

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



# CITY OF PORTLAND BUILDING PERMIT



This is to certify that

J J & L CORP /Fred Harrigan

Located at

250 READ ST

PERMIT ID: 2012-50599

CBL: 147 A022001

has permission to **Change of use to add dance & concert venue - install new fire door/landing & stairs** provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be procured prior to occupancy.

A handwritten signature in cursive script, appearing to read "Jeanne Bouke".

Fire Prevention Officer

Code Enforcement Officer / Plan Reviewer

**THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY  
THERE IS A PENALTY FOR REMOVING THIS CARD**

**BUILDING PERMIT INSPECTION PROCEDURES**  
Please call 874-8703 (ONLY)  
or email: [buildinginspections@portlandmaine.gov](mailto:buildinginspections@portlandmaine.gov)

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

**REQUIRED INSPECTIONS:**

Footings/Setbacks  
Close-in Plumbing/Framing  
Electrical Close-in  
Final - Electric  
Final - Fire  
Certificate of Occupancy/Final

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 2012-50599	Date Applied For: 11/28/2012	CBL: 147 A022001
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Location of Construction: 250 READ ST	Owner Name: J J & L CORP	Owner Address: 256 READ ST	Phone:
Business Name: Rock Dog Studios	Contractor Name: Fred Harrigan	Contractor Address: 467 Lowelltown Rd Wiscasset	Phone (207) 249-8854
Lessee/Buyer's Name Linda Brabrook	Phone:	Permit Type: Change of Use - Commercial	

Proposed Use: Recording & rehearsal studio & venue for dances and concerts	Proposed Project Description: Change of use to add dance & concert venue - install new fire door/landing & stairs
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Dept: Zoning      Status: Approved w/Conditions      Reviewer: Ann Machado      Approval Date: 12/04/2012  
 Note:      Ok to Issue:

- 1) Separate permits shall be required for any new signage.
- 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building      Status: Approved w/Conditions      Reviewer: Jeanie Bourke      Approval Date: 03/07/2013  
 Note:      Ok to Issue:

- 1) Permit approved based upon information provided by the applicant or design professional, including revisions submitted dated received 3/7/13. Any deviation from approved plans requires separate review and approval prior to work.
- 2) Interior finishes shall be classified in accordance with ASTM E 84 for flame spread and smoke-developed indexes as specified per occupancy group in IBC 2009 Chapter 8.
- 3) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm, HVAC systems, heating appliances, including pellet/wood stoves, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
- 4) This permit approves a change of use for a dance hall/concert venue. Any alcohol or entertainment in this space requires licensing approvals from the City Clerk.
- 5) A State Fire Marshal permit may be required for this project, contact at 207-626-3880 or [http://www.maine.gov/dps/fmo/plans/about\\_permits.html](http://www.maine.gov/dps/fmo/plans/about_permits.html). PLEASE PROVIDE THIS OFFICE WITH A COPY OF THE APPROVED PERMIT WHEN ISSUED.
- 6) Connections and Fasteners to be installed per 2009 IBC Sec. 234.9 and/or IRC Table R602.3(1)
- 7) This approval is based on standing room only arrangement. If at any time concert seating is used or installed, a floor plan with this diagram shall be submitted to the Inspection & Fire Departments.
- 8) The occupant load of the space shall be posted on a legible and permanent sign in a conspicuous place near the main exit.
- 9) Permit approved based on the plans submitted and reviewed w/owner/ contractor, with additional information as agreed on and as noted on plans.

Dept: Fire      Status: Approved w/Conditions      Reviewer: Ben Wallace Jr      Approval Date: 03/11/2013  
 Note:      Ok to Issue:

- 1) Emergency lights and exit signs are required. Emergency lights and exit signs are required to be labeled in relation to the panel and circuit and on the same circuit as the lighting for the area they serve.
- 2) Construction or installation shall comply with City Code Chapter 10.
- 3) Street addresses shall be marked on the structure and shall be as approved by the City E-911 Addressing Officer. Contact Michelle Sweeney at 874-8682 for further information.

Location of Construction: 250 READ ST	Owner Name: J J & L CORP	Owner Address: 256 READ ST	Phone:
Business Name: Rock Dog Studios	Contractor Name: Fred Harrigan	Contractor Address: 467 Lowelltown Rd Wiscasset	Phone (207) 249-8854
Lessee/Buyer's Name Linda Brabrook	Phone:	Permit Type: Change of Use - Commercial	

- 4) A sprinkler system is required. A separate Suppression System Permit is required for all new suppression systems, including standpipe systems, and sprinkler work effecting more than 20 heads. This review does not include approval of system design or installation.
- 5) Occupant load for the assembly space shall not exceed 236 (stage + standing room) and shall be posted at the main entrance.
- 6) Any cutting and welding done will require a Hot Work Permit from Fire Department.
- 7) Elevation change between the inside and outside of the new exit door shall not exceed 1/2 inch.
- 8) Access to the stage shall be approved stairs or ramps with handrails in accordance with NFPA 101:12.2.
- 9) Application requires State Fire Marshal approval.
- 10) A separate Fire Alarm Permit is required for new systems; or for work effecting more than 5 fire alarm devices; or replacement of a fire alarm panel with a different model. This review does not include approval of fire alarm system design or installation.
- 11) Fire extinguishers are required per NFPA 1.
- 12) All means of egress to remain accessible at all times.
- 13) Interior finishes shall comply with NFPA 101:12.3.3. This includes projection screens.
- 14) Notice: The first scheduled final inspection fee is at no charge. Additional inspections shall be billed at \$75 for each inspector.
- 15) Guards are required for the landings and stairs if they exceed 30 inches above the adjacent finished ground level.
- 16) \*\*The fire alarm system design shall be evaluated for the renovated areas by an NICET IV certified interior fire alarm designer or a licensed engineer for compliance with the code. A compliance letter is required prior to the final inspection.\*\*  
\*\*A current inspection sticker from an approved fire alarm inspection company is required prior to the final inspection.\*\*

Dept: Planning      Status: Approved w/Conditions      Reviewer: Barbara Barhydt      Approval Date: 03/18/2013  
Note:      Ok to Issue:

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: (2012-11-547) 2012-50599	Issue Date:	CBL: 147 A022001
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Location of Construction: 250 READ ST	Owner Name: J J & L CORP	Owner Address: 256 READ ST	Phone:
Business Name: Rock Dog Studios	Contractor Name: Fred Harrigan	Contractor Address: 467 Lowelltown Rd Wiscasset	Phone: (207) 249-8854
Lessee/Buyer's Name: Linda Brabrook	Phone:	Permit Type: Change of Use	Zone: B2
Past Use: Studio for recording & rehearsal space	Proposed Use: Recording & rehearsal studio & venue for dances and concerts	Permit Fee:	Cost of Work: \$4,000.00
Proposed Project Description: Change of use to add dance & concert venue - install new fire door/landing & stairs		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <input type="checkbox"/> N/A 3/11/13	INSPECTION: Use Group: A-3 Type: 3B MUBEC 2009
		Signature: <i>[Signature]</i>	Signature: <i>[Signature]</i>
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
		Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	
		Signature:	Date:

Permit Taken By: Service_User	Date Applied For: 11/28/2012	<b>Zoning Approval</b>		
<ol style="list-style-type: none"> <li>This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</li> <li>Building permits do not include plumbing, septic or electrical work.</li> <li>Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</li> </ol>	<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan Admin Author. Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: 12/14/12 ABU	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: ABU	

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

\_\_\_\_\_  
SIGNATURE OF APPLICANT ADDRESS DATE PHONE

\_\_\_\_\_  
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

B-2

Urban Insigent - 2012-50599

# General Building Permit Application



If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Encl 11/28/12 PB

A 2012-11-5177-CO

Location/Address of Construction: <u>250 READ ST</u>		
Total Square Footage of Proposed Structure/Area <u>N/A</u>		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# <u>147</u> Block# <u>A022</u> Lot#	Applicant * <u>must</u> be owner, Lessee or Buyer* Name <u>LINDA BRABROOK</u> Address <u>16 MAJOR RD</u> <u>N. BILLERICA</u> City, State & Zip <u>MA. 01862</u>	Telephone: <u>207 450</u> <u>1153</u>
Lessee/DBA (if applicable) <b>RECEIVED NOV 28 2012 Dept. of Building Inspections City of Portland Maine</b>	Owner (if different from Applicant) Name <u>JOHN HUTCHINS</u> Address <u>256 READ ST</u> (wp) City, State & Zip <u>PORTLAND</u> <u>ME 04103</u>	Cost Of Work: \$ <u>4,000</u> C of O Fee: \$ <u>75</u> Total Fee: \$ <u>60.00</u>
Current legal use (i.e. single family) <u>STUDIOS - (ready) rehearsal</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>VENUE - dance club - alcohol free</u> Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>NEW FIRE DOOR AND STAIRS</u> <u>Change of use too</u> <u>(Admin's Auth updating?)</u>		
Contractor's name: <u>FRED HARRIS</u> Address: <u>467 LOWELLTOWN RD</u> City, State & Zip: <u>WISLASSSET ME 04578</u> Telephone: <u>249-8854</u> Who should we contact when the permit is ready: <u>SAME</u> Telephone: _____ Mailing address: <u>SAME</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 5/15/12

This is not a permit; you may not commence ANY work until the permit is issue



# PORTLAND MAINE

*Strengthening a Remarkable City, Building a Community for Life • [www.portlandmaine.gov](http://www.portlandmaine.gov)*

## Receipts Details:

**Tender Information:** Check , Check Number: 1240\$135.00

**Tender Amount:** 135.00

## Receipt Header:

**Cashier Id:** bsaucier

**Receipt Date:** 11/28/2012

**Receipt Number:** 50600

## Receipt Details:

Reference ID:	8887	Fee Type:	BP-C of O
Receipt Number:	0	Payment Date:	
Transaction Amount:	75.00	Charge Amount:	75.00
Job ID: Job ID: 2012-11-5477-CH OF USE - COU & install new fire door/stairs			
Additional Comments: 250 Read			

Reference ID:	8888	Fee Type:	BP-Constr
Receipt Number:	0	Payment Date:	
Transaction Amount:	60.00	Charge Amount:	60.00
Job ID: Job ID: 2012-11-5477-CH OF USE - COU & install new fire door/stairs			
Additional Comments:			

Thank You for your Payment!

I Linda Brabrook owner of  
Rock Dog Studios, LLC do hereby  
authorize Fred Harrigan to be  
my agent in all matters pertaining  
to Rock Dog Studios, LLC.

5/24/12

Linda Brabrook



## Jeanie Bourke - 250 Read Street - building permit and change of use application

---

**From:** "Huckel-Bauer, Nathaniel R." <NHuckel-Bauer@DDLAW.COM>  
**To:** <jmb@portlandmaine.gov>  
**Date:** 11/30/2012 1:49 PM  
**Subject:** 250 Read Street - building permit and change of use application

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Hi Jeannie. Thanks for talking with me this morning about the pending application referenced above. As we discussed, the applicant plans to use the space for (in no particular order):

1. a dance hall with live music, DJ music and music videos (and dancing)
2. a live music facility without dancing (a concert type presentation with seating)
3. a music/band rehearsal space and music and video recording/editing studio
4. a space for private events, which would likely include parties (birthday, holiday, Halloween), music and dancing, but could also include watching movies, meetings or presentations (there is a large video screen with projector and a small stage). These private events could be catered or the private group could bring in their own food, but the applicant would require the private group to arrange that part on their own.

The applicant has always said there would be no food prep or alcohol sales on premises and she has said one goal is to provide an all ages, chem-free dance facility. She has mentioned the possibility of selling bottled water or similar pre-packaged non-alcoholic beverages or snacks. As mentioned, Fred Harrigan, on behalf of the applicant, submitted a business license application for a dance hall/concert hall permit. We'll certainly talk with business licensing about whether any other license is needed in conjunction with sale of pre-packaged food/beverage items. A dance license application has also been submitted to the state fire marshal.

Again, thanks for your time this week and please let me know if there are any incomplete items or questions that arise with the pending application. I probably can provide a quick answer (unless it is a building/technical item).

Finally, please confirm receipt of this email.

Have a great weekend!

Nate  
 Nathaniel R. Huckel-Bauer, Esq.  
 Drummond & Drummond, LLP  
 One Monument Way  
 Portland, ME 04101  
 (207) 774-0317 (tel)  
 (207) 761-4690 (fax)  
 www.ddlaw.com

Connect with me on LinkedIn: <http://www.linkedin.com/in/nhuckelbauer>

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**IRS CIRCULAR 230 DISCLOSURE:** To ensure compliance with requirements imposed by the IRS, we inform you that any tax advice contained in this communication, unless expressly stated otherwise, was not intended or written to be used, and cannot be used, for the purpose of (1) avoiding tax-related penalties under the Internal Revenue Code or (2) promoting, marketing, or recommending to another party any tax-related matter(s) addressed herein.

RECEIVED  
 NOV 30 2012  
 Dept. of Building Inspections  
 City of Portland Maine

**Jeanie Bourke - RE: 250 Read Street - building permit and change of use application**

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**From:** "Huckel-Bauer, Nathaniel R." <NHuckel-Bauer@DDLAW.COM>  
**To:** "Jeanie Bourke" <JMB@portlandmaine.gov>  
**Date:** 12/17/2012 10:54 AM  
**Subject:** RE: 250 Read Street - building permit and change of use application

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Hi Jeanie. I understand you had some questions or needed additional information on this permit application. Fred Harigan will work this week to provide you with a seating plan for sit-down events, additional measurements and site characteristics (lighting and fire extinguisher locations?). Let me know if there is anything else needed from Fred as I would like to discuss it with him to make sure he understands the requirements.

It sounds like you wanted more information about an area planned for use as a "game room". The intent there is to have several tv monitors and video game machines so that people can play together. It would not be arcade style-games and there would not be a separate fee for using the video games, but rather it would be another activity available at the studio for private events and the machines would be consumer-type units such as Nintendo or Playstation, etc. There would be seating available for the players. Let me know if you need any further details.

Many thanks!

Nate

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**From:** Jeanie Bourke [mailto:JMB@portlandmaine.gov]  
**Sent:** Friday, November 30, 2012 2:24 PM  
**To:** Huckel-Bauer, Nathaniel R.  
**Subject:** Re: 250 Read Street - building permit and change of use application

Thanks Nate,  
 I will copy this and file with the permit application.  
 Have a great weekend,  
 Jeanie

*Jeanie Bourke*  
 CEO/LPI/Plan Reviewer

City of Portland  
 Planning & Urban Development Dept./ Inspections Division  
 389 Congress St. Rm 315  
 Portland, ME 04101  
[jmb@portlandmaine.gov](mailto:jmb@portlandmaine.gov)  
 Direct: (207) 874-8715  
 Office: (207) 874-8703

>>> "Huckel-Bauer, Nathaniel R." <NHuckel-Bauer@DDLAW.COM> 11/30/2012 1:49 PM >>>

Hi Jeannie. Thanks for talking with me this morning about the pending application referenced above. As we discussed, the applicant plans to use the space for (in no particular order):

1. a dance hall with live music, DJ music and music videos (and dancing)

RECEIVED  
 DEC 17 2012  
 Dept. of Building Inspections  
 City of Portland Maine

  
**Allied Engineering**  
Structural Mechanical Electrical Commissioning

October 2, 2012

John Hutchins  
Leavitt & Parris  
256 Read Street  
Portland, ME 04103

RE: Masonry Window Opening Modification – 250 Read Street, Portland, ME

Dear Mr. Hutchins,

On August 18, 2012, Fred Harrigan of Finest Finishes, called us to request a site investigation of the existing conditions of a masonry opening that his client wanted to convert from an existing 6'-0 1/2" high x 8'-5 1/2" wide window opening, to a 7'-4" high x 3'-0" wide personnel door opening.

Our observations of the existing masonry window opening conditions were as follows. The building construction for this area of the existing structure appeared to consist primarily of a structural steel framing system supporting a one-story flat roof & ceiling system. The structural steel framing system contained nominal, 8" CMU block infill walls between the columns, extending from the top of concrete at grade, upward to the underside of the steel beams.

From a 2'x2' opening in the existing suspended ceiling system inside the building, we observed the exposed roof structure and ceiling system from below. The existing roof structure appeared to consist of wood decking on steel bar joists spaced at approximately 7'-6" on center, running parallel to the wall containing the existing window opening proposed for modification. The bottom chord of the existing steel bar joists appeared to be carrying remnants of an abandoned tile ceiling system consisting of acoustical fiber board attached to a wood furring system. The existing suspended ceiling system below the abandoned ceiling described above, attached to the existing wood decking and top chords of the existing steel bar joists above, and consisted of acoustical fiber board, suspended from a steel channel system.

The wall containing the existing masonry wall opening proposed for modification appeared to be an exterior, non-bearing, nominal 8" CMU block wall, with an exterior, nominal 4" brick façade. The rough opening in the existing masonry wall measured approximately 6'-0 1/2" (high) x 8'-5 1/2" (wide). At the time of the investigation, the existing wall was not cut into or exposed, therefore the details of the entire wall section were somewhat unknown.

However, based on our observations of the existing building and its current construction makeup, the proposed modification to the masonry wall opening will not compromise the structural integrity of the existing structure. In fact, the proposed modification to the masonry opening will reduce the current unsupported span of the existing W14 steel beam from 8'-5 1/2" to 3'-0", therefore increasing the capacity of the existing W14 to carry the current wall and roof loads from above.

If you have any questions about our finding or recommendations, please call me. If necessary, we can provide sketches and details for Mr. Harrigan's proposed masonry window opening modification, for your approval.

Sincerely,

James P. Martin, P.E.



N:\Projects\2012\12065 - 250 Read Street '

n\Reports\Site Investigation Report.doc

160 Veranda Street  
Portland, ME 04103

T 207.221.2260  
F 207.221.2266  
www.allied-eng.com

SD-01

MASONRY WALL OPENING ELEVATION  
DEMOLITION - EXTERIOR FACE  
WALL OPENING MODIFICATIONS  
250 READ STREET, PORTLAND, ME

Scale: 1/4" = 1'-0"

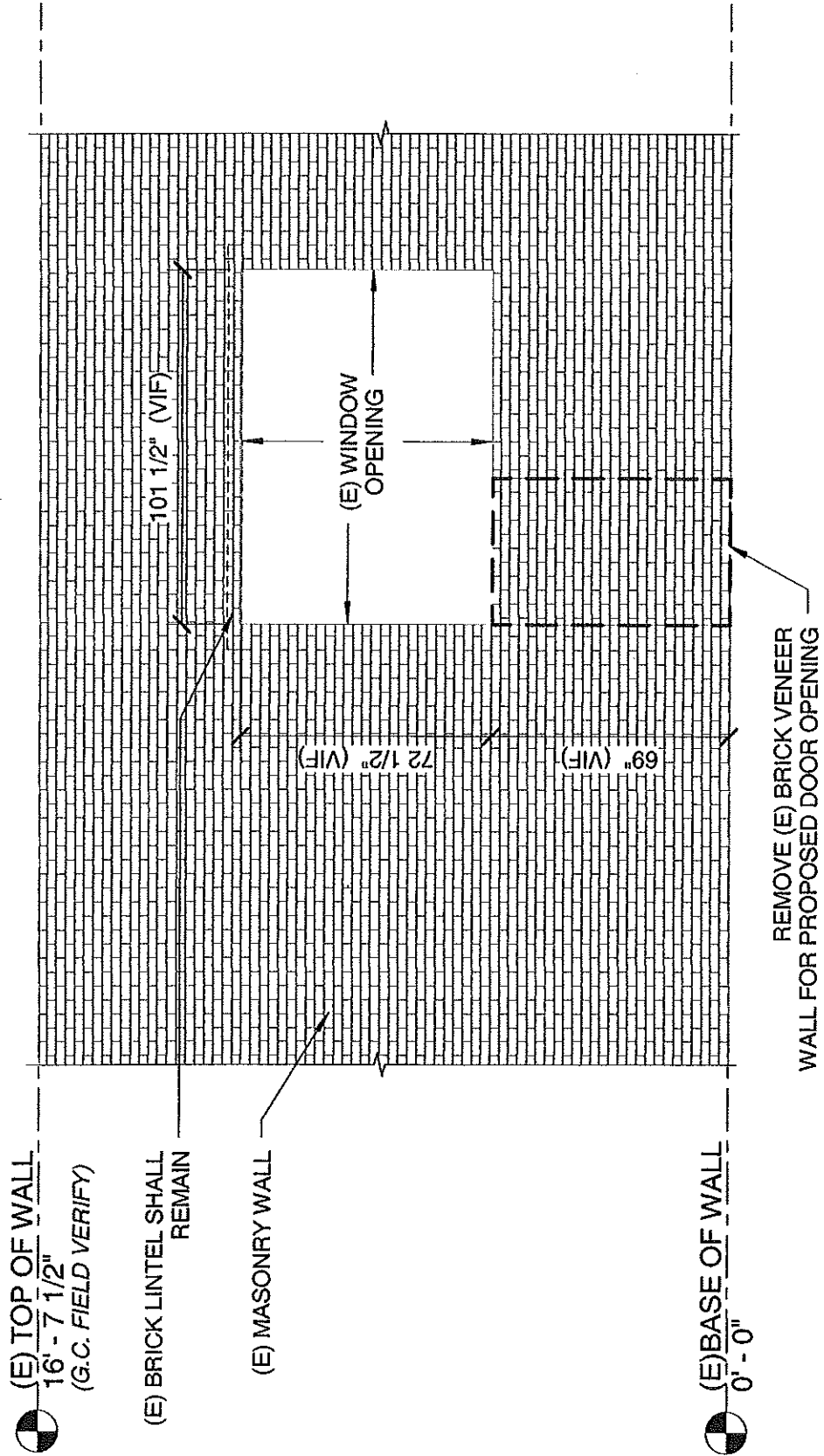
Project No: 12012

CAD File: 12012S.M

Date: 02/01/12

**Allied Engineering**  
Structural Mechanical Electrical Commissioning

160 Veranda Street  
Portland, Maine 04103  
Tel: 207.221.2260  
Fax: 207.221.2266  
Web: www.allied-me.com



SD-02

MASONRY WALL OPENING ELEVATION

DEMOLITION - INTERIOR FACE

WALL OPENING MODIFICATIONS  
250 READ STREET, PORTLAND, ME


Scale: 1/4" = 1'-0"

Project No: 12012

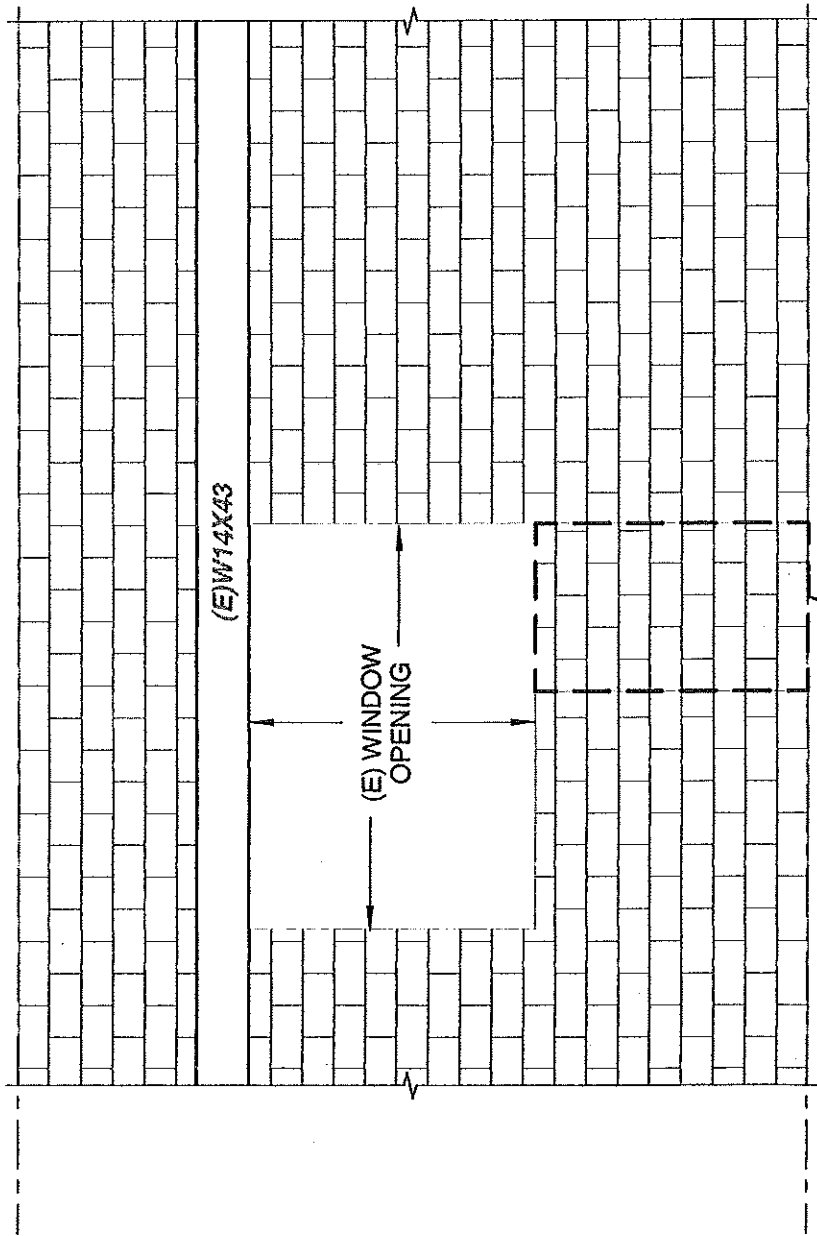
Date: 02/01/12

CAD File: 12012.dwg

**Allied Engineering**  
Structural Mechanical Electrical Commissioning  
160 Veranda Street  
Portland, Maine 04103  
T: 207.221.2260  
F: 207.221.2266  
Web: www.allied-eng.com

(E) TOP OF WALL   
16' - 7 1/2"  
(G.C. FIELD VERIFY)

(E) BASE OF WALL   
0' - 0"



(E)W14X43

(E) WINDOW  
OPENING

REMOVE (E) CMU BLOCK  
WALL FOR PROPOSED DOOR OPENING

160 Veranda Street  
 Portland, Maine 04103  
 T: 207.271.2260  
 F: 207.271.2266  
 Web: www.allied-me.com

**Allied Engineering**  
 Structural Mechanical Electrical Commissioning



MASONRY WALL OPENING ELEVATION  
 PROPOSED - EXTERIOR FACE

WALL OPENING MODIFICATIONS  
 250 READ STREET, PORTLAND, ME

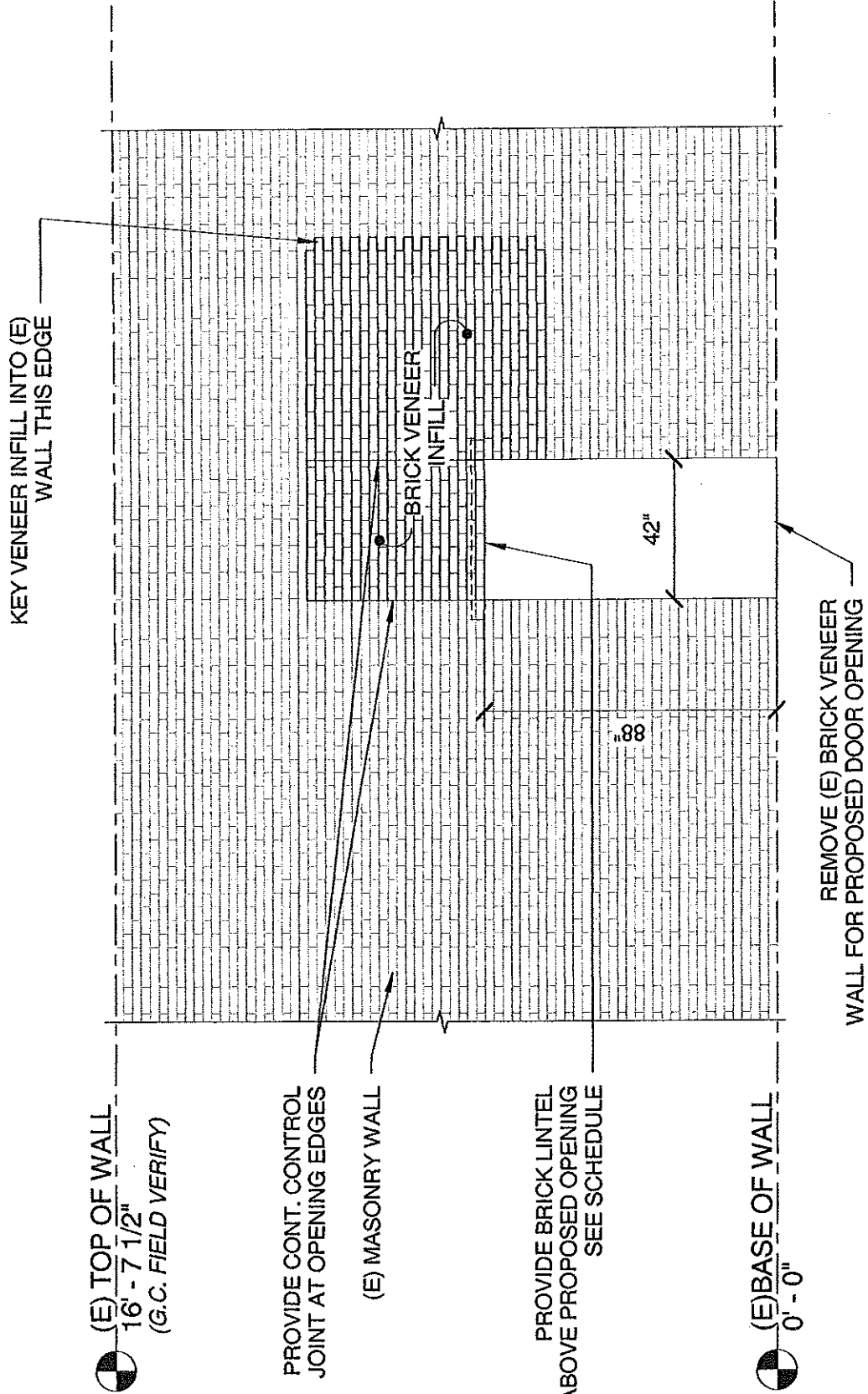
Project No: 12012

Scale: 1/4" = 1'-0"

CAD FILE: 120120.M

Date: 02/01/12

**SF-01**



(E) TOP OF WALL  
 16' - 7 1/2"  
 (G.C. FIELD VERIFY)

PROVIDE CONT. CONTROL  
 JOINT AT OPENING EDGES

(E) MASONRY WALL

PROVIDE BRICK LINTEL  
 ABOVE PROPOSED OPENING  
 SEE SCHEDULE

(E) BASE OF WALL  
 0' - 0"

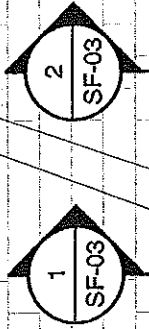
NOTE: G.C. CONFIRM  
 DIMENSIONS SHOWN

KEY IN CMU BLOCK INFILL INTO (E) CMU BLOCK WALL

#3 BAR w/90-DEGREE HOOK @ 16"O.C. 6"  $\perp$  32"

W4.9 LADDER JOINT REINFORCEMENT @ 16"O.C.

L5x3x1/4 (LLV) x 0'-6" (MIN) SPACED AT 48"O.C.



(E)W14X43

(E) TOP OF WALL  
16' - 7 1/2"  
(G.C. FIELD VERIFY)

2X6 PRESSURE TREATED WALL STUDS @ 16"O.C.

(2) 2X8 PRESSURE TREATED HEADER

2X6 PRESSURE TREATED KING STUD EACH SIDE OF OPENING

OPEN UP FACE OF FIRST (2) CELLS TO INSTALL VERT. REINFORCING. EPOXY GROUT VERT. REINF. TO (E) CONCRETE BASE (MIN. 4" EMBED)

(E)BASE OF WALL  
0' - 0"

GROUT ENTIRE FIRST CELL AFTER INSTALLING REINFORCING

PROVIDE (1)#5 BAR FULL HEIGHT IN FIRST TWO END CELLS, 48"O.C. OTHERWISE, GROUT REINFORCED CELLS SOLID w/3000PSI GROUT

PROPOSED CMU BLOCK INFILL

MASONRY WALL OPENING ELEVATION	
PROPOSED - INTERIOR FACE	
WALL OPENING MODIFICATIONS	
250 READ STREET, PORTLAND, ME	
Scale: 1/4" = 1'-0"	Project No: 12012
Date: 10/02/12	CAD File: 12012S.rvt

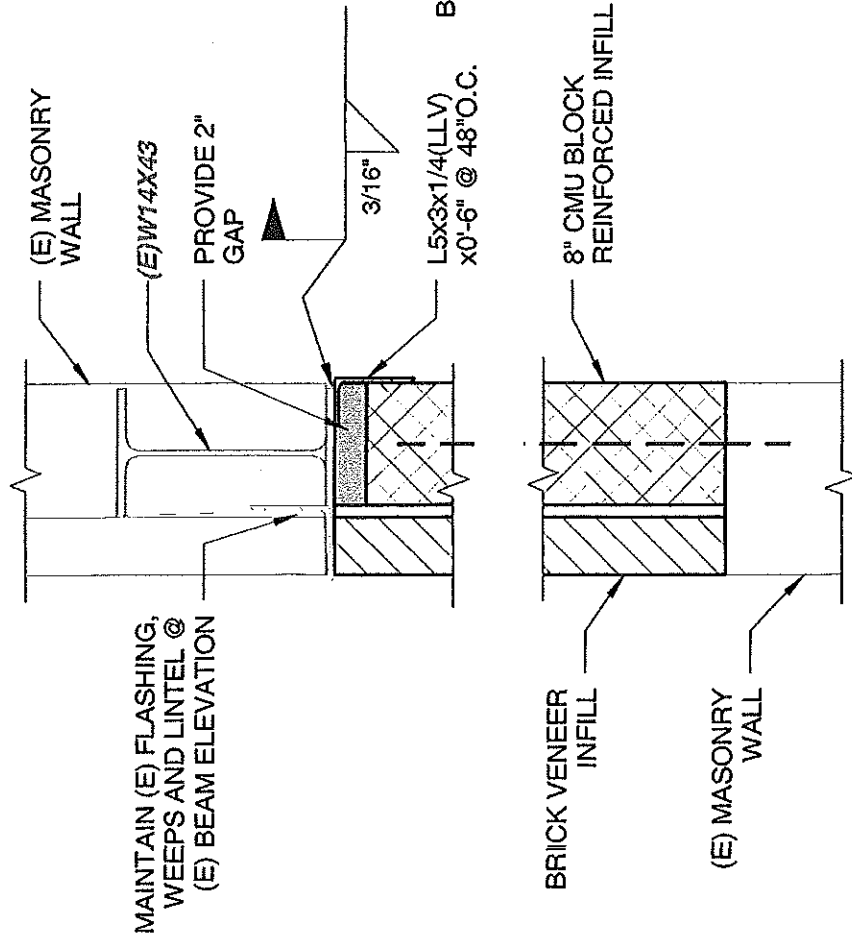
SF-02

160 Veranda Street  
Portland, Maine 04103  
Tel: 207.221.2260  
Fax: 207.221.2266  
Web: www.allied-ep.com

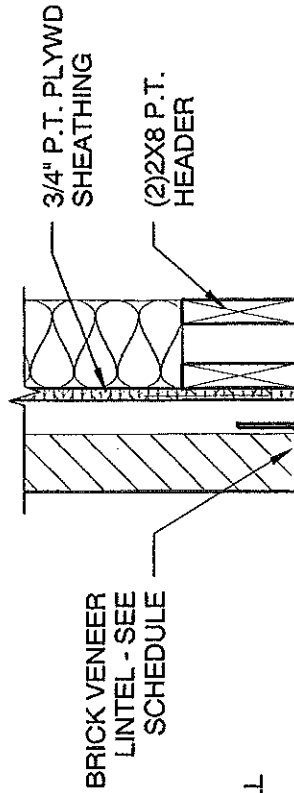
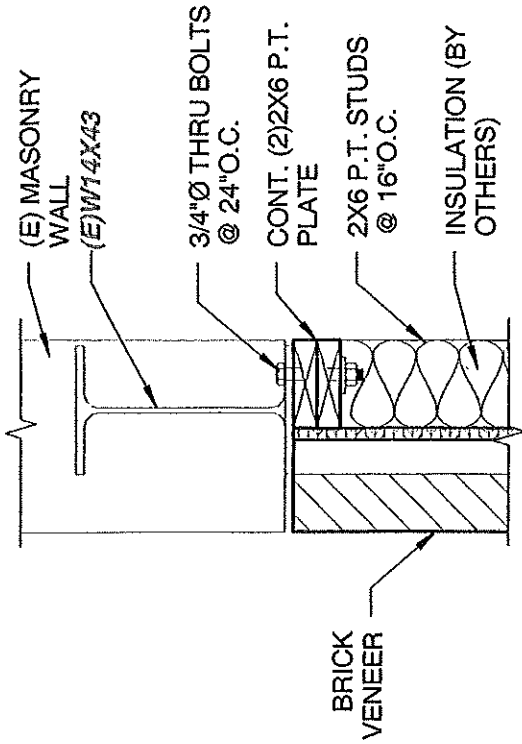


BRICK VENEER LINTEL SCHEDULE		
OPENING	ANGLE SIZE (GALV.)	BEARING (EA. END)
0' - 3'-11"	L4"x3 1/2"x1/4" (LLV)	4" MIN.
4' - 7'-11"	L6"x3 1/2"x5/16" (LLV)	6" MIN.

**NOTE:** ANGLE SIZE LISTED PER BRICK WYTHE SUPPORTED



**DETAIL - 1**



**DETAIL - 2**

**DETAILS**

WALL OPENING MODIFICATIONS  
250 READ STREET, PORTLAND, ME

Scale: 1" = 1'-0"

Project No: 12012

CAD File: 12012S.rvt

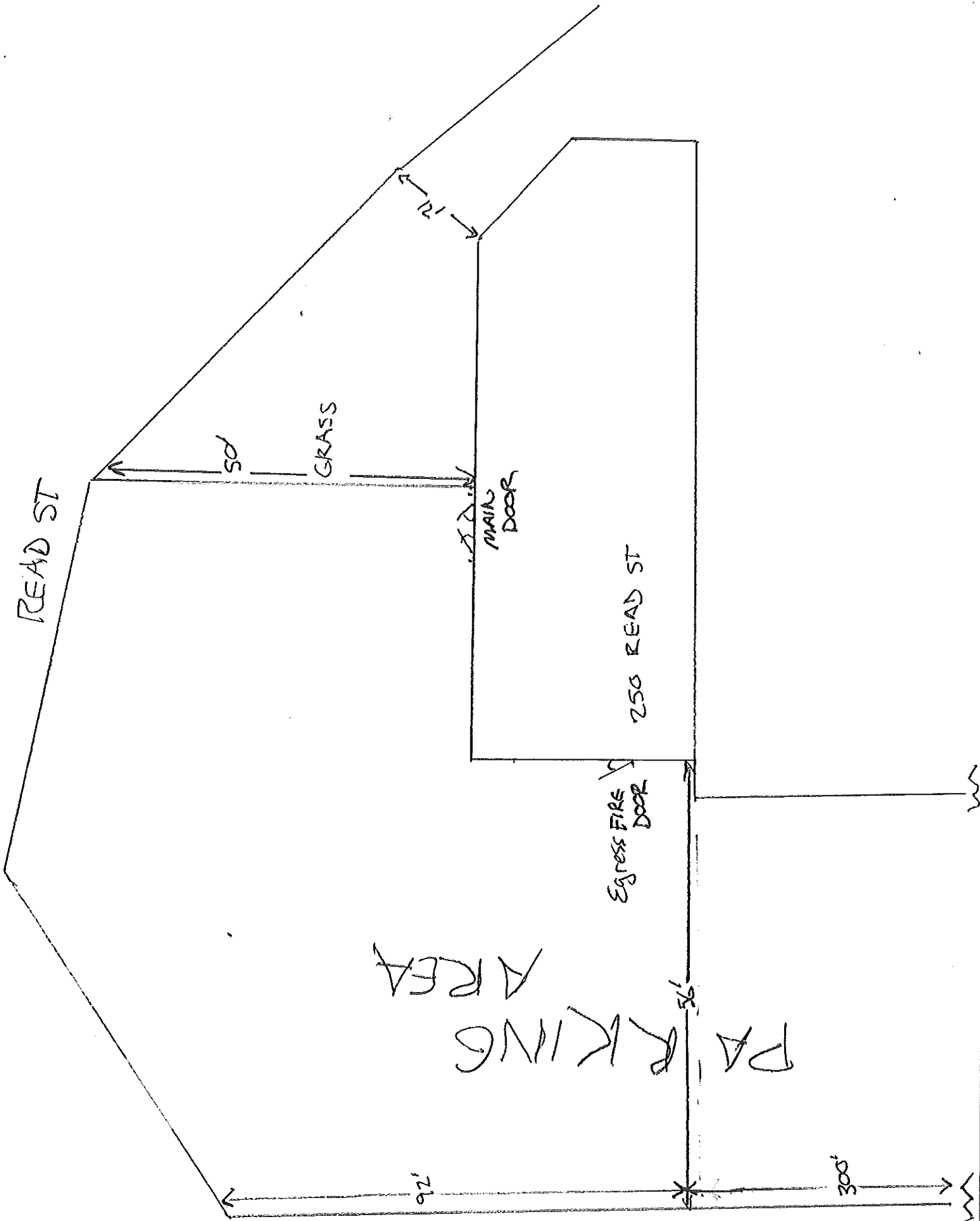
Date: 10/02/12

**SF-03**

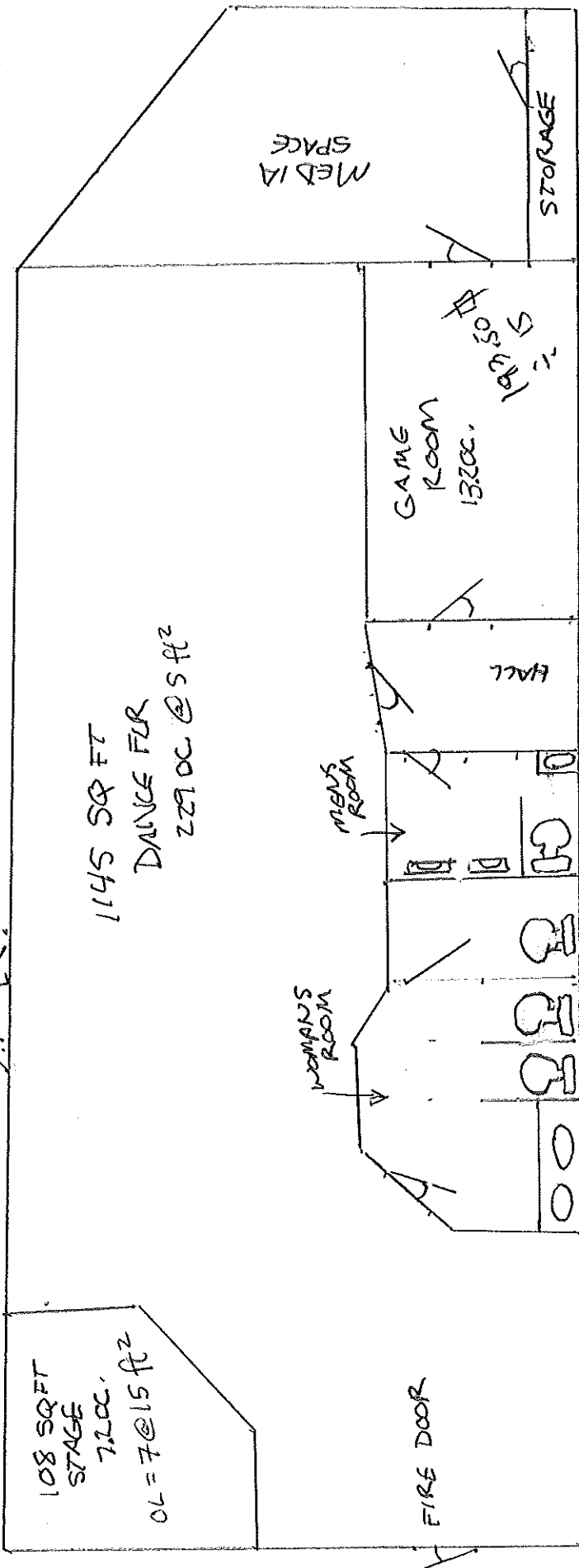


160 Veranda Street  
Portland, Maine 04103  
Tel: 207.221.2266  
Fax: 207.221.2266  
Web: www.allied-eng.com

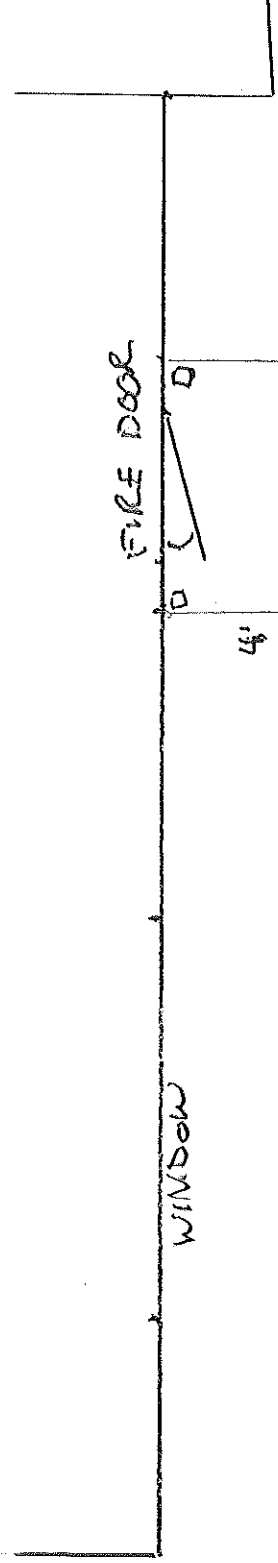


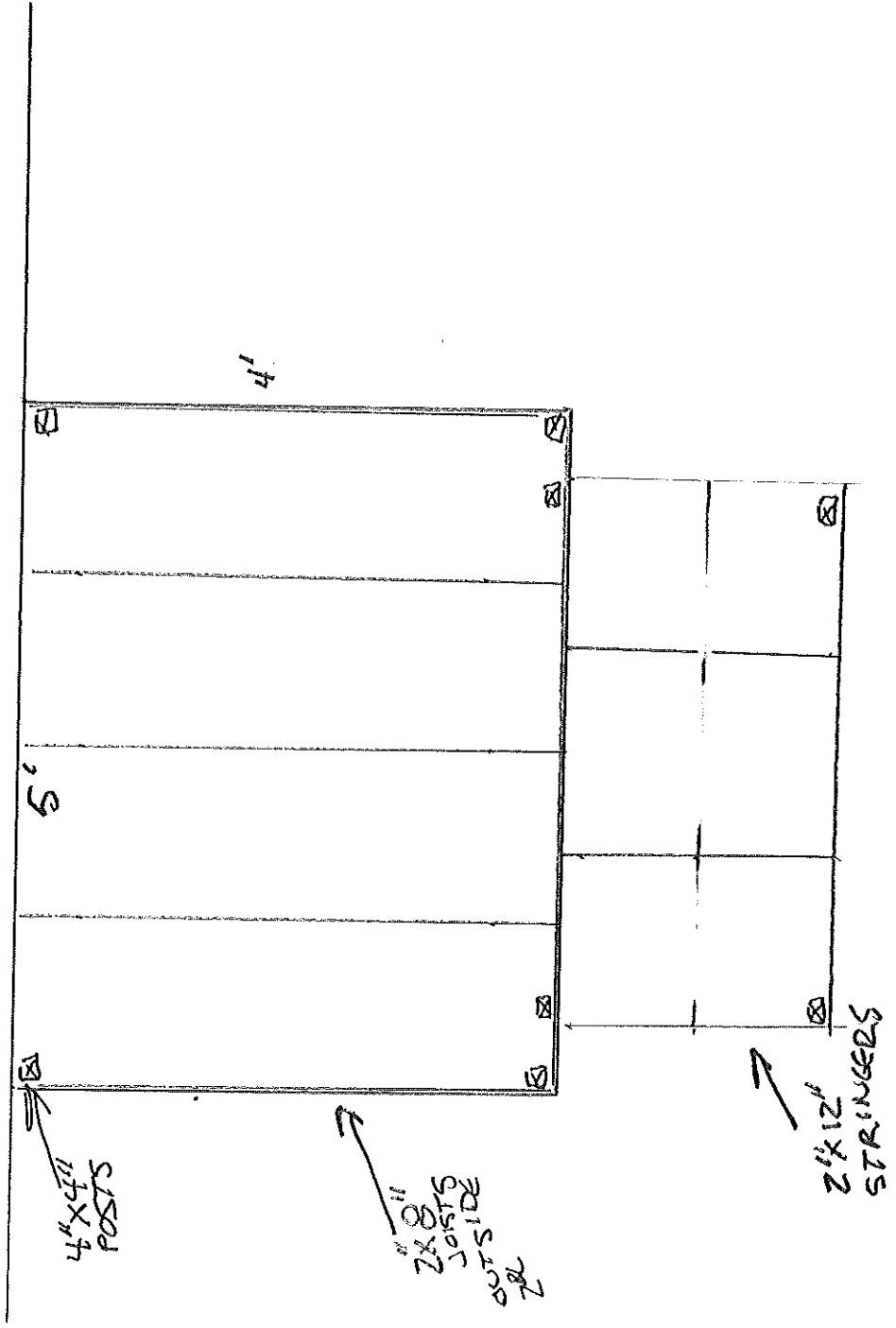


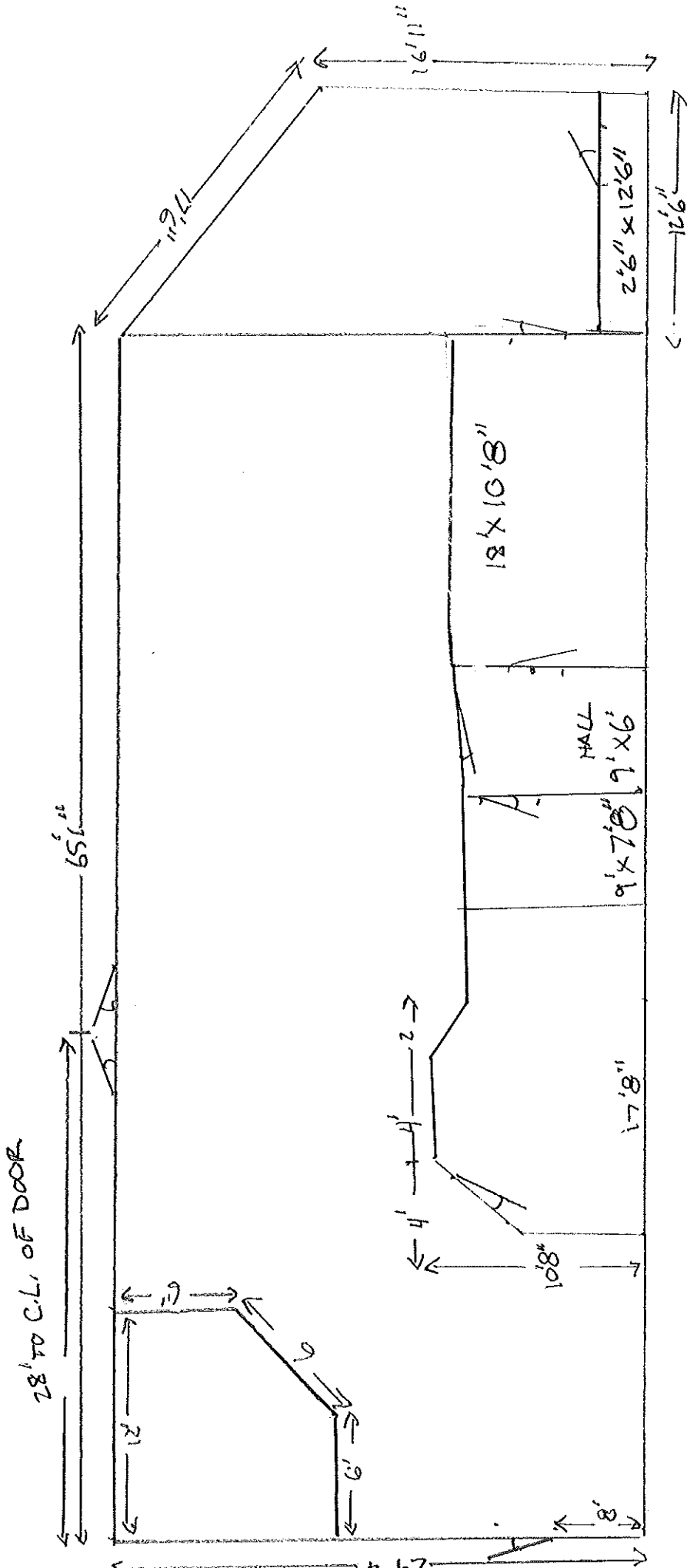
MAIN DOORS



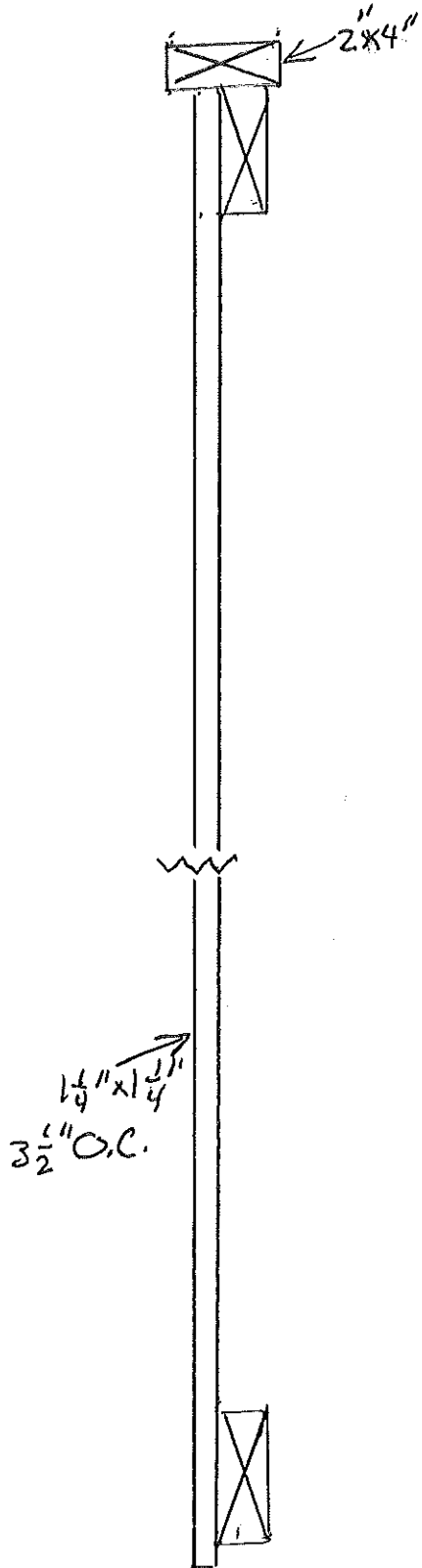
249.4  
MAX OC.







# HAND RAIL DETAIL



CBL: 147 A0220      Permit ID: 2012-50599

**Additional Comments:**

---

**12/14/2012-JMB/Building:**

Spoke with Fred H. regarding the following, he will submit the details:

1. Clarify that a permit will be applied for at SFM, not just license app
2. Provide a concert seating diagram to scale or with aisle & spacing dimensions
3. Provide a layout or intention for the game room to justify the net 15 occupant load
4. Provide the area of the media room with calc for Business at 100 gross occ. Load
5. Provide a diagonal of the bldg. and the distance between the 2 egress doors
6. Provide life safety device location on plans
7. Confirm panic hardware to be installed on new door
8. Provide section of new ext. platform and steps with frost protection, attachments, bearing, stair profile & dimensions, and graspable handrail

**Jeanie Bourke - RE: 250 Read St. plan review comments BP#2012-50599**

**From:** "Huckel-Bauer, Nathaniel R." <NHuckel-Bauer@DDLAW.COM>  
**To:** "Jeanie Bourke" <JMB@portlandmaine.gov>  
**Date:** 2/22/2013 3:32 PM  
**Subject:** RE: 250 Read St. plan review comments BP#2012-50599  
**Attachments:** Emergency Door 90min burn.pdf; Exit sign specs.pdf; 250 read street fire door plans.pdf

Hi Jeannie.

Attached is the purchase order for the door, which describes the specs. We also have a 300 page technical data book for doors from the manufacturer and can provide information from that book if necessary. Also attached are the exit sign specs (unit with integrated safety lighting). The final attachment includes plans showing the dimensions and area of each part of the space, the diagonal distance of the dance area plus the distance between exit doors, a sketch showing the location of the exit sign, and construction details on the outside landing and stairs.

Please let me know 2 things:

1. Whether the attachments now fully address the outstanding issues set forth in your December list as revised by your early February correspondence; and
2. If this electronic submission is adequate or whether we must submit paper copies.

Thanks!

Nate

**From:** Jeanie Bourke [mailto:JMB@portlandmaine.gov]  
**Sent:** Monday, February 11, 2013 2:09 PM  
**To:** Huckel-Bauer, Nathaniel R.  
**Subject:** RE: 250 Read St. plan review comments BP#2012-50599

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Thanks Nate, see my comments in RED.  
 Let me know if you have further questions.  
 Jeanie

>>> "Huckel-Bauer, Nathaniel R." <NHuckel-Bauer@DDLAW.COM> 2/11/2013 11:36 AM >>>

Hi Jeannie. Thanks for this list. I'm sorry this has dragged on so long! I can comment on a few of these.

1. Yes, a state fire marshal permit renovation/construction permit application has been submitted (although it needs to be supplemented with additional plan detail). The SFM dance hall permit application also has been submitted. Do you want a copy of the permit application? No, confirmation that these have been applied for is sufficient for now, please provide a copy of the approved permits



when issued. I can also add this as a condition of approval.

2. They have decided not to offer seated concerts/events at this time so no seating diagram is needed. Please confirm this is acceptable to satisfy this condition. Ok, if there is no seating plan then the occupancy calculation is based on 5 s.f./person for the IBC code. This is the factor that Fred used for the dance hall,  $1145/5 = 229$ . I don't know if the NFPA code looks at it differently, ie. 3 s.f./person. In either case, this will need to be posted in the space. There are increased code requirements if occupancy exceeds 300. The fire dept. contact is Ben Wallace at 874-8400.
3. It sounds like I addressed your question about the game room.
4. Is the media room different from the game room? Each room should show the square feet for the occupant load. In this case I think this room would be business use, s. f./100.
5. The requested measurements will be provided if they have not already been provided. This has not been provided.
6. By "life safety device" do you mean the exit sign with integrated lighting? That will be over the door and a plan showing location will be provided if not already provided. This has not been provided.
7. Fred has confirmed panic hardware will be installed on the new door, which is also a requirement of the SFM permit. Fred has the technical specs on the door and hardware and he will submit those to you if he hasn't already. This has not been provided
8. Fred or the engineer will provide the details on the exterior stair and landing, which are also required by the SFM. Still awaiting these details.

So it looks like we're dealing with 4, 5, 6, 7 and 8.

Just to make this more difficult, the landlord has recently talked about a double door instead of a single door. Could you let me know the best way to handle that change if it is required by the landlord? Is that something that can be approved by an inspector in the field or do you need to review it and issue an amended permit because you need to see specs on the alternate door? These changes can be submitted to the this office and the 4th floor planning office (the Administrative Authorization permit) without amendment. The permit has not been issued so this type of change is current to the review and will not cause backtracking reviews. The building construction will be the most substantial change and these details will need updating on this application.

Thanks!

---

**From:** Jeanie Bourke [<mailto:JMB@portlandmaine.gov>]  
**Sent:** Monday, February 11, 2013 9:59 AM  
**To:** Huckel-Bauer, Nathaniel R.  
**Subject:** 250 Read St. plan review comments BP#2012-50599

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Hi Nate,

Here is the list from my review, let me know if you have any questions. I know you have clarified how the game room will be used, this is ok.

Jeanie

*Jeanie Bourke*  
CEO/LPI/Plan Reviewer

**City of Portland**  
**Planning & Urban Development Dept./ Inspections Division**  
**389 Congress St. Rm 315**  
**Portland, ME 04101**  
[jmb@portlandmaine.gov](mailto:jmb@portlandmaine.gov)  
**Direct: (207) 874-8715**  
**Office: (207) 874-8703**

Notice: Under Maine law, documents - including e-mails - in the possession of public officials or city employees about government business may be classified as public records. There are very few exceptions. As a result, please be advised that what is written in an e-mail could be released to the public and/or the media if requested.

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Contractor: Fred Harrigan  
 Project: 249-8854  
 City, State: Portland, Maine  
 Date: 12/19/12

Wallboard Supply Co  
 Portland, Maine  
 QUOTE

Joe Jenkins

	A	B	C	D	E	F	G	H	I
	Item			Quantity Ea	LF/ SF	Price	Quantity Total		Total
1									
2									
3									
4	<b>FRAME - 6068 53/4 16 GA PAIRED MAS FRAME, DIM FR/EXT WALL ANCH/WELD ANCH, WELD IN CLOSER REINFORCEMENT, REINF FOR VERT ROD EXIT DEVICE, SET UP &amp; WELD FRAMES, UL FRAME 1 1/2 HOUR MAX PAIRED OPENING DOOR - 3068 BLANK 18 GA HONEYCOMB DOOR, CUT IN VISION LITE OR LOUVER, INSTALL GLS-GLS COST NOT INCL, LOW PROFILE 8 X 42 MVP,GREY, SAFEWIRE GLASS CUT TO SPECIAL SIZE PER SQ FT, CUT AND LABEL SAFEWIRE GLASS, B LABEL DOOR, 4 1/2 X 4 1/2 BB BRUSHED CHROME NRP HINGE, 8616 ALUMINUM DOOR CLOSER, DORMA 8400 FIRE VERT PANIC BAR ALUM, DORMA R08 PANIC CLASS TRIM 626, DOOR JAMB KIT US28 6 X 7, DOOR SWEEP US28 3'0", 72" FLAT ALUMINUM SILL</b>	ea		1		3616.260	1	\$	3,616.26
5									
6									
7							TOTAL P1	\$	3,616.26
8							TOTAL w/Tax	\$	3,797.07

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Quote valid for 30 days. Tax not included



## FEATURES & SPECIFICATIONS

**INTENDED USE** — Suitable for applications requiring both exit sign and unit equipment. Attractive, less than 10 inches tall, streamlined design is great for above-the-door applications and other tight fits. High-output version with remote lamps are ideal for outdoor emergency egress lighting.

**CONSTRUCTION** — Engineering-grade thermoplastic housing is impact-resistant, scratch-resistant and corrosion-proof. UL94V-0 flame rating. UV-stable white resin resists discoloration from natural and man-made light sources.

Rugged unibody housing snaps together with no additional fasteners. Faceplate and back cover are interchangeable on housing. Positive snap-fit tabs hold faceplate securely, yet are easily removable for lamp compartment access. Universal, directional chevron inserts are easily removed and reinserted.

Two 5.4W T-5 wedge-base krypton lamps with multi-faceted reflector and acrylic lenses provide superior optical control. Unique swivel-and-point arrangement permits full-range adjustment in lamp head direction.

Uniform graphics illumination without shadows or hot spots. Letters 6" high with 3/4" stroke, with 100 ft. viewing distance rating, based upon UL924 standard.

Special wording available with Panel Face in red lettering only. See notes.

U.S. Patent No. D484,272; 5,526,251; 5,611,163; 5,797,673; 5,954,423; 6,142,648 and 6,848,798. Canada Patent No. 80,141, 2,180,495.

**OPTICS** — The typical life of the exit LED lamp is 10 years, based on continuous operation. Low energy consumption — only 3.3 watts.

**ELECTRICAL** — Custom microchip charger, developed by Lithonia Lighting Emergency Systems, provides increased reliability and maximizes battery life. AC/LVD reset allows battery connection before AC power is applied and prevents battery damage from deep discharge.

Battery: Sealed, maintenance free lead-calcium battery standard delivers 90 minutes capacity to emergency lamps. Nickel-cadmium battery is optional.

Two-rate regulated charger minimizes energy consumption and provides low operating costs. Filtered charger output minimizes charge voltage ripple and extends battery life. Thermal protection senses circuitry temperature and maintenance. Optional high-output battery (HO) to power up to 6-volt, 12-watt remote load. See chart on back for details.

**INSTALLATION** — Top, end or back mounting. Housing snaps to canopy with four positive-locking tabs. Cam locking pin secures housing to canopy.

Easily removed mounting knockouts. Conduit entry knockout for 1/2" flexible conduit. J-box pattern on back panel.

**LISTING** — UL listed. Damp location 60°F to 90°F (15°-32°C) standard. Meets UL 924, NFPA 101 (current Life Safety Code), NEC and OSHA illumination standards. NEMA Premium certified.

**WARRANTY** — Three-year limited warranty (five-year for nickel-cadmium battery) including LED lamps. Complete warranty terms located at

[www.acuitybrands.com/CustomerResources/Terms\\_and\\_conditions.aspx](http://www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx)

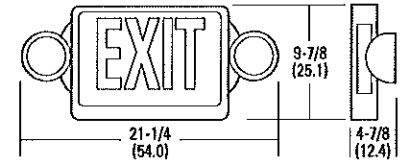
Note: Specifications subject to change without notice.

Actual performance may differ as a result of end-user environment and application.

Catalog Number
Notes
Type



Thermoplastic Exit/Unit Combo



### Specifications

Length: 21-1/4 (54.0)

Depth: 4-7/8 (12.4)

Height: 9-7/8 (25.1)

Weight: 7.36 (3.3 kg)

All dimensions are inches (centimeters) unless otherwise specified.

## ORDERING INFORMATION For shortest lead times, configure product using standard options (shown in bold).

Example: LHQM SW 3 R

LHQM	Face type	Housing color	Number of faces	Letter color	Options
LHQM LED type two external lamp heads	<b>S</b> Stencil <b>P</b> Panel <sup>1</sup>	<b>(blank)</b> Black <b>W</b> White	<b>3</b> Single face with extra faceplate and color panel	<b>R</b> Red <b>G</b> Green	<b>(blank)</b> None <b>N</b> Maintenance-free nickel-cadmium battery <sup>1</sup> <b>HO</b> High-output lead-calcium battery <sup>3</sup> <b>HO R0</b> High-output lead-calcium battery, less lamp heads <sup>3</sup>

Accessories: Order as separate item.	
ELA MR24 K0606	Compact MR24 remote head (6W, 6V) <sup>5,7</sup>
ELAT MR24 K0606	Compact MR24 twin remote head (12W total) <sup>5,7</sup>
ELA MR24 K0906	Compact MR24 remote head (9W, 6V) <sup>5,7</sup>
ELA NX H0606	NEMA 4X, sealed-beam remote fixture (6V, 6W halogen) <sup>5,8</sup>
ELAWG3	Wireguard (back mount only) <sup>4</sup>
ELAW US12	12" pendant-mount kit with white canopy <sup>9</sup>

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### Notes

- 1 Only available in custom signage. See spec sheet, Custom Signage.
- 2 Not available with any other options.
- 3 Not available with nickel-cadmium battery option.
- 4 See spec sheet ELA-WG.
- 5 Only available with HO option.
- 6 Only available with HO R0 option.
- 7 See spec sheet ELA-MR24.
- 8 See spec sheet ELA-IND-NX.
- 9 See spec sheet ELA-Stemkits. To order black canopy, replace "W" with "B". To order 24" or 36" length, replace "12" with "24" or "36".

# LHQM Quantum® Thermoplastic Exit/Unit Combo

## SPECIFICATIONS

ELECTRICAL				
Primary Circuit				
	Typical LED life <sup>1</sup>	Supply voltage	Max. amps	Max. watts
Red & Green LED	10 years	120	.23	3.3
		277	.23	3.3

BATTERY					
	Voltage	Shelf life <sup>2</sup>	Typical life <sup>2</sup>	Maintenance <sup>3</sup>	Optimum temperature <sup>4</sup>
Lead-calcium	6	12 months	5-7 years	none	60°-90°F (15°-32°C)
Ni-cad (H)	6	3 years	7-9 years	none	32°-100°F (0°-37°C)

**Notes:**

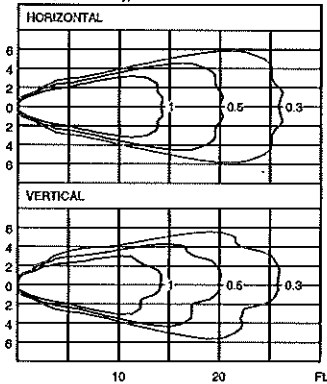
- Based on continuous operation.
- At 77°F (25°C).
- All life safety equipment, including emergency lighting for path of egress must be maintained, serviced, and tested in accordance with all National Fire Protection Association (NFPA) and local codes. Failure to perform the required maintenance, service, or testing could jeopardize the safety of occupants and will void all warranties.
- Optimum ambient temperature range where unit will provide capacity for 90 minutes. Higher and lower temperatures affect life and capacity. Consult factory for detailed information.

## REMOTE OUTPUT CAPACITY

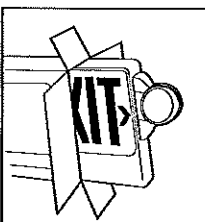
BATTERY			
Standard combo	Combo ni-cad battery	Combo high-output battery (HO)	Combo no heads (RO) & high-output
NA	NA	12W	24W

## PHOTOMETRICS

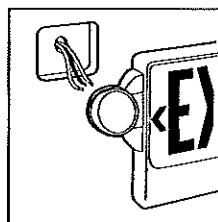
MR24 K0606  
6-volts, 5.4-watts Krypton



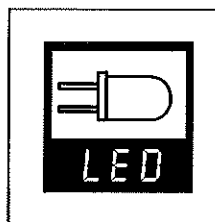
## KEY FEATURES



Fully assembled at factory.



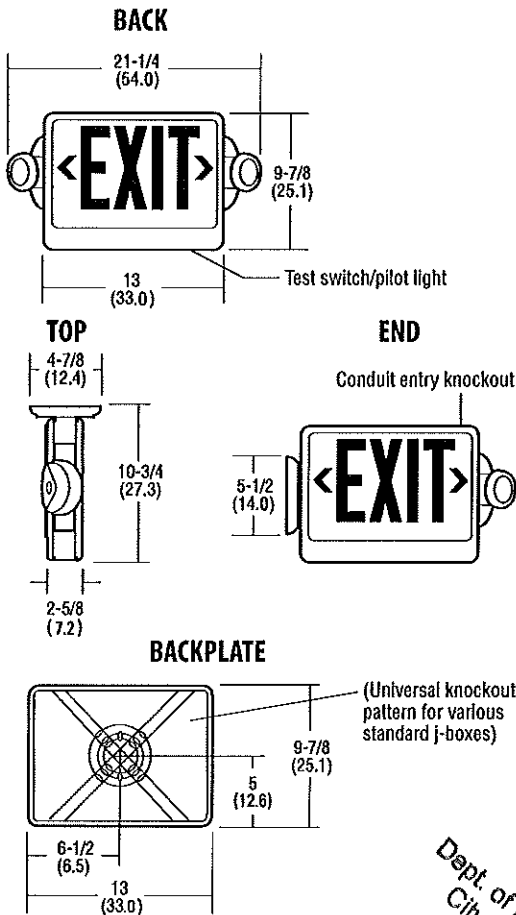
Install only one fixture instead of two.



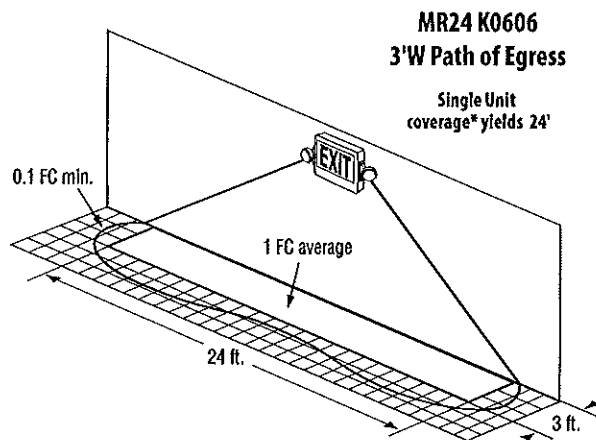
The typical life of the LED lamp is 10 years.

## MOUNTING

All dimensions are inches (centimeters).  
Shipping weight: 7.36 lbs. (3.3 kgs).

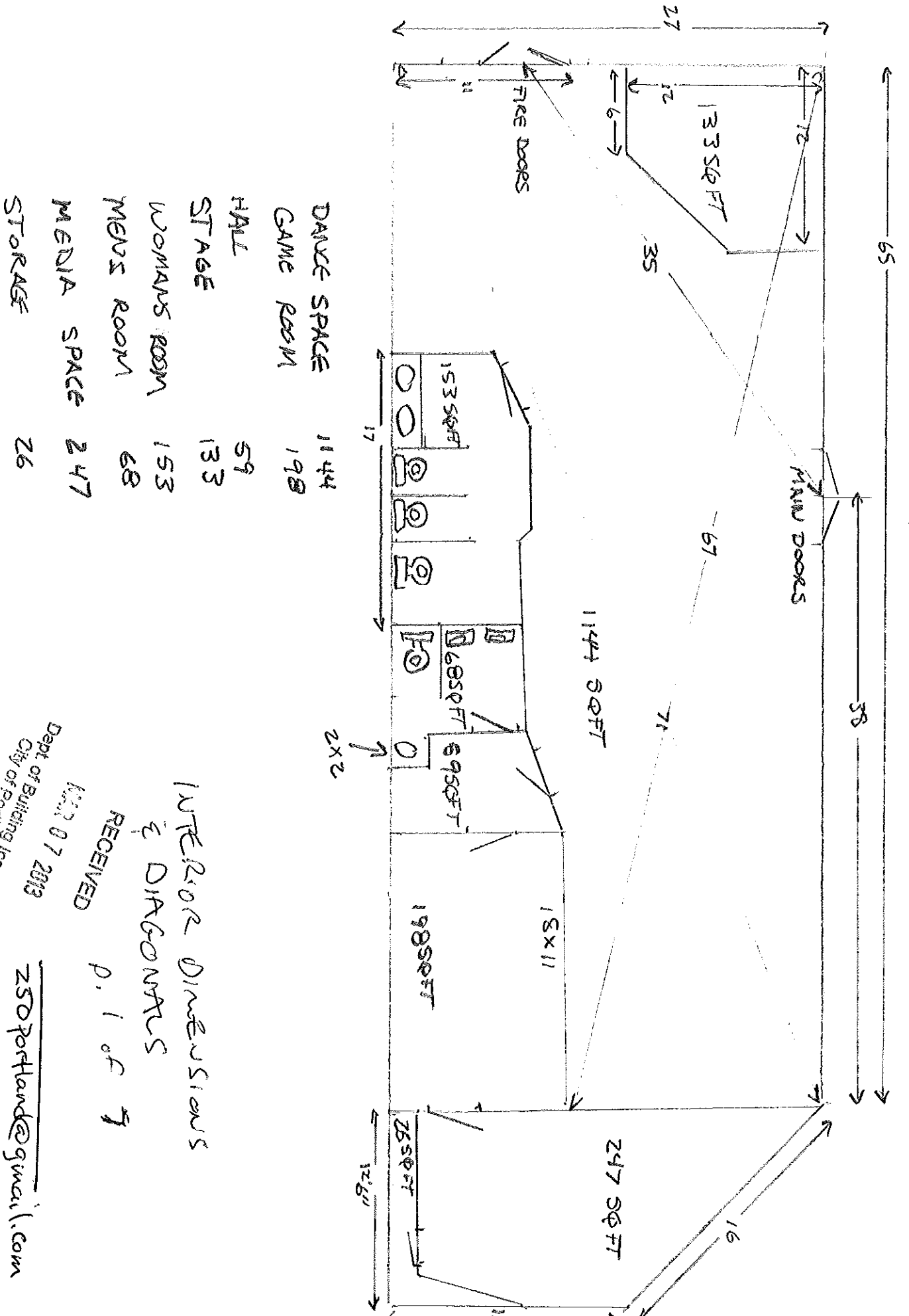


## FIXTURE PERFORMANCE



\* Meets Life Safety Code standard minimum illuminance of 0.1 FC and average illuminance of 1.0 FC. Assumes open space with no obstructions, mounting height: 7.5', ceiling height: 9', and reflectances: 80/50/20. Analysis based on independently tested photometrics.

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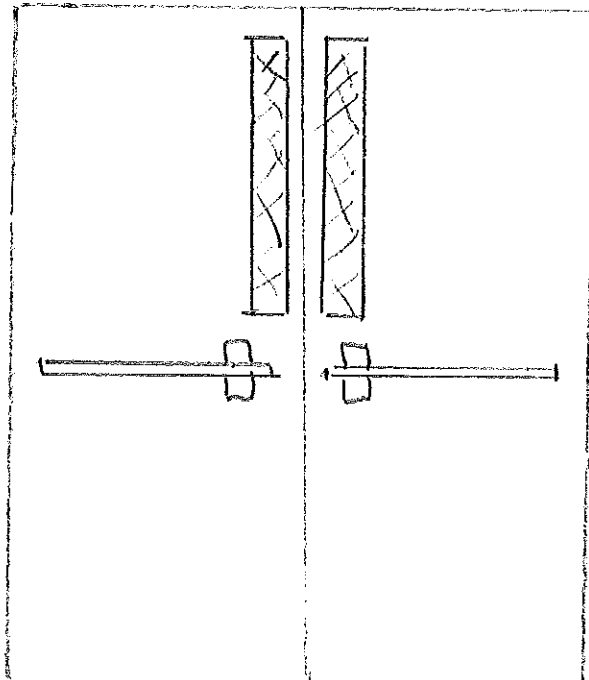
DANCE SPACE	1144
GAME ROOM	198
HALL	59
STAGE	133
WOMAN'S ROOM	153
MEN'S ROOM	68
MEDIA SPACE	247
STORAGE	26

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INTERIOR DIMENSIONS  
 & DIAGRAMS  
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250 Portland@qvincil.com  
 207-619-0250  
 Jake

⊕ EXIT ⊕



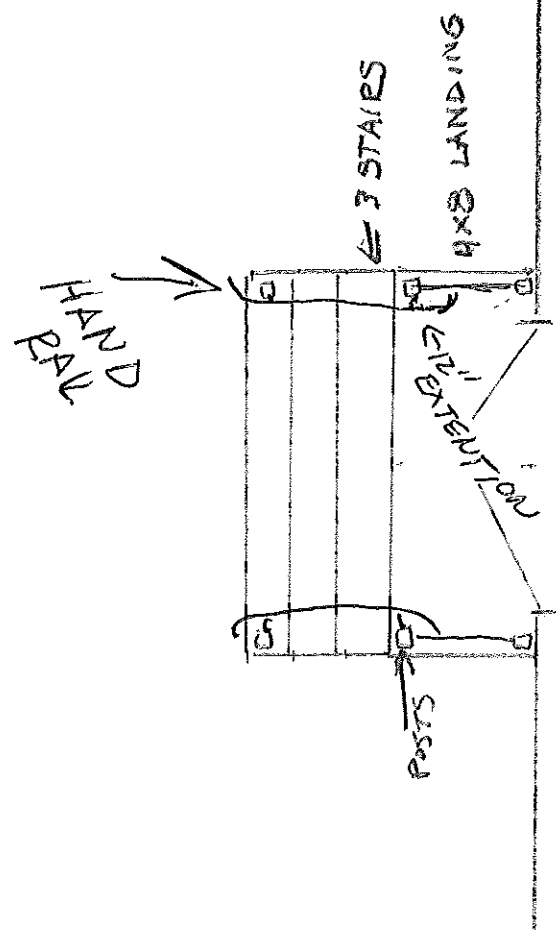
Door  
INTERIOR  
Pg 2 of 7

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1/2 SCALE

1/4 SCALE

NO NOSING ON STAIR TREADS



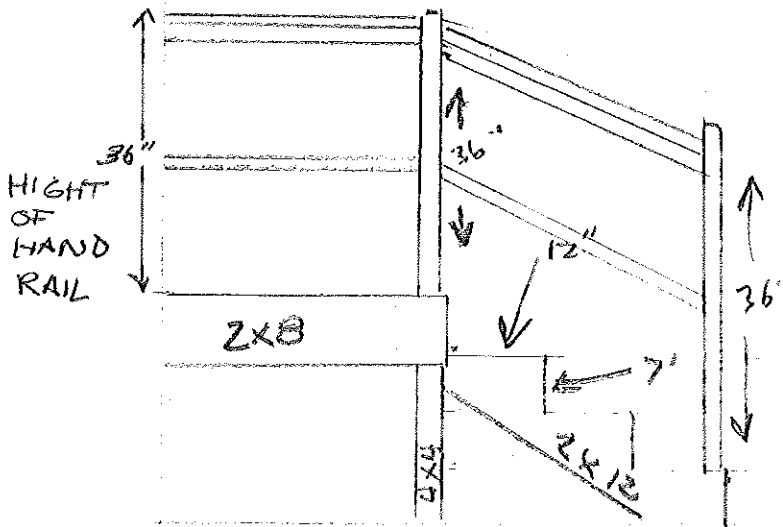
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DOOR EXTERIOR  
 LANDING A.3 of 7



STAIR LANDING  
P 4 of 7

STAIR PROFILE  
& DIMENSIONS



HANDBAIL  
DIMENSIONS

NO NOSING ON STAIR TREAD

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STAIR DECK FRAMING

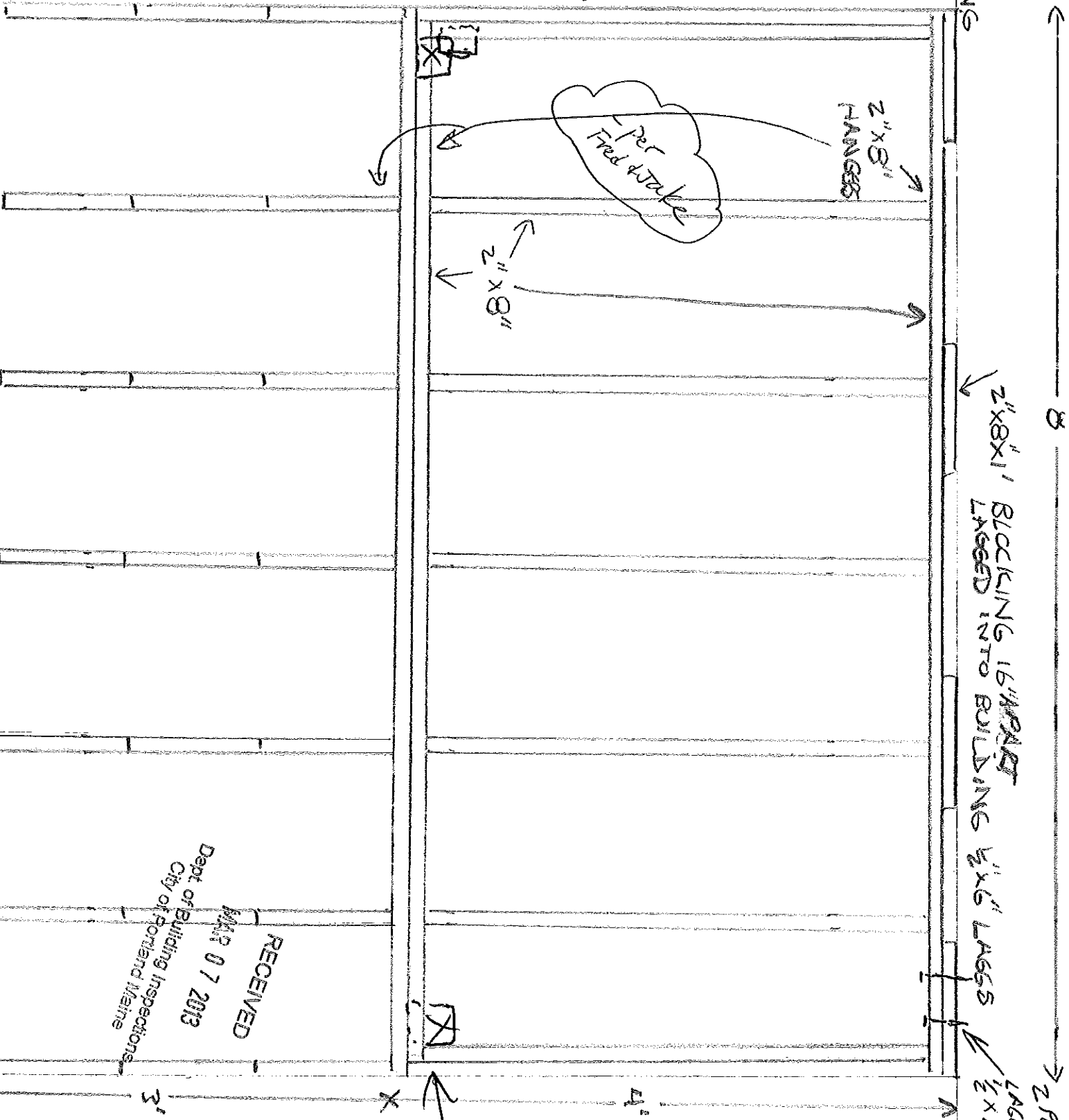
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UPDATED  
LANDING

2"x12"  
STAIRS

2"x8"  
16" OC

BUILDING



Per Fred & Jake

2"x8"  
HANGERS

2"x8"

2"x8" 1' BLOCKING 16" PART  
LAGGED INTO BUILDING 1/2"x6" LAGGS

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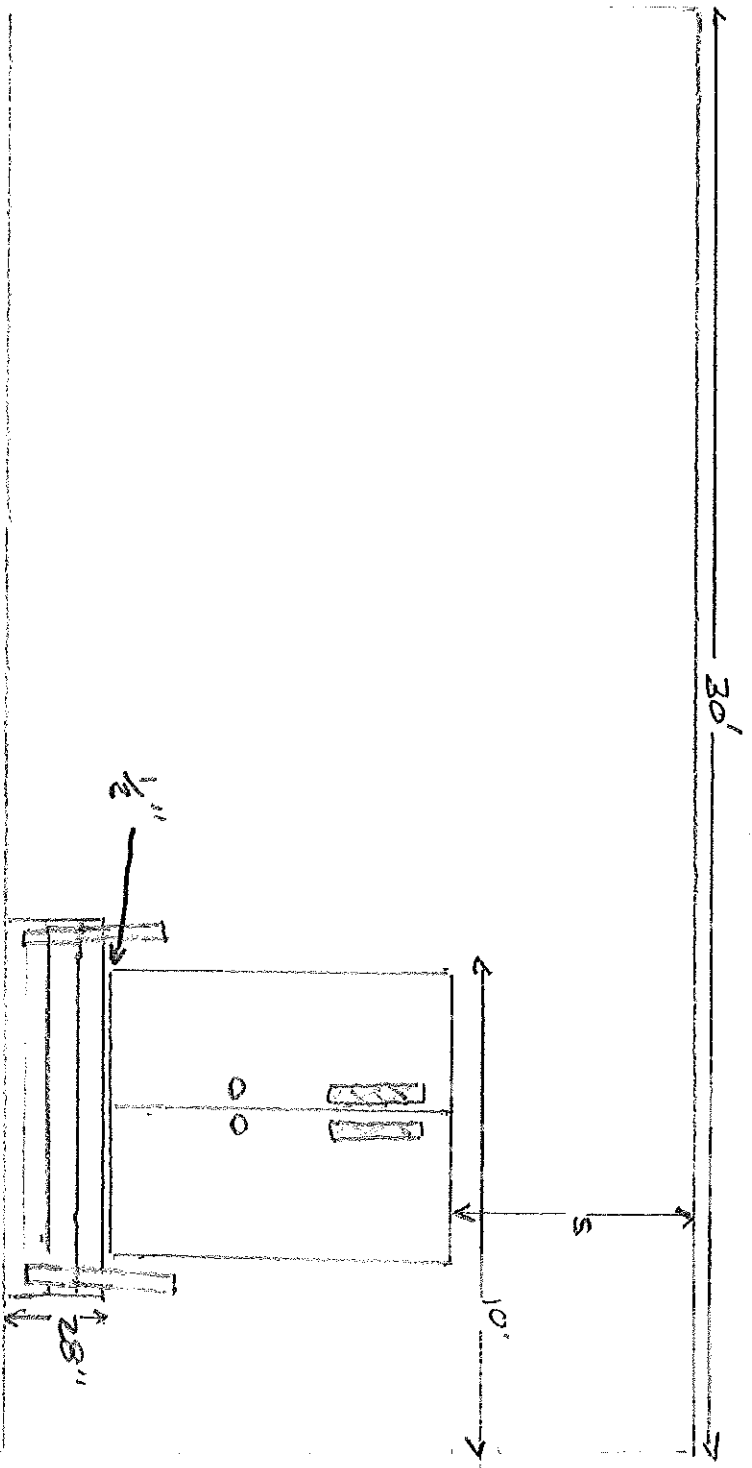
4x4 LET IN

LEAD SHEAD INTO BACK

2 PER BLOCK

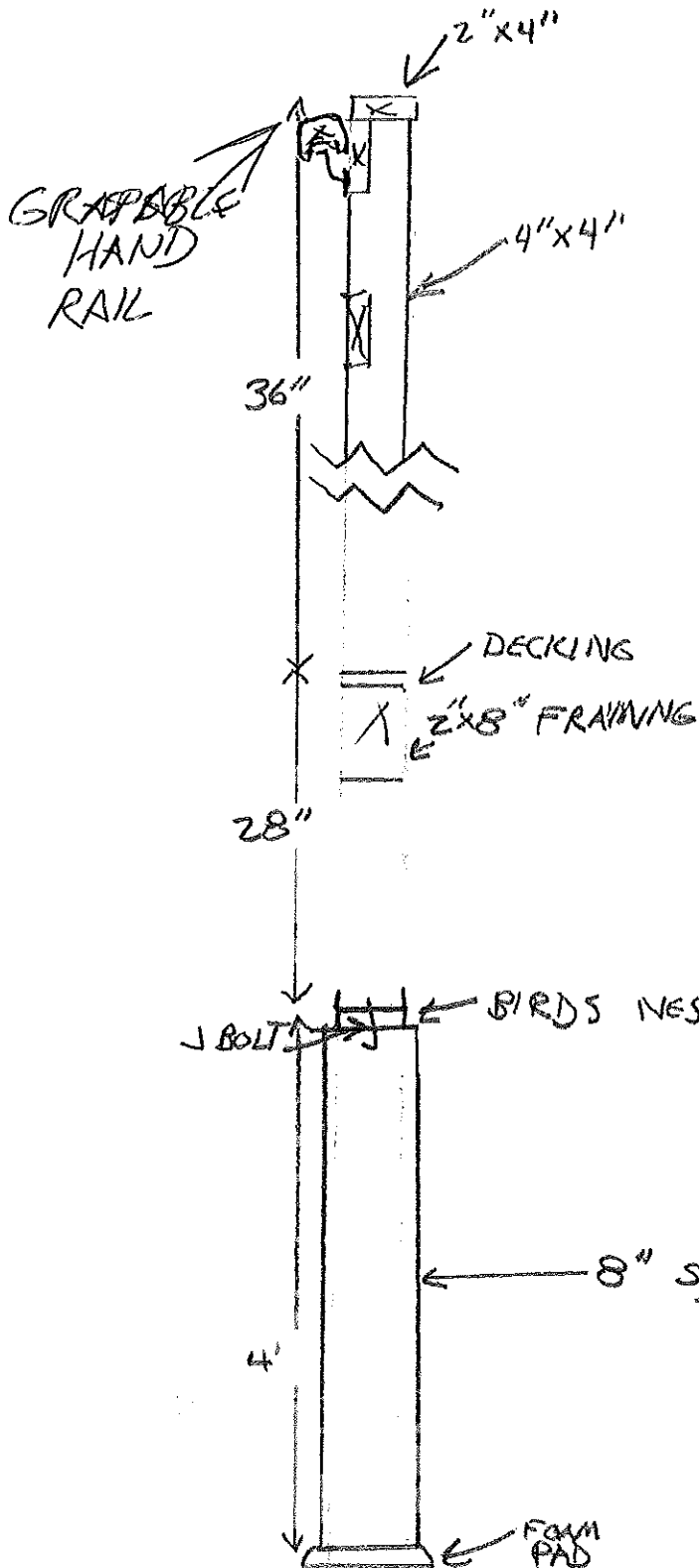
8

3'



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DOOR EXTERIOR  
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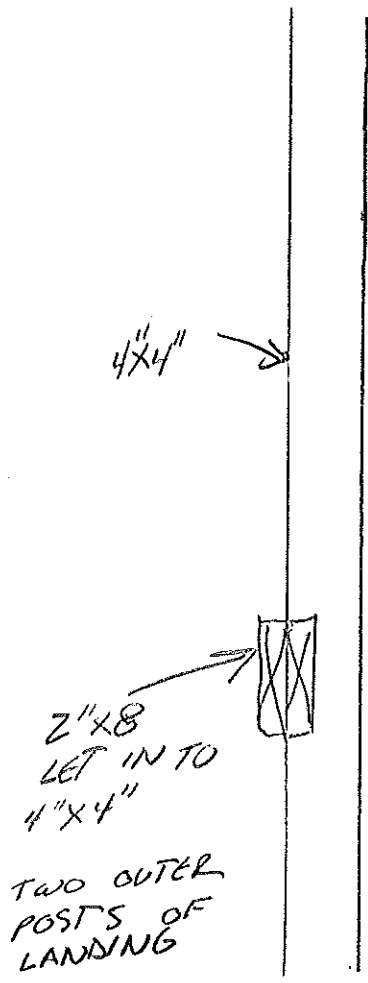


HANDRAIL DETAIL

P. 7 of 7

FROST PROTECTION  
WIDTH & DEPTH

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