

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

BUILDING INSPECTION PERMIT

Permit Number: 030199

This is to certify that Morrill Street Associates/M. Brewer Fine Woodworking
has permission to Build New Duplex
AT 112 Bell Street 146 H011001

provided that the person or persons who are responsible for accepting this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

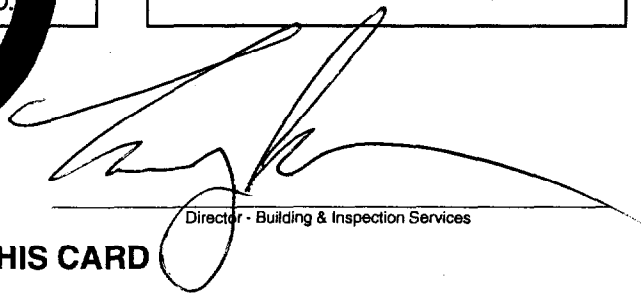
Apply to Public Works for street line and grade if nature of work requires such information.

Inspection of inspection must be taken and when permission procedure before this building or part thereof is occupied or otherwise closed-in. 4 OUR NO. REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. PERMIT ISSUED
Health Dept. _____
Appeal Board _____
Other APR 15 2003
Department Name



Director - Building & Inspection Services

CITY OF PORTLAND

PENALTY FOR REMOVING THIS CARD

PERMIT ISSUED

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-0199	Issue Date: APR 15 2003	CBL: 146 H011001
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Location of Construction: 17 Morrill St <i>called 110-114 Bell St</i>	Owner Name: Morrill Street Associates	Owner Address: 91 Bell St CITY OF PORTLAND	Phone: 797-7534
Business Name:	Contractor Name: M.R. Brewer Fine Woodworking	Contractor Address: 91 Bell Street Portland	Phone: 2077977534
Lessee/Buyer's Name	Phone:	Permit Type: Duplex	Zone: B2

Past Use: Vacant Lot	Proposed Use: Duplex	Permit Fee: \$1,423.00	Cost of Work: \$200,000.00	CEO District: 3
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FIRE DEPT: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied <i>NA</i>	INSPECTION: Use Group: <i>R-3</i> Type: <i>SB</i> <i>BOLA 99</i>
Signature: <i>[Signature]</i>	Signature: <i>[Signature]</i>

Proposed Project Description:
Construct New Duplex

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)			
Action:	<input type="checkbox"/> Approved	<input type="checkbox"/> Approved w/Conditions	<input type="checkbox"/> Denied
Signature:	Date:		

Permit Taken By: gad	Date Applied For: 03/14/2003	Zoning Approval	
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <i>NA</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <i>Panel 7 Zone X</i> <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan <i>2001-0004</i> Maj <input type="checkbox"/> Minor <input checked="" type="checkbox"/> MM <input type="checkbox"/> <i>OK w/ conditions</i> Date: <i>3/13/03</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>[Signature]</i>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

4/17/03 - met w/ contractor and found 3 surveyors
pens + measured all setbacks - no problems seen
with setbacks - OK to pour footings + walls. Tom M

4/23/03 - checked foundation + drainage OK -
damp proofing OK - stones OK - no problems seen
OK to backfill + continue. Tom M

4/25/03 - checked underground plumbing - OK to
backfill. Tom M

6/19/03 for (P) Close - Not ready - see notes on (P) permit

7/2/03 - Overhead service - OK
spoke w/ owner re: firewall to ridge.

7/7/03 OK pb, elect, framing close in ~~to~~. OK

8/29/03 Ready for
Cuts of OCC,
when Jay Reynolds
OK's site

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-0199	Date Applied For: 03/14/2003	CBL: 146 H011001
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Location of Construction: 112 Bell Street	Owner Name: Morrill Street Associates	Owner Address: 91 Bell St	Phone: () 797-7534
Business Name:	Contractor Name: M.R. Brewer Fine Woodworking	Contractor Address: 91 Bell Street Portland	Phone (207) 797-7534
Lessee/Buyer's Name	Phone:	Permit Type: Duplex	

Proposed Use: Build New Duplex	Proposed Project Description: Build New Duplex
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 04/03/2003**Note:** 4/2/03 The site plan was approved in 2001 under #2002-0004. Performance guarantees have been pd. **Ok to Issue:**

- 1) Separate permits shall be required for future decks, sheds, pools, and/or garages.
- 2) This property shall remain a two (2) family dwelling. Any change of use shall require a separate permit application for review and approval.
- 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tammy Munson **Approval Date:** 04/15/2003**Note:** **Ok to Issue:**

- 1) Filtration fabric must be placed over all drain tile around the foundation as discussed w/Matt Brewer during review process.

Comments:

4/9/03-tm: Need additional info - faxed plan review sheets to Matt Brewer.

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-0199	Date Applied For: 03/14/2003	CBL: 146 H011001
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Location of Construction: 112 Bell Street	Owner Name: Morrill Street Associates	Owner Address: 91 Bell St	Phone: () 797-7534
Business Name:	Contractor Name: M.R. Brewer Fine Woodworking	Contractor Address: 91 Bell Street Portland	Phone (207) 797-7534
Lessee/Buyer's Name	Phone:	Permit Type: Duplex	

Proposed Use: Duplex	Proposed Project Description: Construct New Duplex
--------------------------------	--

Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 04/03/2003**Note:** 4/2/03 The site plan was approved in 2001 under #2002-0004. Performance guarantees have been pd. **Ok to Issue:**

- 1) Separate permits shall be required for future decks, sheds, pools, and/or garages.
- 2) This property shall remain a two (2) family dwelling. Any change of use shall require a separate permit application for review and approval.
- 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Pending **Reviewer:** **Approval Date:**
Note: **Ok to Issue:**

03-0199

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>112 Bell Street / Morrill St. #17-21</u>		
Total Square Footage of Proposed Structure <u>2500 SF</u>	Square Footage of Lot <u>5878 SF</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>146</u> Block# <u>H</u> Lot# <u>011</u>	Owner: <u>Malcolm + Patricia Brewer</u>	Telephone: <u>797-7534</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>Matthew Brewer</u>	Cost Of Work: \$ <u>200,000.-</u> Fee: \$ <u>1,423.00</u>
Current use: <u>Vacant</u>		
If the location is currently vacant, what was prior use: <u>Apartment Building</u>		
Approximately how long has it been vacant: <u>Really, ~ 1978</u>		
Proposed use: <u>Apartment Building</u>		
Project description: <u>New Wood Framed Duplex Apartment Building</u>		
Contractor's name, address & telephone: <u>M.R. Brewer Fine Woodworking, Inc.</u> <u>91 Bell Street Bethel, ME 04105 797 7534</u>		
Who should we contact when the permit is ready: <u>Matthew Brewer</u>		
Mailing address: <u>91 Bell Street</u> <u>Bethel, ME 04105</u>		
Phone: <u>797-7534</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>[Signature]</u>	Date: <u>3/14/05</u>
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This is not a permit, you may not commence ANY work until the permit is issued

Applicant: MATT Brewer
M.R. Brewer

Date: 4/2/03

Address: 110-114 Bell St cor, 17 Monell St C-B-L: 146-H-011

faces Bell St CHECK-LIST AGAINST ZONING ORDINANCE

Date - New Const # 03-0199

with 2 decks (front & side)
6.5' x 9'

Zone Location - B-2 - using R-6 Residential Zone Reg -
(measuring shows it closer than R-5)

Interior or corner lot - Bell & Monell St

NO GARAGE

Proposed Use/Work - to Construct a two unit Bldg

Sewage Disposal - City

Lot Street Frontage - 40' min req - 68.05' shown

Bell St ←

Front Yard - 10' min req - 14' given

Rear Yard - 20' min req - 25' shown

Monell St ←

Side Yard - 10' min req - 15' & 14' shown

Projections - ~~front~~ Deck 6.5' x 9' each - rear steps off back of units

Width of Lot - 50' min - 68' plus shown

Height - 35' max - 28' to ridge

Lot Area - 4,500^{sq} req 5,880^{sq} per signed site plan

Lot Coverage/ Impervious Surface - 50% permitted = 2940^{sq} max

Area per Family - 1,000^{sq} permit or 2,000^{sq}

Off-street Parking - 4 Required - 4 shown

Loading Bays - N/A

Site Plan - minor site plan revised
2001-0004

Shoreland Zoning/ Stream Protection - N/A

Flood Plains - Panel 7 Zone X

OK
(1236^{sq}) given

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Zoning Copy**

2001-0004
Application I. D. Number
01/18/2001
Application Date
Wood Frame Duplex Apt Building
Project Name/Description

Morrill St Associates
Applicant
91 Bell St, Portland, ME
Applicant's Mailing Address
Michael A. Locke
Consultant/Agent
Agent Ph: (207)797-7534 Agent Fax: (207) 797-0973
Applicant or Agent Daytime Telephone, Fax

110 - 114 Bell St, Portland, Maine 04103
Address of Proposed Site
146 H011001
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

2,346 sf/2 Units **5,878 sf** **B-2**
Proposed Building square Feet or # of Units Acreage of Site Zoning

Check Review Required:

- | | | | |
|--|---|--|--|
| <input checked="" type="checkbox"/> Site Plan
(major/minor) | <input type="checkbox"/> Subdivision
of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional
Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | | <input type="checkbox"/> Other _____ |

Fees Paid: Site Plan **\$400.00** Subdivision _____ Engineer Review **\$514.05** Date: **03/19/2003**

Zoning Approval Status:

Reviewer _____

- Approved Approved w/Conditions
See Attached Denied

Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets
Attached

Condition Compliance _____ _____
signature date

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input checked="" type="checkbox"/> Performance Guarantee Accepted	03/21/2003 date	\$37,544.95 amount	10/30/2003 expiration date
<input type="checkbox"/> Inspection Fee Paid	_____ date	_____ amount	
<input type="checkbox"/> Building Permit Issued	_____ date		
<input type="checkbox"/> Performance Guarantee Reduced	_____ date	_____ remaining balance	_____ signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____ date	<input type="checkbox"/> Conditions (See Attached)	_____ expiration date
<input type="checkbox"/> Final Inspection	_____ date	_____ signature	
<input type="checkbox"/> Certificate Of Occupancy	_____ date		
<input type="checkbox"/> Performance Guarantee Released	_____ date	_____ signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____ submitted date	_____ amount	_____ expiration date

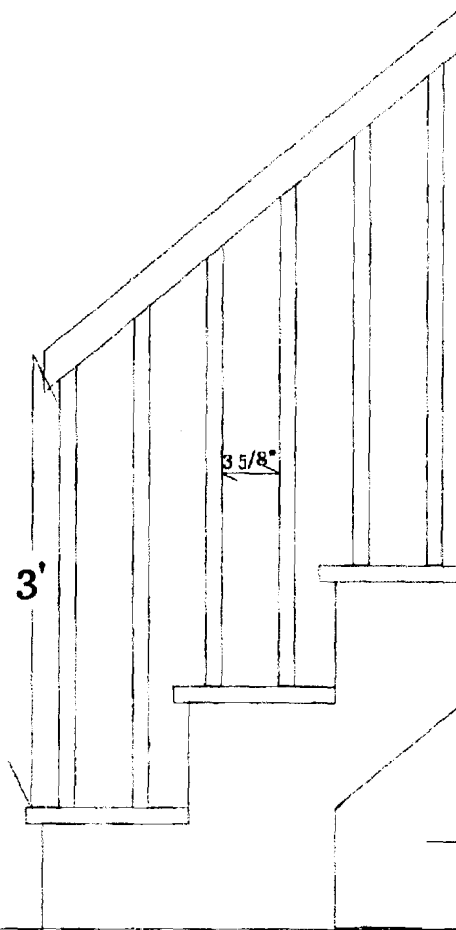


Prmt	Text193	21576	Constr Type	New	Num1	30199	
Permit Nbr	03-0199	Location of Construction	112	Bell Street	Appl. Date	03/14/2003	
Status	Hold	Permit Type	Duplex		Issue Date		
CBL	146 H011001	Territory Nbr	3	Estimated Cost	\$200,000.00	Date Closed	

Comment Date	Comment	Name	Follow Up Date	Completed
04/09/2003	Need additional info - faxed plan review sheets to Matt Brewer.	tm		<input type="checkbox"/>
04/11/2003	rec'd additional plans.	tmm		<input type="checkbox"/>
04/15/2003	Rec'd last of req'd info - ok to issue.	tmm		<input type="checkbox"/>

CreatedBy	gad	CreateDate	03/14/2003	ModBy	tm	ModDate	04/09/2003
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**Note: All Handrails are to meet
codes set by the BOCA Code 1022.**



DEPT. OF BONDING INSPECTION
CITY OF HAWAII
APR 15 2003
RECEIVED



M. R. BREWER
FINE WOODWORKING, INC.
 91 BELL ST.
 PORTLAND, ME 04103

FACSIMILE TRANSMITTAL SHEET

TO: Tammy Munson	FROM: Matt Brewer
COMPANY: City of Portland	DATE: 4/15/03
FAX NUMBER: 874-8716	TOTAL NO. OF PAGES INCLUDING COVER: 2
PHONE NUMBER: 874-8706	SENDER'S REFERENCE NUMBER:
RE: Permit# 030199	YOUR REFERENCE NUMBER:

URGENT FOR REVIEW PLEASE COMMENT PLEASE REPLY PLEASE RECYCLE

NOTES/COMMENTS:

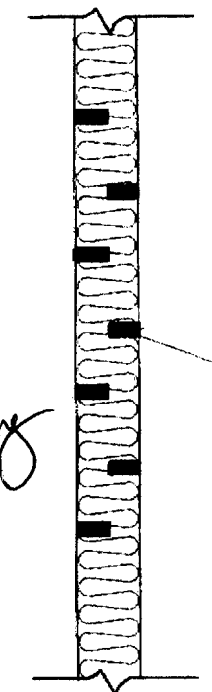
Please call with any comments.

**Thank you
 Matthew Brewer**

RECEIVED
 15 APR 2003

PHONE - 207-797-7534 FAX - 207-797-0973

*2 hour
w/ 50-54
STC.
Rating*

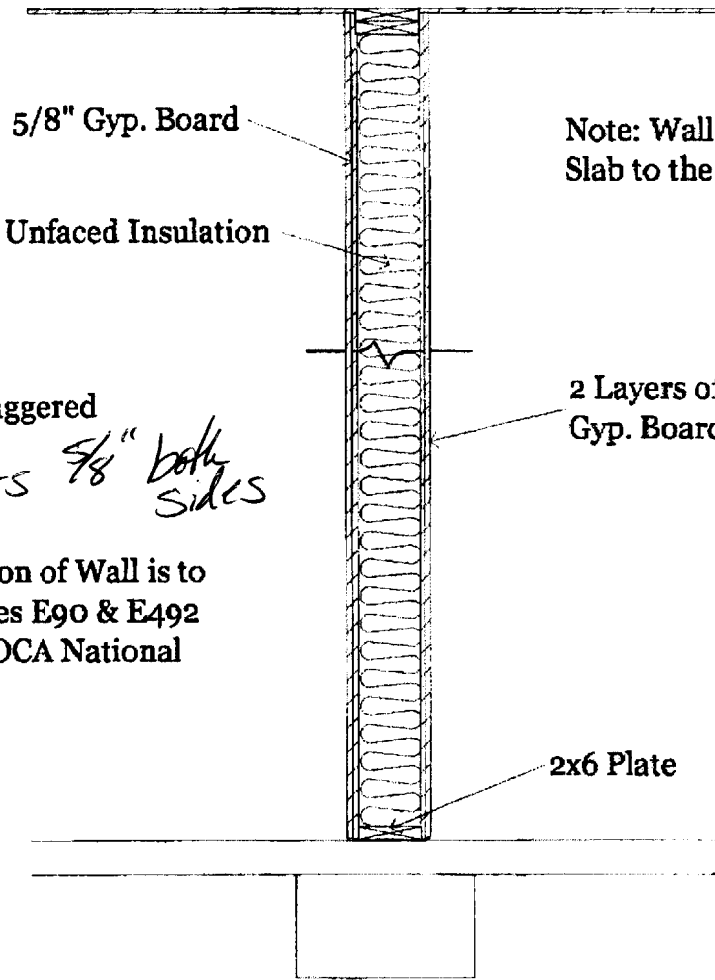


Framing Detail

OK

*2x4 K.D. Studs Staggered
@ 16" O.C.
w/ 2 layers 5/8" both
sides*

Note: Construction of Wall is to meet ASTM Codes E90 & E492 as stated in th BOCA National Code



5/8" Gyp. Board

6" R-19 Unfaced Insulation

Note: Wall extends from Foundation Slab to the Ceiling of the 2nd Floor

2 Layers of 5/8" Gyp. Board

2x6 Plate

3
A6

Typical Divider Wall Detail

Not to Scale

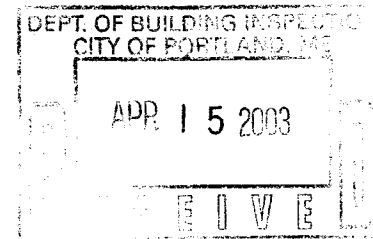
INSPECTION
CITY OF BOWDOIN, ME
APR 15 2003
RECEIVE

Window Schedule

Qty.	Floor	Size	R/O	Description	Header
4	1	41050	59x61-1/2	Mulled Unit	2x8x32 (2)
2	1	3030	37x37-1/2	DbI Casement-LHL/RHR	2x8x40 (2)
2	1	2030	25x37-1/2	Sngl Casement - HR	2x8x28 (2)
2	1	2450	29x61-1/2	Double Hung	2x8x32 (2)
12	2	2450	29x61-1/2	Double Hung	2x8x32 (2)
4	2	2440	29x49-1/2	Double Hung	2x8x32 (2)
2	2	2030	25x37-1/2	Sngl Casement - HR	2x8x28 (2)

Door Schedule

Qty.	Floor	Size	R/O	Header
2	1	2868	33x81-1/2	2x8x36 (2)
2	1	3068	37x81-1/2	2x8x40 (2)
2	1	3068	37x81-1/2	2x8x40 (2)
4	1	2468	29x81-1/2	2x8x32 (2)
2	2	2868	33x81-1/2	2x8x36 (2)
2	2	2468	29x81-1/2	2x8x32 (2)
8	2	2668	31x81-1/2	2x8x34 (2)
2	2	2068	25x81-1/2	2x8x28 (2)
2	2	5068	61x81-1/2	2x8x64 (2)





M. R. BREWER
FINE WOODWORKING, INC.
91 BELL ST.
PORTLAND, ME 04103

FACSIMILE TRANSMITTAL SHEET

TO:	Tammy Munson	FROM:	Matt Brewer
COMPANY:	City of Portland	DATE:	4/15/03
FAX NUMBER:	874-8716	TOTAL NO. OF PAGES INCLUDING COVER:	4
PHONE NUMBER:	874-8706	SENDER'S REFERENCE NUMBER:	
RE:	Permit# 030199	YOUR REFERENCE NUMBER:	

URGENT FOR REVIEW PLEASE COMMENT PLEASE REPLY PLEASE RECYCLE

NOTES/COMMENTS

Please call with any comments.

Thankyou
Matthew Brewer

PHONE - 207-797-7534 FAX - 207-797-0973

**M.R. BREWER
FINE WOODWORKING, INC.**

91 Bell St.
PORTLAND, MAINE 04103

(207) 797-7534
Fax (207) 797-0973

LETTER OF TRANSMITTAL

TO City of Portland

DATE	<u>5/14/01</u>	JOB NO.	
ATTENTION	<u>Permit Dept</u>		
RE:	<u>112 Bell Street Building</u>		
	<u>Permit</u>		

WE ARE SENDING YOU Attached Under separate cover via _____ the following items:

- Shop drawings
 Prints
 Plans
 Samples
 Specifications
 Copy of letter
 Change order

COPIES	DATE	NO.	DESCRIPTION
<u>1</u>	<u>5/14/01</u>		<u>Site Plan</u>
<u>1</u>	<u>11/26/01</u>		<u>Construction Plans</u>

THESE ARE TRANSMITTED as checked below:

- For approval
 Approved as submitted
 Resubmit _____ copies for approval
 For your use
 Approved as noted
 Submit _____ copies for distribution
 As requested
 Returned for corrections
 Return _____ corrected prints
 For review and comment

 FOR BIDS DUE _____
 PRINTS RETURNED AFTER LOAN TO US

REMARKS _____

COPY TO _____

SIGNED: [Signature]

If enclosures are not as noted, kindly notify us at once.

City of Portland
INSPECTION SERVICES

Room 315
389 Congress Street
Portland, Maine 04101

Telephone: 207-874-8703 or 207-874-8693
Facsimile: 207-874-8716



FACSIMILE TRANSMISSION COVER SHEET

TO: <u>Matthew Brewer</u>	FROM: <u>Tammy Munson</u>
FAX NUMBER: <u>797-0973</u>	NUMBER OF PAGES, WITH COVER: <u>4</u>
TELEPHONE: _____	RE: <u>874-8706</u>
DATE: <u>4/9/03</u>	_____

Comments: Bell Street.

19950

WARRANTY DEED

KNOW ALL BY THESE PRESENTS, that N.T. FOX CO., INC., a corporation duly organized and existing under the laws of the State of Maine, with a mailing address of 275 Read Street, Portland, Maine 04104 ("Grantor"), for and in consideration of One Dollar and other full value and consideration paid by Morrill Street Associates

a Maine Corporation having an address of 31 Morrill Street, Portland, Maine ("Grantee"), the receipt and sufficiency whereof Grantor does hereby acknowledge, does hereby GRANT unto Grantee, with WARRANTY COVENANTS, the following described property (the "Premises"):

A certain lot or parcel of land in the City of Portland, County of Cumberland and State of Maine, together with any improvements thereon and appurtenances thereto, more particularly described as follows:

SEE SCHEDULE A ATTACHED HERETO

IN WITNESS WHEREOF the said N.T. FOX CO., INC. has caused this instrument to be executed this 22^d day of February, 1994.

N.T. FOX CO., INC.

[Signature]
WITNESS

[Signature]
Title: President
Print Name: Jere S. Fox

MAINE REAL ESTATE TAX PAID

STATE OF MAINE
COUNTY OF Cumberland

On this, the 22nd day of February, 1994, before me, personally appeared Jere S. Fox, who acknowledged himself to be the President of N.T. Fox Co., Inc., a Maine corporation, and that he ~~was~~, as such President, being authorized so to do executed the foregoing instrument for the purposes contained herein.

[Signature]
Notary Public/Attorney at Law
Horace W. Horton

My Commission Expires:

112 Bell St.

A certain lot or parcel of land with any buildings thereon, situated in said City of Portland, County of Cumberland and State of Maine, near Morrill's Corner, bounded and described as follows: Beginning at the corner formed by the intersection of the westerly side of Bell Street with the southerly side of Morrill Street; thence southerly by said Bell Street Sixty eight and five hundredths (68.05) feet to an iron post set in the ground; thence westerly at right angles with said Bell Street seventy nine and ten hundredths (79.10) feet to an iron post set in the ground; thence northerly on a line parallel with said Bell Street eighty and fifty eight hundredths (80.58) feet to said Morrill Street; thence easterly by said Morrill Street eighty and seven hundredths (80.07) feet to the point of beginning.

RESERVING from the above the right to use a passageway four (4) feet wide on the southerly side of said lot extending from Bell Street to the rear of said lot, to be used in common. Also, conveying the right to use a passageway four (4) feet wide off from the northerly side of the lot adjoining the above described lot on the south extending from Bell Street to the rear of said lot, to be used in common.

Being the same premises conveyed to U. T. Fox Company, Inc. by deed of I. Alan Balfour dated August 21, 1952 and recorded in said Registry of Deeds in Book 2088, Page 349.

Recorded
Cumberland County
Registry of Deeds
04/01/94 10:11:03AM
John B. O'Brien
Register

Ps 317

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Law

From: William Needleman
To: Marge Schmuckal
Date: 4/3/03 10:14AM
Subject: Re: 112 Bell St - Duplex

Marge,

Seeing that its been YEARS since this was approved, I've asked the applicant for a few more sets of plans. I'll give you mine so that you can move forward with your review.

Bill

>>> Marge Schmuckal 04/02/03 01:01PM >>>

Bill,

Can I get a stamped approved site plan for this project? As you know, they have just come in for their building permit and have paid their performance guarantee.

Marge

Table 2305.2
FASTENING SCHEDULE

Building element	Nail or staple size and type	Number and location
1. Floor construction		
Built-up girders and beams	20d common	32" o.c. direct
Bridging to joists	8d common	2 each direct and
Floor joists to studs (No ceiling joists)	10d common	5 direct or
	10d common	3 direct
Floor joists to studs (With ceiling joists)	10d common	2 direct
Floor joists to sill or girder	8d common	3 toe nail
Ledger strip	16d common	3 each direct joist
1" subflooring (6" or less)	8d common	2 each direct joist
1" subflooring (8" or more)	8d common	3 each direct joist
2" subflooring	16d common	2 each direct joist
Particleboard underlayment (1/4" - 3/4")	6d annular threaded	6" o.c. direct edges and 12" o.c. intermediate
Wood structural panel subflooring (1/2" or less)	6d common or 6d annular or spiral thread	6" o.c. direct edges and 12" o.c. intermediate
(19/32" - 3/4")	8d common or 6d annular or spiral thread	6" o.c. direct edges and 12" o.c. intermediate
(7/8" - 1 1/8")	10d common or 8d ring shank or 8d annular or spiral thread	6" o.c. direct edges and 6" o.c. intermediate
(1/2" or less)	16 gage galvanized wire staples	4" o.c. edges and 7" o.c. intermediate
(19/32", 5/8")	3/8" minimum crown, 1 5/8" length	2 1/2" o.c. edges and 4" o.c. intermediate
2. Wall construction		
Stud sole to cap plate	8d common	4 toe nail or
	16d common	2 direct nail
	16d common	2 toe nail or 2 direct nail
Double studs	10d common	12" o.c. direct
Corner studs	16d common	24" o.c. direct
Sole plate to joist or blocking	16d common	16" o.c.
Interior-braced wall sole plate to parallel joist	16d common	12" o.c.
Double cap plate	10d common	16" o.c. direct nail
Cap plate laps	10d common	2 direct nail
Ribbon strip, 6" or less	10d common	2 each direct bearing
Ribbon strip, 6" or more	10d common	3 each direct bearing
Diagonal brace (to stud and plate)	8d common	2 each direct bearing
Interior-braced wall top plate to joist or blocking	10d common	12" o.c.
Tail beams to headers (where nailing is permitted)	20d common	1 each end 4 sq. ft. floor area
Header beams to trimmers (where nailing is permitted)	20d common	1 each end 8 sq. ft. floor area
Continuous header to stud	8d common	4 toe nail
Continuous header, two pieces	16d common	16" o.c. direct
3. Roof and ceiling construction		
Ceiling joists to plate	16d common	3 toe nail
Ceiling joists (laps over partition)	10d common	3 direct nail
Ceiling joists (parallel to rafter)	10d common	3 direct nail
Collar beam	10d common	3 direct
Roof rafter to plate	8d common	3 toe nail
Roof rafter to ridge	16d common	2 toe nail or direct nail
Jack rafter to hip	10d common	3 toe nail or
	16d common	2 direct nail
1" roof decking (6" or less in width)	8d common	2 each direct rafter
1" roof decking (over 6" in width)	8d common	3 each direct rafter
4. Wall and roof sheathing		
1" wall sheathing (8" or less in width)	8d common	2 each direct stud
1" wall sheathing (over 8" in width)	8d common	3 each direct stud
Diagonal wall sheathing (seismic bracing)	See Table 2306.4,5	
1/2" fiberboard sheathing	1 1/2" galvanized roofing nail or 6d common nail or 16 gage staple, 1 1/8" long with minimum crown of 1/16"	3" o.c. exterior edge, 6" o.c. intermediate

Table 2305.2 (cont'd.)
FASTENING SCHEDULE

Building element	Nail or staple size and type	Number and location
4. Wall and roof sheathing (cont'd.) ²⁵ / ₃₂ " fiberboard sheathing	1 ³ / ₄ " galvanized roofing nail or 8d common nail or 16 gage staple, 1 ¹ / ₂ " long with minimum crown of ⁷ / ₁₆ "	3" o.c. exterior edge, 6" o.c. intermediate
Gypsum sheathing	12 gage 1 ¹ / ₄ " large head, corrosion resistant	4" o.c. on edge, 8" o.c. intermediate
Gypsum sheathing (seismic bracing)	11 gage 1 ³ / ₄ " long ⁷ / ₁₆ inch head, diamond point, galvanized	4" o.c. all bearing points
Particleboard wall sheathing (¹ / ₂ " or less)	6d common	6" o.c. direct edges and 12" o.c. intermediate
(⁵ / ₈ " or less)	8d common	6" o.c. direct edges and 12" o.c. intermediate
Wood structural panel wall sheathing (¹ / ₂ " or less)	6d common nails	6" o.c. direct edges and 12" o.c. intermediate
(¹⁹ / ₃₂ " to 1")	8d common nails	6" o.c. direct edges and 12" o.c. intermediate ^d
(1" or greater)	10d common nails	6" o.c. direct edges and 12" o.c. intermediate
(¹ / ₂ " or less)	16 gage corrosion resistant staples, ⁷ / ₁₆ " minimum crown; 1 ¹ / ₂ " length	4" o.c. edges and 8" o.c. intermediate
(¹⁹ / ₃₂ ", ⁵ / ₈ ")	16 gage corrosion resistant staples, ⁷ / ₁₆ " minimum crown, 2" length	6" o.c. edges and 12" o.c. intermediate
Wood structural panel roof sheathing ^{b,c} Basic wind speed is 90 mph or less		
(⁵ / ₈ " or less)	8d common nails	6" o.c. direct edges and 12" o.c. intermediate 6" o.c. to gable end walls where spans are 32" o.c. or more 6" o.c. within 48" of ridges, eaves and gable end walls where spans are 32" o.c. or more
	16 gage corrosion resistant staples, ⁷ / ₁₆ " minimum crown, 2" length	4" o.c. direct edges and 8" o.c. intermediate 4" o.c. to gable end walls when spans are 32" o.c. or more 4" o.c. within 48" of ridges, eaves and gable end walls when spans are 32" o.c. or more
(over ⁵ / ₈ ")	8d common nails	6" o.c. direct edges and 12" o.c. intermediate ^d 6" o.c. to gable end walls 6" o.c. within 48" of ridges, eaves and gable end walls but 4" o.c. where spans are 48" o.c.
Basic wind speed is over 90 up to and including 120 mph		
(⁵ / ₈ " or less)	8d common nails	6" o.c. direct edges and 12" o.c. intermediate 6" o.c. to gable end walls 6" o.c. within 48" of ridges, eaves and gable end walls but 4" o.c. where spans are 48" o.c.
	16 gage corrosion resistant staples, ⁷ / ₁₆ " minimum crown, 2" length	4" o.c. direct edges and 8" o.c. intermediate 4" o.c. to gable end walls 4" o.c. within 48" of ridges, eaves and gable end walls but 2" o.c. where spans are 48" o.c.
(over ⁵ / ₈ ")	8d common nails	6" o.c. direct edges and 12" o.c. intermediate but 6" o.c. where spans are 32" o.c. and 10d common spaced 6" o.c. where spans are 48" o.c. 6" o.c. to gable end walls but 4" o.c. where spans are 32" o.c. and 10d common spaced 6" o.c. where spans are 48" o.c. 6" o.c. within 48" of ridges, eaves and gable end walls but 4" o.c. where spans are 32" o.c. and 10d common spaced 4" o.c. where spans are 48" o.c.

**Table 2305.2 (cont'd.)
FASTENING SCHEDULE**

Building element	Nail or staple size and type	Number and location
4. Wall and roof sheathing (cont'd.) Wood structural panel roof sheathing ^{b,c} (cont'd.) Basic wind speed over 120 mph		
($\frac{5}{8}$ " or less)	8d common nails	6" o.c. to gable and walls 4" o.c. to gable end walls 6" o.c. deformed shank nails with 48" spans of eaves and gable end walls
	16 gage corrosion resistant staples, $\frac{7}{16}$ " minimum crown, 2" length	4" o.c. 2" o.c. to gable end walls 4" o.c. when within 48" of ridges, eaves and gable end walls
(over $\frac{5}{8}$ ")	8d common nails	6" o.c. deformed shank where spans are 32" o.c. and 10d deformed shank where spans are 48" o.c. 4" o.c. to gable and walls and 6" o.c. common where spans are 32" o.c. and 10d deformed shank spaced 4" o.c. where spans are 48" o.c. 6" o.c. deformed shank where within 48" of ridges, eaves and gable end walls but 10d deformed shank spaced 4" o.c. where spans are 32" o.c. and 10d deformed shank spaced 3" o.c. where spans are 48" o.c.
Shingles, wood ^a	No. 14 B&S Gage corrosion resistant	2 each bearing
Weatherboarding	8d corrosion resistant	2 each bearing

Note a. Single nails shall penetrate not less than $\frac{3}{4}$ inch into nailing strips, sheathing or supporting construction except as otherwise provided for in Section 1507.0.
Note b. Roof panels with spans greater than 48 inches o.c. or roofs with a mean height greater than 35 feet shall be designed according to the wind loads of Section 1609.0.
Note c. Where 10d nails are spaced 3 inches on center, framing shall be 3 inch nominal in width and nails shall be staggered.
Note d. Nails shall be spaced not more than 6 inches on center direct to panel edges and intermediate supports and gable end walls where panel spans are 48 inches on center or greater.
Note e. 1 inch = 25.4 mm; 1 foot = 304.8 mm.

Need A6 Reduced
112 Bell St.

797-0973
Matthew Brewer

Soil type/Presumptive Load Value (Table 401.4.1)		
Component	Plan Reviewer	Inspection/Date/Findings
STRUCTURAL Footing Dimensions/Depth (Table 403.1.1 & 403.1.1(1), Section 403.1.2)	OK	
Foundation Drainage Dampproofing (Section 406)	Not at complete -	need filter fabric dampproofing
Ventilation (Section 409.1) Crawls Space ONLY	N/A	
AnchorBolts/Straps (Section 403.1.4)	OK	
Lally Column Type, Spacing and footing sizes (Table 502.3.4(2))	OK	
Built-Up Wood Center Girder Dimension/Type (Table 502.3.4(2))	OK	
Sill/Band Joist Type & Dimesions	OK	
First Floor Joist Species Dimensions and Spacing (Table 503.3.1(1) & Table 503.3.2(1))	OK	
Second Floor Joist Species Dimensions and Spacing Table(503.3.1(1) & Table 503.3.2(1))	OK	

Attic or additional Floor Joist Species Dimensions and Spacing (Table 802.4.2 or 503.3.1(1) & Table 503.3.2(1))	OK	
Roof Rafter; Pitch, Span, Spacing & Dimension (Table 802.3.2(7))	OK	
Sheathing; Floor, Wall and roof (Table 503.2.1(1))	OK	
Fastener Schedule (Table 602.3(1) & (2))	Not shown	OK
Private Garage Section 309 and Section 407 1999 BOCA) Living Space ? (Above or beside)	N/A	
Fire separation		
Fire rating of doors to living space Door Sill elevation (407.5 BOCA)	N/A	
Egress Windows (Section 310)	not shown N/A OK	
Roof Covering (Chapter 9)	OK	
Safety Glazing (Section 308)	need in 2nd floor baths - OK	
Attic Access (BOCA 1211.1)	not shown OK	
Draft Stopping around chimney	not shown if chimney is built? Not	

Shotton

Header Schedule	<i>not shown</i>	<i>- Not shown -</i>
Type of Heating System	<i>not shown</i>	<i>2/A</i>
Stairs		
Number of Stairways		
Interior <i>4</i>		
Exterior <i>4</i>		
Treads and Risers <i>not shown</i> (Section 314)	<i>OK</i>	
Width <i>- OK</i>		
Headroom <i>- not shown</i>	<i>OK</i>	
Guardrails and Handrails <i>- not shown</i> (Section 315)	<i>—————→</i>	<i>OK</i>
Smoke Detectors Location and type/Interconnected	<i>not shown</i>	<i>OK</i>
Plan Reviewer Signature		

See Chimney Summary Checklist

*Need fire wall detail - single 2x6 wall
Not adequate.*

TO: Inspections

FROM: Jay Reynolds, Development Review Coordinator

DATE: November 20, 2003

RE: C. of O. for Bell/Morrill Duplex
(Id# 2001-0004) (Cbl 146H011)

After visiting the site, I have the following comments:

Incomplete Landscaping, Curb, and Sidewalk installation to be covered by the performance guarantee.

At this time, **I recommend issuing a permanent Certificate of Occupancy.**

Please contact me if you have any questions or comments.
Thank You.

Cc: Sarah Hopkins, Development Review Services Manager
Mike Nugent, Inspection Services Manager

File: O:\drc\bellduplex2.doc

Department of Planning & Development
Lee D. Urban, Director



CITY OF PORTLAND

Division Directors
Mark B. Adelson
Housing & Neighborhood Services

Alexander Q. Jaegerman, AICP
Planning

John N. Lufkin
Economic Development

September 19, 2003

Mr. Matthew Brewer
M.R. Brewer, Fine Woodworking, Inc.
91 Bell Street
Portland, Maine 04103

RE: 112 Bell Street duplex

- 146-A-011 # 03-0199

Dear Mr. Brewer:

Upon further review of the issue regarding the driveway installation at 112 Bell Street, I offer the following:

The driveway will need to be expanded so that parking is not within the front setback. This is the way your site was originally designed and approved by the City.

Various staff representatives from the City's Planning, Zoning, Engineering and Legal Departments reviewed this issue, and all are in agreement that the driveway will need to be installed according to your approved plan.

Sincerely,

Jay Reynolds
Development Review Coordinator

Cc: Lee Urban, Planning and Development Director
Alexander Jaegerman, Planning Division Director
✓ William B. Needelman, Senior Planner
✓ Marge Schmuckal, Zoning Administrator
Eric Labelle, City Engineer
Todd Merkle, Public Works Department
John Low, Public Works Department
Charles Lane, Associate Corporation Counsel
Lt. Gaylen McDougall, Fire Prevention
Michael Nugent, Inspections Services Manager
Correspondence File

CITY OF PORTLAND
DEPARTMENT OF PLANNING & URBAN DEVELOPMENT

389 Congress Street
 Portland, Maine 04101

INVOICE FOR PERMIT FEES

Application No: 3-0199	Applicant: Morrill Street Associates
Project Name: Build New Duplex	Location: 112 Bell Street
CBL: 146 H011001	Development Type:
Invoice Date: 08/28/2003	

Previous Balance	-	Payment Received	+	Current Fees	=	Total Due		Payment Due Date
\$1,423.00		\$1,423.00		\$75.00		\$75.00		On Receipt

First Billing

Previous Balance	\$1,423.00
Payment Received 3/14/2003 - Thank you	\$1,423.00

<u>Fee Description</u>	<u>Qty</u>	<u>Fee Charge</u>
Building Reinspection	1	\$75.00
		<u>\$75.00</u>
	Total Current Fees:	\$75.00
	Amount Due Now:	\$75.00

 Detach and remit with payment

Bill to: Morrill Street Associates
 91 Bell St
 Portland, ME 04103

CBL 146 H011001
Application No: 3-0199
Invoice Date: 08/28/2003
Invoice No: 10925
Total Amt Due: \$75.00
Payment Amount:

Make checks payable to the *City of Portland*, ATTN: Karen Dunfey, 3rd Floor, 389 Congress Street, Portland, ME 04101

Department of Planning & Development
Lee D. Urban, Director



CITY OF PORTLAND

Division Directors
Mark B. Adelson
Housing & Neighborhood Services

Alexander Q. Jaegerman, AICP
Planning

John N. Lufkin
Economic Development

TO: Duane Kline, Finance Department
FROM: Alexander Jaegerman, Planning Division Director
DATE: April 29, 2003
SUBJECT: Request for Reduction in Performance Guarantee
110-114 Bell Street Duplex
(ID# 2001-0004) (Lead CBL#146H011)

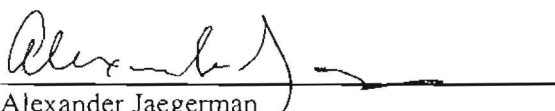
A request by M.R. Brewer Fine Woodworking, Inc. has been made for a reduction of Escrow account #710-0000-233.49 for the Duplex at 110-114 Bell Street.

Original Sum \$ 37,544.95

Reduction Amount \$ 17,043.40

Remaining Sum \$ 20,501.55

This is the first reduction for the project.

Approved: 
Alexander Jaegerman
Planning Division Director

ec: Sarah Hopkins, Development Review Services Manager
Jay Reynolds, Development Review Coordinator
Todd Merkle, Public Works
✓ Code Enforcement
File

O:\PLAN\CORRESP\DRCPERFORM\BELLDUPLEX1.DOC

DEPARTMENT DIRECTOR
Lee D. Urban



DIVISION DIRECTORS
Mark B. Adelson
Housing & Neighborhood Services

Alexander Q. Jaegerman
Planning

John N. Lufkin
Economic Development

PLANNING AND DEVELOPMENT DEPARTMENT

April 30, 2002

Michael A. Locke
M.R. Brewer, Fine Woodworking, Inc.
91 Bell Street
Portland ME 04103


RE: 112 Bell Street; CBL: 146-H-11

Dear Mr. Locke:

Thank you for your recent letter requesting an extension to your site plan approval for your project located in the vicinity of 112 Bell Street. I understand that your request is based on the fact that this will allow you more time to gather the appropriate information through the financial institution and obtain a building permit.

In my capacity as Planning Division Director for the City of Portland, I am granting your request to extend your approval to May 5, 2003. If you have any questions, please contact William Needelman, Senior Planner at 874-8722.

Sincerely,


Alexander Jaegerman
Planning Division Director

cc: Lee D. Urban, Planning and Development Department Director
Sarah Hopkins, Development Review Program Manager
William Needelman, Senior Planner
Jay Reynolds, Development Review Coordinator
✓ Marge Schmuckal, Zoning Administrator
Jodine Adams, Inspections
William Bray, Director of Public Works
Larry Ash, Traffic Engineer
Tony Lombardo, Project Engineer
Penny Littell, Associate Corporation Counsel
Eric Labelle, City Engineer
Jeff Tarling, City Arborist
Lt. Gaylen McDougall, Fire Prevention
Don Hall, Appraiser, Assessor's Office
Susan Doughty, Assessor's Office
Approval Letter File

CITY OF PORTLAND, MAINE

PLANNING BOARD

Jaimey Caron, Chair
Deborah Krichels, Vice Chair
Kenneth M. Cole III
Cyrus Y. Hagge
Erin Rodriguez
Mark Malone
Orlando E. Delogu

June 26, 2001

Mr. Michael A. Locke
M.R. Brewer, Fine Woodworking, Inc.
91 Bell Street
Portland, Maine 04103

RE: 112 Bell Street duplex, appeal of the requirement for curb and sidewalk
(ID#2001 0004, CBL#146 H011001)

Dear Mr. Locke:

On May 22, 2001, the Portland Planning Board reconsidered the May 14, 2001 denial of an appeal of the requirement for curb and sidewalk at 112 Bell Street. The Board reconsidered the request and voted 4-2 (Cole, Hagge opposed, Rodriguez absent) to deny the appeal of the requirement for granite curb and sidewalk. The Board voted:

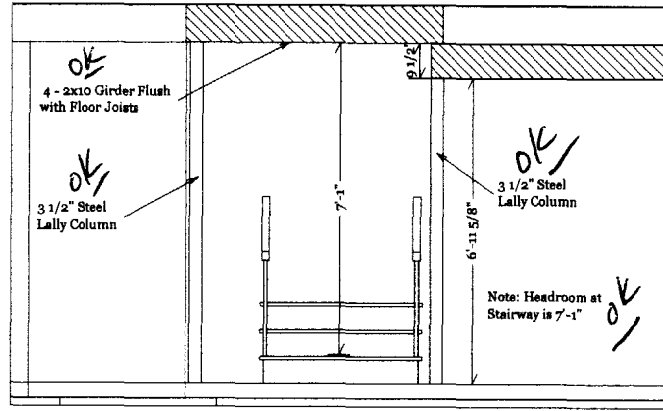
That the request for waiver of sidewalk and curb requirements is **not** in conformance with the site plan standards of the land use code; therefore the Planning Board **denies** the applicant's request.

As a result of the Board's ruling, the approved site plan must be constructed, as drawn, with granite curb and bituminous sidewalk. If there are any questions, please contact the Planning Staff.

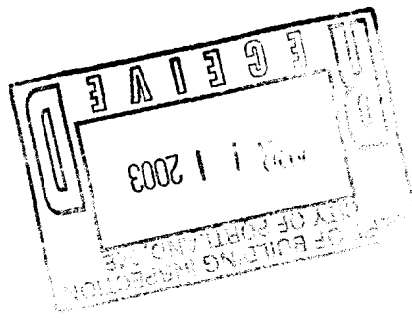
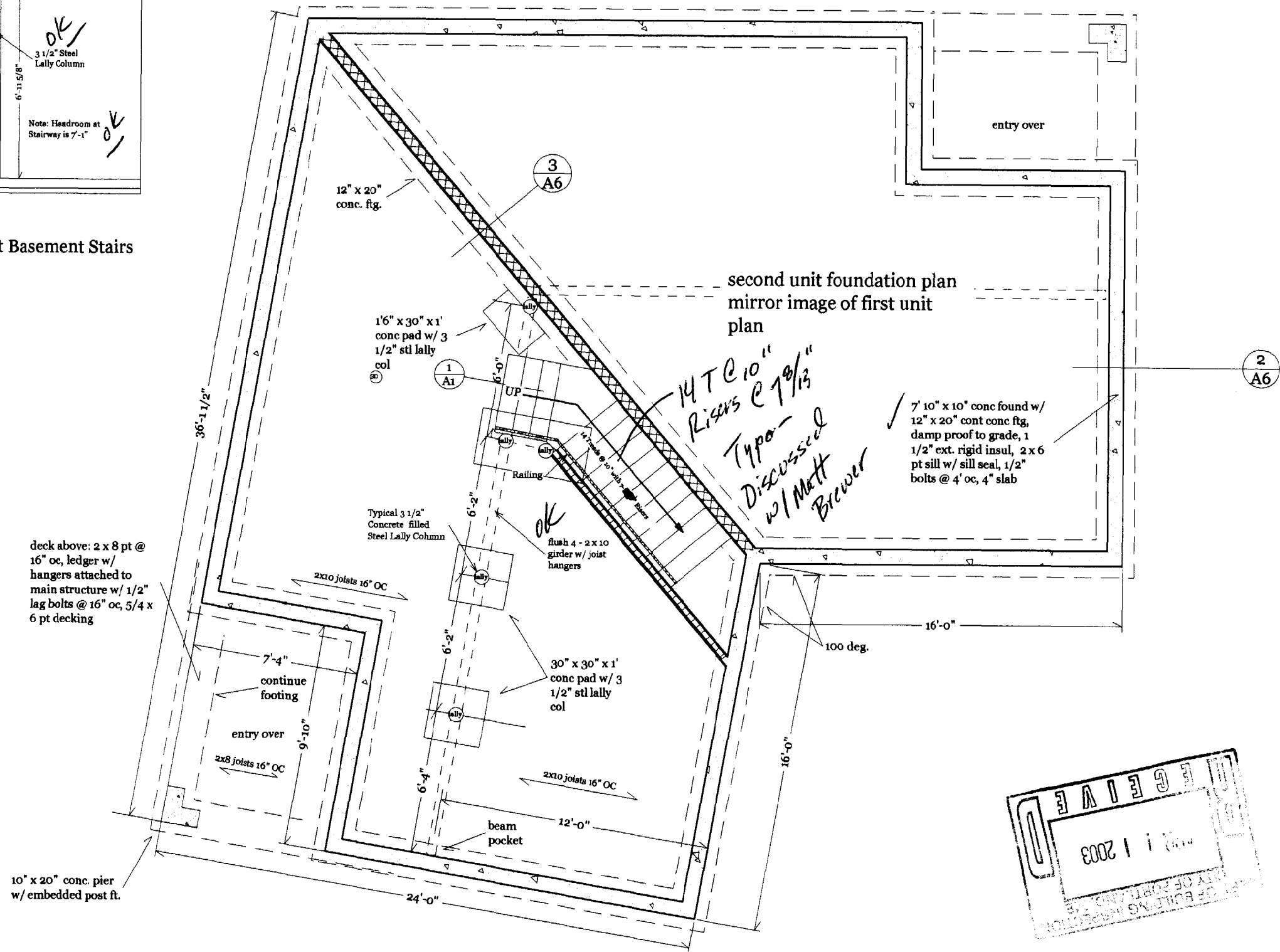
Sincerely,

Jaimey Caron, Chair
Portland Planning Board

Cc: Alexander Jaegerman, Chief Planner
William B. Needelman, Senior Planner
P. Samuel Hoffses, Chief of Building Inspections
Marge Schmuckal, Zoning Administrator
Tony Lombardo, Project Engineer
Jay Reynolds, Development Review Coordinator
William Bray, Deputy Director/City Traffic Engineer
Nancy Knauber, Associate Engineer
Jeff Tarling, City Arborist
Penny Littell, Associate Corporation Counsel
Lt. Gaylen McDougall, Fire Prevention
✓ Inspections Department
Lee Urban, Director of Economic Development
Don Hall, Appraiser, Assessor's Office



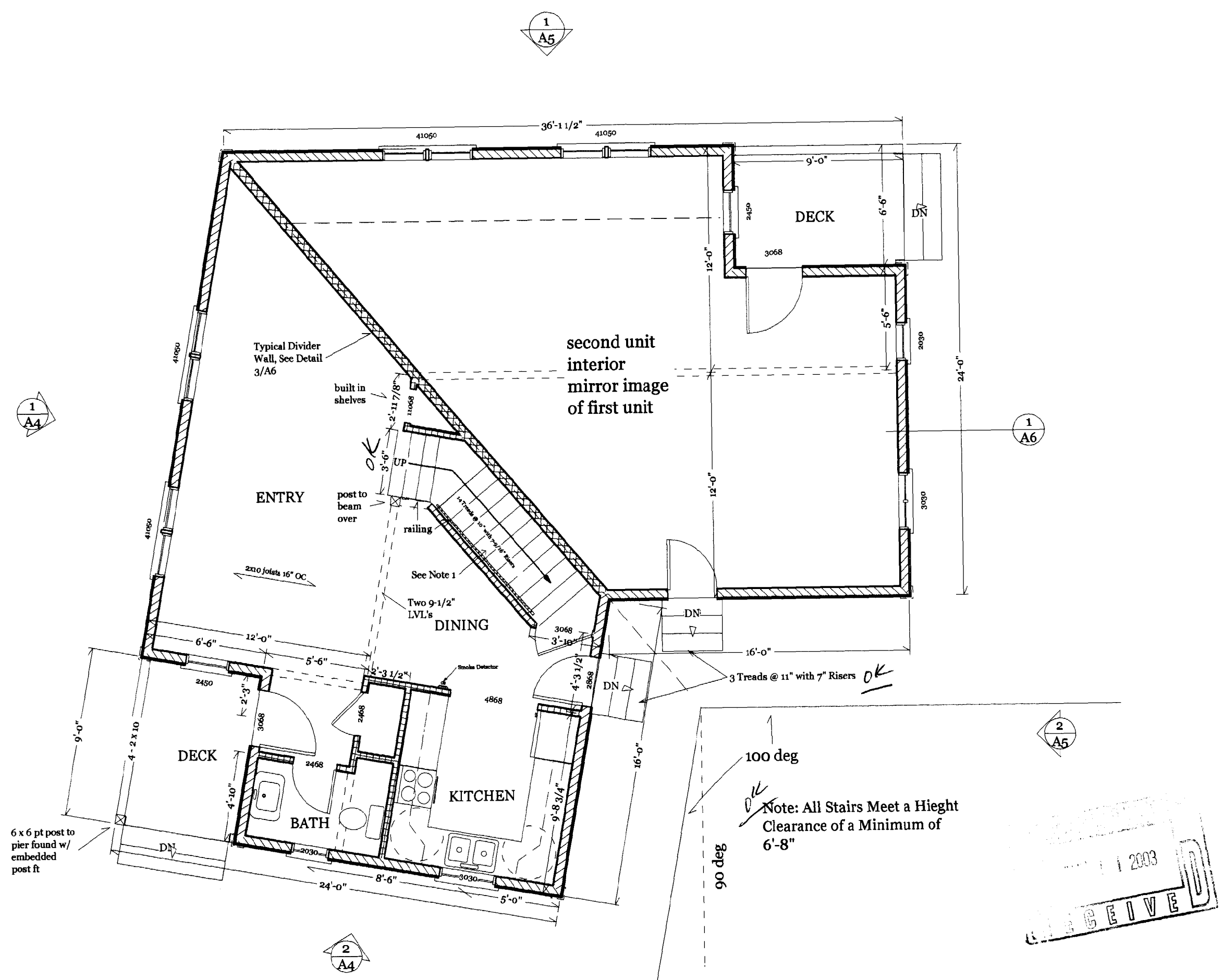
1
A1 Cross Section at Basement Stairs



Sheet	A1
Date	4/11/03
Revision	One - Misc. Details
Scale: 3/16"=1'	

Proposed Two Family Duplex on the
Corner of Morrill & Bell Street's
Foundation Plan

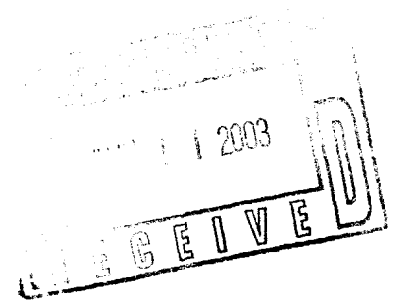
M.R. Brewer Fine Woodworking, Inc.
91 Bell Street
Portland, ME 04103
Phone: 207-797-7534 Fax: 207-797-0973



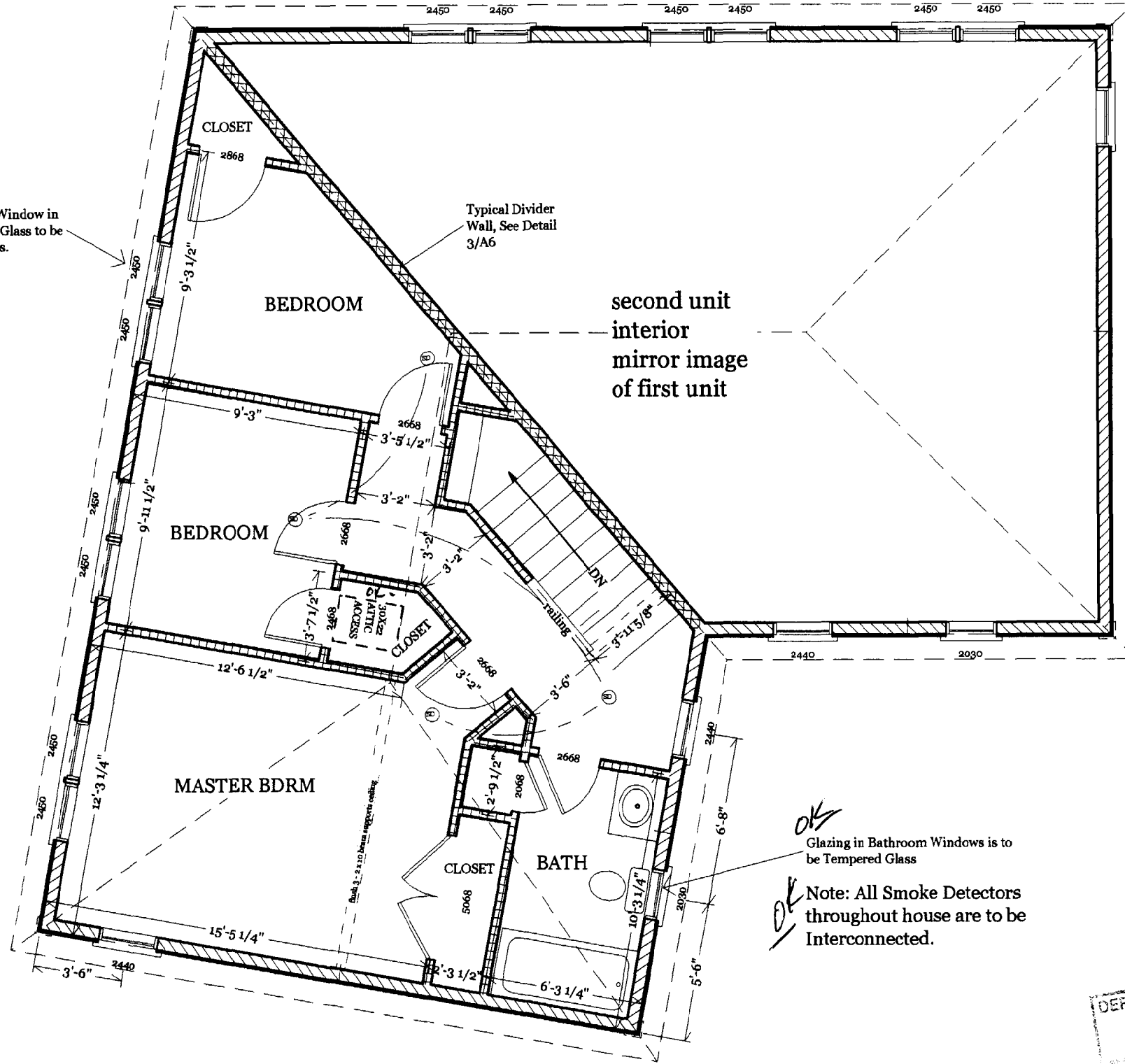
Revision	Date	Sheet
One - Misc. Details	4/11/03	A2
		Scale: 3/16"=1'

Proposed Two Family Duplex on the
 Corner of Morrill & Bell Street's
 1st Floor Plan

M.R. Brewer Fine Woodworking, Inc.
 91 Bell Street
 Portland, ME 04103
 Phone: 207-797-7534 Fax: 207-797-0973



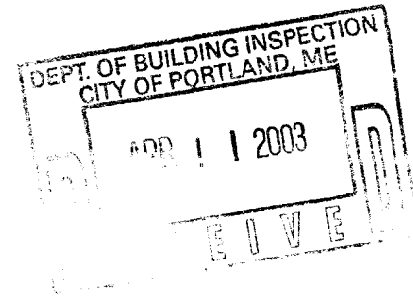
OK Typical Double Hung Window in Bedrooms with Low E Glass to be 28"x60" to meet Egress.



second unit
interior
mirror image
of first unit

OK Glazing in Bathroom Windows is to be Tempered Glass

OK Note: All Smoke Detectors throughout house are to be Interconnected.



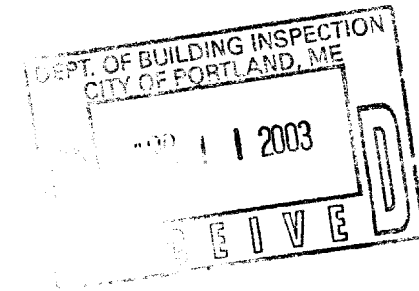
M.R. Brewer Fine Woodworking, Inc. 91 Bell Street Portland, ME 04103 Phone: 207-797-7534	Proposed Two Family Duplex on the Corner of Morrill & Bell Street's		Date 4/11/03	Sheet A3
	2nd Floor Plan			



Detail 1 - Front side Facing Morrill Street



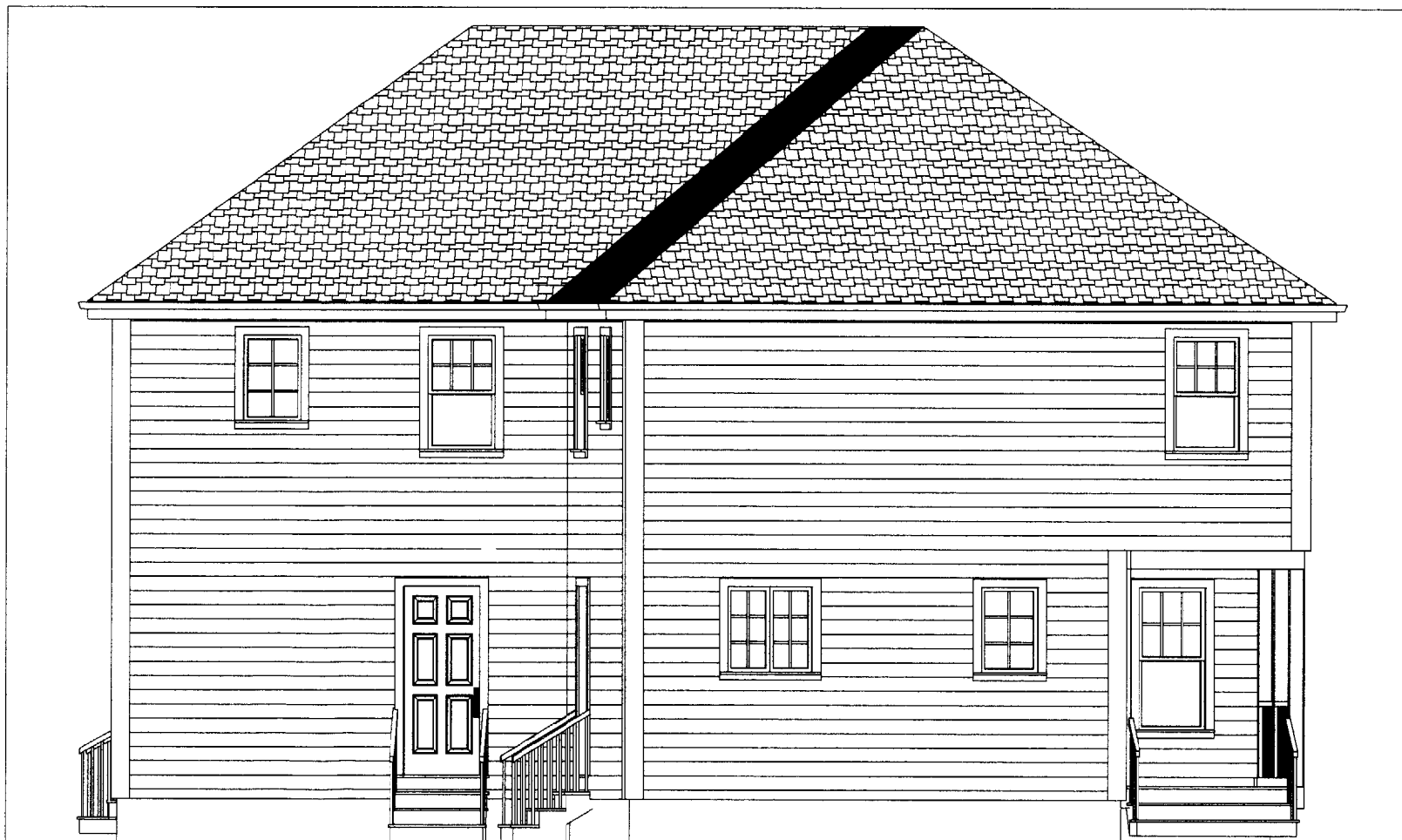
Detail 2 - Backside Facing Morrill Street



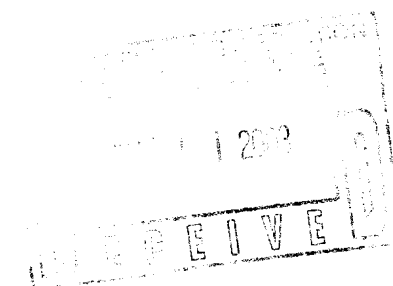
M.R. Brewer Fine Woodworking, Inc. 91 Bell Street Portland, ME 04103 Phone: 207-797-7534		Proposed Two Family Duplex on the Corner of Morrill & Bell Street's Elevations		Revision One - Misc. Details	Date 4/11/03	Sheet A4	Scale: N/A
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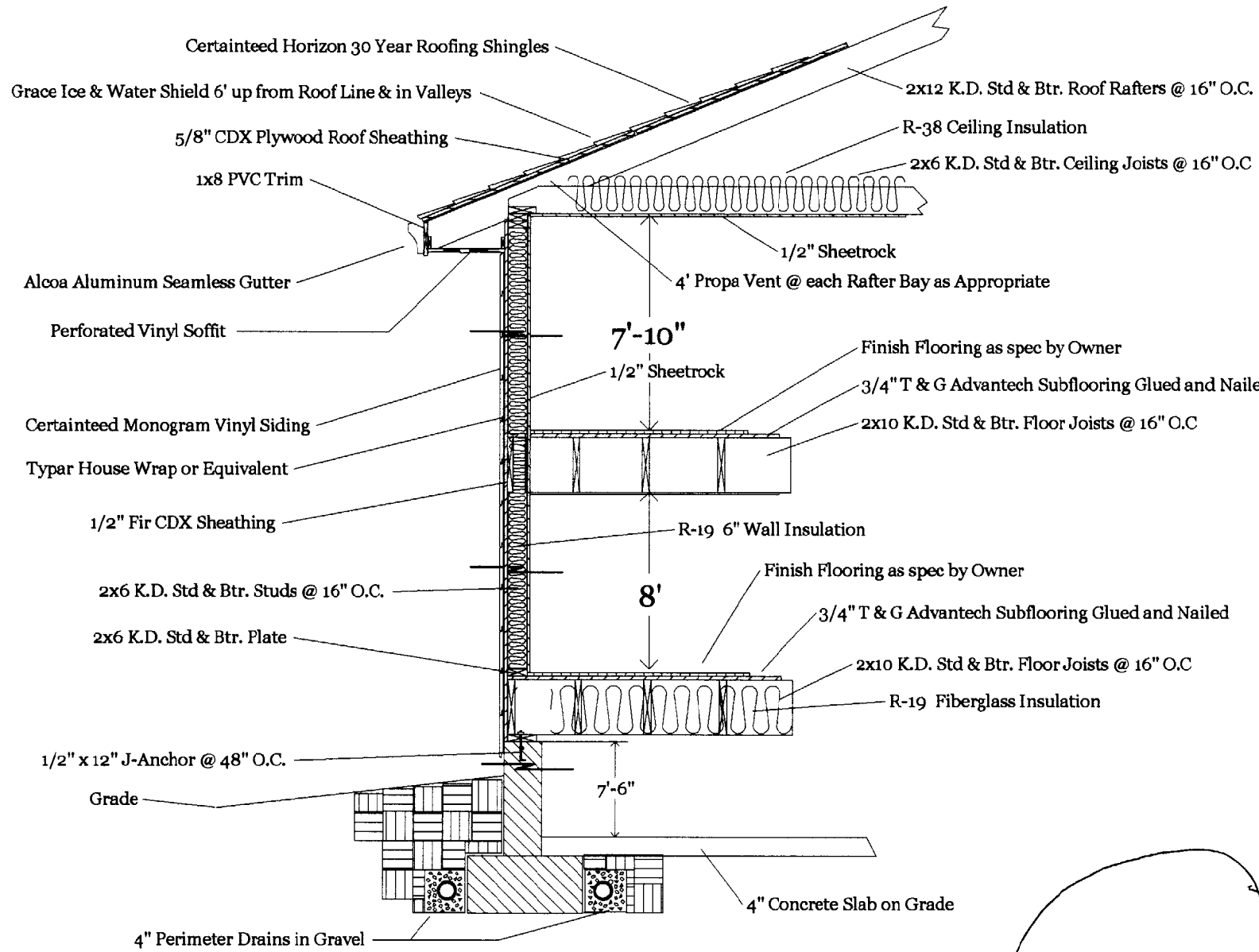
Detail 1 - Front side Facing Bell Street



Detail 2 - Backside Facing Bell Street



<p>M.R. Brewer Fine Woodworking, Inc. 91 Bell Street Portland, ME 04103 Phone: 207-797-7534 Fax: 207-797-0973</p>		<p>Proposed Two Family Duplex on the Corner of Morrill & Bell Street's Elevations</p>		<p>Revision One - Misc. Details</p>	<p>Date 4/11/03</p>	<p>Sheet A5</p>	<p>Scale: N/A</p>
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1
A6

Typical Cross Section Detail

Scale: 3/8" = 1'

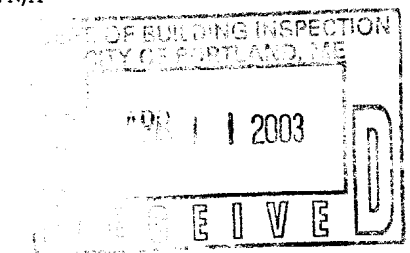
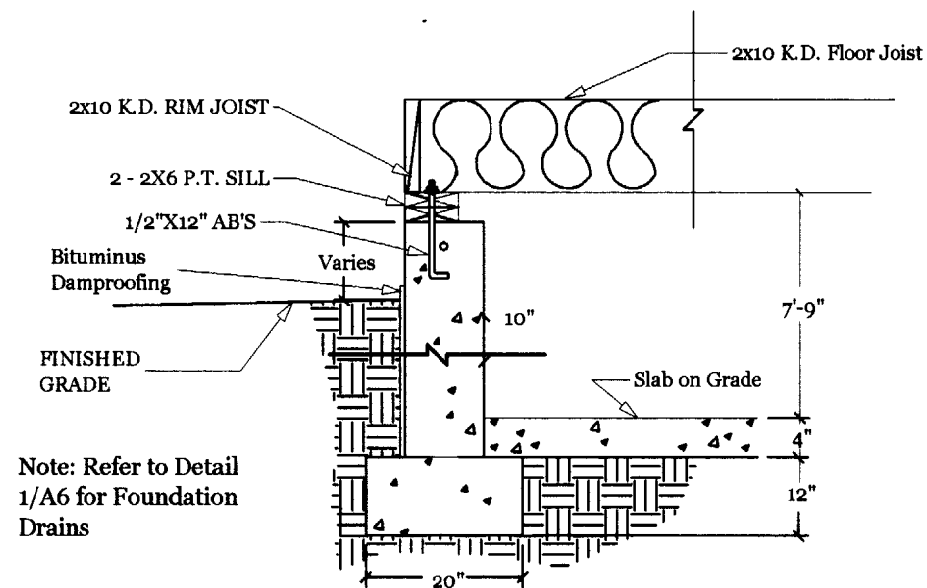
Handwritten note: ~~does NOT~~

2
A6

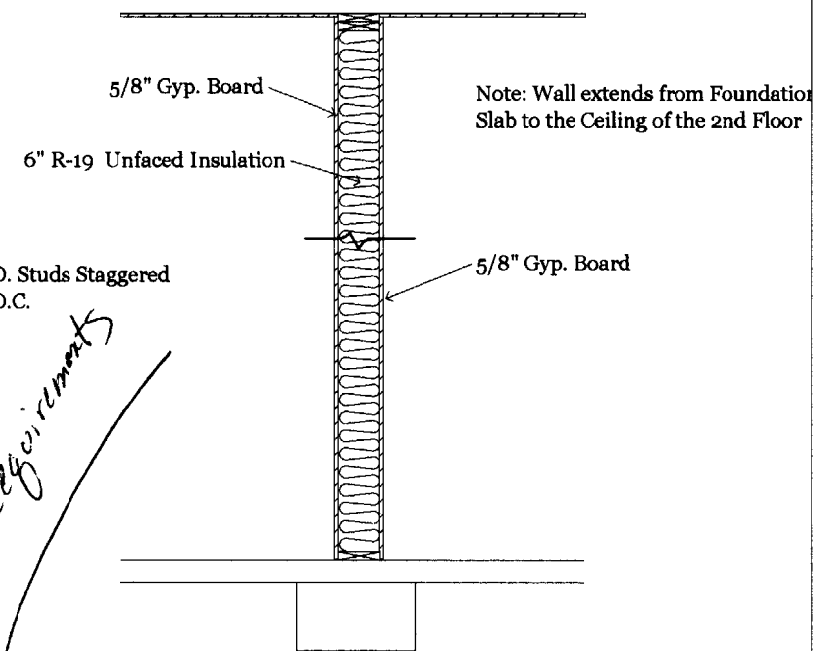
TYP. STEM WALL & FOOTING

Scale: N/A

Note: Refer to Detail 1/A6 for Foundation Drains



Handwritten note: Meet STC Requirements



3
A6

Typical Divider Wall Detail

Not to Scale

Sheet	A6
Date	4/11/03
Revision	One - Misc. Details
Scale:	N/A

Proposed Two Family Duplex on the Corner of Morrill & Bell Street's

Details

M.R. Brewer Fine Woodworking, Inc.
 91 Bell Street
 Portland, ME 04103
 Phone: 207-797-7534
 Fax: 207-797-0973



*need more plans
per MN*

CITY OF PORTLAND, MAINE

Department of Building Inspections

3/14 20 03

Received from M.R. BREWER

Location of Work 112 BELL ST.

Cost of Construction \$ 200,000.

Permit Fee \$ 1423.00

Building (IL) Plumbing (I5) Electrical (I2) Site Plan (U2)

Other _____

CBL: 146

Check #: 8997

Total Collected \$ 1423.00

THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

F - Applicant's Copy
W - Office Copy
Permit Copy