



DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

# CITY OF PORTLAND BUILDING PERMIT



This is to certify that

BROWN J B & SONS

Located at

150 READ ST

PERMIT ID: 2012-49014    ISSUE DATE: 04/12/2013    CBL: 147 B001001

has permission to **Demo section of multi-story building**

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be procured prior to occupancy.

\_\_\_\_\_  
Fire Prevention Officer

\_\_\_\_\_  
Code Enforcement Officer / Plan Reviewer

**THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY  
THERE IS A PENALTY FOR REMOVING THIS CARD**

**BUILDING PERMIT INSPECTION PROCEDURES**  
Please call 874-8703 (ONLY)  
or email: [buildinginspections@portlandmaine.gov](mailto:buildinginspections@portlandmaine.gov)

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

**REQUIRED INSPECTIONS:**

Pre-Demolition Inspection  
Final Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b>	<b>Date Applied For:</b>	<b>CBL:</b>
2012-49014	10/05/2012	147 B001001

<b>Location of Construction:</b> 150 READ ST	<b>Owner Name:</b> BROWN J B & SONS	<b>Owner Address:</b> PO BOX 207	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b>	<b>Contractor Address:</b>	<b>Phone:</b>
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Demolition - Building/Rebuild	

<b>Proposed Use:</b> Demo section of multi-story building	<b>Proposed Project Description:</b> Demo section of multi-story building
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**Dept:** Building      **Status:** Approved w/Conditions      **Reviewer:** Tammy Munson      **Approval Date:** 04/12/2013**Note:**      **Ok to Issue:** ☒

- 1) Demolition permit only. No other construction activities allowed until a separate approved building permit is issued. The foundation hole shall be filled in and the site graded. Demo permit only! Construction requires separate permits.
- 2) Demolition permits are valid for a period of 30 days from the date of issuance. A written request must be submitted and granted for an extension to this time period. Dust prevention shall be controlled per Chapter 6 of the Municipal Ordinance and Demolition per Section 3303 of the IBC 2009.

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: <b>2012-10-5129-DEMO</b>	Date Applied: <b>10/5/2012</b>	CBL: <b>147- B-001-001</b>	
Location of Construction: <b>150-184 READ ST</b>	Owner Name: <b>J.B. BROWN &amp; SONS - Vin Veroneau</b>	Owner Address: <b>PO BOX 207 PORTLAND, ME 04112</b>	Phone: <b>774-5908</b>
Business Name:	Contractor Name: <b>J.E. Butler LLC</b>	Contractor Address: <b>50 LEEDS WAY HOLDEN MAINE 04429</b>	Phone:
Lessee/Buyer's Name:	Phone:	Permit Type: <b>DEMO</b>	Zone: <b>I-M</b>
Past Use: <b>Warehouse and Trucking Terminal</b>	Proposed Use: <b>Same: Warehouse and Trucking Terminal – Demolition of the multi-story section of the building. 47,000 sq. ft. to remain</b>	Cost of Work: <b>\$440,000.00</b>	CEO District:
		Fire Dept: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <input type="checkbox"/> N/A Signature: <i>Capt. Brown 11-8-12</i>	Inspection: Use Group Type: <b>DEMO</b> Signature: <i>[Signature]</i>
Proposed Project Description: <b>Demo section of multi-story building</b>		Pedestrian Activities District (P.A.D.)	

Permit Taken By: Brad	<b>Zoning Approval</b>		
<ol style="list-style-type: none"><li>This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</li><li>Building Permits do not include plumbing, septic or electrical work.</li><li>Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.</li></ol>	<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetlands <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan  Maj Min MM Date: <i>10/9/12</i>	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied  Date:	<b>Historic Preservation</b> <i>assess</i> <input type="checkbox"/> Not in Dist or Landmark <input type="checkbox"/> Does not Require Review <input checked="" type="checkbox"/> Requires Review <i>denial</i> <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied  Date: <i>10/25/12</i>
	<b>CERTIFICATION</b>		

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE			
DATE		PHONE	



# Demolition of a Structure Permit Application

Entered 10/5/12  
(3)

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

# 2012-10-5129-Demo

Location/Address of Construction: 50-184 Read Street (listed as 150 Read on Tax Card)		
Total Square Footage of Proposed Structure 179,000 sf		Square Footage of Lot: 4.65 acres
Tax Assessor's Chart, Block & Lot: Chart# 147 Block# B Lot# 1	Owner: J.B. Brown & Sons	Telephone: 774-5908
Lessee/Buyer's Name (if Applicable) OCT 05 2012 RECEIVED Dept. of Building Inspections City of Portland Maine	Applicant name, address & telephone: J.B. Brown & Sons 36 Danforth St. Portland, ME 04101	Cost Of Work: \$ 440,000 Fee: \$ 4420
Current legal use: (i.e. garage, warehouse) Warehouse If vacant, what was the previous use? Warehouse How long has it been vacant? Project description: Demolition of the multi-story section of the building. 47,000sf addition to remain.		
Contractor's name, address & telephone: J.E. Butler, LLC 50 Leeds Way, Holden, ME 04429		
Who should we contact when the permit is ready: Vin Veronau Mailing address: 36 Danforth St. Portland, ME 04101 Telephone: 774-5908		

Electronic files in pdf format are also required

Please submit all of the information outlined in the Demolition call list. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: [Signature]

Date: 10/4/12

This is not a permit; you may not commence ANY work until the permit is issued.

147 B-001

150 READ ST



**CENTRAL MAINE  
POWER**

February 21, 2013

J B Brown  
C/O Ms. Trish Weimer  
PO Box 207 DTS  
Portland, Maine 04112-0207

RE: Removal of Vault Transformers, 184 Read Street, Portland

Dear Ms. Weimer,

This letter is a confirmation that Central Maine Power has disconnected and removed the ( 3 ) vault transformers that were located inside the facility at 184 Read Street, Portland, Maine.

The old primary electric service to 184 Read Street was de-energized during the week of February 4, 2013 and the transformers were removed on Friday, February 15, 2013.

If you have any questions please call me at 828-2882.

Sincerely,

Paul DuPerre  
Energy Service Specialist

RECEIVED  
MAR 21 2013  
Dept. of Building Inspections  
City of Portland Maine

162 Canco Road, Portland, ME 04103  
Telephone 800.750.4000, Fax 207.791.1026  
cmpco.com



**IBERDROLA  
USA**

An equal opportunity employer



## Trish Weimer

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**From:** Caprio, John <John.Caprio@fairpoint.com>  
**Sent:** Wednesday, February 20, 2013 1:08 PM  
**To:** Trish Weimer  
**Subject:** RE: 184 Read Street - Phone Lines Removed

RECEIVED  
MAR 21 2013  
Dept. of Building Inspections  
City of Portland Maine

Yes, this is complete.

**John Caprio - Outside Plant Engineer**

FairPoint Communications / 5 Davis Farm Rd., Portland Me 04103 / [jcaprio@fairpoint.com](mailto:jcaprio@fairpoint.com)  
207-797-1678 office/ 207-797-1098 fax

**From:** Trish Weimer [mailto:[tweimer@jbbrown.com](mailto:tweimer@jbbrown.com)]  
**Sent:** Wednesday, February 20, 2013 9:20 AM  
**To:** Caprio, John  
**Subject:** 184 Read Street - Phone Lines Removed

Hi John,

The City of Portland requires confirmation that phone lines have been removed at 184 Read Street.

Would you please formally confirm (via e-mail) is fine that this has been completed.

Thank you,

Trish Weimer  
Vice President of Operations  
JB Brown & Sons  
36 Danforth Street  
Portland, ME 04101  
207-774-5908  
(F) 207-774-0898

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This e-mail message and its attachments are for the sole use of the intended recipients. They may contain confidential information, legally privileged information or other information subject to legal restrictions. If you are not the intended recipient of this message, please do not read, copy, use or disclose this message or its attachments, notify the sender by replying to this message and delete or destroy all copies of this message and attachments in all media.

## Trish Weimer

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**From:** Bellemare, Richard <bellemare@unitil.com>  
**Sent:** Thursday, February 21, 2013 8:35 AM  
**To:** Trish Weimer  
**Subject:** RE: 184 Read Street - Gas Connection Terminated

RECEIVED  
MAR 21 2013  
Dept. of Building Inspections  
City of Portland Maine

To Whom it may concern

The gas service line to building # 184 Read St Portland has been retired. A new service line has been relocated to a portion of the building out of the demolition area

**From:** Trish Weimer [mailto:tweimer@jbbrown.com]  
**Sent:** Wednesday, February 20, 2013 1:44 PM  
**To:** Bellemare, Richard  
**Subject:** 184 Read Street - Gas Connection Terminated

Hi Rick,

Before we begin demolition, the City of Portland requires written confirmation that the gas service has been terminated at the 3 story portion of 184 Read Street.

Would you please confirm this has occurred?  
Responding to this e-mail should be sufficient.

Thank you,

Trish Weimer  
Vice President of Operations  
JB Brown & Sons  
36 Danforth Street  
Portland, ME 04101  
207-774-5908  
(F) 207-774-0898





590 County Road, Suite 2, Westbrook ME 04092

Tel (207) 773-1276 \* Fax (207) 772-1203

February 14, 2013

To whom it may concern;

**RE: 184 Read St, Portland, Maine**

Please accept this letter as a confirmation that Abatement Professionals was hired by JB Brown & Sons to conduct asbestos removal from the building located at 184 Read St Portland, Maine.

Abatement Professionals performed the asbestos removal on 11/4/2012 and finished on 1/24/2013.

Therefore, as of 1/24/2013 the property has been cleared of any asbestos and ready for the next phase of development.

If you have any questions please feel free to contact my office at 207-773-1276 ex 204.

Sincerely

A handwritten signature in black ink, appearing to read 'KR' followed by a stylized flourish.

Kyle Rickett  
Vice President

Enclosures

KR/ser

RECEIVED  
MAR 21 2013  
Dept. of Building Inspections  
City of Portland Maine



# PORTLAND MAINE

*Strengthening a Remarkable City, Building a Community for Life • [www.portlandmaine.gov](http://www.portlandmaine.gov)*

## Receipts Details:

**Tender Information:** Check , Check Number: 36069

**Tender Amount:** 4420.00

## Receipt Header:

**Cashier Id:** bsaucier

**Receipt Date:** 10/5/2012

**Receipt Number:** 49015

## Receipt Details:

Referance ID:	8282	Fee Type:	BP-Constr
Receipt Number:	0	Payment Date:	
Transaction Amount:	4420.00	Charge Amount:	4420.00
Job ID: Job ID: 2012-10-5129-DEMO - Demo section of multi-story building			
Additional Comments: 184 Read Street (150)			

**Thank You for your Payment!**



# Demolition Call List & Requirements

Site Address: 184 Read St.

Owner: J.B. Brown & Sons

Structure Type: multi-story-concrete/steel

Contractor: J.E. Butler, LLC

## Utility Approvals

Central Maine Power

Number

1-800-750-4000

Contact Name/Date

Paul Duperre 9/27/12

Unitil

1-207-541-2533

Mark Allen 10/5/12

Portland Water District

761-8310

Pro Spugnardi 10/5/12

Dig Safe

1-888-344-7233

Maryellen 10/5/12

Ticket # 2012-4010316

After calling Dig Safe, you must wait 72 business hours before digging can begin.

DPW/ Traffic Division (L. Cote)

874-8891

Jeremiah Bartlett 10/5/12

DPW/ Sealed Drain Permit (C. Merritt)

874-8822

John Emerson 10/5/12

Historic Preservation

874-8726

Deb Andrews / 9/27/12

DEP – Environmental (Augusta)

287-2651

Faxed attached form 10/4/12

## Additional Requirements

- 1) Written notice to adjoining owners ✓
- 2) A photo of the structure(s) to be demolished ✓
- 3) A plot plan or site plan of the property ✓
- 4) Certification from an asbestos abatement company ✓
- 5) Electronic files in pdf format are also required in addition to hard copy ✓

Permit Fee: \$30.00 for the first \$1000.00 construction cost, \$10.00 per additional \$1000.00 cost

All construction and demolition debris generated in Portland must be delivered to Riverside Recycling Facility at 910 Riverside Street. Source separated salvage materials placed in specifically designated containers are exempt from this provision. For more information contact Troy Moon @ 874-8467.

U.S. EPA Region 1 – No Phone call required. Just mail copy of State notification to:

Demo / Reno Clerk  
US EPA Region I (SEA)  
JFK Federal Building  
Boston, MA 02203

mailed 10/4/12

I have contacted all of the necessary companies/departments as indicated above and attached all required documentation.

Signed: [Signature]

Date: 10/5/12

or more information or to download this form and other permit applications visit the Inspections Division on our website at [www.portlandmaine.gov](http://www.portlandmaine.gov)



184 Read Street, Portland, Maine (August 2012)



## ASBESTOS BUILDING DEMOLITION NOTIFICATION

MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION  
Lead & Asbestos Hazard Prevention Program  
17 State House Station, Augusta, Maine 04333



**Maine law requires the filing of the ASBESTOS BUILDING DEMOLITION NOTIFICATION with the Department prior to demolition of any building except a single-family home.**

Building owners are required to provide this notification of the demolition of a building to the DEP at least 5 working days prior to the demolition. This notification is not required before the demolition of a single-family residence or related structure (e.g., garage, shed, barn). It is also not required if previous notification of the demolition has been provided to the DEP as part of an asbestos abatement project notification. *Demolition* means the tearing down or intentional burning of a building or part of a building.

Prior to demolition, building owners must determine if there is any asbestos-containing material(s) (ACM) in the building. An "asbestos inspection" by a DEP-licensed Asbestos Consultant is required for all buildings except single-family homes and residential buildings with 2-4 units built after 1980. In lieu of an asbestos inspection, pre-1981 residential buildings with 2-4 units can be surveyed to identify possible ACM by someone knowledgeable about ACM, such as a code enforcement officer or building inspector. If materials that may contain asbestos are found, then you can either assume they are ACM or hire a DEP-licensed Asbestos Consultant to test the materials.

Whenever more than 3 square feet or 3 linear feet of ACM is identified, the ACM must be abated in accordance with the *Maine Asbestos Management Regulations* by a DEP-licensed Asbestos Abatement Contractor. This includes materials presumed to be ACM. Check [www.maine.gov](http://www.maine.gov) for a listing of asbestos contractors.

Prior to issuing a local demolition permit, the DEP requests that municipalities have applicants for municipal demolition permits complete this form and fax it to the DEP at 207-287-7826. Municipalities should not issue local demolition permits if the required asbestos inspection or survey has not been performed and identified ACM removed.

Were regulated asbestos-containing building materials found? ☒ yes ☐ no

property address: 184 Read St. Portland, ME 04103	building description: <input type="checkbox"/> pre-1981 residential with 2-4 units <input type="checkbox"/> post-1980 residential with 2-4 units <input checked="" type="checkbox"/> other: 1918 - non-residential building
asbestos survey/inspection performed by: (name & address) Lucas Hathaway, Ransom Consulting 400 Commercial St. Portland, ME 04101 telephone: 207-772-2891	asbestos abatement contractor Abatement Professionals 590 County Rd. Westbrook, ME 04092 telephone: 207-773-1276
property owner: (name & address) J.B. Brown & Sons 36 Danforth St. Portland, ME 04101 telephone: 774-5908	demolition contractor: (name & address) JE Butler, LLC 50 Leeds Way Holden, ME 04429 telephone: (207) 266-0820
demolition start date: Nov./December 2012	demolition end date: Feb/March 2013

This demolition notification does not take the place of the Asbestos Project Notification if applicable

I CERTIFY THAT THE ABOVE INFORMATION IS CORRECT		
Vincent P. Veroneau	President	
Print Name: Owner/Agent	Title	Signature
207-774-5908	207-774-0898	10/4/12
Telephone #	FAX #	Date

\*\*\*\*\*  
 \*\*\* FAX TX REPORT \*\*\*  
 \*\*\*\*\*

TRANSMISSION OK

JOB NO. 2822  
 DESTINATION ADDRESS 92877826  
 PSWD/SUBADDRESS  
 DESTINATION ID  
 ST. TIME 10/04 17:34  
 USAGE T 00' 33  
 PGS. 1  
 RESULT OK



## ASBESTOS BUILDING DEMOLITION NOTIFICATION

MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION

Lead & Asbestos Hazard Prevention Program  
 17 State House Station, Augusta, Maine 04333



Maine law requires the filing of the ASBESTOS BUILDING DEMOLITION NOTIFICATION with the Department prior to demolition of any building except a single-family home.

Building owners are required to provide this notification of the demolition of a building to the DEP at least 5 working days prior to the demolition. This notification is not required before the demolition of a single-family residence or related structure (e.g., garage, shed, barn). It is also not required if previous notification of the demolition has been provided to the DEP as part of an asbestos abatement project notification. *Demolition* means the tearing down or intentional burning of a building or part of a building.

Prior to demolition, building owners must determine if there is any asbestos-containing material(s) (ACM) in the building. An "asbestos inspection" by a DEP-licensed Asbestos Consultant is required for all buildings except single-family homes and residential buildings with 2-4 units built after 1980. In lieu of an asbestos inspection, pre-1981 residential buildings with 2-4 units can be surveyed to identify possible ACM by someone knowledgeable about ACM, such as a code enforcement officer or building inspector. If materials that may contain asbestos are found, then you can either assume they are ACM or hire a DEP-licensed Asbestos Consultant to test the materials.

Whenever more than 3 square feet or 3 linear feet of ACM is identified, the ACM must be abated in accordance with the Maine Asbestos Management Regulations by a DEP-licensed Asbestos Abatement Contractor. This includes materials presumed to be ACM. Check [www.maine.gov](http://www.maine.gov) for a listing of asbestos contractors.

Prior to issuing a local demolition permit, the DEP requests that municipalities have applicants for municipal demolition permits complete this form and fax it to the DEP at 207-287-7826. Municipalities should not issue local demolition permits if the required asbestos inspection or survey has not been performed and identified ACM removed.

Were regulated asbestos-containing building materials found? ☒ yes ☐ no

property address: 184 Read St. Portland, ME 04103	building description: pre-1981 residential with 2-4 units post-1980 residential with 2-4 units other 1918 - non-residential building
asbestos survey/inspection performed by: (name & address) Lucas Hathaway, Ransom Consulting 400 Commercial St. Portland, ME 04101 telephone: 207-772-2891	asbestos abatement contractor Abatement Professionals 590 County Rd. Westbrook, ME 04092 telephone: 207-773-1276
property owner: (name & address) J.B. Brown & Sons 36 Danforth St. Portland, ME 04101	demolition contractor: (name & address) JE Butler LLC 50 Leeds Way Bridgeton, ME 04429 (207) 287-7826

10-22-12 GF

NOTIFY - FD - P.S. - UNTIL  
CAROL MERRITT

- GAS MAIN LIVE - 1 DAY + 3 NOTICE
- TEL CO OH LINES
- CMP SUC TO BE MOVED - 4 to 6 wks
- HISTORIC PRES

4-11-13 GF

UTILITY SIGN OFF ENCLOSED  
RELOCATIONS COMPLETE  
OK - ISSUE

DEMO:

JOEL BUTLER  
266-0820

J.B. Brown & Sons  
36 Danforth Street  
Portland, Maine 04101

October 5, 2012

Dear Property Owner in the Vicinity of 184 Read Street, Portland, Maine:

J.B. Brown & Sons is planning to demolish the multi-story portion of the building we own at 184 Read Street. The long green warehouse along 182 Read Street will remain as will the single story portion of 184 Read Street facing the railroad tracks.

As part of obtaining our demolition permit with the City of Portland, we are sending you notification of the pending work. We expect the project to begin in the November/December timeframe and should take approximately four (4) months.

Should you have any questions, please do not hesitate to contact me directly at (207) 774-5908.

Sincerely,  
J.B. Brown & Sons

A handwritten signature in black ink, appearing to read "Vincent Veroneau", with a long horizontal line extending to the right.

Vincent Veroneau



List from City of Portland Assessor's website for owners on tax maps 147 & 148 and the one property across Read Street from 184 Read Street identified on Map 150. A letter was not mailed to the City of Portland.

Parcel ID	Name and Mailing Address	Property Location	Land Use
147 A022001	J J & L CORP 256 READ ST PORTLAND ME 04102 ✓	250 READ ST	TRANSPORTATION
147 A024001	EWT 17 LLC 99 FISHERVILLE RD CONCORD NH 03301 ✓	1011 FOREST AVE	RETAIL & PERSONAL SERVICE
147 B001001	BROWN J B & SONS PO BOX 207 PORTLAND ME 04112	150 READ ST	WAREHOUSE & STORAGE
147 B002002	BROWN J B & SONS PO BOX 207 PORTLAND ME 04112	66 CANCO RD	WAREHOUSE & STORAGE
147 B003001	BROWN J B & SONS PO BOX 207 PORTLAND ME 04112	180 READ ST	WAREHOUSE & STORAGE
147 C001001	LITTLEFIELD BARBARA C & VIRGINIA CONGDON & 5 PINELOCH DR PORTLAND ME 04103 ✓	52 CANCO RD	TRANSPORTATION
147 C002001	LITTLEFIELD BARBARA C & VIRGINIA CONGDON ET AL 5 PINELOCH DR PORTLAND ME 04103	52 CANCO RD	WAREHOUSE & STORAGE
Parcel ID	Name and Mailing Address	Property Location	Land Use
148 A001001	BROCKWAY-SMITH COMPANY 146 DASCOMB RD ANDOVER MA 01810 ✓	187 READ ST	MANUFACTURING & CONSTRUCTION
148 A002001	BROWN J B & SONS PO BOX 207 PORTLAND ME 04112	0 QUARRY RD	VACANT LAND
148 A003001	URS REAL ESTATE LP PO BOX 42165 HOUSTON TX 77242 ✓	165 READ ST	WAREHOUSE & STORAGE
148 A006001	CENTRAL SECURITIES CORPORATION 83 EDISON DR AUGUSTA ME 04336 ✓	138 CANCO RD	TRANSPORTATION
148 A007001	212 CANCO REALTY LLC 212 CANCO RD PORTLAND ME 04103 ✓	212 CANCO RD	WHOLESALE
148 A008001	BOTTLING GROUP LLC 1 PEPSI WAY SOMERS NY 10589 ✓	250 CANCO RD	MANUFACTURING & CONSTRUCTION
148 C001001	CITY OF PORTLAND 389 CONGRESS ST PORTLAND ME 04101	143 READ ST	GOVERNMENTAL
148 D002001	CITY OF PORTLAND 389 CONGRESS ST PORTLAND ME 04101	137 BAY ST EXT	GOVERNMENTAL
150 A005001	READ STREET SELF STORAGE LLC 11 BARTLETT RD GORHAM ME 04038 ✓	217 READ ST	MANUFACTURING & CONSTRUCTION

Mr. Vincent Veroneau  
J.B. Brown & Sons

MEDEP requires consultants to advise the building owner or owner's agent whenever the asbestos analytical laboratory has reported suspect asbestos-containing materials below ten percent asbestos, for which the owner or owner's agent may either 1) elect to treat the material as positive for asbestos, or 2) have the samples re-analyzed using an alternate method as listed below:

1. PLM EPA/600R-93/116 - Point Count (friable ACM); or
2. Transmission Electron Microscopy (TEM)
  - a. EPA NOB EPA/600/R-93/116b section 2.5; or
  - b. TEM Chatfield Method.

The following materials were reported as containing asbestos within the one to ten percent range:

- Exterior Window Glaze.

A copy of the bulk asbestos analysis laboratory report is provided in Attachment C.

Re-analysis of samples testing negative for asbestos is not required; the cost for re-analysis of the samples listed above by TEM Chatfield Method is approximately \$65.00 per sample (for a five day-turnaround). Based on types of material identified and the concentration of asbestos fiber reported, Ransom does not recommend re-analysis of samples at this time.

The MEDEP requires official notification at least 5 days in advance of initiating an asbestos abatement project, and that materials identified as ACM (greater than or equal to 1% asbestos) be removed by trained and certified asbestos abatement workers prior to demolition or renovation activities that would disturb them. Asphalt-based roofing, as well as window caulking and glazing are among a list of materials exempt from MEDEP asbestos rules. Nonetheless, OSHA worker safety training and exposure requirements still apply, and all ACM is required to be disposed as special waste in a facility licensed to receive asbestos-containing materials.

Please note that if the building is not to be demolished, materials observed to be generally in good condition do not require abatement at this time unless they are to be otherwise impacted by building occupation or renovation activities. If it is decided that the building will remain, Ransom recommends that these materials be monitored and maintained according to an asbestos operations and maintenance (O&M) plan.

Prior to the start of asbestos abatement, the abatement contractor or abatement design consultant must provide the building owner with a bulk sampling disclosure listing which materials identified for abatement have not been sampled (i.e. presumed asbestos containing) and the cost of sampling those materials. No suspect materials in the Site Building were identified as presumed asbestos containing.

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## **LEAD-BASED PAINT**

Concurrent with the ACM survey, an inspection for the presence of lead-based paint was conducted by collecting paint chips from a variety of painted surfaces at Site Building. Building components sampled included interior and exterior walls, ceilings, and structural columns, from substrates including brick and concrete. Complete lead analysis laboratory data is included in Table 2.

Painted surfaces which were tested for the presence of LBP contained varying concentrations of lead from below laboratory detection limits, up to 3.9 percent by weight. According to the U.S. Housing and Urban Development (HUD) Lead-Based Paint Guidelines, concentrations of lead greater than 0.5 percent by weight are referred to as "lead-based" (Section 1017 of the Residential Lead-Based Paint Hazard Reduction Act of 1992 [also referred to as Title X]). The HUD standard is provided for reference purposes only, and is not a regulatory consideration in this scenario.

OSHA has no minimum threshold concentration for lead in paint. Renovation or demolition activities that disturb surfaces that contain lead must be conducted in accordance with the OSHA regulation 29 CFR 1926.62 "Lead Exposure in Construction: Interim Final Rule." This regulation requires that a site-specific health and safety plan be prepared before conducting activities that create airborne lead emissions such as cutting, grinding, or sanding surfaces coated with lead-containing paint. Such a plan must include the identification of lead components, an exposure assessment, and, if applicable, the required work procedures and personal protective equipment (PPE) to be used.

In cases where lead-containing paints are present in great quantities and/or concentrations, representative samples of building materials scheduled to be landfilled should be collected and analyzed for leachable lead via the Toxicity Characteristic Leaching Procedure (TCLP). If TCLP testing determines leachable lead concentrations are greater than 5 milligrams per liter (mg/l), the material may have to be managed as a hazardous waste. Given the relatively limited presence of LBP at the Site Building, Ransom does not anticipate the need for TCLP testing as part of the proposed demolition.

## **OTHER POTENTIALLY HAZARDOUS MATERIALS AND COMPONENTS**

### Polychlorinated Biphenyls (PCBs)

PCB-containing oil is sometimes found in the dielectric fluid of older electrical transformers, including the capacitors associated with older fluorescent light fixture ballasts. Ransom inventoried several fluorescent lighting fixtures throughout the Site Building; based on the construction history of the building (constructed circa 1919), it is possible that PCB-containing ballasts may be present. Ballasts not bearing "No PCBs" labeling should be presumed PCB-containing, and handled and disposed accordingly.

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#### Mercury-Containing Components

Mercury-containing components such as fluorescent light tubes (FLT's), cathode ray tubes (CRT's), mercury vapor lamps, and thermostat switches are classified as universal wastes and are regulated by the U.S. EPA under 40 CFR Parts 260–273. Ransom identified several potentially mercury-containing components throughout the Site Building. Components known or assumed to contain mercury that will be impacted by the proposed demolition should be removed and recycled in accordance with universal waste regulations.

#### Other Heavy Metals

Ransom also identified several exit sign/emergency lighting systems at the Site Building, which are typically powered by batteries containing lead and/or various other heavy metals. Heavy metals-containing batteries should also be removed from the Site Building prior to demolition, and recycled in accordance with universal waste regulations.

#### Ozone-Depleting Substances

Certain compounds used in air conditioning and refrigeration equipment have been identified by the U.S. EPA as ozone-depleting substances (ODS), for their potential to accelerate the breakdown of stratospheric ozone. Ransom identified a number of potential ODS-containing components during our inspection, including refrigerator/freezers, and air conditioning units. ODS are also classified as universal wastes, and should be recycled in accordance with universal waste regulations.

Ransom understands that collection and disposal of the above-listed items will be included in the specifications of the demolition contract. Please note that many components were observed to be in good working condition, and do not require removal and disposal at this time, if the building is not planned to be demolished.

### **CONCLUSIONS AND RECOMMENDATIONS**

Based on the results of this inspection, Ransom makes the following conclusions and recommendations:

1. Ransom identified the following asbestos-containing building materials at the Site Building:
  - Pipe insulation (several styles);
  - Exterior window caulk;
  - Asphalt-Based Roofing.
2. Removal of asbestos-containing asphalt roofing and exterior window caulking are exempt from MEDEP asbestos rules, as described herein. Federal OSHA worker safety standards still apply in all cases, and disposal must be made at a facility licensed to receive ACM demolition debris.

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3. Painted surfaces contained lead at concentrations up to 3.9 percent by weight. Renovation or demolition activities that disturb surfaces that contain lead must be conducted in accordance with OSHA regulation 29 CFR 1926.62 "Lead Exposure in Construction: Interim Final Rule." Special consideration should be given to materials covered by LBP which would be subject to disturbance and/or disposal; and
4. Various other potentially hazardous building components were identified during our survey, including presumed PCB-containing fluorescent light ballasts, presumed mercury-containing fluorescent light tubes and thermostats, presumed heavy metals in batteries, and potential ozone-depleting substances in refrigeration/air conditioning units. Disposal of each of these items is subject to hazardous and/or universal waste disposal requirements.

#### **LIMITATIONS**

This survey and hazardous materials inventory is subject to certain limitations which must be considered in interpreting the results. No survey can identify all potentially hazardous materials throughout a facility. The conclusions presented in this report represent the professional judgment of Ransom based on the data obtained from the work and the site conditions encountered at the time the work was performed. This survey does not cover concealed areas or items not inspected.

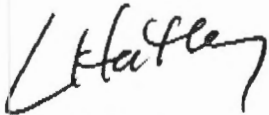
Mr. Vincent Veroneau  
J.B. Brown & Sons

The information and conclusions presented in this report are based upon work undertaken by trained professional and technical staff in accordance with generally accepted engineering and scientific practices current at the time the work was performed. Conclusions presented in this report should not be construed as legal advice. This survey was not a building code inspection or an assessment of renovation activities. Code-related issues must be addressed prior to work in the buildings.

Ransom is pleased to have the opportunity to assist J.B. Brown & Sons with this project. If you have any questions or if we can be of further assistance please contact any of the undersigned at (207) 772-2891.

Sincerely,

RANSOM CONSULTING, INC.



Lucas D. Hathaway  
MEDEP Asbestos Inspector/Primary Author



Stephen Dyer, P.E.  
2012.09.04  
15:43:15 -04'00'

Stephen J. Dyer, P.E.,  
Senior Project Manager

LDH/SJD: jsh  
Attachments

**TABLE 1: SUMMARY OF ASBESTOS TESTING RESULTS**  
Hazardous Materials Inventory  
184 Read Street  
Portland, Maine

Material	Location	Sample Number	Asbestos Quantity and Type <sup>1,2</sup>	Estimated Quantity
Hard Pack Pipe Insulation	Basement	01A	2% Chrysotile 35% Amosite	280 LF
		01B	NA/PS	
		01C	NA/PS	
Corrugated Pipe Insulation	Basement	02A	85% Chrysotile	130 LF
		02B	NA/PS	
		02C	NA/PS	
Drywall	Basement	03A through 03C	NAD	--
Joint Compound	Basement	04A through 04C	NAD	--
Blue 12-inch Floor Tile	Basement	05A through 05C	NAD	--
2-foot x 4-foot Ceiling Tile	Basement	06A through 06C	NAD	--
Textured Walls	Basement	07A through 07C	NAD	--
Tan 12-inch Floor Tile	Basement	08A through 08C	NAD	--
Pressed Paper Insulation	Basement	09A	45% Chrysotile	200 LF
		09B	NA/PS	
		09C	NA/PS	
Window Glaze	Interior - throughout	10A through 10C	NAD	--
Drywall Type 2	1 <sup>st</sup> and 2 <sup>nd</sup> floors	11A through 11C	NAD	--
Joint Compound Type 2	1 <sup>st</sup> and 2 <sup>nd</sup> floors	12A through 12C	NAD	----
White 12-inch Floor Tile	1 <sup>st</sup> and 2 <sup>nd</sup> floor restrooms	13A through 13C	NAD	----
Hard Pack Insulation Type 2	1 <sup>st</sup> floor	14A	2% Chrysotile 35% Amosite	20 LF
		14B	NA/PS	
		14C	NA/PS	

**NOTES:**

1. NAD = no asbestos detected; SF = square feet; LF = linear feet.
2. NA/PS = not analyzed/positive stop. Sample sets are analyzed until asbestos is identified in an amount greater than 1 percent. For example, since asbestos was identified in Sample 01A at 37 percent, samples 01B and 01C were not analyzed.

**TABLE 1: SUMMARY OF ASBESTOS TESTING RESULTS**

Hazardous Materials Inventory

184 Read Street

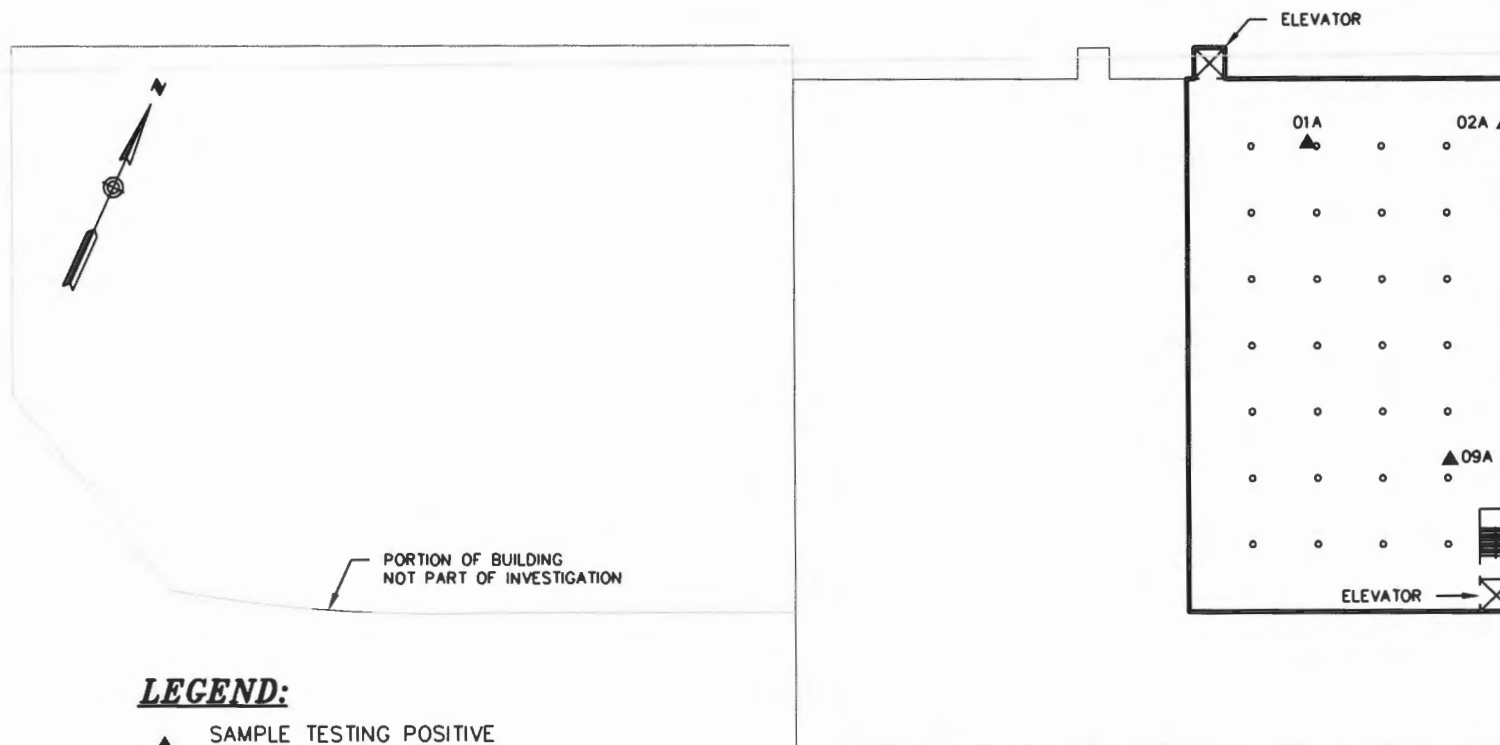
Portland, Maine

Material	Location	Sample Number	Asbestos Quantity and Type <sup>1,2</sup>	Estimated Quantity
Blue 12-inch Floor Tile	2 <sup>nd</sup> floor restrooms	15A through 15C	NAD	--
Gray Pebble Sheet Flooring	Interior	16A through 16C	NAD	--
Mastic associated with blue/white 12-inch floor tiles	1 <sup>st</sup> and 2 <sup>nd</sup> floor restrooms	17A through 17C	NAD	--
Window Caulk	Exterior - throughout	18A	1.4% Chrysotile	100 Each
		18B	NA/PS	
		18C	NA/PS	
Asphalt Roofing – Field Composite	Main Roof	R-01A	66.46% Chrysotile	50,000 SF
		R-01B	NA/PS	
		R-01C	NA/PS	
Asphalt Roofing – Field Composite	NW and SE Vaulted Sections	R-02A	53.36% Chrysotile	5,000 SF
		R-02B	NA/PS	
		R-02C	NA/PS	
Black Asphalt Roofing Composite	Gravel Ballast Sections	R-03A through R-03C	NAD	--

**NOTES:**

1. NAD = no asbestos detected; SF = square feet; LF = linear feet.
2. NA/PS = not analyzed/positive stop. Sample sets are analyzed until asbestos is identified in an amount greater than 1 percent. For example, since asbestos was identified in Sample 01A at 37 percent, samples 01B and 01C were not analyzed.





### **LEGEND:**

- ▲  
09A SAMPLE TESTING POSITIVE  
FOR ASBESTOS
- SUPPORT COLUMN (TYP.)



SCALE in FEET  
1"=60'

### **NOTES:**

1. SITE PLAN BASED ON MEASUREMENTS AND OBSERVATIONS MADE BY RANSOM CONSULTING, INC. ON JULY 25, 2012.
2. SOME FEATURES ARE APPROXIMATE IN LOCATION AND SCALE.
3. THIS PLAN HAS BEEN PREPARED FOR J.B. BROWN & SONS. ALL OTHER USES ARE NOT AUTHORIZED, UNLESS WRITTEN PERMISSION IS OBTAINED FROM RANSOM CONSULTING, INC.

# **RANSOM**

Consulting, Inc.

PREPARED FOR:

J.B. BROWN & SONS  
36 DANFORTH STREET  
PORTLAND, MAINE

SITE:

184 READ STREET  
PORTLAND, MAINE

***FLOOR PLAN  
-BASEMENT***

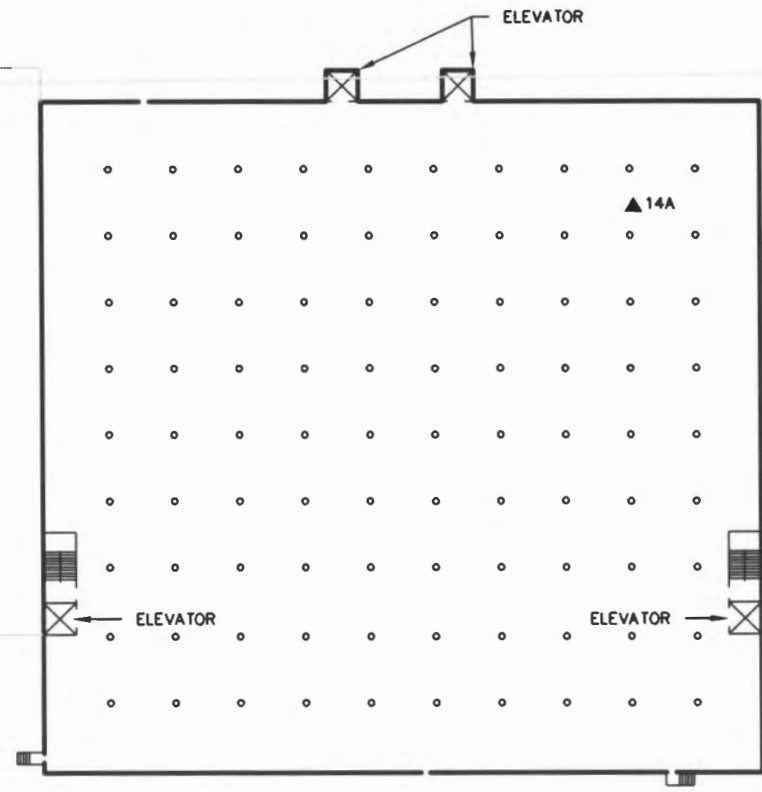
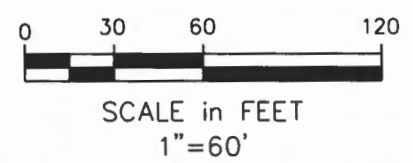
DATE: SEPTEMBER 2012  
PROJECT: 121.06087  
FIGURE: 1



PORTION OF BUILDING  
NOT PART OF INVESTIGATION

**LEGEND:**

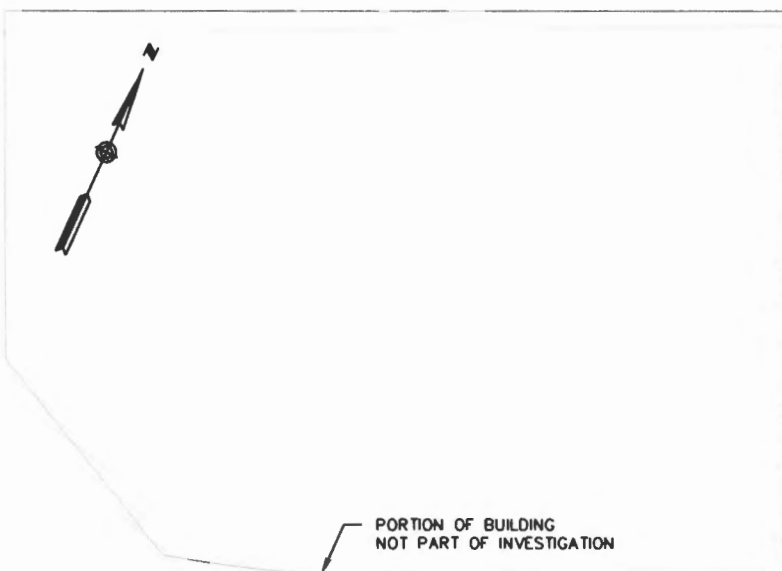
- ▲  
14A    SAMPLE TESTING POSITIVE  
      FOR ASBESTOS
- SUPPORT COLUMN (TYP.)



**NOTES:**

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<b>RANSOM</b> Consulting, Inc.		<b>FLOOR PLAN -FIRST FLOOR</b>
PREPARED FOR:  J.B. BROWN & SONS 36 DANFORTH STREET PORTLAND, MAINE	SITE:  184 READ STREET PORTLAND, MAINE	
		DATE:    SEPTEMBER 2012 PROJECT:    121.06087 FIGURE:    2



**LEGEND:**

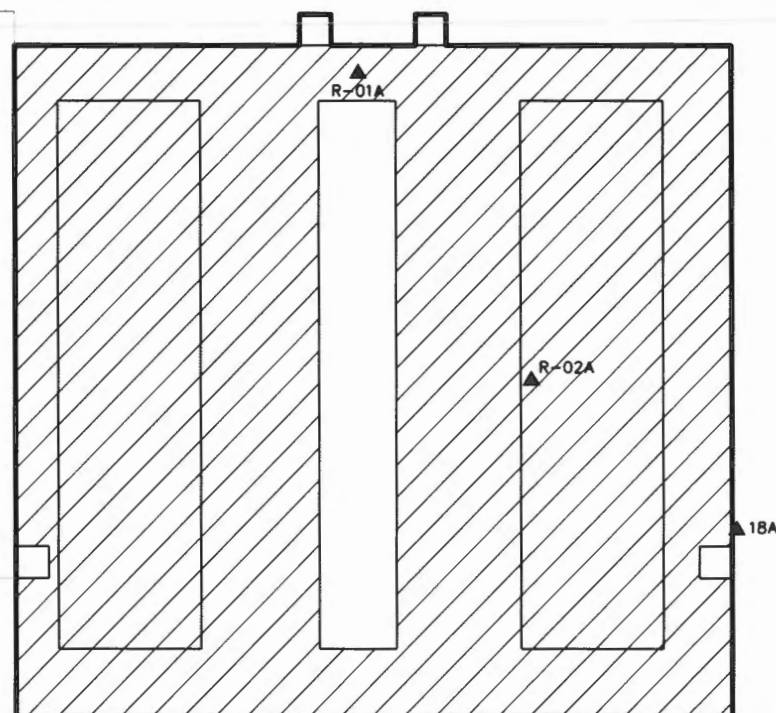
18A ▲ SAMPLE TESTING POSITIVE FOR ASBESTOS

 ASBESTOS-CONTAINING ROOFING MATERIAL

 NON-ASBESTOS-CONTAINING ROOFING MATERIAL



SCALE in FEET  
1"=60'



**NOTES:**

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**RANSOM**

Consulting, Inc.

PREPARED FOR:

J.B. BROWN & SONS  
36 DANFORTH STREET  
PORTLAND, MAINE

SITE:

184 READ STREET  
PORTLAND, MAINE

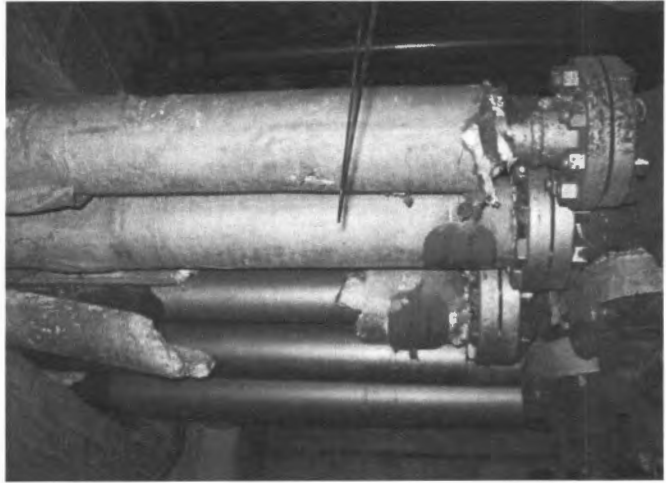
***EXTERIOR/ROOF***

DATE: SEPTEMBER 2012  
PROJECT: 121.06087  
FIGURE: 3

**Photograph Log**



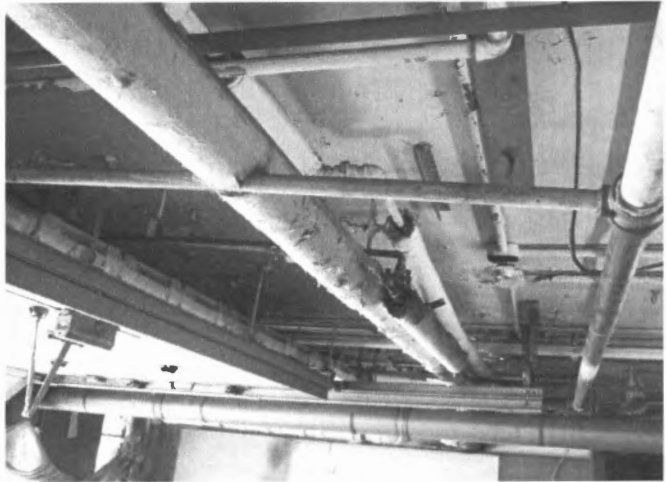
**Front view of Site Building.**



**Hard-Pack pipe insulation observed in basement  
(sample 01A)**



**Corrugated pipe insulation observed in basement  
(sample 02A)**



**Pressed paper pipe insulation observed in basement  
(sample 09A)**



**Hard-pack insulation observed overhead on first floor  
(sample 14A)**



**Exterior window caulk (sample 18A)**

**Photograph Log**



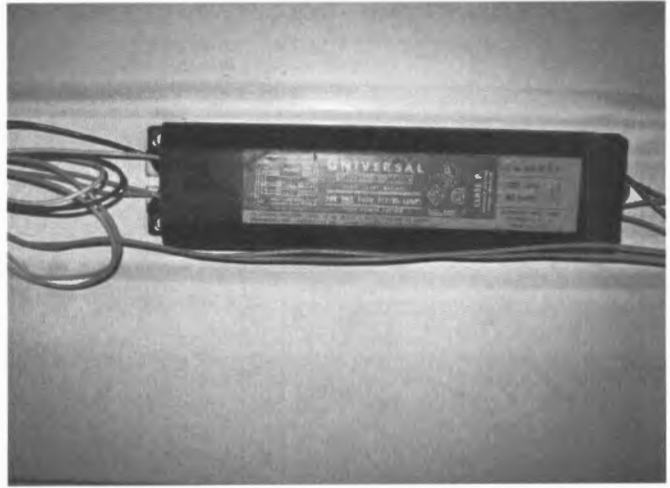
**Overview of roof construction. "Vaulted" sections in fore and back, main/low roof section between.**



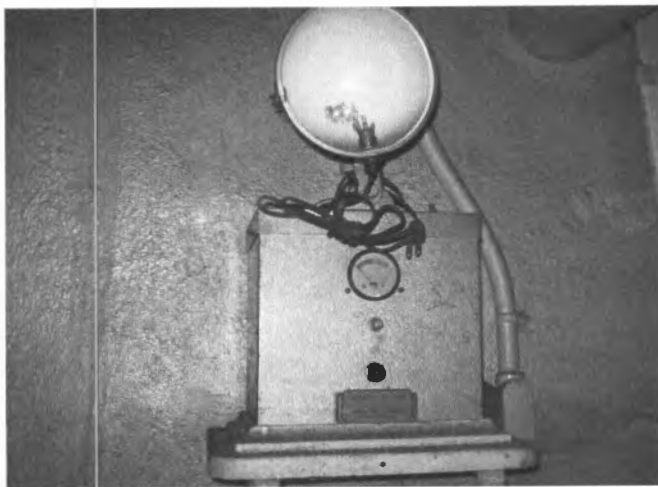
**Closer view of main roof section core cut (sample R-01A)**



**Closer view of vaulted roof section core cut (sample R-02A)**



**One of several electronic lighting ballasts observed without PCB labeling**



**One of several batteries observed associated with emergency lighting/alarm systems**



**Interior basement brick wall paint chip sample, testing 3.9% lead by weight**



