

(COPY)

PRINTING CO., PORTLAND

CITY OF PORTLAND, MAINE  
Department of Building Inspection



## Certificate of Occupancy

LOCATION 1231 Forest Ave.

Date of Issue January 28, 1958

Issued to Antonio Morabito

This is to certify that the building, premises, or part thereof, at the above location, built—altered—changed as to use under Building Permit No. 57/1280, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES  
Entire

APPROVED OCCUPANCY  
Repair Garage

Limiting Conditions:

This certificate supersedes  
certificate issued

Approved:

(Date)

*Earl Swett*  
Inspector

*W. A. [Signature]*  
Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

December 11, 1957

BP- 57/1280-1131 Forest Avenue

Mr. Antonio Morabito  
243 Cendant Street

Dear Mr. Morabito:

Amendment #2 covering construction of an outside masonry chimney on rear of repair garage at the above named location is issued herewith subject to the following conditions:

1. Chimney walls are to be constructed either of concrete brick of the approximate size of the common clay brick or of chimney block units. The use of 8 inch hollow concrete blocks or of solid concrete blocks 4 inches thick and 8 inches high is not permissible.
2. If existing walls of building are to be used as chimney walls, new masonry is required to be toothed into the old.
3. If separate walls are used, chimney is required to be tied or anchored to the building at intervals of not over ten feet.
4. A cast iron cleanout door is required at the bottom of the flue.

Very truly yours,

Albert J. Sears  
Deputy Inspector of Buildings

AJS:M



## APPLICATION FOR AMENDMENT TO PERMIT

Amendment No. #2

Portland, Maine, December 10, 1957

DEC 11 1957

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for amendment to Permit No.                      pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 1131 Forest Ave. Within Fire Limits?                      Dist. No.                       
Owner's name and address Antonio Morabito, 243 Conant St., Westbrook Telephone                       
Lessee's name and address                      Telephone                       
Contractor's name and address owner Telephone                       
Architect                      Plans filed                      No. of sheets                       
Proposed use of building Repair Garage, Office and Storage No. families                       
Last use " No. families                       
Increased cost of work 100. Additional fee 50.

### Description of Proposed Work

solid  
To erect/concrete block outside chimney (rear of building)  
12x12 flue - ~~brick 8"x16"~~

Permit Issued with Letter

### Details of New Work owner

Is any plumbing involved in this work?                      Is any electrical work involved in this work?                       
Height average grade to top of plate                      Height average grade to highest point of roof                       
Size, front                      depth                      No. stories                      solid or filled land?                      earth or rock?                       
Material of foundation concrete at least 4' below grade                      thickness, top                      bottom                      cellar                       
Material of underpinning                      Height                      Thickness                       
Kind of roof                      Rise per foot                      Roof covering                       
No. of chimneys one Material of chimneys concrete block of lining tile  
Framing lumber—Kind                      Dressed or full size?                       
Corner posts                      Sills                      Girt or ledger board?                      Size                       
Girders                      Size                      Columns under girders                      Size                      Max. on centers                       
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.  
Joists and rafters: 1st floor                     , 2nd                     , 3rd                     , roof                       
On centers: 1st floor                     , 2nd                     , 3rd                     , roof                       
Maximum span: 1st floor                     , 2nd                     , 3rd                     , roof                     

Approved: Albert J. Sears

Signature of Owner Antonio Morabito

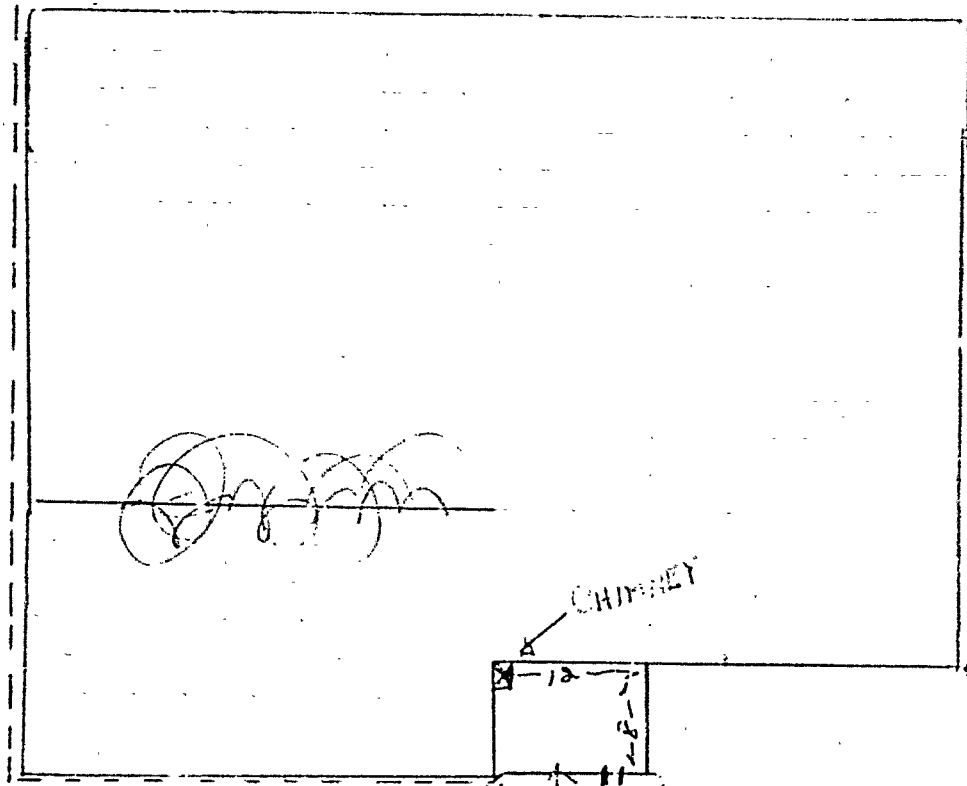
Approved: 7/10/57

Inspector of Buildings

INSPECTION COPY

CS-105

1131 Forest Ave

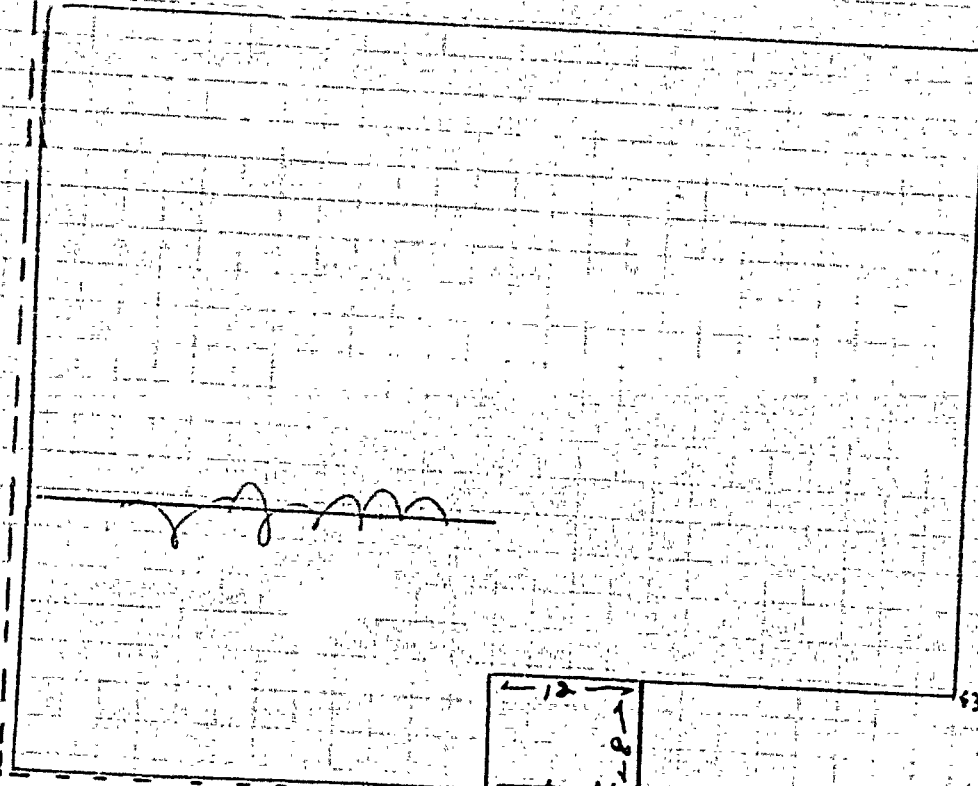


12  
8  
DOOR  
45-FT  
58

RECEIVED  
NOV 24 1957  
DEPT. OF PUBLIC INSP.  
CITY OF LOS ANGELES

Antonio V. Moyabito

1131 Forest Ave



RECEIVED  
NOV 24 1957  
DEPT. OF BLVD. INSP.  
CITY OF MILWAUKEE

Antonio V. Morabito

Memorandum from Department of Building Inspection, Portland, Maine

BP - 57/1280-1131 Forest Avenue

Subject: Permit amendment to owner-Antenne Morabito, 243 Conant St.-  
Westbrook for work at above address.

Permit amendment covering excavation and construction of addition eight feet by 12 feet on rear of garage at above named location is issued herewith. It shall be noted that before any work on superstructure is started it is necessary that another amendment be secured and that with application therefore there be filed a plan showing height and thickness of walls and framing of roof.

Concrete footing for support of concrete block foundation wall is required to be no less than eight inches in thickness instead of the four inches indicated. On the basis of the eight inch foundation wall indicated, height of superstructure walls from grade to underside of roof framing cannot exceed 12 feet.

AJS:m

CS-27

(Signed) Warren McDonald ✓  
Inspector of Buildings



# APPLICATION FOR AMENDMENT TO PERMIT

Amendment No. #1  
Portland, Maine, Nov. 25, 1957

1-2 INDUSTRIAL ZONE

PERMIT ISSUED

NOV 26 1957

CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for amendment to Permit No. 57/1280 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 1131 Forest Ave. Within Fire Limits? no Dist. No.           
Owner's name and address Antonio Morabito, 243 Conant St. Westbrook Me. Telephone           
Lessee's name and address          Telephone           
Contractor's name and address OWN. Telephone 2-2628  
Architect          Plans filed          No. of sheets           
Proposed use of building Repair Garage, Office and Storage 'Boiler room No. families           
Last use " " No. families           
Increased cost of work          Additional fee 1.00

## Description of Proposed Work

To excavate and construct concrete foundation only for 1-story addition '8 x 12'  
for boiler room,

12/1/57 This work not to be done. - *QJ*

Permit Issued with Memo

Permit Issued with Memo

## Details of New Work Permit to owner.

Is any plumbing involved in this work?          Is any electrical work involved in this work?           
Height average grade to top of plate          Height average grade to highest point of roof           
Size, front          depth          No. stories          solid or filled land?          earth or rock?           
Material of foundation concrete block at least 4' below grade          bottom 8" cellar no  
Material of underpinning with footing 16" thick Height          Thickness          *FORM NOTICE SENT 11/6/57*  
Kind of roof          Rise per foot          Roof covering           
No. of chimneys          Material of chimneys          of lining           
Framing lumber—Kind          Dressed or full size?           
Corner posts          sills          Girt or ledger board?          Size           
Girders          Size          Columns under girders          Size          Max. on centers           
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.  
Joists and rafters: 1st floor         , 2nd         , 3rd         , roof           
On centers: 1st floor         , 2nd         , 3rd         , roof           
Maximum span: 1st floor         , 2nd         , 3rd         , roof         

Approved: Albert J. Sears  
Deputy Inspector of Buildings

Antonio Morabito  
Signature of Owner by: Antonio Morabito  
Permit Issued with Memo  
Approved: 11/26/57 W. J. M.  
Inspector of Buildings

INSPECTION COPY  
CS-105

August 20, 1957

AP 1125-1133 Forest Avenue

Mr. Antonio Morabito  
243 Conant Street  
Westbrook, Maine

Copy to Mr. Morabito for plan maker

Dear Mr. Morabito:-

Your appeal under the Zoning Ordinance having been sustained, we have checked plan filed with application for permit for construction of a one-story addition on side of your repair garage at the above named location against Building Code requirements and found variances from and questions as to compliance therewith as listed below. Before a permit can be issued it is necessary that revised plans indicating compliance with requirements be furnished for checking and approval. Details in question are as follows:

1. Wherever walls are to be closer than five feet to lot lines, parapets extending at least 32 inches above the surface of the roof are required. - See Section 204-b-1. *OK except Typ. Wall Sec. Still Shows 3 courses of 8" block*

2. Are there to be any pits in floor of addition? If so details of their construction and ventilation need to be indicated. - See Sections 204-d-2 & f-1. *None OK*

3. Are there to be any forges, vulcanizing or paint spraying operations carried on in addition? If so protection as indicated by Section 204-f-3 needs to be indicated. *None OK*

4. How is addition to be heated? - See Sections 204-f-4 and h-2 & 3. *OK*

5. Are there to be any floor drains in building? If so, a grease and oil separator as specified by Section 204-i-1 needs to be provided. *None OK*

6. How is required anchorage of roof framing to masonry walls at intervals of not over 8 feet to be provided where long span joists run parallel to walls? *OK*

7. What is type of bridging to be? *OK*

8. A statement of design (blank copy enclosed) signed by person designing lintels and long span joists needs to be affixed to the plans. *OK*

9. Layout of office partitions needs to be shown. Use of combustible materials in construction of partitions is not permissible in a building of Non-Combustible Construction such as this. *OK*

Very truly yours,

AJS/G

Deputy Inspector of Buildings



July 10, 1957

AP 1125-1133 Forest Avenue

Mr. Antonio Morabito  
243 Conant Street  
Westbrook, Maine

Copy to Corporation Counsel

Dear Mr. Morabito:-

We are unable to issue a permit for construction of a one story concrete block addition 44 feet by 54 feet to side of repair garage at 1125-1133 Forest Avenue for the following reasons:-

1. The addition would constitute an increase in volume of the repair garage use, which is non-conforming in the I-2 Industrial Zone in which the property is located, such an increase in volume being forbidden by Section 16 of the Zoning Ordinance.

*now allowable*

2. The addition is proposed only two feet from the rear lot line and practically on the side lot line instead of yards equal to the height of the building, or 18 feet, being provided in each case as specified by Section 12-C-1 and C-4 of the Ordinance.

*appealed*

We understand that you would like to exercise your appeal rights concerning these discrepancies. Accordingly we are enclosing an outline of appeal procedure and are certifying the case to the Corporation Counsel, who serves as secretary for the Board of Appeals.

No attempt will be made to check the plans against Building Code requirements until outcome of appeal is known. However, a hasty glance at them indicates that more information than that shown thereon will probably be needed before a permit can be issued.

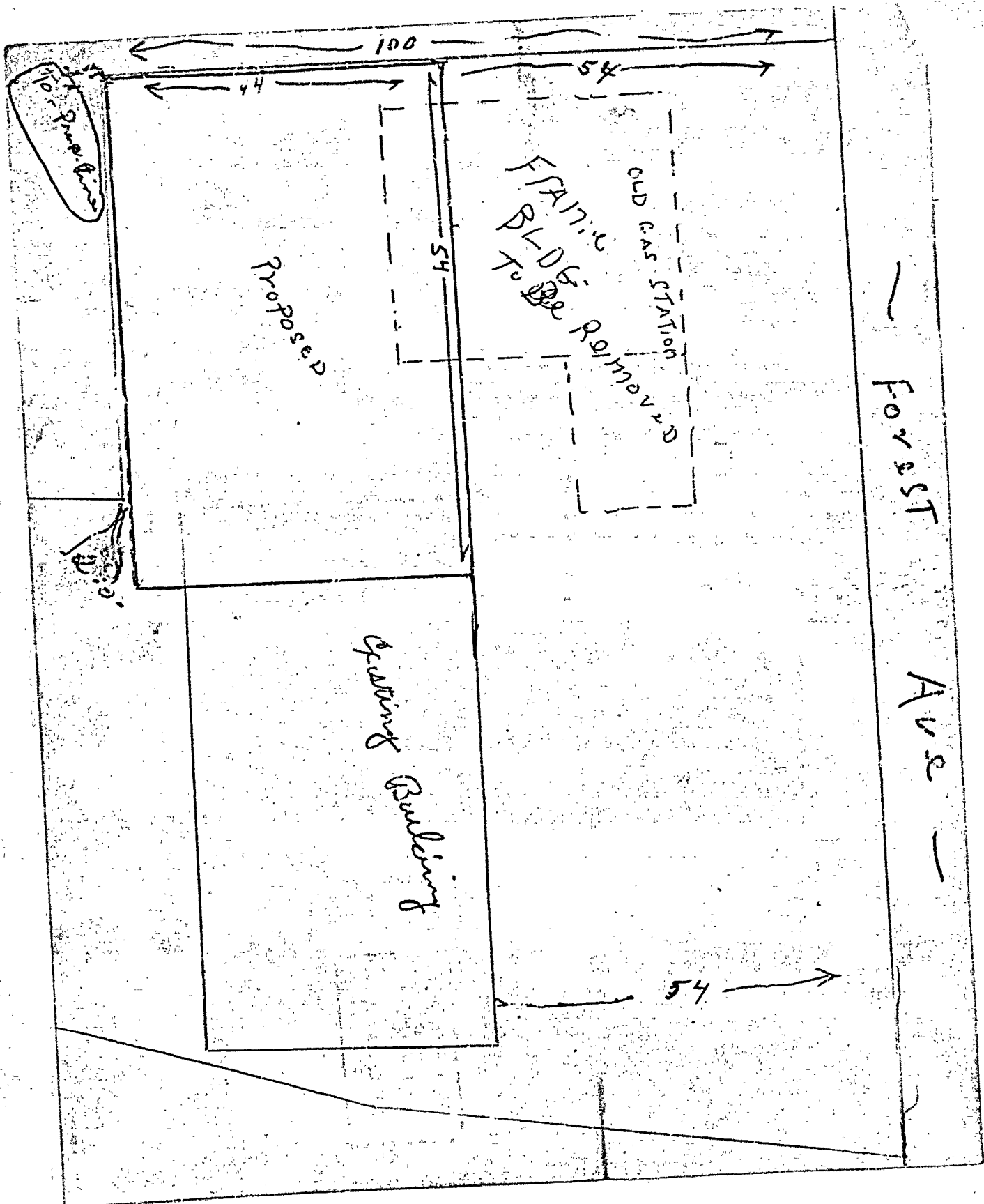
Very truly yours,

Warren McDonald  
Inspector of Buildings

AJS/G

Enclosure: Outline of appeal procedure





— Forest Ave —



52 BUSINESS ZONE  
1-2 INDUSTRIAL ZONE  
**APPLICATION FOR PERMIT**  
Class of Building or Type of Structure 2nd-Class  
Portland, Maine, June 26, 1957

PERMIT ISSUED  
612-0  
SEP 5 1957  
CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect ~~alter repair demolish~~ install the following building structure equipment in accordance with the Laws of the State of Maine the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 1131 Forest Ave. Within Fire Limits? Dist o.  
Owner's name and address Antonio Morabito, 243 Conant St. Westbrook Me. Telephone   
Lessee's name and address  Telephone   
Contractor's name and address owner Telephone 2-2628  
Architect  Specifications Plans No. of sheets   
Proposed use of building Repair Garage, Office and Storage No. families 1  
Last use " " No. families 1  
Material cinder block stories 1 Heat  Style of roof  Roofing   
Other building on same lot   
Estimated cost \$ 5,000 Fee \$ 5.00

**General Description of New Work**

To demolish existing filling station office.

To construct concrete block 44' x 54' addition on side of existing building

8/19/57

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO owner

**Details of New Work**

Is any plumbing involved in this work? no Is any electrical work involved in this work? yes  
Is connection to be made to public sewer?  If not, what is proposed for sewer?   
Has septic tank notice been sent?  Form notice sent?   
Height average grade to top of plate  Height average grade to highest point of roof 16' 8"  
Size, front 54' depth 44' No. stories 1 grade solid or filled land? solid earth or rock? earth  
Material of foundation concrete Thickness, top 12" bottom 12" cellar no  
Material of underpinning  Height  Thickness   
Kind of roof flat Rise per foot  Roof covering pre-cast channel plank  
No. of chimneys  Material of chimneys  of lining  Kind of heat  fuel   
Framing Lumber—Kind  Dressed or full size?  Corner posts  Gills   
Size Girder  Columns under girders  Size  Max. on centers   
Kind and thickness of outside sheathing of exterior walls?   
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.  
Joists and rafters: 1st floor concrete, 2nd , 3rd , roof as  
On centers: 1st floor , 2nd , 3rd , roof   
Maximum span: 1st floor , 2nd , 3rd , roof   
If one story building with masonry walls, thickness of walls?  height?

**If a Garage**

No. cars now accommodated on same lot , to be accommodated  number commercial cars to be accommodated   
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVED:

O.N. 9/5/57-ags

**Miscellaneous**

Will work require disturbing of any tree on a public street? no  
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Antonio Morabito

INSPECTION COPY

Signature of owner by:

Antonio Morabito F.M.

NOTES

10/2/57 - ~~Plaster~~ ~~to be~~  
~~found~~ ~~to be~~  
 10/16/57 - No further  
 work done E.S.S.  
 10/22/57 - Laying up  
 work. E.S.S.  
 12/4/57 - Roof on -  
 part of cement floor  
 laid. E.S.S.  
 12/25/57 - Partition walls  
 being done. E.S.S.  
 1/10/58 - impossible not  
 usual. walls to  
 be m. E.S.S.  
 1/10/58 - All work done  
 except for partition walls.  
 if weather work as office,  
 tool, or stock room  
 provided. E.S.S.  
 1/27/58 - No partitions  
 to be erected.  
 Cert. to be issued  
 E.S.S.

Permitted  
 1/10/58

Adm. M. J. [Signature]

Permit No. 571280  
 Location 1131 David Ave.  
 Owner Antonio Mendez  
 Date of permit 9/5/57  
 Notif. closing in  
 Inspn. closing in  
 Final Notif.  
 Final Inspn. 11/01/58  
 Cert. of Occupancy issued 1/28/58 W.M.C.  
 Staking Out Notice  
 Form Check Notice

City of Portland, Maine  
Board of Appeals  
—ZONING—

*Sustained*  
*8/16/57* *57/76*

August 9, 1957

To the Board of Appeals:

Your appellant, Antonio Morabito, who is the owner of property at 1125-1133 Forest Avenue, respectfully petitions the Board of Appeals of the City of Portland to permit an exception to the regulations of the Zoning Ordinance relating to this property, as provided by Section 18, Paragraph E of said Zoning Ordinance.

Permit for construction of a one story concrete block addition 44 feet by 54 feet to side of repair garage at 1125-1133 Forest Avenue is not issuable under the Zoning Ordinance because the addition is proposed only two feet from the rear lot line and practically on the side lot line instead of yards equal to the height of the building, or 18 feet, being provided in each case as specified by Section 12-C-1 and C-4 of the Ordinance.

The facts and conditions which make this exception legally permissible are as follows:

An exception is necessary to grant reasonable use of property and can be granted without substantially departing from the intent and purpose of the Zoning Ordinance.

*Antonio Morabito*  
Appellant

After public hearing held on the 16 day of August, 1957, the Board of Appeals finds that an exception is necessary to grant reasonable use of property and can be granted without substantially departing from the intent and purpose of the Zoning Ordinance.

It is, therefore, determined that exception to the Zoning Ordinance may be permitted in this specific case.

*George E. ...*  
*W. M. ...*  
*Ben ...*  
*John ...*  
*W. ...*  
BOARD OF APPEALS

August 13, 1957

Mr. Antonio Morabito  
243 Conant Street  
Westbrook, Maine

Dear Mr. Morabito:

August 16, 1957,

Ben B. Wilson

CITY OF PORTLAND, MAINE  
BOARD OF APPEALS

August 13, 1957

Mr. Manuel Levi  
11 Craigie Street  
Portland, Maine

Dear Mr. Levi:

The Board of Appeals will hold a public hearing in the Council Chamber at City Hall, Portland, Maine, on Friday, August 16, 1957, at 10:30 a.m. to hear the appeal of Antonio Morabito requesting an exception to the Zoning Ordinance to authorize construction of a one story concrete block addition 44 feet by 54 feet to side of repair garage at 1125-1133 Forest Avenue.

This permit is presently not issuable under the Zoning Ordinance because the addition proposed is only two feet from the rear lot line and practically on the side lot line instead of yards equal to the height of the building, or 18 feet, being provided in each case as specified by Section 17-C-1 and C-4 of the Ordinance.

All persons interested either for or against this appeal will be heard at the above time and place.

BOARD OF APPEALS,

Ben B. Wilson

Chairman

S



WARREN McDONALD  
INSPECTOR OF BUILDINGS

ALBERT J. SEARS  
DEPUTY INSPECTOR OF BUILDINGS

CITY OF PORTLAND, MAINE  
Department of Building Inspection

July 10, 1957

AP 1125-1133 Forest Avenue

Mr. Antonio Morabito  
243 Conant Street  
Westbrook, Maine

Copy to Corporation Counsel ✓

Mr. Morabito:-

We are unable to issue a permit for construction of a one story concrete block addition 44 feet by 54 feet to side of repair garage at 1125-1133 Forest Avenue for the following reasons:-

1. The addition would constitute an increase in volume of the repair garage use, which is non-conforming in the I-2 Industrial Zone in which the property is located, such an increase in volume being forbidden by Section 16 of the Zoning Ordinance.

2. The addition is proposed only two feet from the rear lot line and practically on the side lot line instead of yards equal to the height of the building, or 18 feet, being provided in each case as specified by Section 12-C-1 and C-4 of the Ordinance.

We understand that you would like to exercise your appeal rights concerning these discrepancies. Accordingly we are enclosing an outline of the appeal procedure and are certifying the case to the Corporation Counsel, who serves as secretary for the Board of Appeals.

No attempt will be made to check the plans against Building Code requirements until outcome of appeal is known. However, a hasty glance at them indicates that more information than that shown thereon will probably be needed before a permit can be issued.

Very truly yours,

Warren McDonald  
Inspector of Buildings

AJS/G

Enclosure: Outline of appeal procedure

C  
O  
P  
Y

City of Portland, Maine  
Municipal Officers  
BUILDING CODE

January 17, 1957 19

*Sustained*  
*2/4/57*  
*57/2*

To the Municipal Officers:

Your appellant, Antonio V. Morabito, who is the owner of property at 1131 Forest Avenue, respectfully petitions the Municipal Officers of the City of Portland to permit an exception to the provisions of the Building Code relating to this property, as provided by Section 115, Paragraph A of said Building Code.

Building permit for a projecting sign for Forest Ave. Garage at 1131 Forest Ave. is not issuable under the Building Code because the sign would be closer to the street line of Forest Ave. (inside edge of public sidewalk) than the front of a dwelling house or other habitation on the adjoining lot at about 1135 Forest Ave. contrary to Section 211c3 of the Building Code, it being understood that the proposed sign would be closer than 100 feet to this existing habitation.

The facts and conditions which make this exception legally permissible are as follows:

An exception is necessary in this case to grant reasonable use of property to avoid practical difficulty and unnecessary hardship and can be granted without substantially departing from the intent and purpose of the Building Code.

*Antonio V. Morabito*  
Appellant

After public hearing held on the 1st day of February, 19 57, the Municipal Officers find that an exception is necessary in this case to grant reasonable use of property to avoid practical difficulty and unnecessary hardship and can be granted without substantially departing from the intent and purpose of the Building Code.

It is, therefore, determined that exception to the Building Code may be permitted in this specific case.

*Bar. B. Wilson*  
*St. Germain*  
*Wiley J. Leonard*  
*Wm. E. Ball, Jr.*  
*George E. Kent*  
*Sumner S. Clark*  
MUNICIPAL OFFICERS

DATE: February 1, 1957

HEARING ON APPEAL UNDER THE Building Code OF Antonio V. Morabito  
AT 1131 Forest Avenue

Public hearing on the above appeal was held before the Municipal Officers

BOARD OF APPEALS

VOTE

MUNICIPAL OFFICERS

Yes

No

(X)  
(X)  
(X)  
(X)  
(X)  
(X)  
(X)  
(X)  
(X)  
(X)

( )  
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( )

Ben B. Wilson  
Sumner T. Bernstein  
Harold Frank  
Ira Ball  
Perley Lessard  
Sumner S. Clark

Record of Hearing:

NO OPPOSITION

CITY OF PORTLAND, MAINE  
BOARD OF APPEALS

January 29, 1957

Mr. Antonio Morabito  
243 Conant Street  
Portland, Maine

Dear Mr. Morabito:

The Board of Appeals will hold a public hearing in the Council Chamber at City Hall, Portland, Maine, on Friday, February 1, 1957, at 10:30 a. m. to hear your appeal at 1131 Forest Avenue under the Building Code.

Please be present or be represented at this hearing in support of this appeal.

BOARD OF APPEALS

Ben B. Wilson

Chairman

C

CITY OF PORTLAND, MAINE  
BOARD OF APPEALS

January 29, 1957

Isreal Bernstein, Esquire  
Louis Bernstein, Esquire  
119 Exchange Street  
Portland, Maine

Gentlemen:

The Board of Appeals will hold a public hearing in the Council Chamber at City Hall, Portland, Maine, on Friday, February 1, 1957, at 10:30 a. m. to hear the appeal of Antonio V. Morabito requesting an exception to the Building Code to authorize a projecting sign for Forest Avenue Garage at 1131 Forest Avenue.

This permit is presently not issuable under the Building Code because the sign would be closer to the street line of Forest Avenue (inside edge of public sidewalk) than the front of a dwelling house or other habitation on the adjoining lot at about 135 Forest Avenue, contrary to Section 211c3 of the Building Code, it being understood that the proposed sign would be closer than 100 feet to this existing habitation.

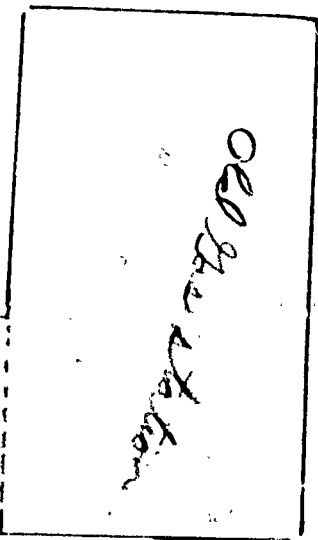
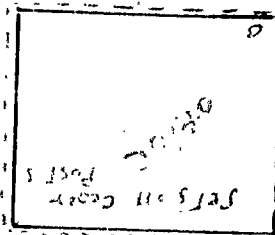
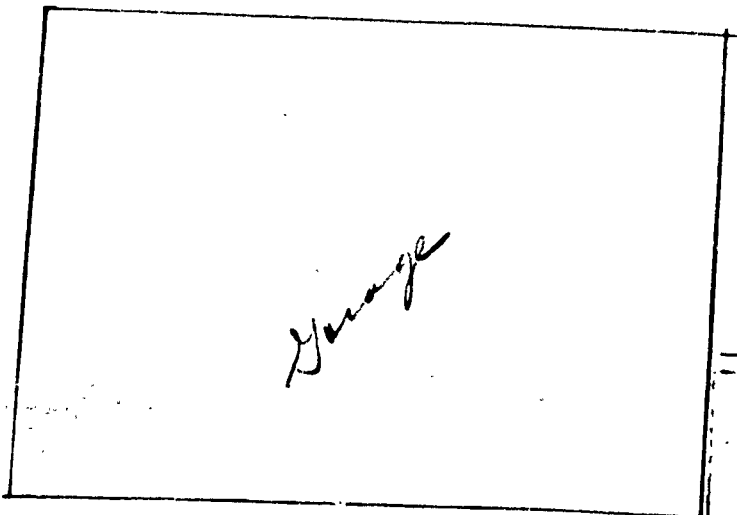
If you are interested either for or against this appeal, please be present at the above hearing.

BOARD OF APPEALS

Ben B. Wilson

Chairman

C



Antonio & Morabito  
1131 Forest Ave  
Pasadena

These are

April 4, 1957

AP - 1131 Forest Avenue

Mr. Antonio Morabito  
1131 Forest Avenue

Dear Mr. Morabito:-

Building permit for moving wood frame office building now attached to service station to side of repair garage on same property at above location is issued herewith subject to condition that any window opening in that part of side wall of garage which office building is to adjoin shall be filled in with at least 8 inches of masonry.

Very truly yours,

Albert J. Sears  
Deputy Inspector of Buildings

AJS/G



## APPLICATION FOR PERMIT

Class of Building or Type of Structure Second Class

Portland, Maine, April 3, 1957

PERMIT ISSUED  
0042  
APR 5 1957  
City of Portland

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specification, if any, submitted herewith and the following specifications:

Location 1131 Forest Ave. Within Fire Limits? \_\_\_\_\_ Dist. No. \_\_\_\_\_  
Owner's name and address Antonio Morabito, 1131 Forest Ave. Telephone \_\_\_\_\_  
Lessee's name and address \_\_\_\_\_ Telephone \_\_\_\_\_  
Contractor's name and address owner Telephone \_\_\_\_\_  
Architect \_\_\_\_\_ Specifications \_\_\_\_\_ Plans yes No. of sheets 1  
Proposed use of building Garage and office No. families \_\_\_\_\_  
Last use Garage No. families \_\_\_\_\_  
Material \_\_\_\_\_ No. stories \_\_\_\_\_ Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_  
Other buildings on same lot \_\_\_\_\_  
Estimated cost \$ \_\_\_\_\_ Fee \$ .50

### General Description of New Work

To move existing 12'x16' office building (now attached to former service station) to side of existing garage. No opening between buildings.

Permit issued with Letter

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO** owner

### Details of New Work

Is any plumbing involved in this work? \_\_\_\_\_ Is any electrical work involved in this work? \_\_\_\_\_  
Is connection to be made to public sewer? \_\_\_\_\_ If not, what is proposed for sewage? \_\_\_\_\_  
Has septic tank notice been sent? \_\_\_\_\_ Form notice sent? \_\_\_\_\_  
Height average grade to top of plate \_\_\_\_\_ Height average grade to highest point of roof \_\_\_\_\_  
Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_  
Material of foundation cedar posts at least 4' below grade Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_ cellar \_\_\_\_\_  
Material of underpinning 4" O.C. Height \_\_\_\_\_ Thickness \_\_\_\_\_  
Kind of roof \_\_\_\_\_ Rise per foot \_\_\_\_\_ Roof covering \_\_\_\_\_  
No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lin'rg \_\_\_\_\_ Kind of heat \_\_\_\_\_ fuel \_\_\_\_\_  
Framing lumber—Kind \_\_\_\_\_ Dressed or full size? \_\_\_\_\_  
Corner posts \_\_\_\_\_ Sills \_\_\_\_\_ Girt or ledger board? \_\_\_\_\_ Size \_\_\_\_\_  
Girders \_\_\_\_\_ Size \_\_\_\_\_ Columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.  
Joists and rafters: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

### If a Garage

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_ number commercial cars to be accommodated \_\_\_\_\_  
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

APPROVED:

*with letter by AGS*

### Miscellaneous

Will work require disturbing of any tree on a public street? no  
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

INSPECTION COPY

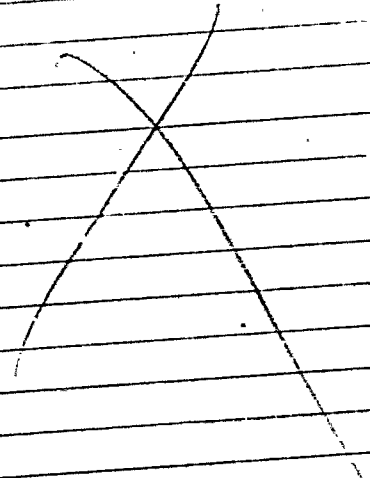
Signature of owner

*Antonio Morabito*



NOTES

4/12/57 - Mr. W. H. [unclear]  
 5/1/57 - Mr. W. H. [unclear]  
 is not going ahead with  
 this [unclear] P. 28.



Permit No. 57427  
 Location 1131 Street Ave.  
 Owner [unclear]  
 Date of permit 4/5/57  
 Noil. closing-in  
 Inspn. cloth-in  
 Final Noil.  
 Final Inspn.  
 Cert. of Occupancy Issued  
 Sinking Out Notice  
 Kern Check Notice

*True copy*

January 17, 1957

AP 1131 Forest Ave.—Location of proposed projecting sign and Building Code appeal relating thereto

Mr. Antonio V. Morabito  
1131 Forest Ave.  
Portland Sign Co.  
115 Middle St.

Gentlemen:

Building permit for a projecting sign for Forest Ave. Garage (Antonio V. Morabito, owner) at 1131 Forest Ave. is not issuable under the Building Code because the sign would be closer to the street line of Forest Ave. (inside edge of public sidewalk) than the front of a dwelling house or other habitation on the adjoining lot at about 1135 Forest Ave., contrary to Section 211c3 of the Building Code, it being understood that the proposed sign would be closer than 100 feet to this existing habitation.

The owner has indicated that he desires to seek a variance from the Board of Municipal Officers (Board of Appeals under the Building Code); so, there is enclosed an outline of the appeal procedure. If you desire consideration by the Board of Municipal Officers at the earliest possible date, it is important that the appeal be filed in the office of Corporation Counsel before the close of business on Friday, January 18.

Very truly yours,

Warren McDonald  
Inspector of Buildings

WMcD/B

Enclosure to each addressee: Outline of appeal procedure

*S/B*

WRITTEN CONSENT AND AGREEMENT RELATING TO A CERTAIN SIGN PROPOSED TO  
BE ERECTED PROJECTING OVER A PUBLIC SIDEWALK FROM THE PREMISES  
AT 1131 FOREST AVE IN PORTLAND, MAINE

Antonio V. Morabito, being the owner of the  
premises at 1131 FOREST AVE in Portland, Maine hereby gives  
consent to the erection of a certain sign owned by FOREST AVE GARAGE  
projecting over the public sidewalk from said premises as described in  
application to the Inspector of Buildings of Portland, Maine for a permit  
to cover erection of said sign;

And in consideration of the issuance of said permit ANTONIO  
MORABITO, owner of said premises, in event said sign shall  
cease to serve the purpose for which it was erected or shall become dangerous  
and in event the owner of said sign shall fail to remove said sign or make  
it permanently safe in case the sign still serves the purpose for which it  
was erected, hereby agrees for himself or itself, for his heirs, its  
successors, and his or its assigns, to completely remove said sign within  
ten days of notice from said Inspector of Buildings that said sign is in  
such condition and of order from him to remove it.

In Witness whereof the owner of said premises has signed this consent  
and agreement this 17 day of DEC 194

Thomas J. Korb  
Witness

Antonio V. Morabito  
Owner



(1) INDUSTRIAL ZONE  
APPLICATION FOR PERMIT TO ERECT  
SIGN OVER PUBLIC SIDEWALK OR STREET

PERMIT ISSUED  
00153  
FEB 7 1957  
CITY OF PORTLAND

Portland, Maine, Dec. 31, 19 56

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect the following described sign extending over a public sidewalk or street in accordance with the Building Code of the City of Portland, and the following specifications:

Location 1131 Forest Ave. Within Fire Limits? no Dist. No. \_\_\_\_\_

Owner of building to which sign is to be attached Antonio V. Korabito

Name and address of owner of sign Forest Ave. Garage, 1131 Forest Ave.

Contractor's name and address Portland Sign Co., 115 Middle St. Telephone 5-2592

When does contractor's bond expire? Dec. 31, 1956 1 year 2/4/57

Information Concerning Building

pole sign  
No. stories 1 Material of wall to which sign is to be attached XXXXXX

Details of Sign and Connections

CERTIFICATE OF COMPLIANCE  
REQUIREMENT IS MET

Building owner's consent and agreement filed with application yes

Electric? no Vertical dimension after erection 40" Horizontal 5'

Weight 60 lbs. Will there be any hollow spaces? no Any rigid frame? yes

Material of frame angle galvanized iron No. advertising faces 2 material galvanized iron

No. rigid connections 2 Are they fastened directly to frame of sign? yes

No. through bolts 4 Size 1/2" Location, top or bottom \_\_\_\_\_

No. guys 4 material cable Size 5/16"

Minimum clear height above sidewalk or street 10'6"

Maximum projection into street 5'6" Portland Sign Co. Fee \$ 2.00

Signature of contractor by: John E. Feeney

INSPECTION COPY

1/10/57 B.P. 1129 Forest Ave  
Mr. St. John of Cities Service  
called and said that they had  
given clearance for the M. D. White  
but that they were not  
interested in it.  
He will follow clear message  
which is letter to you.  
r/b



ESS 1/7/57

January 2, 1957

BT 54/1571—Projecting sign contrary to Building Code

Mr. Anthony Morabito  
1131 Forest Ave.  
Cities Service Oil Co.  
17 Main St.  
South Portland, Me.  
John Donnelly & Sons  
73 Main St.  
South Portland, Me.

Gentlemen:

On September 27, 1954, a permit was issued to John Donnelly & Sons to erect a projecting sign of Cities Service Co. at 1129 Forest Ave. It now turns out that that permit should not have been issued because the location of the sign was contrary to Section 211c3 of the Building Code in that the sign was proposed closer to the street line (inside edge of public sidewalk) of Forest Avenue than the front of a building used as a building on the adjoining lot at about 1129 Forest Ave.

This situation came to light while we were looking over a proposal to erect another projecting sign for Forest Ave. Garage Co. at 1131 Forest Ave. While our inspector was looking over the situation as regards the proposed sign at the property, he noticed that the actual sign erected under the permit in 1954 had been removed from the arm projecting from the vertical mast.

Under the circumstances this is notice to all concerned that the sign, being unlawful under the Building Code, is not to be erected again unless a permit therefor is again secured. Obviously such a permit could not now be issued since the location is contrary to the Building Law as far as we can see. If you have information which establishes that the above statement about non-compliance with the Building Code, is not true, please contact this office immediately.

In event the owner still wants the sign up, he has appeal rights which will be explained to him after the new permit has been applied for and upon his request to seek a variance from the Board of Municipal Officers (Board of Appeals under the Building Code)

Very truly yours,

WKC/D

Warren McDonald  
Inspector of Buildings

900430

Permit # \_\_\_\_\_ City of Portland **BUILDING PERMIT APPLICATION Fee \$10.** Zone \_\_\_\_\_ Map # \_\_\_\_\_ Lot # \_\_\_\_\_  
Please fill out any part which applies to job. Proper plans must accompany form.

Owner: Rebecca Rice Phone # 773-1814  
Address: 1129 Forest Ave.; Portland, ME 04101  
LOCATION OF CONSTRUCTION 1129 Forest Ave.  
Contractor: Clean Harbors Of Maine  
Address: 17 Main St; South Ptld, ME Phone # 799-8111  
Est. Construction Cost: 04106 Proposed Use: commercial  
# of Existing Res. Units \_\_\_\_\_ Past Use: same  
Building Dimensions L \_\_\_\_\_ W \_\_\_\_\_ Total Sq. Ft. \_\_\_\_\_  
# Stories: \_\_\_\_\_ # Bedrooms: \_\_\_\_\_ Lot Size: \_\_\_\_\_

Is Proposed Use: Seasonal \_\_\_\_\_ Condominium \_\_\_\_\_ Conversion \_\_\_\_\_  
Explain Conversion REMOVE three tanks- 2,000-gallon gasoline  
4,000-gallon gasoline  
4,000-gallon gasoline

## Foundation:

1. Type of Soil: \_\_\_\_\_
2. Set Backs - Front \_\_\_\_\_ Rear \_\_\_\_\_ Side(s) \_\_\_\_\_
3. Footings Size: \_\_\_\_\_
4. Foundation Size: \_\_\_\_\_
5. Other \_\_\_\_\_

## Floor:

1. Sills Size: \_\_\_\_\_ Sills must be anchored.
2. Girder Size: \_\_\_\_\_
3. Lally Column Spacing: \_\_\_\_\_ Size: \_\_\_\_\_
4. Joists Size: \_\_\_\_\_ Spacing 16" O.C.
5. Bridging Type: \_\_\_\_\_ Size: \_\_\_\_\_
6. Floor Sheathing Type: \_\_\_\_\_ Size: \_\_\_\_\_
7. Other Material: \_\_\_\_\_

## Exterior Walls:

1. Studding Size \_\_\_\_\_ Spacing \_\_\_\_\_
2. No. windows \_\_\_\_\_
3. No. Doors \_\_\_\_\_
4. Header Sizes \_\_\_\_\_
5. Bracing: Yes \_\_\_\_\_ No \_\_\_\_\_ Span(s) \_\_\_\_\_
6. Corner Posts Size \_\_\_\_\_
7. Insulation Type \_\_\_\_\_ Size \_\_\_\_\_
8. Sheathing Type \_\_\_\_\_ Size \_\_\_\_\_
9. Siding Type \_\_\_\_\_
10. Masonry Materials \_\_\_\_\_ Weather Exposure \_\_\_\_\_
11. Metal Materials \_\_\_\_\_

## Interior Walls:

1. Studding Size \_\_\_\_\_ Spacing \_\_\_\_\_
2. Header Sizes \_\_\_\_\_ Span(s) \_\_\_\_\_
3. Wall Covering Type \_\_\_\_\_
4. Fire Wall if required \_\_\_\_\_
5. Other Materials \_\_\_\_\_

**PERMIT ISSUED  
WITH LETTER**

[9] Arthur BWE

White-Tax Assesor

Yellow-GPCOG

White Tag -CEO

For Official Use Only		PERMIT ISSUED	
Date <u>5/21/90</u>	Subdivision:	Name	Lot
Inside Fire Limits _____			<u>MAY 25 1990</u>
Build Code _____		Ownership:	Public _____
Time Limit _____			<u>City Of Portland</u>
Estimated Cost _____			
Zoning: <u>B-2</u> Street Frontage Provided: _____ Provided Setbacks: Front _____ Back _____ Side _____ Side _____			
Review Required: _____			
Zoning Board Approval: Yes _____ No _____ Date: _____			
Planning Board Approval: Yes _____ No _____ Date: _____			
Conditional Use: _____ Variance _____ Site Plan _____ Subdivis- _____			
Shoreland Zoning Yes _____ No _____ Floodplain Yes _____ No _____			
Special Exception _____ (Explain) _____			
Other: <u>OK WDA-5-23-90</u>			

1. Ceiling Joists Size: \_\_\_\_\_
2. Ceiling Strapping Size \_\_\_\_\_ Spacing \_\_\_\_\_
3. Type Ceilings: \_\_\_\_\_
4. Insulation Type \_\_\_\_\_ Size \_\_\_\_\_
5. Ceiling Height: \_\_\_\_\_

## Roof:

1. Truss or Rafter Size \_\_\_\_\_ Span \_\_\_\_\_
2. Sheathing Type \_\_\_\_\_ Size \_\_\_\_\_
3. Roof Covering Type \_\_\_\_\_

## Chimneys:

- Type: \_\_\_\_\_ Number of Fire Places \_\_\_\_\_

## Heating:

- Type of Heat: \_\_\_\_\_

## Electrical:

- Service Entrance Size: \_\_\_\_\_ Smoke Detector Required Yes \_\_\_\_\_ No \_\_\_\_\_

## Plumbing:

1. Approval of soil test if required \_\_\_\_\_ Yes \_\_\_\_\_ No \_\_\_\_\_
2. No. of Tubs or Showers \_\_\_\_\_
3. No. of Flushes \_\_\_\_\_
4. No. of Lavatories \_\_\_\_\_
5. No. of Other Fixtures \_\_\_\_\_

## Swimming Pools:

1. Type: \_\_\_\_\_
2. Pool Size: \_\_\_\_\_ x \_\_\_\_\_ Square Footage \_\_\_\_\_
3. Must conform to National Electrical Code and State Law.

Permit Received By Louise E. ChaseSignature of Applicant Bill McCuskey Date 5/21/90Signature of GEO William J. Hannon Date 5-22-90

Inspection Dates \_\_\_\_\_

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DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK  
CITY OF PORTLAND

Please Read  
Application And  
Notes, If Any,  
Attached

BUILDING INSPECTION

No.

PERMIT

This is to certify that Goodfry, Rice/The Motor Works  
has permission to Make interior renovations  
AT 1129 Forest Ave

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application of the same in this department.

Apply to Public Works for street  
line and grade if nature of work  
requires such information.

Notification for inspection must be  
given and written permission pro-  
cured before the building or part  
thereof is moved or otherwise  
closed-in.

A certificate of occupancy must  
be procured by owner before this  
building or part thereof is occu-  
pied.

OTHER REQUIRED APPROVALS

Fire Dept. \_\_\_\_\_  
Health Dept. \_\_\_\_\_  
Appeal Board \_\_\_\_\_  
Other \_\_\_\_\_

Department Name

PENALTY FOR REMOVING THIS CARD

*Not approved - applicant  
never supplied sufficient*

Director - Building & Inspection Services  
*Walt 4/16/92*

Permit # \_\_\_\_\_ City of Portland BUILDING PERMIT APPLICATION Fee 25.00 Zone \_\_\_\_\_ Map # \_\_\_\_\_

Please fill out any part which applies to job. Proper plans must accompany form.

Owner Jeffrey Rice/The Motor Works Phone # 578-2275

Address 1129 Forest Ave

LOCATION OF CONSTRUCTION 1129 Forest Ave

Contractor \_\_\_\_\_ Sub: \_\_\_\_\_ Phone # Change of Use

Est. Construction Cost: \_\_\_\_\_ Proposed Use: Change of Use

# of Existing Res. Units \_\_\_\_\_ # of New Res. Units \_\_\_\_\_

Building Dimensions L \_\_\_\_\_ W \_\_\_\_\_ Total Sq. Ft. \_\_\_\_\_

# Stories: \_\_\_\_\_ # Bedrooms \_\_\_\_\_ Lot Size: \_\_\_\_\_

Is Proposed Use: Seasonal \_\_\_\_\_ Condominium \_\_\_\_\_ Conversion \_\_\_\_\_

Explain Conversion Make interior renovations to comb bid

Mail to: The Motor Works 1129 Forest Ave Portland, ME 04103

Foundation: \_\_\_\_\_

1. Type of Soil: \_\_\_\_\_

2. Set Backs - Front \_\_\_\_\_ Rear \_\_\_\_\_ Sides \_\_\_\_\_

3. Footings Size: \_\_\_\_\_

4. Foundation Size: \_\_\_\_\_

5. Other \_\_\_\_\_

Floor: \_\_\_\_\_

1. Sill Size: \_\_\_\_\_ Sills must be anchored.

2. Girder Size: \_\_\_\_\_

3. Lally Column Spacing: \_\_\_\_\_

4. Joist Size: \_\_\_\_\_

5. Bridging Type: \_\_\_\_\_

6. Floor Sheathing Type: \_\_\_\_\_

7. Other Material: \_\_\_\_\_

Exterior Walls: \_\_\_\_\_

1. Studding Size: \_\_\_\_\_ Spacing \_\_\_\_\_

2. No. windows \_\_\_\_\_

3. No. Doors \_\_\_\_\_

4. Header Sizes \_\_\_\_\_

5. Bracing: Yes \_\_\_\_\_ No \_\_\_\_\_

6. Corner Posts Size \_\_\_\_\_

7. Insulation Type \_\_\_\_\_

8. Sheathing Type \_\_\_\_\_

9. Siding Type \_\_\_\_\_

10. Masonry Material \_\_\_\_\_

11. Metal Materials \_\_\_\_\_

Interior Walls: \_\_\_\_\_

1. Studding Size \_\_\_\_\_ Spacing \_\_\_\_\_

2. Header Sizes \_\_\_\_\_

3. Wall Covering Type \_\_\_\_\_

4. Fire Wall if required \_\_\_\_\_

5. Other Materials \_\_\_\_\_

For Official Use Only

Date October 30, 1991

Inside Fire Limit \_\_\_\_\_

Blk Code \_\_\_\_\_

Time Limit \_\_\_\_\_

Estimated Cost \_\_\_\_\_

Street Frontage Provided: \_\_\_\_\_

Provided Setbacks: Front \_\_\_\_\_ Back \_\_\_\_\_ Side \_\_\_\_\_

Review Required: \_\_\_\_\_

Planning Board Approval: Yes \_\_\_\_\_ No \_\_\_\_\_

Conditional Use: Yes \_\_\_\_\_ No \_\_\_\_\_

Shoreland Zoning: Yes \_\_\_\_\_ No \_\_\_\_\_

Special Exception: Yes \_\_\_\_\_ No \_\_\_\_\_

Other (Explain): \_\_\_\_\_

1. Ceiling Joist Size: \_\_\_\_\_

2. Ceiling Strapping Size: \_\_\_\_\_

3. Type Ceiling: \_\_\_\_\_

4. Insulation Type: \_\_\_\_\_

5. Ceiling Height: \_\_\_\_\_

Roof: \_\_\_\_\_

1. Truss or Rafter Size: \_\_\_\_\_

2. Sheathing Type: \_\_\_\_\_

3. Roof Covering Type: \_\_\_\_\_

Chimney: \_\_\_\_\_

Heating: \_\_\_\_\_

Electrical: \_\_\_\_\_

Plumbing: \_\_\_\_\_

1. Approval of soil test if required \_\_\_\_\_

2. No. of Tubs or Showers \_\_\_\_\_

3. No. of Fixtures \_\_\_\_\_

4. No. of Lavatories \_\_\_\_\_

5. No. of Other Fixtures \_\_\_\_\_

Swimming Pools: \_\_\_\_\_

1. Type: \_\_\_\_\_

2. Pool: \_\_\_\_\_

3. Must conform to National Electrical Code and State Law.

Permit Received By Mary Greink

Signature of Applicant Jeffrey Rice Date Oct 30, 1991

City of Portland Building Department

CEOs District 11

CONTINUED TO REVERSE SIDE

White - Tax Assessor

Ivory - CEO

HISTORIC PRESERVATION

# PLOT PLAN

N

## FEES (Breakdown From Front)

Base Fee \$ \_\_\_\_\_  
 Subdivision Fee \$ \_\_\_\_\_  
 Site Plan Review Fee \$ \_\_\_\_\_  
 Other Fees \$ \_\_\_\_\_  
 (Explain) \_\_\_\_\_  
 Late Fee \$ \_\_\_\_\_

Type

Inspection Record

Date

## COMMENTS

## CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as has authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the code official or the code official's authorized representative shall have the authority to enter areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT *Robert M. Brown*

ADDRESS *1129 Forest Ave Portland*

PHONE NO. *878-2275*

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE

PHONE NO.

Permit # **923432** City of **Portland** BUILDING PERMIT APPLICATION Fee **51.20** Zone \_\_\_\_\_ Map # \_\_\_\_\_ Lot# \_\_\_\_\_  
Please fill out any part which applies to job. Proper plans must accompany form.

Owner: **Electric Motorworks** Phone # **878-2275 Chris**  
Address: **1129 Forest Ave Prid, ME 04103**  
LOCATION OF CONSTRUCTION **1129 Forest Ave**  
Contractor: \_\_\_\_\_ Sub: \_\_\_\_\_  
Address: \_\_\_\_\_ Phone # \_\_\_\_\_  
Est Construction Cost: \_\_\_\_\_ Proposed Use: \_\_\_\_\_  
Past Use: \_\_\_\_\_  
# of Existing Res. Units \_\_\_\_\_ # of New Res. Units \_\_\_\_\_  
Building Dimensions L \_\_\_\_\_ W \_\_\_\_\_ Total Sq. Ft. \_\_\_\_\_  
# Stories: \_\_\_\_\_ # Bedrooms \_\_\_\_\_ Lot Size: \_\_\_\_\_  
Is Proposed Use: Seasonal \_\_\_\_\_ Condominium \_\_\_\_\_ Conversion \_\_\_\_\_  
Explain Conversion **Erect 2 Signs 1-(10' X 3'6") 1-(24' X 4')**

For Official Use Only	
Date <b>January 9, 1992</b>	Subdivision: _____
Inside Fire Limits _____	Lot: <b>FB 13</b>
Bldg Code _____	Ownership: _____
Time Limit _____	City of <b>Portland</b>
Estimated Cost _____	

Zoning: **B-2**  
Side Frontage Provided: \_\_\_\_\_  
Provided Setbacks: Front \_\_\_\_\_ Back \_\_\_\_\_ Side \_\_\_\_\_  
Review Required: \_\_\_\_\_  
Zoning Board Approval: Yes \_\_\_\_\_ No \_\_\_\_\_ Date: \_\_\_\_\_  
Planning Board Approval: Yes \_\_\_\_\_ No \_\_\_\_\_ Date: \_\_\_\_\_  
Conditional Use: \_\_\_\_\_ Variance \_\_\_\_\_ Site Plan \_\_\_\_\_ Subdivision \_\_\_\_\_  
Shoreland Zoning: Yes \_\_\_\_\_ No \_\_\_\_\_ Floodplain: Yes \_\_\_\_\_ No \_\_\_\_\_  
Special Exceptions: \_\_\_\_\_  
Other: **(Explain) 2-19-92**

Foundation:  
1. Type of Soil: \_\_\_\_\_  
2. Set Backs - Front \_\_\_\_\_ Rear \_\_\_\_\_ Side(s) \_\_\_\_\_  
3. Footings Size: \_\_\_\_\_  
4. Foundation Size: \_\_\_\_\_  
5. Other \_\_\_\_\_

Floor:  
1. Sills Size: \_\_\_\_\_ Sills must be anchored.  
2. Girder Size: \_\_\_\_\_  
3. Lally Column Spacing: \_\_\_\_\_ Size: \_\_\_\_\_  
4. Joists Size: \_\_\_\_\_ Spacing **16" O.C.**  
5. Bridging Type: \_\_\_\_\_ Size: \_\_\_\_\_  
6. Floor Sheathing Type: \_\_\_\_\_ Size: \_\_\_\_\_  
7. Other Material: \_\_\_\_\_

Exterior Walls:  
1. Studding Size \_\_\_\_\_ Spacing \_\_\_\_\_  
2. No. windows \_\_\_\_\_  
3. No. Doors \_\_\_\_\_  
4. Header Sizes \_\_\_\_\_ Span(s) \_\_\_\_\_  
5. Bracing: Yes \_\_\_\_\_ No \_\_\_\_\_  
6. Corner Posts Size \_\_\_\_\_  
7. Insulation Type \_\_\_\_\_ Size \_\_\_\_\_  
8. Sheathing Type \_\_\_\_\_ Size \_\_\_\_\_  
9. Siding Type \_\_\_\_\_ Weather Exposure \_\_\_\_\_  
10. Masonry Materials \_\_\_\_\_  
11. Metal Materials \_\_\_\_\_

Interior Walls:  
1. Studding Size \_\_\_\_\_ Spacing \_\_\_\_\_  
2. Header Sizes \_\_\_\_\_ Span(s) \_\_\_\_\_  
3. Wall Covering Type \_\_\_\_\_  
4. Fire Wall if required \_\_\_\_\_  
5. Other Materials \_\_\_\_\_

White - Tax Assessor

Ceiling:  
1. Ceiling Joists Size \_\_\_\_\_ Spacing \_\_\_\_\_  
2. Ceiling Strapping Size \_\_\_\_\_  
3. Type Ceiling: \_\_\_\_\_  
4. Insulation Type \_\_\_\_\_ Size \_\_\_\_\_  
5. Ceiling Height: \_\_\_\_\_  
Roof:  
1. Truss or Rafter Size \_\_\_\_\_ Span \_\_\_\_\_  
2. Sheathing Type \_\_\_\_\_ Size \_\_\_\_\_  
3. Roof Covering Type \_\_\_\_\_  
Chimney:  
1. Type: \_\_\_\_\_ Number of Fire Places \_\_\_\_\_  
Heating:  
Type of Heat: \_\_\_\_\_  
Electrical:  
Service Entrance Size: \_\_\_\_\_ Smoke Detector Required Yes \_\_\_\_\_ No \_\_\_\_\_  
Plumbing:  
1. Approval of soil test if required \_\_\_\_\_ Yes \_\_\_\_\_ No \_\_\_\_\_  
2. No. of Tubs or Showers \_\_\_\_\_  
3. No. of Flushes \_\_\_\_\_  
4. No. of Lavatories \_\_\_\_\_  
5. No. of Other Fixtures \_\_\_\_\_  
Swimming Pools:  
1. Type: \_\_\_\_\_  
2. Pool Size: \_\_\_\_\_ x \_\_\_\_\_ Square Footage \_\_\_\_\_  
3. Must conform to National Electrical Code and State Law.

Permit Received By **Mary Gresik**  
Signature of Applicant **Christopher Bryan** Date **Jan 9, 1992**  
CEO's District **6**

CONTINUED TO REVERSE SIDE

Ivory Tag - CEO

**16** **MA BOWL**

92343

Permit # 92343 City of Portland BUILDING PERMIT APPLICATION Fee 51.20 Zone  Map #  Lot #

Please fill out any part which applies to job. Proper plans must accompany form.

Owner: Electric Motorworks Phone # 878-2275 Chris  
 Address: 1129 Forest Ave Pctd, MF 04103  
 LOCATION OF CONSTRUCTION 1129 Forest Ave  
 Contractor:  Sub:   
 Address:  Phone #   
 Est. Construction Cost:  Proposed Use:   
 Past Use:   
 # of Existing Res. Units:  # of New Res. Units:   
 Building Dimensions L  W  Total Sq. Ft.   
 # Stories:  # Bedrooms  Lot Size:   
 Is Proposed Use: Seasonal  Condominium  Conversion   
 Explain Conversion Erect 2 Signs 1-(10' X 31.6") 1-(24' X 4')

For Official Use Only  
 Date: January 9, 1992  
 Inside Fire Limits:   
 Bldg Code:   
 Time Limit:   
 Estimated Cost:   
 Ownership:   
 CITY OF PORTLAND  
 PERMIT ISSUED  
 FEB 19 1992

Zoning: B-2  
 Street Frontage Provided:   
 Provided Setbacks: Front  Back  Side   
 Review Required:   
 Zoning Board Approval: Yes  No  Date:   
 Planning Board Approval: Yes  No  Date:   
 Conditional Use:  Variance  Site Plan  Subdivision   
 Shoreland Zoning: Yes  No  Floodplain: Yes  No   
 Special Exception   
 Other (Explain) See 9-19-92

Ceiling

HISTORIC PRESERVATION

1. Ceiling Joists Size:  Spacing  Not in District or Landmark.  
 2. Ceiling Strapping Size:   
 3. Type Ceiling:   
 4. Insulation Type:  Size  Requires Review  
 5. Ceiling Height:

Roof

1. Truss or Rafter Size:  Span  Action Approved  
 2. Sheathing Type:  Size   
 3. Roof Covering Type:   
 Chimneys:  Number of Fire Places  Requires Review  
 Heating:  Type of Heat:

Electrical

Service Entrance Size:  Smoke Detector Required: Yes  No

Plumbing

1. Approval of soil test if required: Yes  No   
 2. No. of Tubs or Showers:   
 3. No. of Flushes:   
 4. No. of Lavatories:   
 5. No. of Other Fixtures:

Swimming Pools

1. Type:  Square Footage:   
 2. Pool Size:   
 3. Must conform to National Electrical Code and State Law.

Permit Received By Mary Greath

Signature of Applicant Christopher Ryan Date Jan 9, 1992

CEO's District RSK

CONTINUED TO REVERSE SIDE

Ivory Tag - CEO

16 MA 1992

White - Tax Assessor

Foundation:  
 1. Type of Soil:   
 2. Set Backs - Front  Rear  Side(s)   
 3. Footings Size:   
 4. Foundation Size:   
 5. Other   
 Floor:  
 1. Sills Size:  Sills must be anchored.  
 2. Girder Size:   
 3. Lally Column Spacing:  Size:  Spacing 16" O.C.  
 4. Joists Size:   
 5. Bridging Type:  Size:   
 6. Floor Sheathing Type:  Size:   
 7. Other Material:   
 Exterior Walls:  
 1. Studding Size:  Spacing   
 2. No. windows:   
 3. No. Doors:   
 4. Header Sizes:  Spacing   
 5. Bracing: Yes  No   
 6. Corner Posts Size:   
 7. Insulation Type:  Size:   
 8. Sheathing Type:  Size:  Weather Exposure   
 9. Siding Type:   
 10. Masonry Materials:   
 11. Metal Materials:   
 Interior Walls:  
 1. Studding Size:  Spacing   
 2. Header Sizes:  Spacing   
 3. Wall Covering Type:   
 4. Fire Wall if required:   
 5. Other Materials:



\* Styraxian Letters. Shaved to Concrete building

24'

ELECTRIC MOTORWORKS

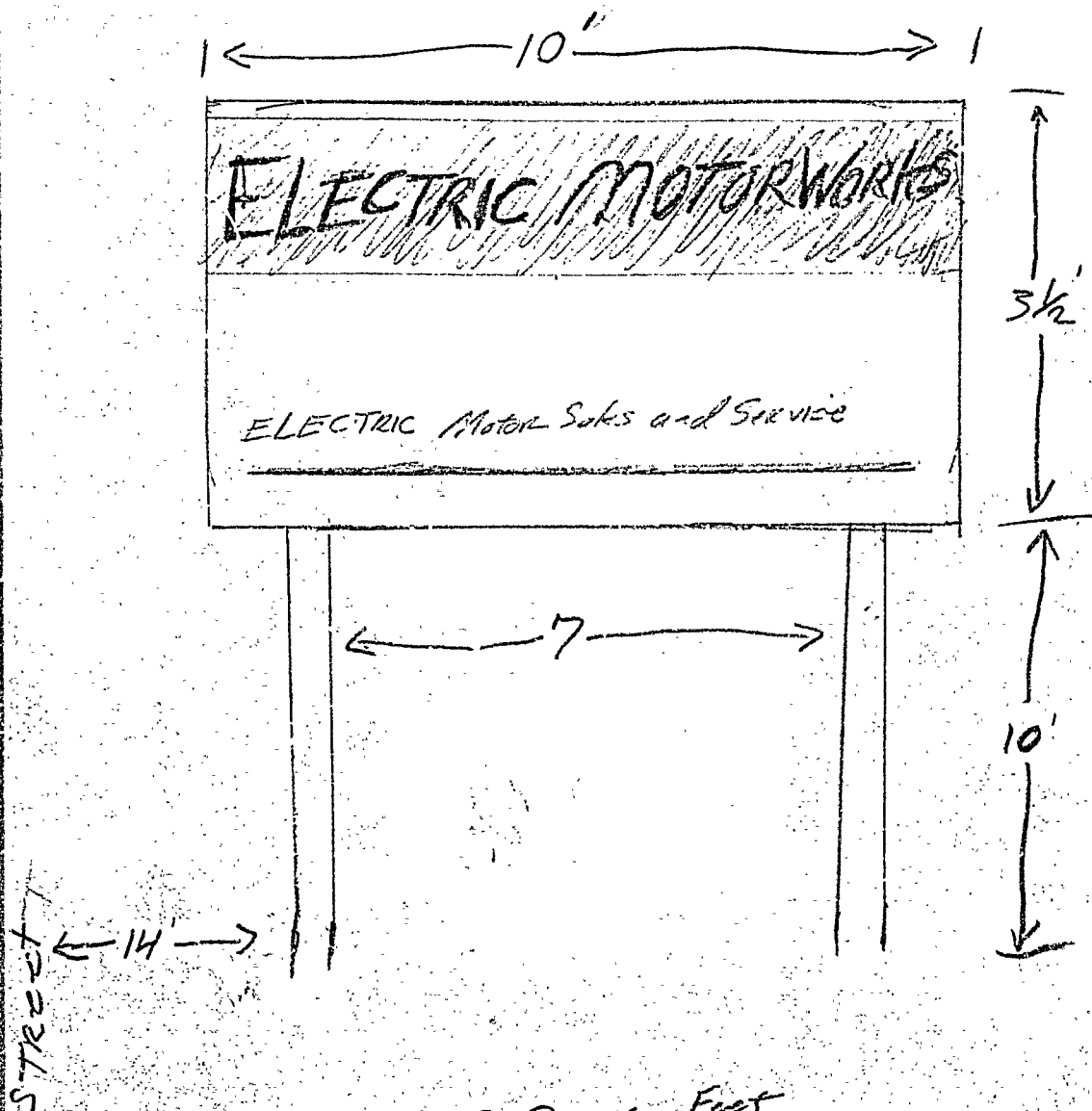
ELECTRIC MOTOR SALES + SERVICE

DOORS

Windows

Door

4'



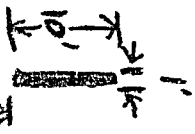
35 Square Feet

\* Sign is to be set in Existing posts that are (have been) there.

\* Wooden Sign Frame with Lexan Glass Sign Panels

LEEDS STREET

Road sign



96 Square Ft.  
Sign on Building

Electric Motor Works





WRITTEN CONSENT AND AGREEMENT RELATING TO A CERTAIN SIGN OR AWNING PROPOSED  
TO BE ERECTED ON A BUILDING AT 1129 FOREST AVE  
IN PORTLAND, MAINE \_\_\_\_\_ being the owner of the premises  
at 1129 Forest Ave in Portland, Maine hereby gives consent to the  
erection of a certain sign owned by \_\_\_\_\_ over the  
sidewalk or on the building from said premises as described in application  
to the Division of Inspection Services of Portland, Maine for a permit to  
cover the erection of said sign:

And in consideration of the issuance of said permit J,  
owner of said premises, in event said sign shall cease to serve the purpose  
for which it was erected or shall become dangerous and in event the owner of  
said sign shall fail to remove said sign or make it permanently safe in case  
the sign still serves the purpose for which it was erected, hereby agrees  
for himself or itself, for his heirs, its successors, and his or its  
assigns, to completely remove said sign in such condition and of order  
from him to remove it.

In Witness whereof, the owner of said premises has signed this consent and  
agreement this 9th day of January 1992.

Rebecca Rice

Owner's signature

Chadly B. B. B.

Lessee's signature

# Peerless Insurance

International Insurance North America  
Fire, Marine and Casualty Group

Declarations Page

RENEWAL OF POLICY CPP 4046164  
COMMERCIAL PACKAGE POLICY

01/21/91 TO 01/21/92

Policy number CPP 4046164	From 01/21/91	Policy period To 01/21/92	Coverage is provided in the PEERLESS INSURANCE COMPANY	Agency 8210213
Named insured and address THE MOTOR WORKS 157 BRIDGE STREET WESTBROOK, MAINE 04092			Producer TURNER BARKER INSURANCE 157 FOX STREET PORTLAND, ME 04101	

## COMMERCIAL GENERAL LIABILITY COVERAGE PART DECLARATIONS (PAGE 1)

### GENERAL LIABILITY COVERAGE FORM(S)

- CG0001 COMMERCIAL GENERAL LIABILITY COVERAGE FORM
- CG0002 COMMERCIAL GENERAL LIABILITY COVERAGE FORM (CLAIMS MADE)

### LIMITS OF INSURANCE

GEN'L AGGREGATE LIMIT (OTHER THAN PROD. - COMPLETED OPERATIONS) \$ 1,000,000

PRODUCTS - COMPLETED OPERATIONS AGGREGATE LIMIT \$ 1,000,000

PERSONAL & ADVERTISING INJURY LIMIT \$ 300,000

OC - OCCURRENCE LIMIT \$ 300,000

FIRE DAMAGE LIMIT (ANY ONE FIRE) \$ 50,000

MEDICAL EXPENSE LIMIT (ANY ONE PERSON) \$ 5,000

BI & PD \$ BI \$ FD \$

930242

Permit # \_\_\_\_\_ City of Portland BUILDING PERMIT APPLICATION Fee 34.60 Zone \_\_\_\_\_ Map # \_\_\_\_\_ Lot# \_\_\_\_\_  
Please fill out any part which applies to job. Proper plans must accompany form.

Owner: Susan's Fish & Chips Phone # 878-3240  
Address: 1133 Forest Ave- Ptld, ME 04103  
LOCATION OF CONSTRUCTION 1133 Forest Ave.  
Contractor: Rickwell Burr Sub: 761-3939  
Address: 184 Rea d St- Ptld, ME Phone # 04103  
Est. Construction Cost: \_\_\_\_\_ Proposed Use: restaurant w sign  
Past Use: restaurant  
# of Existing Res. Units \_\_\_\_\_ # of New Res. Units \_\_\_\_\_  
Building Dimensions L \_\_\_\_\_ W \_\_\_\_\_ Total Sq. Ft. \_\_\_\_\_  
# Stories: \_\_\_\_\_ # Bedrooms \_\_\_\_\_ Lot Size: \_\_\_\_\_  
Is Proposed Use: Seasonal \_\_\_\_\_ Condominium \_\_\_\_\_ Conversion \_\_\_\_\_  
Explain Conversion erect 2-sided sign - 6'x4'

For Official Use Only	
Date <u>4/1/93</u>	Subdivision: _____
Inside Fire Limits _____	Name <u>APR - 7 1993</u>
Bldg Code _____	Lot _____
Time Limit _____	Ownership: _____ Public _____ Private _____
Estimated Cost _____	

Zoning: \_\_\_\_\_  
Review Required: \_\_\_\_\_  
Street Frontage Provided: \_\_\_\_\_  
Provided Setbacks: Front \_\_\_\_\_ Back \_\_\_\_\_ Side \_\_\_\_\_ Side \_\_\_\_\_  
Zoning Board Approval: Yes \_\_\_\_\_ No \_\_\_\_\_ Date: \_\_\_\_\_  
Planning Board Approval: Yes \_\_\_\_\_ No \_\_\_\_\_ Date: \_\_\_\_\_  
Conditional Use: \_\_\_\_\_ Variance \_\_\_\_\_ Site Plan \_\_\_\_\_ Subdivision \_\_\_\_\_  
Shoreland Zoning Yes \_\_\_\_\_ No \_\_\_\_\_ Floodplain Yes \_\_\_\_\_ No \_\_\_\_\_  
Special Exception \_\_\_\_\_  
Other (Explain) 4-7-93

## Foundations:

1. Type of Soil: \_\_\_\_\_
2. Set Backs - Front \_\_\_\_\_ Rear \_\_\_\_\_ Side(s) \_\_\_\_\_
3. Footings Size: \_\_\_\_\_
4. Foundation Size: \_\_\_\_\_
5. Other \_\_\_\_\_

## Floor:

1. Sills Size: \_\_\_\_\_ Sills must be anchored.
2. Girder Size: \_\_\_\_\_
3. Lally Column Spacing: \_\_\_\_\_ Size: \_\_\_\_\_
4. Joists Size: \_\_\_\_\_ Spacing 16" O.C.
5. Bridging Type: \_\_\_\_\_ Size: \_\_\_\_\_
6. Floor Sheathing Type: \_\_\_\_\_ Size: \_\_\_\_\_
7. Other Material: \_\_\_\_\_

## Exterior Walls:

1. Studding Size \_\_\_\_\_ Spacing \_\_\_\_\_
2. No. windows \_\_\_\_\_
3. No. Doors \_\_\_\_\_
4. Header Sizes \_\_\_\_\_ Span(s) \_\_\_\_\_
5. Bracing: Yes \_\_\_\_\_ No \_\_\_\_\_
6. Corner Posts Size \_\_\_\_\_
7. Insulation Type \_\_\_\_\_ Size \_\_\_\_\_
8. Sheathing Type \_\_\_\_\_ Size \_\_\_\_\_
9. Siding Type \_\_\_\_\_ Weather Exposure \_\_\_\_\_
10. Masonry Materials \_\_\_\_\_
11. Metal Materials \_\_\_\_\_

## Interior Walls:

1. Studding Size \_\_\_\_\_ Spacing \_\_\_\_\_
2. Header Sizes \_\_\_\_\_ Span(s) \_\_\_\_\_
3. Wall Covering Type \_\_\_\_\_
4. Fire Wall if required \_\_\_\_\_
5. Other Materials \_\_\_\_\_

## Ceiling:

1. Ceiling Joists Size: \_\_\_\_\_
2. Ceiling Strapping Size \_\_\_\_\_ Spacing \_\_\_\_\_
3. Type Ceilings: \_\_\_\_\_
4. Insulation Type \_\_\_\_\_ Size \_\_\_\_\_
5. Ceiling Height: \_\_\_\_\_

## Roof:

1. Truss or Rafter Size \_\_\_\_\_ Span \_\_\_\_\_ Action: Approved
2. Sheathing Type \_\_\_\_\_ Size \_\_\_\_\_
3. Roof Covering Type \_\_\_\_\_

## Chimneys:

1. Type: \_\_\_\_\_ Number of Fire Places \_\_\_\_\_

## Heating:

1. Type of Heat: \_\_\_\_\_

## Electrical:

1. Service Entrance Size: \_\_\_\_\_ Smoke Detector Required Yes \_\_\_\_\_ No \_\_\_\_\_

## Plumbing:

1. Approval of soil test if required Yes \_\_\_\_\_ No \_\_\_\_\_
2. No. of Tubs or Showers \_\_\_\_\_
3. No. of Flushes \_\_\_\_\_
4. No. of Lavatories \_\_\_\_\_
5. No. of Other Fixtures \_\_\_\_\_

## Swimming Pools:

1. Type: \_\_\_\_\_
2. Pool Size: \_\_\_\_\_ x \_\_\_\_\_ Square Footage \_\_\_\_\_

Must conform to National Electrical Code and State Law.

Louise E. Chase

Received By \_\_\_\_\_

Signature of Applicant \_\_\_\_\_ Date 4/1/93

Signature of CEO \_\_\_\_\_ Date \_\_\_\_\_

Inspection Dates \_\_\_\_\_

White-Tax Assessor

Yellow-GPCOG

White Tag -CEO

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MA. ROWE.

930242

Permit # 930242 City of Portland BUILDING PERMIT APPLICATION Fee 34.60 Zone            Map #            Lot#           

Please fill out any part which applies to job. Proper plans must accompany form.

Owner: Susan's Fish & Chips Phone # 378-3240  
Address: 1133 Forest Ave- Ptd, ME 04103  
LOCATION OF CONSTRUCTION 1133 Forest Ave.  
Contractor: Rockwell Burr Sub: 761-3939  
Address: 184 Reed St- Ptd, ME Phone # 04003  
Est. Construction Cost:            Proposed Use: restaurant w sign  
Past Use: restaurant  
# of Existing Res. Units            # of New Res. Units             
Building Dimensions: L            W            Total Sq. Ft.             
# Stories:            # Bedrooms            Lot Size:             
Is Proposed Use: Seasonal            Condominium            Conversion             
Explain Conversion erect 2-sided sign - 6'x4'

For Official Use Only	
Date <u>4/1/93</u>	Subdivision: <u>APR - 7 1993</u>
Inside Fire Limits <u>          </u>	Name <u>          </u>
Bldg Code <u>          </u>	Lot <u>          </u>
Time Limit <u>          </u>	Ownership: <u>          </u> Public <u>          </u> Private <u>          </u>
Estimated Cost <u>          </u>	

Zoning: Street Frontage Provided:             
Provided Setbacks: Front            Back            Side            Side             
Review Required: Zoning Board Approval: Yes            No            Date:             
Planning Board Approval: Yes            No            Date:             
Conditional Use:            Variance            Site Plan            Subdivision             
Shoreland Zoning Yes            No            Floodplain: Yes            No             
Special Exception             
Other            (Explain)           

Foundation:  
1. Type of Soil:             
2. Set Backs - Front            Rear            Side(s)             
3. Footings Size:             
4. Foundation Size:             
5. Other           

Floor:  
1. Sills Size:            Sills must be anchored.  
2. Girder Size:             
3. Lally Column Spacing:            Size:             
4. Joists Size:            Spacing 16" O.C.  
5. Bridging Type:            Size:             
6. Floor Sheathing Type:            Size:             
7. Other Material           

Exterior Walls:  
1. Studding Size            Spacing             
2. No. windows             
3. No. Doors             
4. Header Sizes            Span(s)             
5. Bracing: Yes            No             
6. Corner Posts Size             
7. Insulation Type            Size             
8. Sheathing Type            Size             
9. Siding Type            Weather Exposure             
10. Masonry Materials             
11. Metal Materials           

Interior Walls:  
1. Studding Size            Spacing             
2. Header Sizes            Span(s)             
3. Wall Covering Type             
4. Fire Wall if required             
5. Other Materials           

Ceiling:  
1. Ceiling Joists Size:            Not in District nor landmark.  
2. Ceiling Strapping Size            Spacing            Does not require review.  
3. Type Ceiling             
4. Insulation Type            Size            Requires Review  
5. Ceiling Height:           

Roof:  
1. Truss or Rafter Size            Span            Action:             
2. Sheathing Type            Size            Approved with conditions  
3. Roof Covering Type            Date: 4/1/93  
Chimneys: Type:            Number of Fire Places            Signature:           

Heating: Type of Heat:           

Electrical: Service Entrance Size:            Smoke Detector Required Yes            No           

Plumbing:  
1. Approval of soil test if required            Yes            No             
2. No. of Tubs or Showers             
3. No. of Flushes             
4. No. of Lavatories             
5. No. of Other Fixtures           

Swimming Pools:  
1. Type:             
2. Pool Size:            x            Square Footage             
3. Must conform to National Electrical Code and State Law.

Permit Received By            Signature of Applicant            Date 4/1/93

Signature of CEO            Date           

Inspection Dates           

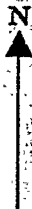
White-Tax Assessor

Yellow-GPCOG

White Tag - CEO

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VI. PLAN



FEES (Breakdown From Front)  
Base Fee \$ 34.60  
Subdivision Fee \$ \_\_\_\_\_  
Site Plan Review Fee \$ \_\_\_\_\_  
Other Fees \$ \_\_\_\_\_  
(Explain) \_\_\_\_\_  
Late Fee \$ \_\_\_\_\_

Inspection Record	
Type	Date
<u>A. Cur</u>	<u>9 19 93</u>
<u>Drop</u>	<u>1 1</u>
	<u>1 1</u>
	<u>1 1</u>
	<u>1 1</u>

COMMENTS

Signature of Applicant

Leigh R. Curran Rockwell/Berr

Date

4/1/93





## CITY OF PORTLAND

DEPARTMENT OF PLANNING & URBAN DEVELOPMENT  
INSPECTION SERVICES DIVISION

April 7, 1993

RE: 1133 Forest Ave., Portland, ME

Rockwell Burr  
184 Read St.  
Portland, ME 04103

Dear Sir:

Your application to erect a two-sided sign 6' X 4' has been reviewed and a permit is herewith issued subject to the following requirement:

Total signage must not exceed four square feet for each foot of building frontage.

If you have any questions regarding this requirement, please do not hesitate to contact this office.

Sincerely,

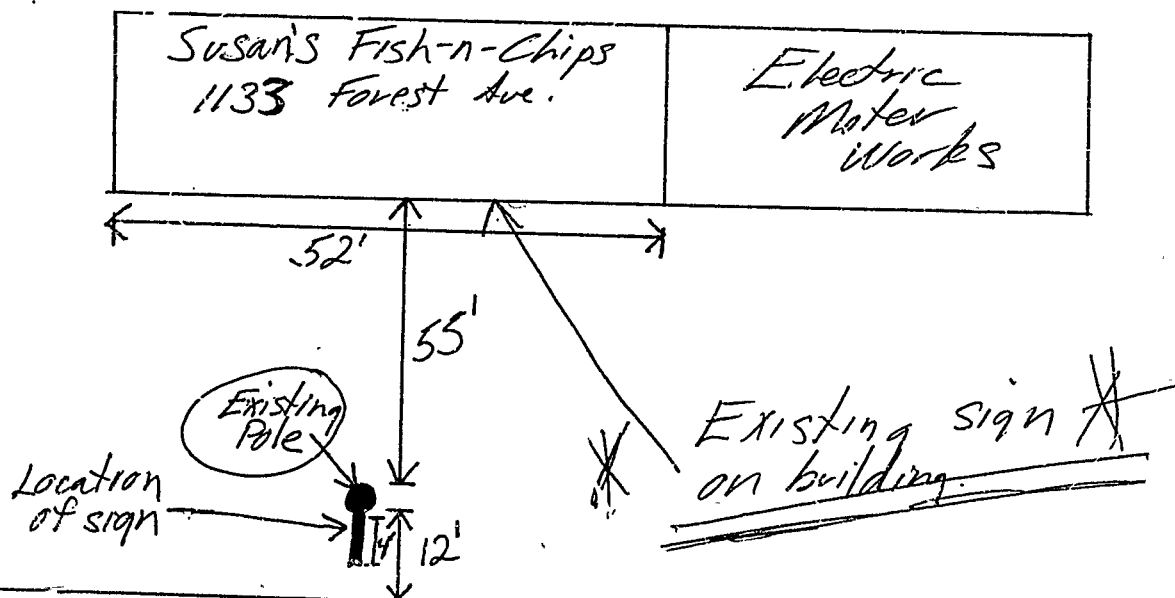
P. Samuel Hoffses  
Chief of Inspection Services

/el

cc: Mr. William Giroux, Zoning Administrator

rockwell burr

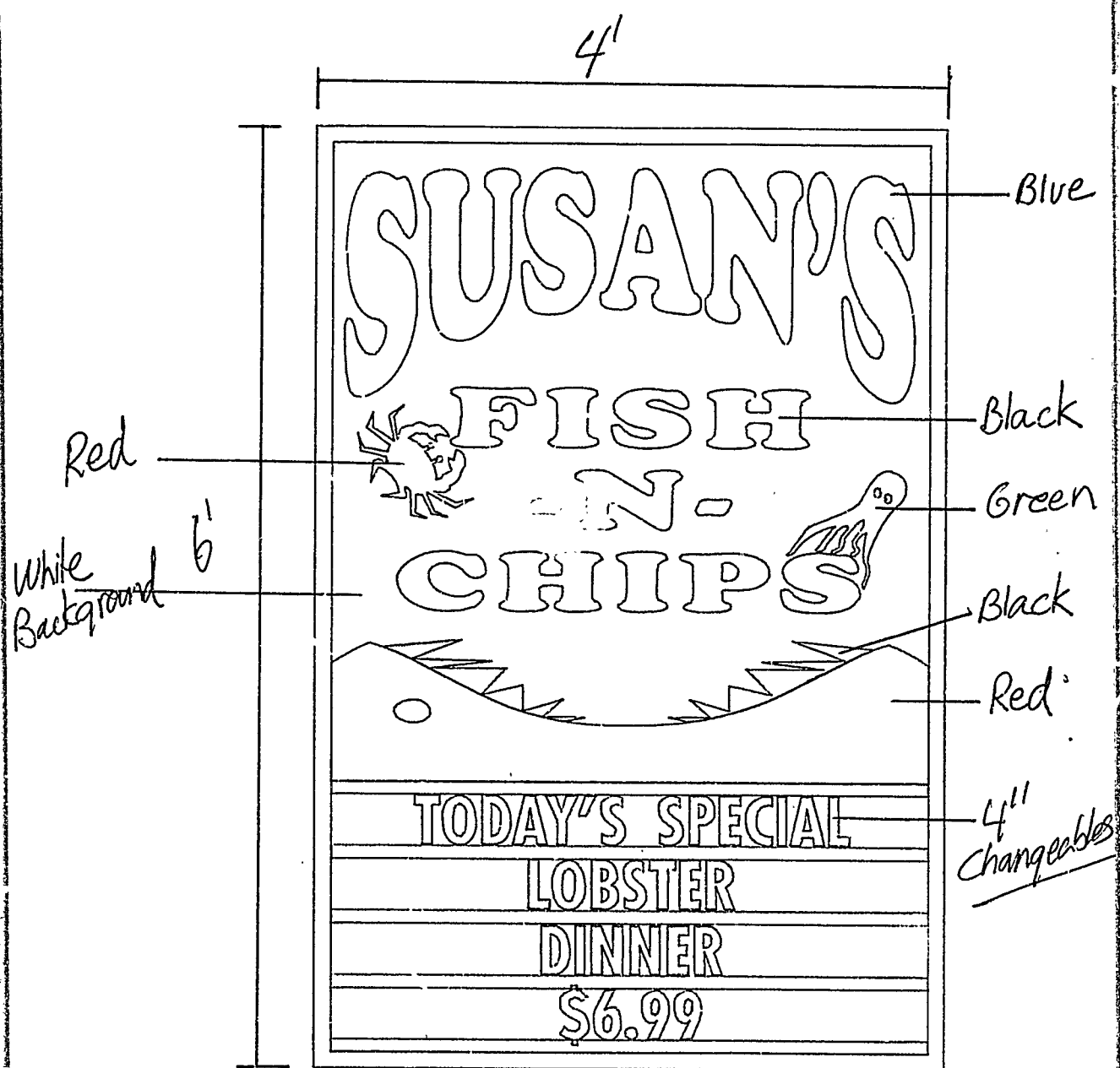
PLOT PLAN - 1133 Forest Ave.



Forest Ave.

Dimensions - 6'x4'  
Total Sq. Ft. - 48'

184 Read St.  
Portland, ME 04103  
(207) 761-3939



Total Sq. Footage - 48'  
1133 Forest Ave.





WRITTEN CONSENT AND AGREEMENT RELATING TO A CERTAIN SIGN OR AWNING PROPOSED  
TO BE ERECTED ON A BUILDING AT 1133 Forest Ave Susan Fish n' Chip  
IN PORTLAND, MAINE, A. J. TRUST being the owner of the premises  
at 1133 Forest Ave in Portland, Maine hereby gives consent to the  
erection of a certain sign owned by Susan Eklund over the  
sidewalk or on the building from said premises as described in application  
to the Division of Inspection Services of Portland, Maine for a permit to  
cover the erection of said sign: 34

And in consideration of the issuance of said permit A. J. TRUST,  
owner of said premises, in event said sign shall cease to serve the purpose  
for which it was erected or shall become dangerous and in event the owner of  
said sign shall fail to remove said sign or make it permanently safe in case  
the sign still serves the purpose for which it was erected, hereby agrees  
for himself or itself, for his heirs, its successors, and his or its  
assigns, to completely remove said sign is in such condition and of order  
from him to remove it.

In Witness whereof, the owner of said premises has signed this consent and  
agreement this 26th day of MARCH 19 93.

A. J. TRUST  
BY: Brig. 1st TRUSTEE  
655 CONGRESS STREET  
owner's signature  
Room 206  
PORTLAND, ME 04101

Susan Eklund  
Lessee's signature

**CERTIFICATE OF INSURANCE**

03/31/93

PRODUCER  
Pratt Insurance Agency  
One Post Office Sq. PO Box 439  
Westbrook, ME  
04098-  
PHONE 207-854-9745

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

**COMPANIES AFFORDING COVERAGE**

INSURED

Susan's Fish & Chips  
1135 Forest Ave.  
Portland, ME  
04103

COMPANY LETTER A North East Insurance Co

COMPANY LETTER B

COMPANY LETTER C

COMPANY LETTER D

COMPANY LETTER E

COVERAGES <===== >  
THIS IS TO CERTIFY THAT POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL TERMS, EXCLUSIONS, AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

CUI LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFF DATE	POLICY EXP DATE	ALL LIMITS IN THOUSANDS	
	<b>GENERAL LIABILITY</b>				GENERAL AGGREGATE	600
X	<input type="checkbox"/> COMMERCIAL GEN LIABILITY	CPP 2239	08/27/92	08/27/93	PRODS-CORP/OPS AGG.	600
	<input type="checkbox"/> <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCC.				PERS. & ADVG. INJURY	300
	<input type="checkbox"/> OWNER'S & CONTRACTORS PROTECTIVE				EACH OCCURRENCE	300
	<input type="checkbox"/>				FIRE DAMAGE (ANY ONE FIRE)	50
	<input type="checkbox"/>				MEDICAL EXPENSE (ANY ONE PERSON)	5
	<b>AUTOMOBILE LIAB</b>				CSL	
	<input type="checkbox"/> ANY AUTO				BODILY INJURY (PER PERSON)	
	<input type="checkbox"/> ALL OWNED AUTOS				BODILY INJURY (PER ACCIDENT)	
	<input type="checkbox"/> SCHEDULED AUTOS				PROPERTY	
	<input type="checkbox"/> HIRED AUTOS					
	<input type="checkbox"/> NON-OWNED AUTOS					
	<input type="checkbox"/> GARAGE LIABILITY					
	<input type="checkbox"/>					
	<b>EXCESS LIABILITY</b>				EACH OCC	AGGREGATE
	<input type="checkbox"/> UMBRELLA FORM					
	<input type="checkbox"/> OTHER THAN UMBRELLA FORM					
	<b>WORKERS' COMP AND EMPLOYERS' LIAB</b>				STATUTORY	EACH ACC DISEASE-POLICY LIMIT DISEASE-EACH EMPLOYEE
	<b>OTHER</b>					

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/SPECIAL ITEMS

> CERTIFICATE HOLDER <===== >  
ROCKWELL BURR  
184 REED STREET  
PORTLAND, ME 04103

> CANCELLATION <===== >  
= SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES.

ACORD 25-6 (3/88)

= AUTHORIZED REPRESENTATIVE

*Quincy Brown*