

Administrative Authorization Decision

Application #: 2013-069

Name: Studio 250

Address: READ ST

Description: Exterior egress door with landing and steps; change of use from Recording studio and rehearsal hall to Recording studio, rehearsal hall with Dance and concerts.

Criteria for an Administrative Authorization:

Applicant's Assessment

Planning Division

(See Section 14-523 (4) on page 2 of this application)

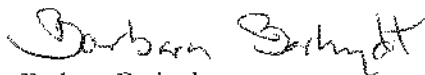
Yes, No, N/A

Use Only

<u>Criteria for an Administrative Authorization:</u> <u>(See Section 14-523 (4) on page 2 of this application)</u>	<u>Applicant's Assessment</u> <u>Yes, No, N/A</u>		<u>Planning Division</u> <u>Use Only</u>
a) Is the proposal within existing structures?	Yes	Yes	
b) Are there any new buildings, additions, or demolitions?	Yes	Yes - steps leading out toward the driveway.	
c) Is the footprint increase less than 500 sq. ft.?	No	Yes	
d) Are there any new curb cuts, driveways or parking areas?	No	No	
e) Are the curbs and sidewalks in sound condition?	Yes	Yes	
f) Do the curbs and sidewalks comply with ADA?	Yes	Yes	
g) Is there any additional parking?	No	No	
h) Is there an increase in traffic?	No	No	
i) Are there any known stormwater problems?	No	No	
j) Does sufficient property screening exist?	Yes	Yes	
k) Are there adequate utilities?	Yes	Yes	
l) Are there any zoning violations?	No	No	
m) Is an emergency generator located to minimize noise?	N/A	N/A	
n) Are there any noise, vibration, glare, fumes or other impacts?	No	No	

The Administrative Authorization for the Studio 250 was approved by Barbara Barhydt, Development Review Services Manager on March 18, 2013 with the following condition of approval listed below:

The administrative authorization for the site plan showing proposed egress with steps and a landing is approved subject to the condition that the applicant obtain all required building permits from the Inspection Office prior to the start of any construction.

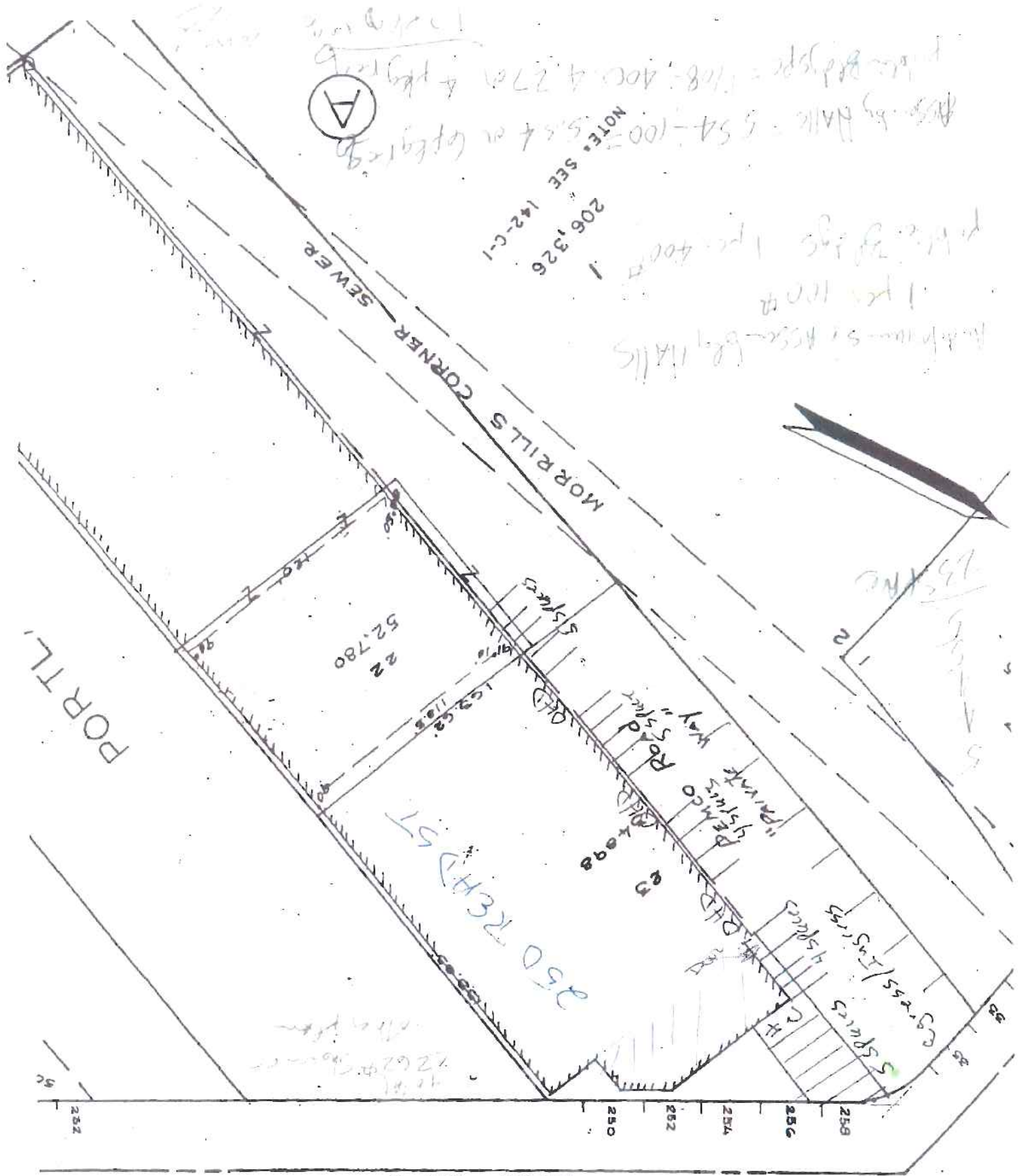


Barbara Barhydt

Development Review Services Manager

Approval Date: March 18, 2013

13321 (A) STREET
SHEET 150-C



NOTE: SEE 142-C-1
206, 1326
5 SA-100 = 1108 = 400 x 2.771 + 400 x 2.771

Assembly Hall - 5 SA-100
1 per 100 ft
1 per 400 ft
1 per 100 ft
1 per 400 ft

13321 ST
13321 ST

250 13321 ST

Private Way
D.F.D. Road
5 Spacers
D.F.D. Road

5 Spacers
D.F.D. Road
5 Spacers
D.F.D. Road

13321 ST
13321 ST

13321 ST
13321 ST



Administrative Authorization Application

Portland, Maine

Planning and Urban Development Department, Planning Division

PROJECT NAME: STUDIO 250

PROJECT ADDRESS: 250 Read Street, Portland, Maine 04103 CHART/BLOCK/LOT: B2/11

APPLICATION FEE: _____ (\$50.00)

PROJECT DESCRIPTION: (Please Attach Sketch/Plan of the Proposal/Development)

Change of use Recording Studio - to Recording Rehearsal & Dance & Concerts -
exterior Eyebrow w/ Landscaping & Steps

CONTACT INFORMATION:

OWNER/APPLICANT

Name: Linda Brabrook

Address: 16 Manor Rd
N. Billerica, MA 01862

Work #: _____

Cell #: (207)450-1153

Fax #: _____

Home #: _____

E-mail: 250portland@gmail.com

CONSULTANT/AGENT

Name: _____

Address: _____

Work #: _____

Cell #: _____

Fax #: _____

Home #: _____

E-mail: _____

Criteria for an Administrative Authorization:
(see section 14-523(4) on pg. 2 of this appl.)

Applicant's Assessment
Y(yes), N(no), N/A

- a) Is the proposal within existing structures? yes
- b) Are there any new buildings, additions, or demolitions? yes
- c) Is the footprint increase less than 500 sq. ft.? no
- d) Are there any new curb cuts, driveways or parking areas? no
- e) Are the curbs and sidewalks in sound condition? yes
- f) Do the curbs and sidewalks comply with ADA? yes
- g) Is there any additional parking? no
- h) Is there an increase in traffic? no
- i) Are there any known stormwater problems? no
- j) Does sufficient property screening exist? yes
- k) Are there adequate utilities? yes
- l) Are there any zoning violations? no
- m) Is an emergency generator located to minimize noise? n/a
- n) Are there any noise, vibration, glare, fumes or other impacts? no

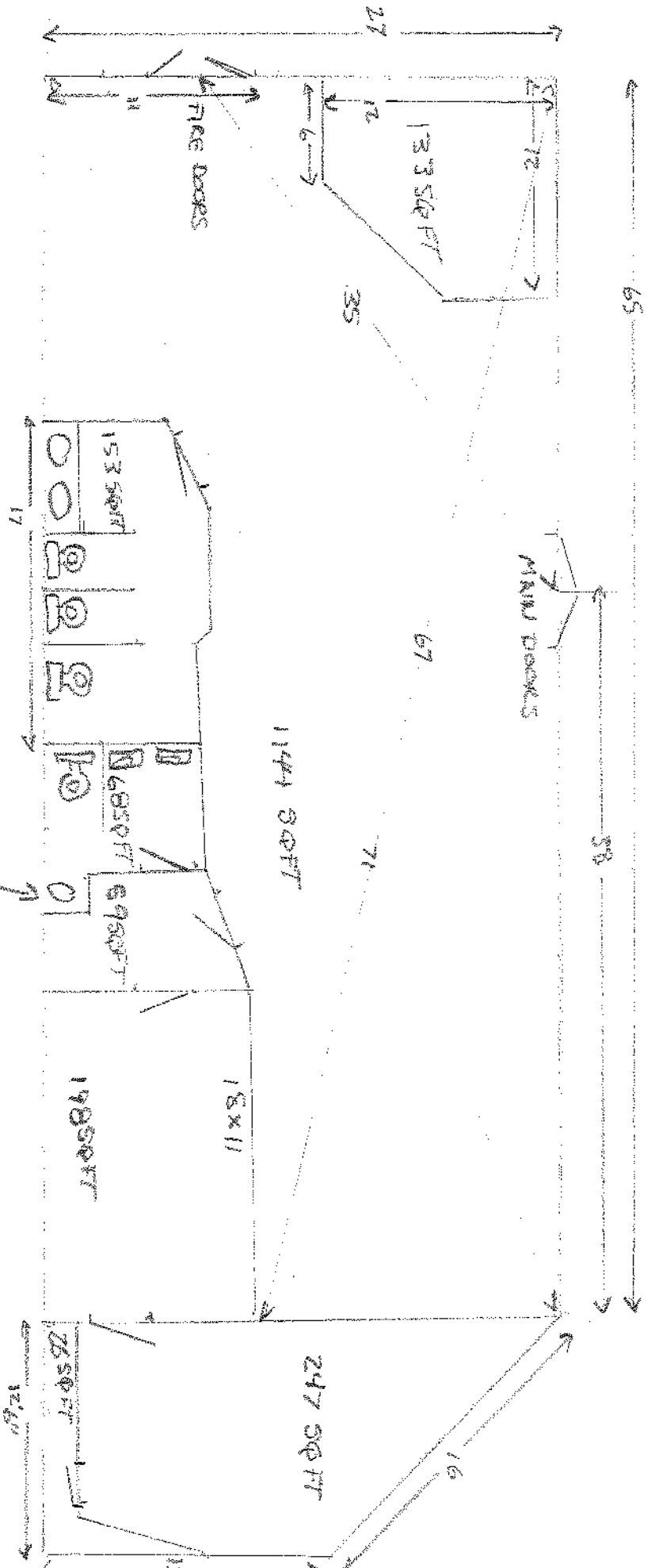
RECEIVED
MAR 7 2013
City of Portland
Planning Division

Signature of Applicant: Linda Brabrook

Date: 3-4-2013

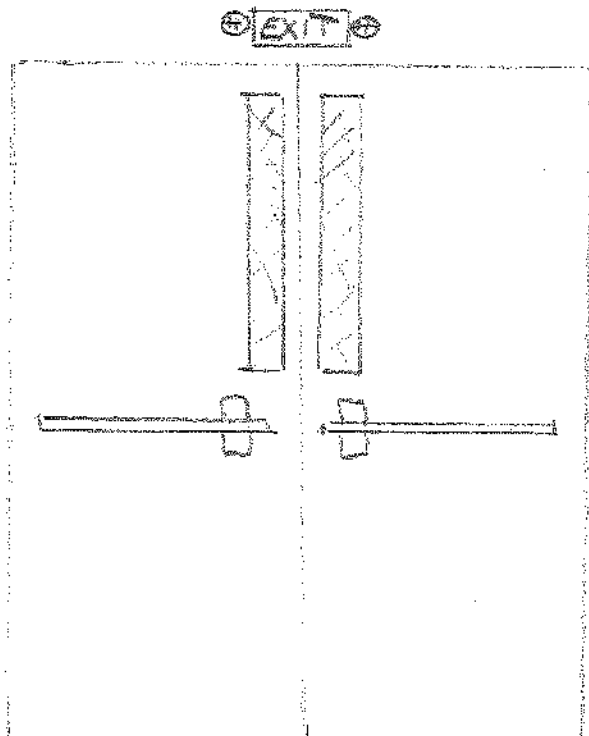
IMPORTANT NOTICE TO APPLICANT: The granting of an Administrative Authorization to exempt a development from site plan review does not exempt this proposal from other required approvals or permits, nor is it an authorization for construction. You should first check with the Building Inspections Office, Room 315, City Hall (207)874-8703, to determine what other City permits, such as a building permit, will be required.

Taxes
Muy



- DANCE SPACE 1144
- GAME ROOM 198
- HALL 59
- STAGE 133
- WOMAN'S ROOM 153
- MEN'S ROOM 68
- MEDIA SPACE 247
- STORAGE 26

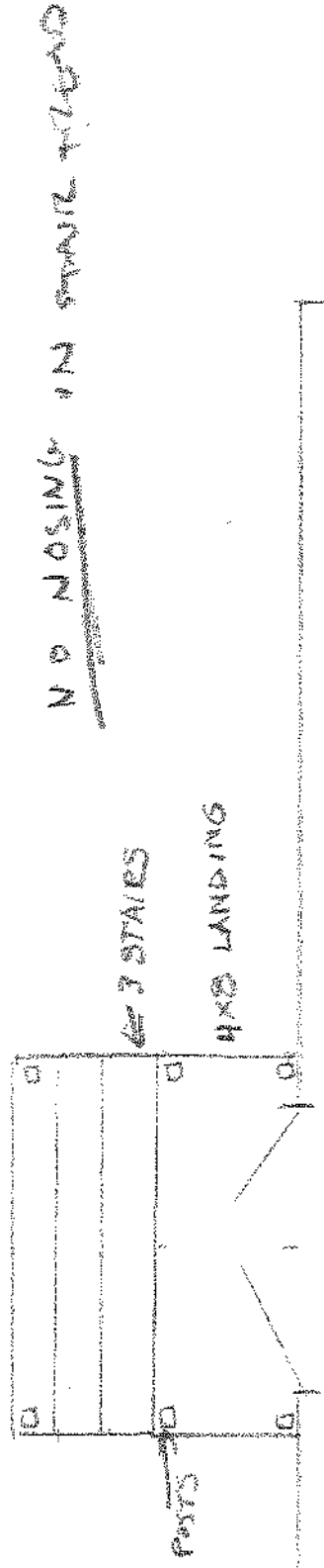
INTERIOR DINING SCALE
 DIAGRAMS
 Page 1 of 7



DOOR INTERIOR
Pg 2 of 7

1/2 SCALE

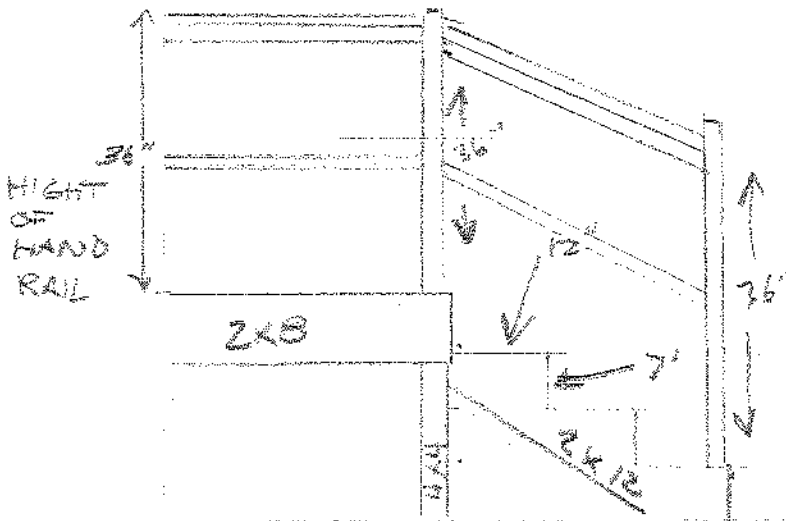
DOOR EXTERIOR
LANDING
Pg 3 of 7



1/4 SCALE

STAIR LANDING
094 of 7

STAIR PROFILE
& DIMENSIONS



HANDBAIL
DIMENSIONS

NO NOSING ON STAIR TREAD

STAIR DECK FRAMING

pg 5 of 7

UPDATED
LANDING

2" x 12"
STAIRS

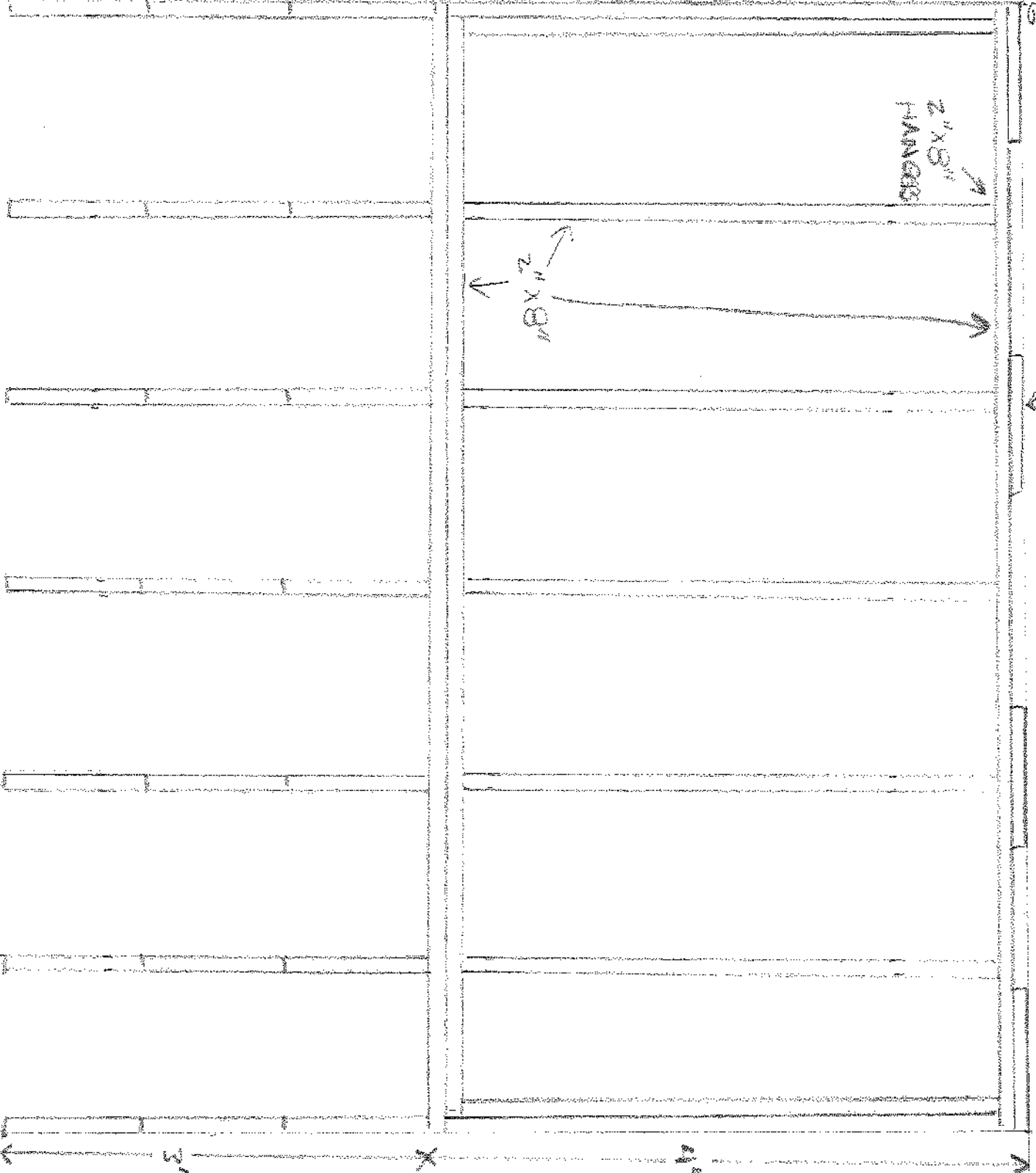
2" x 8"
16" OC

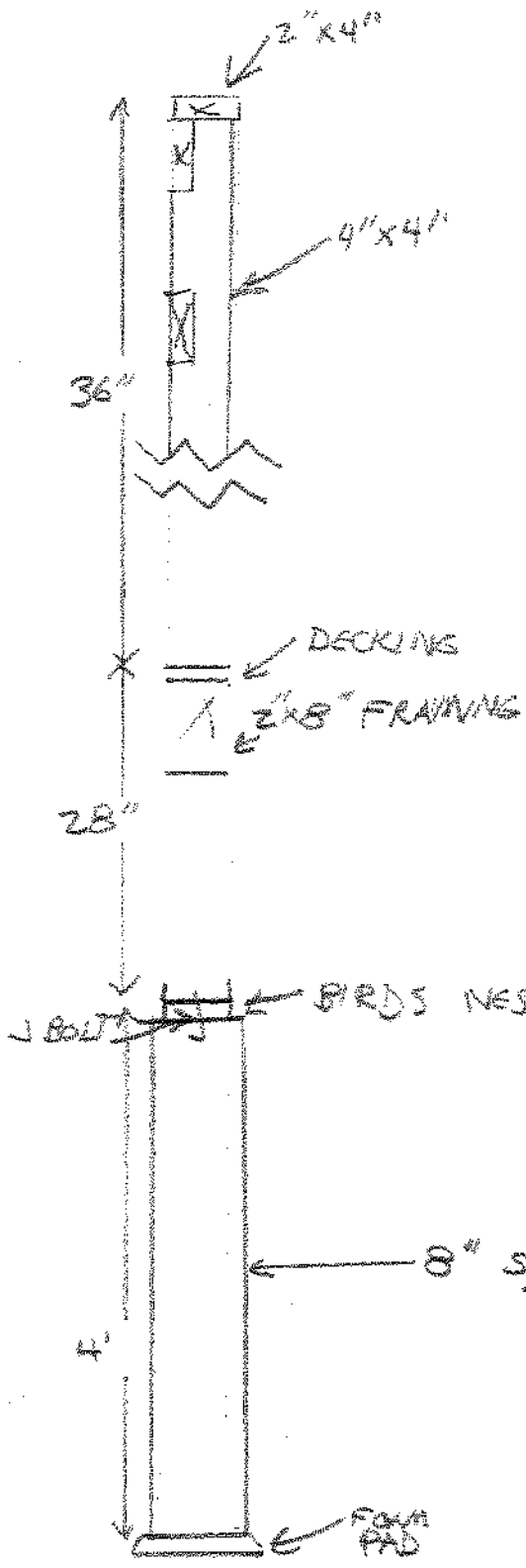
2" x 8"
HANGERS

2" x 8"

BUILDING

2" x 8" BLOCKING 16" APART
LAGGED INTO BUILDING 1/2" x 6" LAGS





HANDRAIL DETAIL

Pg 7 of 7

FROST PROTECTION
 WIDTH & DEPTH