISTING 150' MONOPOLE TOWER AND
 PROPOSED CO-LOCATION OF EQUIPMENT BUILDING AND ANTENNAS

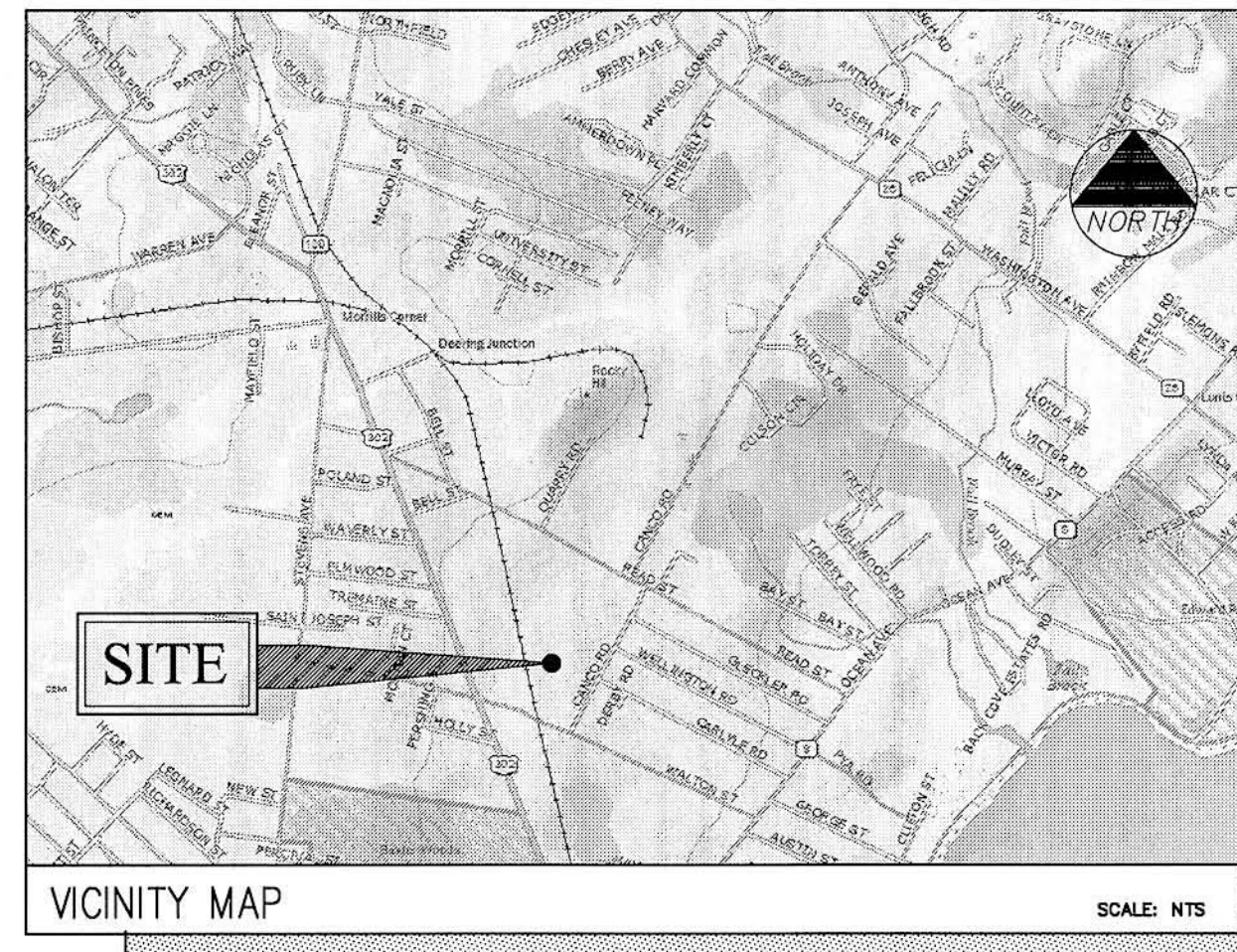
SITE NUMBER: 2013090169
 SITE NAME: PORTLAND 5
 TOWER TYPE: 150' MONOPOLE TOWER (EXISTING)
 SITE ADDRESS: 52 CANCO ROAD
 PORTLAND, ME 04103

PROPERTY OWNER: F. GILBERT CONGDON III ET ALS
 141 PROSPECT ST
 PORTLAND, ME 04103

MAP/BLOCK/LOT: 147/C/1

APPLICANT: VERIZON WIRELESS
 400 FRIBERG PARKWAY
 WESTBOROUGH, MA 01581

PROJECT SUMMARY



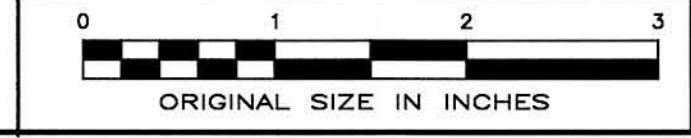
DIRECTIONS
 FROM PORTLAND INTERNATIONAL JETPORT: FROM AIRPORT TAKE THE ACCESS ROAD TO ROUTE 9/22 (APPROX. .6 MILES) AND TAKE A RIGHT ONTO OUTER CONGRESS STREET. PROCEED 2.1 MILES ON CONGRESS STREET TO THE INTERSTATE 295 NORTH EXIT AND FOLLOW I 295 NORTH TO EXIT 6B. THE EXIT WILL PUT YOU ON FOREST AVENUE WEST AND CONTINUE OUT FOREST AVE FOR 1 MILE WHERE YOU CROSS THE RAILROAD TRACKS AND THEN IN .5 MILES YOU WILL TAKE A RIGHT ONTO WALTON STREET. PROCEED DOWN WALTON STREET FOR .2 MILES AND TAKE A LEFT ONTO CANCO ROAD. THE SITE IS ON YOUR LEFT .3 MILES DOWN CANCO ROAD.

| SHEET NO. | DESCRIPTION | DATE | REV. NO. |
|-----------|---------------------------------|--------|----------|
| T-1 | TITLE SHEET | 5/2/14 | 0 |
| C-1 | PLOT PLAN | 5/2/14 | 0 |
| C-1A | UTILITY PLAN | 5/2/14 | 0 |
| C-2 | SITE PLAN | 5/2/14 | 0 |
| C-3 | LAYOUT PLAN AND TOWER ELEVATION | 5/2/14 | 0 |
| D-1 | SECTIONS AND DETAILS | 5/2/14 | 0 |
| D-2 | SHELTER ELEVATION PLAN | 5/2/14 | 0 |
| D-3 | SHELTER FLOOR PLAN | 5/2/14 | 0 |
| E-1 | GROUNDING DETAILS | 5/2/14 | 0 |
| G-1 | GENERAL NOTES | 5/2/14 | 0 |
| | | | |
| | | | |

SHEET INDEX

BUILDING REQUIREMENTS:
 BUILDING IS UNMANNED AND NOT FOR HUMAN HABITATION. HANDICAPPED ACCESS REQUIREMENTS NOT REQUIRED.

PLUMBING REQUIREMENTS:
 FACILITY HAS NO PLUMBING.



verizon wireless
 400 FRIBERG PARKWAY
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amec
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PROJECT COORDINATION BY:

SURVEYOR

Michael S. Deletetsky
 MICHAEL S. DELETETSKY
 No. 5023
 LICENSED PROFESSIONAL ENGINEER
 2 May 2014

PROJECT NO: 3618148351

DRAWN BY: CBM

RELEASED BY: MSD

SUBMITTALS

| NO. | DATE | DESCRIPTION |
|-----|--------|-------------------------|
| 1 | 5/2/14 | ISSUED FOR CONSTRUCTION |

PORTLAND 5
 20130930169

52 CANCO ROAD
 PORTLAND, ME 04103

SHEET TITLE
 TITLE SHEET

SHEET NUMBER
 T-1