

PRINTING CO., PORTLAND

(COPY)

CITY OF PORTLAND, MAINE  
Department of Building Inspection



## Certificate of Occupancy

LOCATION 1231 Forest Ave.

Date of Issue January 28, 1958

Issued to Antonio Morabito

This is to certify that the building, premises, or part thereof, at the above location, tilt-altered  
—char ged as to use under Building Permit No. 57/1250, has had final inspection, has been found to conform  
substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for  
occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES  
Entire

APPROVED OCCUPANCY  
Kepalf Garage

Limiting Conditions:

This certificate supersedes  
certificate issued

Approved:

*Carl Smith*

Inspector

(Date)

*W. A. Smithfield*

Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from  
owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

December 11, 1957

BP- 57/1280-1131 Forest Avenue

Mr. Antonio Morabito  
243 Conant Street

Dear Mr. Morabito:

Amendment #2 covering construction of an outside masonry chimney on rear of repair garage at the above named location is issued herewith subject to the following conditions:

1. Chimney walls are to be constructed either of concrete brick or of the approximate size of the common clay brick or of chimney block units. The use of 8 inch hollow concrete blocks or of solid concrete blocks 4 inches thick and 8 inches high is not permissible.
2. If existing walls of building are to be used as chimney walls, new masonry is required to be toothed into the old.
3. If separate walls are used, chimney is required to be tied or anchored to the building at intervals of not over ten feet.
4. A cast iron cleanout door is required at the bottom of the flue.

Very truly yours,

AJ:MS

Albert J. Sears  
Deputy Inspector of Buildings



## APPLICATION FOR AMENDMENT TO PERMIT

Amendment No. #2

Portland, Maine, December 10, 1957

DEC 11 1957

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for amendment to Permit No. .... pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 1131 Forest Ave. Within Fire Limits? .... Dist. No. ....  
Owner's name and address Antonio Morabito, 243 Conant St., Westbrook Telephone ....  
Lessee's name and address Telephone ....  
Contractor's name and address OWNER Telephone ....  
Architect .... Plans filed .... No. of sheets ....  
Proposed use of building Repair Garage, Office and Storage No. families ....  
Last use .... No. families ....  
Increased cost of work 100. Additional fee .... 50.

### Description of Proposed Work

solid  
To erect/concrete block outside chimney (rear of building)  
12x12 flue ~~1 inch 8" 16"~~

Permit Issued with Letter

### Details of New Work or owner

Is any plumbing involved in this work? .... Is any electrical work involved in this work? ....  
Height average grade to top of plate .... Height average grade to highest point of roof ....  
Size, front .... depth .... No. stories .... solid or filled land? .... earth or rock? ....  
Material of foundation concrete at least 4' below grade Thickness, top .... bottom .... cellar ....  
Material of underpinning .... Height .... Thickness ....  
Kind of roof .... Rise per foot .... Roof covering ....  
No. of chimneys 1. Material of chimneys concrete block .... of lining tile ....  
Framing lumber—Kind .... Dressed or full size? ....  
Corner posts .... Sills .... Girt or ledger board? .... Size ....  
Girders .... Size .... Columns under girders .... Size .... Max. on centers ....  
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.  
Joists and rafters: 1st floor .... 2nd .... 3rd .... roof ....  
On centers: 1st floor .... 2nd .... 3rd .... roof ....  
Maximum span: 1st floor .... 2nd .... 3rd .... roof ....

Approved: *Albert J. Sears*

Signature of Owner

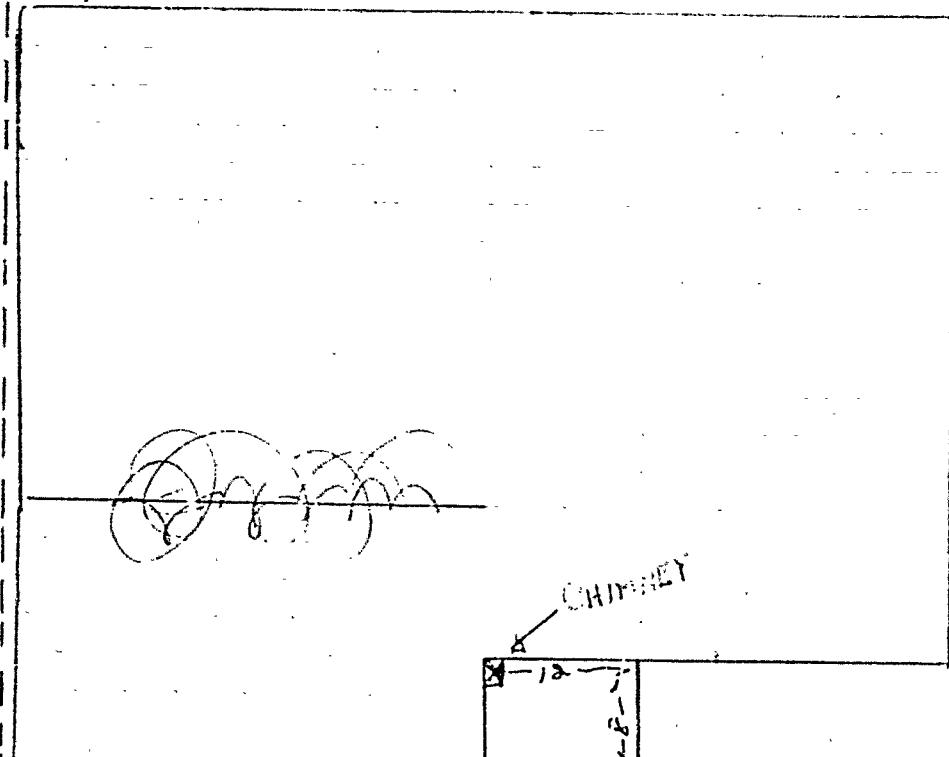
*Albert J. Sears*

Inspector of Buildings

INSPECTION COPY

CS-103

1131 - Forest Ave -



45 FT

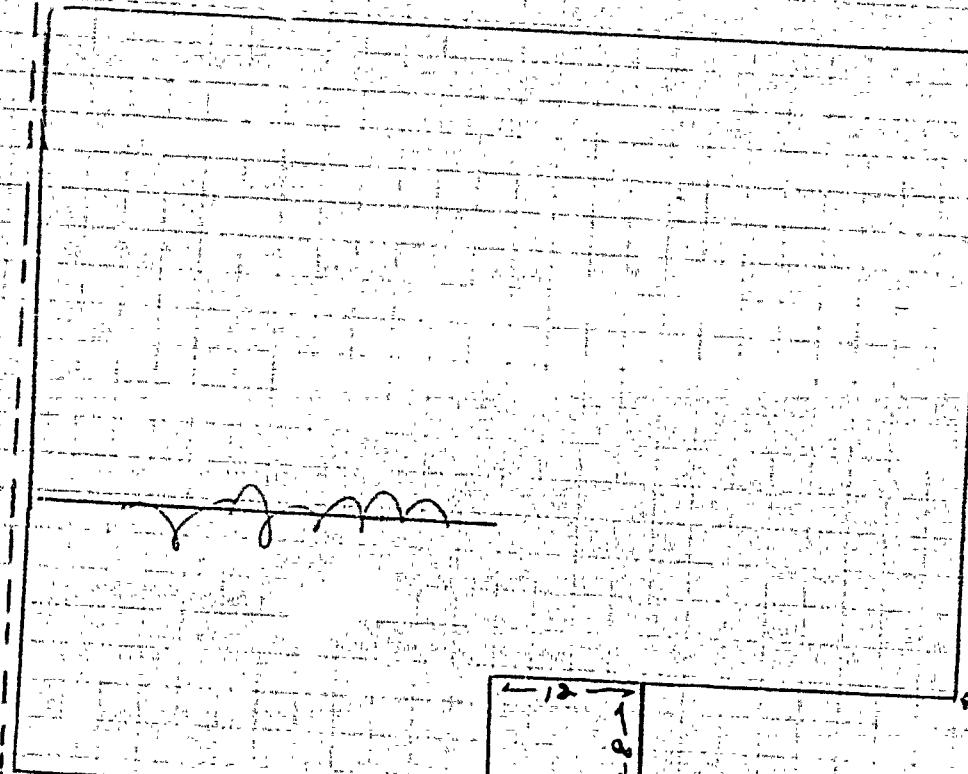
RECEIVED

NOV 24 1967  
DEPT. OF CITY INSPECTION  
CITY OF NEW YORK

Antonio V. Morabito

Forest-Ave

1131



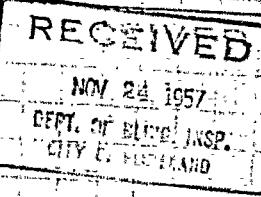
1138

12 18

1

300'

45 FT



Antonio V. Morabito

Memorandum from Department of Building Inspection, Portland, Maine

BP - 57/1280-1131 Forest Avenue

Subject: Permit amendment to owner-Antonio Morabito, 243 Conant St.,  
Westbrook, for work at above address.

Permit amendment covering excavation and construction of addition  
eight feet by 12 feet on rear of garage at above named location is  
issued herewith. It shall be noted that before any work on superstructure  
is started it is necessary that another amendment be secured and that with  
application therefore there be filed a plan showing height and thickness  
of walls and framing of roof.

Concrete footing for support of concrete block foundation wall is  
required to be no less than eight inches in thickness instead of the  
four inches indicated. On the basis of the eight inch foundation wall  
indicated, height of superstructure walls from grade to underside of  
roof framing cannot exceed 12 feet.

AJS:m

CS-27

(Signed) Warren McDonald✓  
Inspector of Buildings



1-2 AND 1-3 BREAK ZONE  
APPLICATION FOR AMENDMENT TO PERMIT

Amendment No. #1  
Portland, Maine, Nov. 25, 1957.

PERMIT ISSUED

NOV 26 1957

CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for amendment to Permit No. 57/1280 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 1131 Forest Ave. Within Fire Limits? No Dist. No. ....  
Owner's name and address Antonio Morabito, 243 Conant St., Westbrook, Me. Telephone .....  
Lessee's name and address ..... Telephone .....  
Contractor's name and address own? Telephone 2-2628  
Architect ..... Plans filed ..... No. of sheets .....  
Proposed use of building Repair Garage, Office and Storage Boiler room No. families .....  
Last use " " No. families .....  
Increased cost of work Additional fee 1.00

Description of Proposed Work

To excavate and construct concrete foundation only for 1-story addition 8' x 12' for boiler room.

12/1/57 This work not to be done. - QJ

Permit Issued with Memo

Permit Issued with Memo

Details of New Work Permit to owner.

Is any plumbing involved in this work? ..... Is any electrical work involved in this work? .....  
Height average grade to top of plate ..... Height average grade to highest point of roof .....  
Size, front ..... depth ..... No. stories ..... solid or filled land? ..... earth or rock? .....  
Material of foundation concrete block at least 4" below grade ..... thickness, top 8" bottom 8" cellar no .....  
Material of underpinning with footing 16" thick ..... Height ..... Thickness .....  
FARM-N-TREE SENT 11/6/57  
Kind of roof ..... Rise per foot ..... Roof covering .....  
No. of chimneys ..... Material of chimneys ..... of lining .....  
Framing lumber—Kind ..... Dressed or full size? .....  
Corner posts ..... Sills ..... Girt or ledger board? ..... Size .....  
Girders ..... Size ..... Columns under girders ..... Size ..... Max. on centers .....  
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.  
Joists and rafters: 1st floor ..... 2nd ..... 3rd ..... roof .....  
On centers: 1st floor ..... 2nd ..... 3rd ..... roof .....  
Maximum span: 1st floor ..... 2nd ..... 3rd ..... roof .....  
Approved: *Albert J. Searle* Antonio Morabito  
Signature of Owner by: *Antonio Morabito*  
Permit Issued with Memo

Approved: 11/16/57 *W.M.* Inspector of Buildings F.M.

INSPECTION COPY

CS-195

August 20, 1957

AP 1125-1153 Forest Avenue

Mr. Antonio Morabito  
243 Conant Street  
Westbrook, Maine

Copy to Mr. Morabito for plan maker

Dear Mr. Morabito:-

Your appeal under the Zoning Ordinance having been sustained, we have checked plan filed with application for permit for construction of a one-story addition on side of your repair garage at the above named location against Building Code requirements and found variances from and questions as to compliance therewith as listed below. Before a permit can be issued it is necessary that revised plans indicating compliance with requirements be furnished for checking and approval. Details in question are as follows:

1. Wherever walls are to be closer than five feet to lot lines, parapets extending at least 32 inches above the surface of the roof of are required. - See Section 204-b-1. *OK except Typ. wall See Skill Show 3 corner of S" block*
2. Are there to be any pits in floor of addition? If so details of their construction and ventilation need to be indicated. - See Sections 204-d-2 & f-1. *None OK*
3. Are there to be any forges, vulcanizing or paint spraying operations carried on in addition? If so protection as indicated by Section 204-f-3 needs to be indicated. *None OK*
4. How is addition to be heated? - See Sections 204-f-4 and h-2 & 3. *OK*
5. Are there to be any floor drains in building? If so, a grease and oil separator as specified by Section 204-i-1 needs to be provided. *None OK*
6. How is required anchorage of roof framing to masonry walls at intervals of not over 8 feet to be provided where long span joists run parallel to walls? *OK*
7. What is type of bridging to be? *OK*
8. A statement of design (blank copy enclosed) signed by person designing lintels and long span joists needs to be affixed to the plans. *OK*
9. Layout of office partitions needs to be shown. Use of combustible materials in construction of partitions is not permissible in a building of Non-Combustible Construction such as this. *OK*

Very truly yours,

AJS/G

Deputy Inspector of Buildings

July 10, 1957

AP 1125-1133 Forest Avenue

Mr. Antonio Morabito  
243 Conant Street  
Westbrook, Maine

Copy to Corporation Counsel

Dear Mr. Morabito:-

We are unable to issue a permit for construction of a one story concrete block addition 44 feet by 54 feet to side of repair garage at 1125-1133 Forest Avenue for the following reasons:-

1. The addition would constitute an increase in volume of the repair garage use, which is non-conforming in the I-2 Industrial Zone in which the property is located, with an increase in volume being forbidden by Section 16 of the Zoning Ordinance. *now allowable*
2. The addition is proposed only two feet from the rear lot line and practically on the side lot line instead of yards equal to the height of the building, or 18 feet, being provided in each case as specified by Section 12-C-1 and C-4 of the Ordinance. *afforded*

We understand that you would like to exercise your appeal rights concerning these discrepancies. Accordingly we are enclosing an outline of the appeal procedure and are certifying the case to the Corporation Counsel, who serves as secretary for the Board of Appeals.

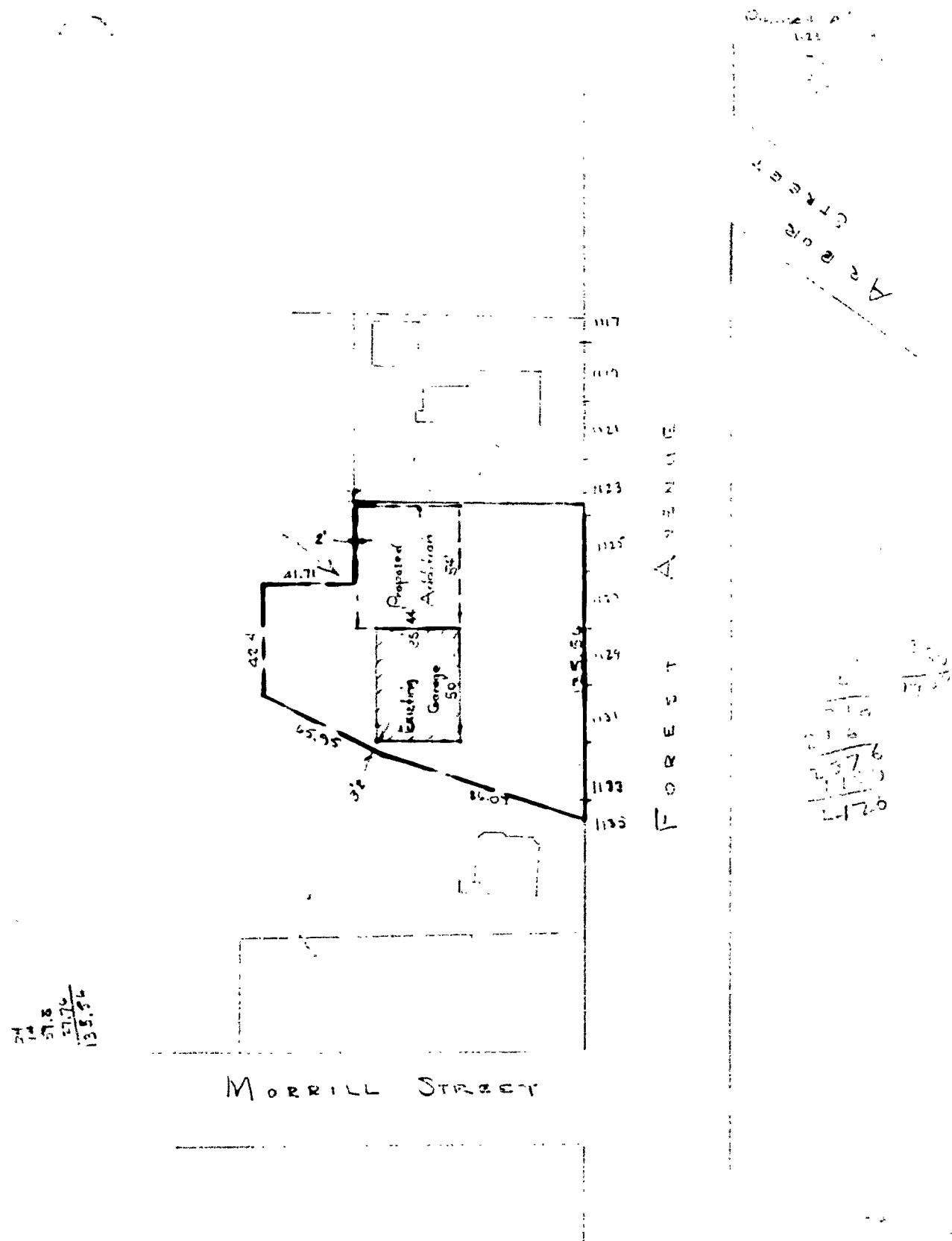
No attempt will be made to check the plans against Building Code requirements until outcome of appeal is known. However, a hasty glance at them indicates that more information than that shown thereon will probably be needed before a permit can be issued.

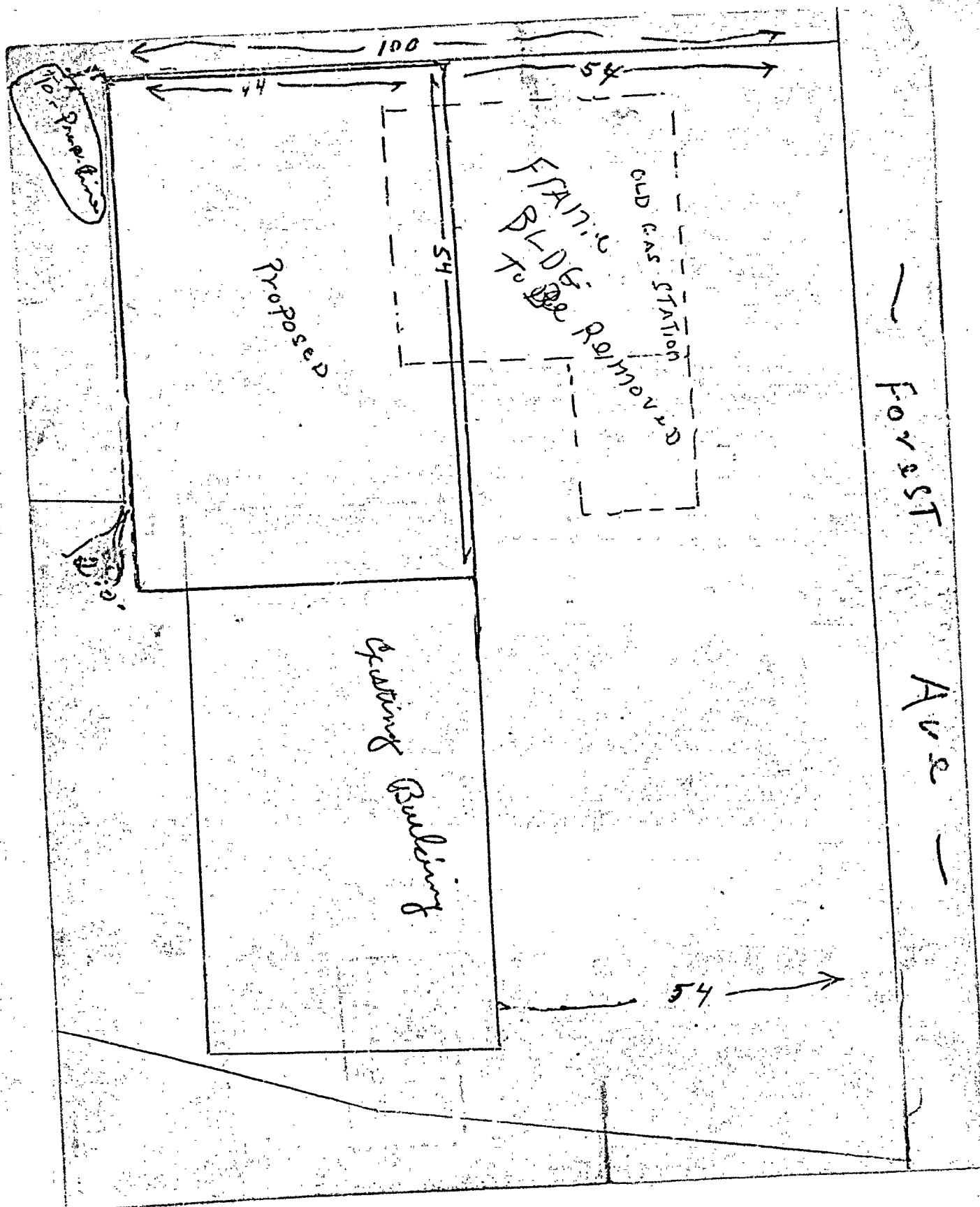
Very truly yours,

Warren McDonald  
Inspector of Buildings

AJS/G

Enclosure: Outline of appeal procedure







## APPLICATION FOR PERMIT

BUSINESS-ZONE  
INDUSTRIAL ZONE

PERMIT ISSUED

012-0

SEP 5 1957

Class of Building or Type of Structure 2nd-Class

Portland, Maine, June 26, 1957

CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, repair, demolish, install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 1131 Forest Ave. Within Fire Limits? No. Dist 0. ....  
Owner's name and address Antonio Morabito, 243 Conant St., Westbrook, Me. Telephone .....  
Lessee's name and address ..... Telephone .....  
Contractor's name and address owner Telephone 2-2628  
Architect ..... Specifications Plans No. of sheets .....  
Proposed use of building Repair Garage, Office and Storage No. families .....  
Last use ..... No. families .....  
Material cinder block stories 1 Heat Style of roof Roofing .....  
Other building on same lot .....  
Estimated cost \$ 5,000 Fee \$ 5.00

### General Description of New Work

To demolish existing filling station office.

To construct concrete block 44' x 54' addition on side of existing building

Approved August 8/19/57

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO owner

### Details of New Work

Is any plumbing involved in this work? No. Is any electrical work involved in this work? Yes

Is connection to be made to public sewer? If not, what is proposed for sewer? .....  
Has septic tank notice been sent? Form notice sent? .....  
Height average grade to top of plate ..... Height average grade to highest point of roof 16' 8"

Size, front 54' depth 44' No. stories 1 low grade solid or filled land? solid earth or rock? earth

Material of foundation concrete Thickness, top 12" bottom 12" cellar no

Material of underpinning ..... Height ..... Thickness .....  
Kind of roof flat Rise per foot ..... Roof covering pre-cast channel plank

No. of chimneys ..... Material of chimneys ..... of lining ..... Kind of heat fuel

Framing Lumber—Kind ..... Dressed or full size? ..... Corner posts ..... Sills

Size Girder ..... Columns under girders ..... Size ..... Max. on centers

Kind and thickness of outside sheathing of exterior walls?

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor concrete, 2nd, 3rd, roof 8"

On centers: 1st floor, 2nd, 3rd, roof

Maximum span: 1st floor, 2nd, 3rd, roof

If one story building with masonry walls, thickness of walls? height?

### If a Garage

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

### Miscellaneous

Will work require disturbing of any tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Antonio Morabito

INSPECTION COPY

Signature of owner by:

Antonio Morabito F.M.

## NOTFS

10/21/57 - Pl. laid to 11' 11" foundation  
10/26/57 - No further work done \$88

10/22/57 - Setting up  
etc. \$ 808.7

12/4/57 - Roof on -  
part of cement floor  
paid. \$ 88

12/23/57 - Exterior walls  
being done. \$ 8.8

1/10/58 - Materials not  
arrived. Notify to  
owner. \$ 8.8

1/16/58 - All work done  
except for protection walls.  
of which there is no offer,  
tool, or steel room  
provided. \$ 8.8

1/27/58 - No partitions  
to be erected  
Cert. to be issued  
88

Permit No. 5711280  
Location 1131 Birch Ave.  
Owner Antonio Mendez  
Date of permit 9/5/57

Notif. closing-in  
Inspn. closing-in  
Final Notif.  
Final Inspn. 1/10/58  
Cert. of Occupancy issued 1/27/58 WINTER

Staking Out Notice

Form Check Notice

Herby  
JF 11/05/58

City of Portland, Maine  
Board of Appeals  
—ZONING—

*Sustained*  
8/16/57 5/76

August 9, 1957

To the Board of Appeals:

Your appellant, Antonio Morabito, who is the owner of property at 1125-1133 Forest Avenue, respectfully petitions the Board of Appeals of the City of Portland to permit an exception to the regulations of the Zoning Ordinance relating to this property, as provided by Section 18, Paragraph E of said Zoning Ordinance.

Permit for construction of a one story concrete block addition 44 feet by 54 feet to side of repair garage at 1125-1133 Forest Avenue is not issuable under the Zoning Ordinance because the addition is proposed only two feet from the rear lot line and practically on the side lot line instead of yards equal to the height of the building, or 18 feet, being provided in each case as specified by Section 12-C-1 and C-4 of the Ordinance.

The facts and conditions which make this exception legally permissible are as follows:  
An exception is necessary to grant reasonable use of property and can be granted without substantially departing from the intent and purpose of the Zoning Ordinance.

*Antonio Morabito*  
Appellant

After public hearing held on the 16 day of August, 1957, the Board of Appeals finds that an exception is necessary to grant reasonable use of property and can be granted without substantially departing from the intent and purpose of the Zoning Ordinance.

It is, therefore, determined that exception to the Zoning Ordinance may be permitted in this specific case.

*John E. Ladd*  
*A. M. Montfort*  
*Paul R. Wilson*  
*Just L. Hall*  
*W. H. Clement*  
BOARD OF APPEALS

August 13, 1957

Mr. Antonio Morabito  
243 Conant Street  
Westbrook, Maine

Dear Mr. Morabito:

August 16, 1957,

Ben B. Wilson

CITY OF PORTLAND, MAINE  
BOARD OF APPEALS

August 13, 1957

Mr. Manuel Levi  
121 Craigie Street  
Portland, Maine

Dear Mr. Levi:

The Board of Appeals will hold a public hearing in the Council Chamber at City Hall, Portland, Maine, on Friday, August 16, 1957, at 10:30 a.m. to hear the appeal of Antonio Morelito requesting an exception to the Zoning Ordinance to authorize construction of a one story concrete block addition 44 feet by 54 feet to side of repair garage at 1125-1133 Forest Avenue.

This permit is presently not issuable under the Zoning Ordinance because the addition proposed is only two feet from the rear lot line and practically on the side lot line instead of yards equal to the height of the building, or 18 feet, being provided in each case as specified by Section 17-C-1 and C-4 of the Ordinance.

All persons interested either for or against this appeal will be heard at the above time and place.

BOARD OF APPEALS,

Ben B. Wilson

Chairman

S

WARREN McDONALD  
INSPECTOR OF BUILDINGS

ALBERT J. SEARS  
DEPUTY INSPECTOR OF BUILDINGS

CITY OF PORTLAND, MAINE  
Department of Building Inspection

July 10, 1957

AP 1125-1133 Forest Avenue

Mr. Antonio Morabito  
243 Conant Street  
Westbrook, Maine

Copy to Corporation Counsel ✓

Mr. Morabito:-

We are unable to issue a [redacted] for construction of a one story concrete block addition 44 feet by 54 feet to side of repair garage at 1125-1133 Forest Avenue, for the following reasons:-

1. The addition would constitute an increase in volume of the repair garage use, which is non-conforming in the I-2 Industrial Zone in which the property is located, such an increase in volume being forbidden by Section 16 of the Zoning Ordinance.

2. The addition is proposed only two feet from the rear lot line and practically on the side lot line instead of yards equal to the height of the building, or 18 feet, being provided in each case as specified by Section 12-C-1 and C-4 of the Ordinance.

We understand that you would like to exercise your appeal rights concerning these discrepancies. Accordingly we are enclosing an outline of the appeal procedure and are certifying the case to the Corporation Counsel, who serves as secretary for the Board of Appeals.

No attempt will be made to check the plans against Building Code requirements until outcome of appeal is known. However, a hasty glance at them indicates that more information than that shown thereon will probably be needed before a permit can be issued.

Very truly yours,

Warren McDonald  
Inspector of Buildings

AJS/G

Enclosure: Outline of appeal procedure

City of Portland, Maine  
Municipal Officers  
BUILDING CODE

January 17, 1957 19

*Sustained  
2/4/57*

*57/2*

*To the Municipal Officers:*

Your appellant, Antonio V. Morabito, who is the owner of property at 1131 Forest Avenue, respectfully petitions the Municipal Officers of the City of Portland to permit an exception to the provisions of the Building Code relating to this property, as provided by Section 115, Paragraph A of said Building Code.

Building permit for a projecting sign for Forest Ave. Garage at 1131 Forest Ave. is not issuable under the Building Code because the sign would be closer to the street line of Forest Ave. (inside edge of public sidewalk) than the front of a dwelling house or other habitation on the adjoining lot at about 1135 Forest Ave. contrary to Section 211c3 of the Building Code, it being understood that the proposed sign would be closer than 100 feet to this existing habitation.

The facts and conditions which make this exception legally permissible are as follows:

An exception is necessary in this case to grant reasonable use of property to avoid practical difficulty and unnecessary hardship and can be granted without substantially departing from the intent and purpose of the Building Code.

*Antonio V. Morabito*  
Appellant

After public hearing held on the 1st day of February, 1957, the Municipal Officers find that an exception is necessary in this case to grant reasonable use of property to avoid practical difficulty and unnecessary hardship and can be granted without substantially departing from the intent and purpose of the Building Code.

It is, therefore, determined that exception to the Building Code may be permitted in this specific case.

*Benjamin B. Wilson*  
*Ed. Remond*  
*Reiley J. Leonard*  
*Joe G. Ball, Jr.*  
*George E. Clark*  
*Summer S. Clark*  
MUNICIPAL OFFICERS

DATE: February 1, 1957

HEARING ON APPEAL UNDER THE Building Code      OF      Antonio V. Morabito

AT 1131 Forest Avenue

Public hearing on the above appeal was held before the Municipal Officers

<u>BOARD OF APPEALS</u>	<u>VOTE</u>	<u>MUNICIPAL OFFICERS</u>
Yes	( <input checked="" type="checkbox"/> )	Ben B. Wilson
	( <input type="checkbox"/> )	Sumner T. Bernstein
	( <input type="checkbox"/> )	Harold Frank
	( <input type="checkbox"/> )	Ira Bell
	( <input type="checkbox"/> )	Perley Lessard
	( <input type="checkbox"/> )	Sumner S. Clark
	( <input type="checkbox"/> )	

Record of Hearing:

NO OPPOSITION

CITY OF PORTLAND, MAINE  
BOARD OF APPEALS

January 29, 1957

Mr. Antonio Morabito  
243 Conant Street  
Portland, Maine

Dear Mr. Morabito:

The Board of Appeals will hold a public hearing in the Council Chamber at City Hall, Portland, Maine, on Friday, February 1, 1957, at 10:30 a. m. to hear your appeal at 1131 Forest Avenue under the Building Code.

Please be present or be represented at this hearing in support of this appeal.

BOARD OF APPEALS

Ben B. Wilson

Chairman

C

CITY OF PORTLAND, MAINE  
BOARD OF APPEALS

January 29, 1957

Isreal Bernstein, Esquire  
Louis Bernstein, Esquire  
119 Exchange Street  
Portland, Maine

Gentlemen:

The Board of Appeals will hold a public hearing in the Council Chamber at City Hall, Portland, Maine, on Friday, February 1, 1957, at 10:30 a. m. to hear the appeal of Antonio V. Moreabito requesting an exception to the Building Code to authorize a projecting sign for Forest Avenue Garage at 1131 Forest Avenue.

This permit is presently not issuable under the Building Code because the sign would be closer to the street line of Forest Avenue (inside edge of public sidewalk) than the front of a dwelling house or other habitation on the adjoining lot at about 135 Forest Avenue, contrary to Section 211c3 of the Building Code, it being understood that the proposed sign would be closer than 100 feet to this existing habitation.

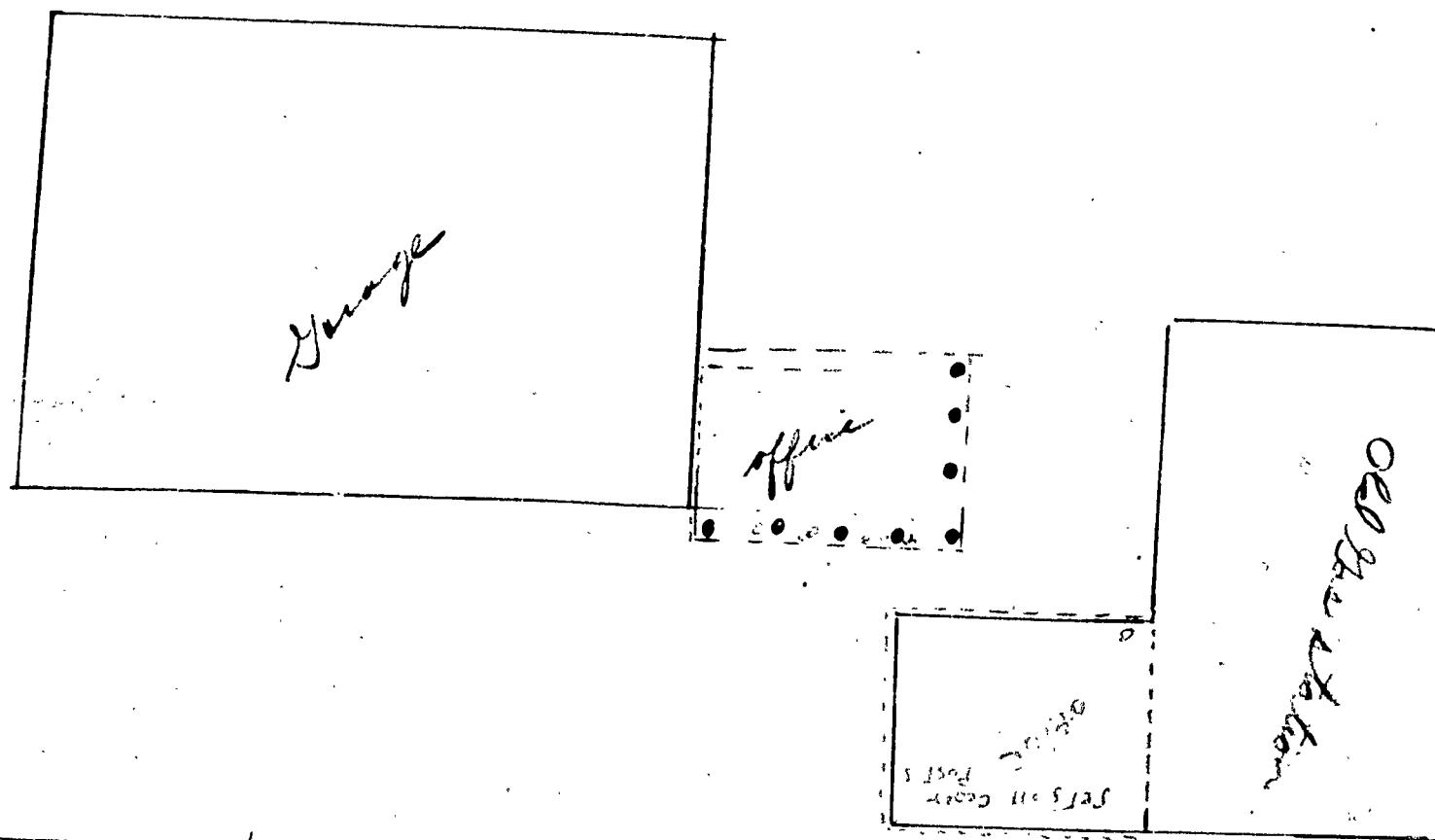
If you are interested either for or against this appeal, please be present at the above hearing.

BOARD OF APPEALS

Ben B. Wilson

Chairman

C



1131 160-251 KVA  
Ampolito V. THORABI TO  
P.M. 1000000

Front door

April 4, 1957

AP - 1131 Forest Avenue

Mr. Antonio Morabito  
1131 Forest Avenue

Dear Mr. Morabito:-

Building permit for moving wood frame office building now attached to service station to side of repair garage on same property at above location is issued herewith subject to condition that any window opening in that part of side wall of garage which office building is to adjoin shall be filled in with at least 8 inches of masonry.

Very truly yours,

Albert J. Sears  
Deputy Inspector of Buildings

AJS/G



## APPLICATION FOR PERMIT

Class of Building or Type of Structure Second Class

Portland, Maine, April 3, 1957

PERMIT ISSUED

0043  
APR 5 1957

City of Portland

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 1131 Forest Ave. Within Fire Limits? Dist. No. \_\_\_\_\_  
Owner's name and address Antonio Morabito, 1131 Forest Ave. Telephone \_\_\_\_\_  
Lessee's name and address \_\_\_\_\_ Telephone \_\_\_\_\_  
Contractor's name and address owner Telephone \_\_\_\_\_  
Architect \_\_\_\_\_ Specifications Plans yes No. of sheets 1 \_\_\_\_\_  
Proposed use of building Garage and office No. families \_\_\_\_\_  
Last use Garage No. families \_\_\_\_\_  
Material No. stories Heat Style of roof Roofing \_\_\_\_\_  
Other buildings on same lot \_\_\_\_\_  
Estimated cost \$ \_\_\_\_\_ Fee \$ .50

### General Description of New Work

To move existing 12'x16' office building (now attached to former service station) to side of existing garage. No opening between buildings.

Permit issued with Letter

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO owner

### Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?  
Is connection to be made to public sewer? If not, what is proposed for sewage?  
Has septic tank notice been sent? Form notice sent?  
Height average grade to top of plate Height average grade to highest point of roof  
Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_  
Material of foundation cedar posts at least 4' below grade Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_ cellar \_\_\_\_\_  
Material of underpinning \_\_\_\_\_ Height \_\_\_\_\_ Thickness \_\_\_\_\_  
Kind of roof \_\_\_\_\_ Rise per foot \_\_\_\_\_ Roof covering \_\_\_\_\_  
No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_ Kind of heat \_\_\_\_\_ fuel \_\_\_\_\_  
Framing lumber—Kind \_\_\_\_\_ Dressed or full size?  
Corner posts \_\_\_\_\_ Sills \_\_\_\_\_ Girt or ledger board? \_\_\_\_\_ Size \_\_\_\_\_  
Girders \_\_\_\_\_ Size \_\_\_\_\_ Columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.  
Joists and rafters: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

### If a Garage

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_ number commercial cars to be accommodated \_\_\_\_\_  
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

APPROVED:

with letter by AGJ

### Miscellaneous

Will work require disturbing of any tree on a public street? no  
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

INVESTIGATION COPY

Signature of owner Antonio Morabito

NOTES

~~4/12/1957 - M1 wall started  
288~~

~~5/1/57 - 1114 permits  
is not going ahead with  
this job. 288~~

~~Permit No. 524427  
Location 1131 2nd Ave  
Owner Cuttance Mescheta  
Date of permit 4/5/57  
Notif. closing-in  
Inspn. closing-in  
Final Notif.  
Final Inspn.  
Cert. of Occupancy issued  
Taking Out Notice  
Form Check Notice~~

*Guerrity*

January 17, 1957

AP 1131 Forest Ave.—Location of proposed projecting sign and Building Code appeal relating thereto

Mr. Antonio V. Morabito  
1131 Forest Ave.  
Portland Sign Co.  
115 Middle St.

Gentlemen:

Building permit for a projecting sign for Forest Ave. Garage (Antonio V. Morabito, owner) at 1131 Forest Ave. is not issuable under the Building Code because the sign would be closer to the street line of Forest Ave. (inside edge of public sidewalk) than the front of a dwelling house or other habitation on the adjoining lot at about 1135 Forest Ave., contrary to Section 21103 of the Building Code, it being understood that the proposed sign would be closer than 100 feet to this existing habitation.

The owner has indicated that he desires to seek a variance from the Board of Municipal Officers (Board of Appeals under the Building Code); so, there is enclosed an outline of the appeal procedure. If you desire consideration by the Board of Municipal Officers at the earliest possible date, it is important that the appeal be filed in the office of Corporation Counsel before the close of business on Friday, January 18.

Very truly yours,

WMC/B

Warren McDonald  
Inspector of Buildings

Enclosure to each addressee: Outline of appeal procedure

5/3

WRITTEN CONSENT AND AGREEMENT RELATING TO A CERTAIN SIGN PROPOSED TO  
BE ERECTED PROJECTING OVER A PUBLIC SIDEWALK FROM THE PREMISES  
AT 1131 FOREST AVE IN PORTLAND, MAINE

Antonio V. Morabito, being the owner of the  
premises at 1131 FOREST AVE in Portland, Maine hereby gives  
consent to the erection of a certain sign owned by FOREST AVE GARAGE  
projecting over the public sidewalk from said premises as described in  
application to the Inspector of Buildings of Portland, Maine for a permit  
to cover erection of said sign;

And in consideration of the issuance of said permit Antonio  
Morabito, owner of said premises, in event said sign shall  
cease to serve the purpose for which it was erected or shall become dangerous  
and in event the owner of said sign shall fail to remove said sign or make  
it permanently safe in case the sign still serves the purpose for which it  
was erected, hereby agrees for himself or itself, for his heirs, its  
successors, and his or its assigns, to completely remove said sign within  
ten days of notice from said Inspector of Buildings that said sign is in  
such condition and of order from him to remove it.

In Witness whereof the owner of said premises has signed this consent  
and agreement this 17 day of DEC 196

Thomas J. Keay  
Witness

Antonio V. Morabito  
Owner



(1) INDUSTRIAL ZONE  
APPLICATION FOR PERMIT TO ERECT  
SIGN OVER PUBLIC SIDEWALK OR STREET

PERMIT ISSUED

00153

FEB 7 1957

CITY OF PORTLAND

Portland, Maine, Dec. 31, 1956

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect the following described sign extending over a public sidewalk or street in accordance with the Building Code of the City of Portland, and the following specifications:

Location 1131 Forest Ave. Within Fire Limits? no Dist. No. \_\_\_\_\_

Owner of building to which sign is to be attached Antonio V. Norabito

Name and address of owner of sign Forest Ave. Garage, 1131 Forest Ave.

Contractor's name and address Portland Sign Co., 115 Middle St. Telephone 5-2592

When does contractor's bond expire? Dec. 31, 1956 3/4/57

Information Concerning Building

pole sign No. stories 1 Material of wall to which sign is to be attached exterior

CERTIFICATE OF CONFORMITY  
REQUIRING INSPECTION

Building owner's consent and agreement filed with application yes

Electric? no Vertical dimension after erection 40" Horizontal 5"

Weight 60 lbs. Will there be any hollow spaces? no Any rigid frame? yes

Material of frame galvanized iron No. advertising faces 2 material galvanized iron

No. rigid connections 2 Are they fastened directly to frame of sign? yes

No. through bolts 4, Size 1/2", Location, top or bottom

No. guys 4, material cable, Size 5/16"

Minimum clear height above sidewalk or street 10' 6"

Maximum projection into street 5' 6" Portland Sign Co. Fee \$ 2.00

Signature of contractor by: John E. Jaeney

INSPECTION COPY

1110157 B.P. 1129 Forest Ave.  
Mr. St. John of Cities Service  
called and said that they had  
some gasoline for the M. M. White  
and that they would be pleased  
to handle the gasoline  
He will follow up with the  
agents of Cities Service  
W.H.

Permit No. 57153

Location 1131 Forest Ave  
Owner Frank

Owner Forest Ave Garage  
Date of permit 2/7/73

Date of permit 2/7/57  
Sign Contractor *Portland S.*

Portland Signs  
Final Insp. 9/16/57

NOTES

## NOTES

1910-1911 - ~~Wadlow~~  
Largest human being  
ever known to man  
measured 8 ft 11 in  
weight 450 lbs  
lived to be 22 years  
old died in 1933  
from heart trouble  
and complications  
of heart trouble  
He was a giant  
and a wonder of nature  
and a marvel of life  
1910-1911 - ~~Wadlow~~  
E. B. -

*E. H. S.*

ESS 1/7/57

January 2, 1957

b7 54/1571—Projecting sign contrary to Building Code

Mr. Anthony Morabito  
1131 Forest Ave.  
Cities Service Oil Co.  
17 Main St.  
South Portland, Me.  
John Donnelly & Sons  
73 Main St.  
South Portland, Me.

Gentlemen:

On September 27, 1954 a permit was issued to John Donnelly & Sons to erect a projecting sign of Cities Service Co. at 1129 Forest Ave. It now turns out that that permit should not have been issued because the location of the sign was contrary to Section 211c3 of the Building Code in that the sign was proposed closer to the street line (inside edge of public sidewalk) of Forest Avenue than the front of a building used as habitation on the adjoining lot at about 1129 Forest Ave.

This situation came to light while we were looking over a proposal to erect another projecting sign for Forest Ave. Garage Co. at 1131 Forest Ave. While our inspector was looking over the situation as regards the proposed sign at the property, he noticed that the actual sign erected under the permit in 1954 had been removed from the arm projecting from the vertical mast.

Under the circumstances this is notice to all concerned that the sign, being unlawful under the Building Code, is not to be erected again unless a permit therefor is again secured. Obviously such a permit could not now be issued since the location is contrary to the Building Law as far as we can see. If you have information which establishes that the above statement about non-compliance with the Building Code, is not true, please contact this office immediately.

In event the owner still wants the sign up, he has appeal rights which will be explained to him after the new permit has been applied for and upon his request to seek a variance from the Board of Municipal Officers (Board of Appeals under the Building Code).

Very truly yours,

W.M.D/B

Warren McDonald  
Inspector of Buildings



DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

**CITY OF PORTLAND**

**BUILDING INSPECTION**

No.

Please Read  
Application And  
Notes, If Any,  
Attached

**PERMIT**

This is to certify that Goofy Rice/Tire Motor Work  
has permission to make interior renovations

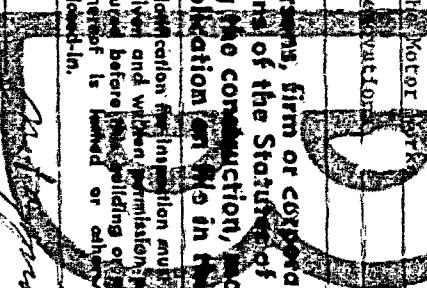
AT 1129 Forest Ave

provided that the person or persons, firm or corporation accepting this permit shall  
comply with all of the provisions of the Statutes of Maine and of the Ordinances of  
the City of Portland regulating the construction, maintenance and use of buildings  
and structures, and of the application on file in this department.

Apply to Public Works for street  
line and grade if nature of work  
requires such information.

Notification of intention must be  
given and written permission re-  
ceived before any building or part  
thereof is started or otherwise  
closed-in.

A certificate of occupancy must  
be received by owner before this  
building or part thereof is occu-  
pied.



**OTHER REQUIRED APPROVALS**

Fire Dept. None  
Health Dept. None  
Appeal Board None  
Other None

Approval - None  
None, suspended and denied  
Disaster - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD  
Not less than \$500.00

Permit # City of Portland BUILDING PERMIT APPLICATION Fee 25.00 Zone Map # R6#

Please fill out any part which applies to job. Proper plans must accompany form.

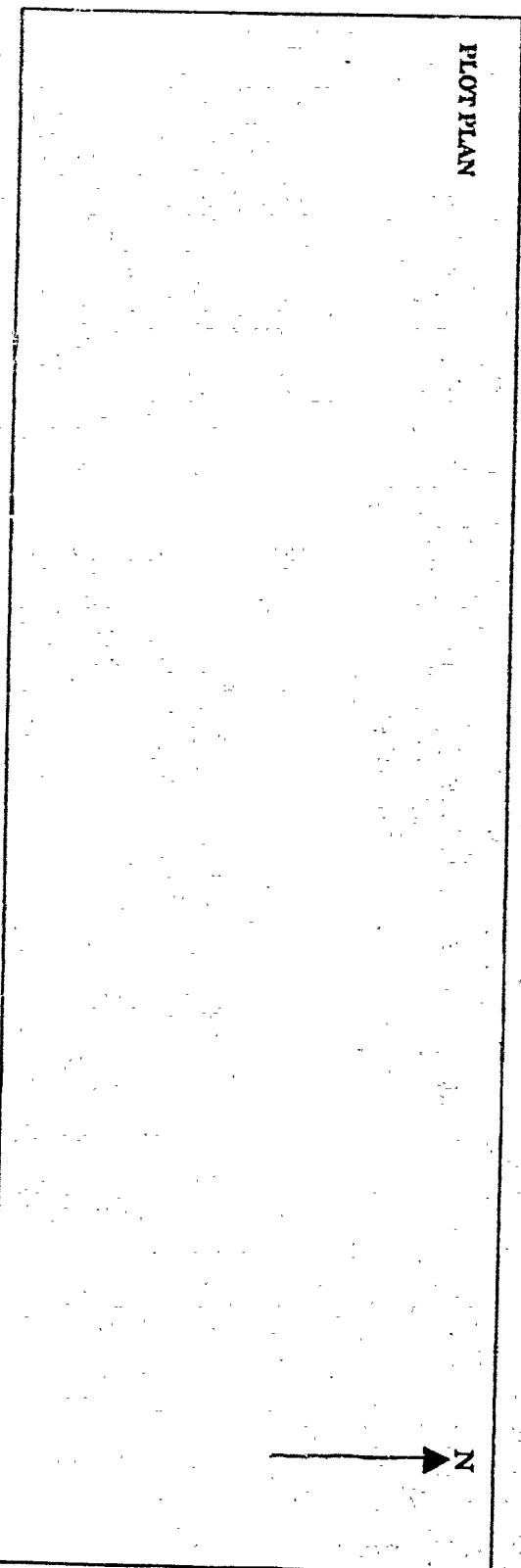
Owner <u>Jeffrey Rice/The Motor Works</u> Phone # <u>273-2275</u>	Address <u>1129 Forest Ave</u>	Subj. <u>Phone # 273-2275</u>
LOCATION OF CONSTRUCTION <u>1129 Forest Ave</u>		
Contractor: <u></u>	Address: <u></u>	Est. Construction Cont: <u>upated Use: Comm w/ Int renovation</u>
# of Existing Res. Units <u>1</u>	# of New Res. Units <u>1</u>	Permit Use: <u>Residential</u> <u>Not More Than 1/2 Of Street Frontage Provided</u>
Building Dimensions L <u>20</u> W <u>20</u> Total Sq. Ft. <u>400</u>		
# Stories: <u>1</u>	# Bedrooms: <u>1</u>	Lot Size: <u>100' x 200'</u>
In Proposed Use: Seasonal <u>Condominium</u> <u>Conversion</u>		
Explain Conversion: <u>Make better for renovations to own bldg.</u>		
Mail to: The Motor Works 1129 Forest Ave Peld, ME 04103		
Foundation: <u>1. Type of Soil: Sills must be anchored.</u>		
2. Set Backs: Front <u>10'</u> Rear <u>10'</u> Sides <u>10'</u>		
3. Footings Size: <u>10" x 10" x 12"</u>		
4. Foundation Size: <u>20' x 20'</u>		
Floor: <u>1. Sills Size: Sills must be anchored.</u>		
2. Glue-Block Size: <u>10" x 10" x 12"</u>		
3. Lally Column Spacing: <u>16" O.C.</u>		
4. Joists Size: <u>10" x 10" x 12"</u>		
5. Bridging Type: <u>16" O.C.</u>		
6. Floor Sheathing Type: <u>1/2" OSB</u>		
7. Other Material: <u>None</u>		
Exterior Walls: <u>1. Studding Size: 2x4 Spacing: 16" O.C.</u>		
2. No. windows: <u>6</u>		
3. No. Doors: <u>1</u>		
4. Header Size: <u>16" x 16"</u>		
5. Bracing: <u>Yes</u> No: <u>Spans (6)</u>		
6. Corner Posts Size: <u>16" x 16"</u>		
7. Insulation Type: <u>1" Fiberglass</u>		
8. Sheathing Type: <u>1/2" OSB</u>		
9. Siding Type: <u>Wood</u> Size: <u>5/8"</u>		
10. Masonry Material: <u>None</u>		
11. Metal Materials: <u>None</u>		
Interior Wall: <u>1. Studding Size: 2x4 Spacing: 16" O.C.</u>		
2. Header Size: <u>16" x 16"</u>		
3. Wall Covering Type: <u>Plaster</u>		
4. Fire Wall if required: <u>None</u>		
5. Other Materials: <u>None</u>		
For Official Use Only		
Date <u>October 30, 1991</u>	Subdivision: <u>None</u>	Name: <u></u>
Inside Fire Units: <u>1</u>	Block Code: <u>None</u>	Ownership: <u>Private</u>
Time Limit: <u>1 Year</u>	Estimated Cost: <u>\$10,000</u>	Lot: <u>None</u>
Zoning: <u>Commercial</u>		
Review Required: <u>None</u>		
Zoning Board Approval: Yes <u>No</u> Date: <u>None</u>		
Planning Board Approval: Yes <u>No</u> Date: <u>None</u>		
Conditional Use: <u>None</u> Variance: <u>None</u> Site Plan: <u>None</u> Subdivision: <u>None</u>		
Shoreland Zoning: Yes <u>No</u> Floodplain: Yes <u>No</u>		
Special Exception: <u>None</u> (Explain) <u>None</u>		
Ceiling: <u>HISTORIC PRESERVATION</u>		
1. Ceiling Joists Size: <u>10" x 10" x 12"</u>		
2. Ceiling Strapping Size: <u>16" O.C.</u>		
3. Type Ceiling: <u>Plaster</u>		
4. Insulation Type: <u>1" Fiberglass</u>		
5. Ceiling Height: <u>10'</u>		
Roof: <u>HISTORIC PRESERVATION</u>		
1. Truss or Rafters Size: <u>10" x 10" x 12"</u>		
2. Sheathing Type: <u>1/2" OSB</u>		
3. Roof Covering Type: <u>Plaster</u>		
Chimneys: <u>None</u>		
Heating: <u>None</u>		
Type of Heat: <u>None</u>		
Electrical: <u>None</u>		
Service Entrance Size: <u>10" x 10"</u>		
Plumbing: <u>None</u>		
1. Approval of soil test if required: Yes <u>No</u>		
2. No. of Tubs or Showers: <u>1</u>		
3. No. of Fixtures: <u>None</u>		
Swimming Pools: <u>None</u>		
1. Type: <u>None</u>		
2. Pool: <u>None</u>		
3. Must conform to National Electrical Code and State Law: <u>None</u>		
Square Footage: <u>400</u>		
Permit Received By: <u>Mary Greenik</u>		
Signature of Applicant: <u>Jeffrey Rice</u> Date: <u>Oct 30, 1991</u>		
Title: <u>Co-Owner/Buyer</u> CEO, District: <u>None</u>		

CONTINUED TO REVERSE SIDE

White - Tax Assessor

Ivory - CEO

PLOT PLAN



FEES (Breakdown From Front)

Base Fee \$ \_\_\_\_\_  
Subdivision Fee \$ \_\_\_\_\_  
Site Plan Review Fee \$ \_\_\_\_\_  
Other Fees \$ \_\_\_\_\_  
(Explain) \_\_\_\_\_  
Late Fee \$ \_\_\_\_\_

Type \_\_\_\_\_  
Inspection Record \_\_\_\_\_  
Date \_\_\_\_\_

COMMENTS

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as has authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the code official or the code official's authorized representative shall have the authority to enter areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit.

*John W. Baker* 1129 *Forest Ave* *Bethesda* 878-2275  
ADDRESS  
PHONE NO.

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE

PHONE NO.

923432

Permit # 923432 City of Portland BUILDING PERMIT APPLICATION Fee 51.20 Zone Map # Lot #

Please fill out any part which applies to job. Proper plans must accompany form.

Owner: <u>Electric Motorworks</u>	Phone # <u>878-2275 Chris</u>	
Address: <u>1129 Forest Ave Ptd, ME 04103</u>		
LOCATION OF CONSTRUCTION <u>1129 Forest Ave</u>		
Contractor: <u>Sub:</u>		
Address: <u></u>	Phone # <u></u>	
Est. Construction Cost: <u></u>	Proposed Use: <u></u>	
	Past Use: <u></u>	
# of Existing Res. Units: <u></u>	# of New Res. Units: <u></u>	
Building Dimensions L <u></u> W <u></u>	Total Sq. Ft. <u></u>	
# Stories: <u></u>	# Bedrooms <u></u>	Lot Size: <u></u>
Is Proposed Use: Seasonal <u></u> Condominium <u></u> Conversion <u></u>		
Explain Conversion <u>Erect 2 Signs 1-(10' X 3' 6") 1-(24' X 4')</u>		

Foundation:	1. Type of Soil: <u></u>	2. Set Backs - Front: <u></u> Rear: <u></u> Side(s): <u></u>
	3. Footings Size: <u></u>	4. Foundation Size: <u></u>
	5. Other: <u></u>	
Floor:	1. Sills Size: <u></u>	Sills must be anchored.
	2. Girder Size: <u></u>	
	3. Lally Column Spacing: <u></u> Size: <u></u>	Spacing 16" O.C.
	4. Joists Size: <u></u>	
	5. Bridging Type: <u></u> Size: <u></u>	
	6. Floor Sheathing Type: <u></u> Size: <u></u>	
	7. Other Material: <u></u>	
Exterior Walls:	1. Studding Size: <u></u>	Spacing: <u></u>
	2. No. windows: <u></u>	
	3. No. Doors: <u></u>	
	4. Header Sizes: <u></u>	Span(s): <u></u>
	5. Bracing: Yes <u></u> No: <u></u>	
	6. Corner Posts Size: <u></u>	
	7. Insulation Type: <u></u> Size: <u></u>	
	8. Sheathing Type: <u></u> Size: <u></u>	
	9. Siding Type: <u></u>	Weather Exposure: <u></u>
	10. Masonry Materials: <u></u>	
	11. Metal Materials: <u></u>	
Interior Walls:	1. Studding Size: <u></u>	Spacing: <u></u>
	2. Header Sizes: <u></u>	Span(s): <u></u>
	3. Wall Covering Type: <u></u>	
	4. Fire Wall if required: <u></u>	
	5. Other Materials: <u></u>	

White - Tax Assessor

For Official Use Only	
Date <u>January 9, 1992</u>	Subdivision <u>Subdiv</u>
Inside Fire Drills <u></u>	Lot <u>Lot</u>
Building Code: <u></u>	Owner Name: <u></u>
Time limit: <u></u>	Public <input checked="" type="checkbox"/> Private <input type="checkbox"/>
Estimated Cost: <u></u>	Land <input checked="" type="checkbox"/> Building <input type="checkbox"/>
Zoning: <u>B-7</u>	State Frontage Provided: <u></u>
	Provided Setbacks: Front <u></u> Back <u></u> Side <u></u> Side <u></u>
Review Required:	Zoning Board Approval: Yes <u></u> No <u></u> Date: <u></u>
	Planning Board Approval: Yes <u></u> No <u></u> Date: <u></u>
	Conditional Use: Yes <u></u> Varance <u></u> Site Plan <u></u> Subdivision <u></u>
	Shoreland Zoning Yes <u></u> No <u></u> Floodplain Yes <u></u> No <u></u>
	Special Exception: <u></u>
	Other: <u>(Explain)</u> <u>2-19-92</u>

Ceiling:	1. Ceiling Joists Size: <u></u>	HISTORIC PRESERVATION
	2. Ceiling Strapping Size: <u></u> Spacing: <u></u>	1. Rotunda/Market
	3. Type Ceilings: <u></u>	2. Does not require review
	4. Insulation Type: <u></u> Size: <u></u>	3. Requires Review
	5. Ceiling Height: <u></u>	4. Approved
Roof:	1. Truss or Rafter Size: <u></u>	Span: <u></u>
	2. Sheathing Type: <u></u>	Size: <u></u>
	3. Roof Covering Type: <u></u>	Action: <u>Approved</u>
Chimney:	Type: <u></u>	Approved with Conditions
Heating:	Type: <u></u>	Number of Fire Places: <u>1</u>
Electrical:	Service Entrance Size: <u></u>	Smoke Detector Required: Yes <u></u> No <u></u>
Plumbing:	1. Approval of soil test if required: <u></u>	Yes <u></u> No <u></u>
	2. No. of Tubs or Showers: <u></u>	
	3. No. of Flushes: <u></u>	
	4. No. of Lavatories: <u></u>	
	5. No. of Other Fixtures: <u></u>	
Swimming Pools:	1. Type: <u></u>	
	2. Pool Size: <u></u>	Square Footage: <u></u>
	3. Must conform to National Electrical Code and State Law: <u></u>	

Permit Received By Mary GresikSignature of Applicant Christopher Bryan Date Jan 9, 1992  
CEO's District: 

CONTINUED TO REVERSE SIDE

Ivory Tag - CEO

16 M. Bryan



\* Strohman Letters - Shown to Concrete building

← 24' →

ELECTRIC MOTOWORKS

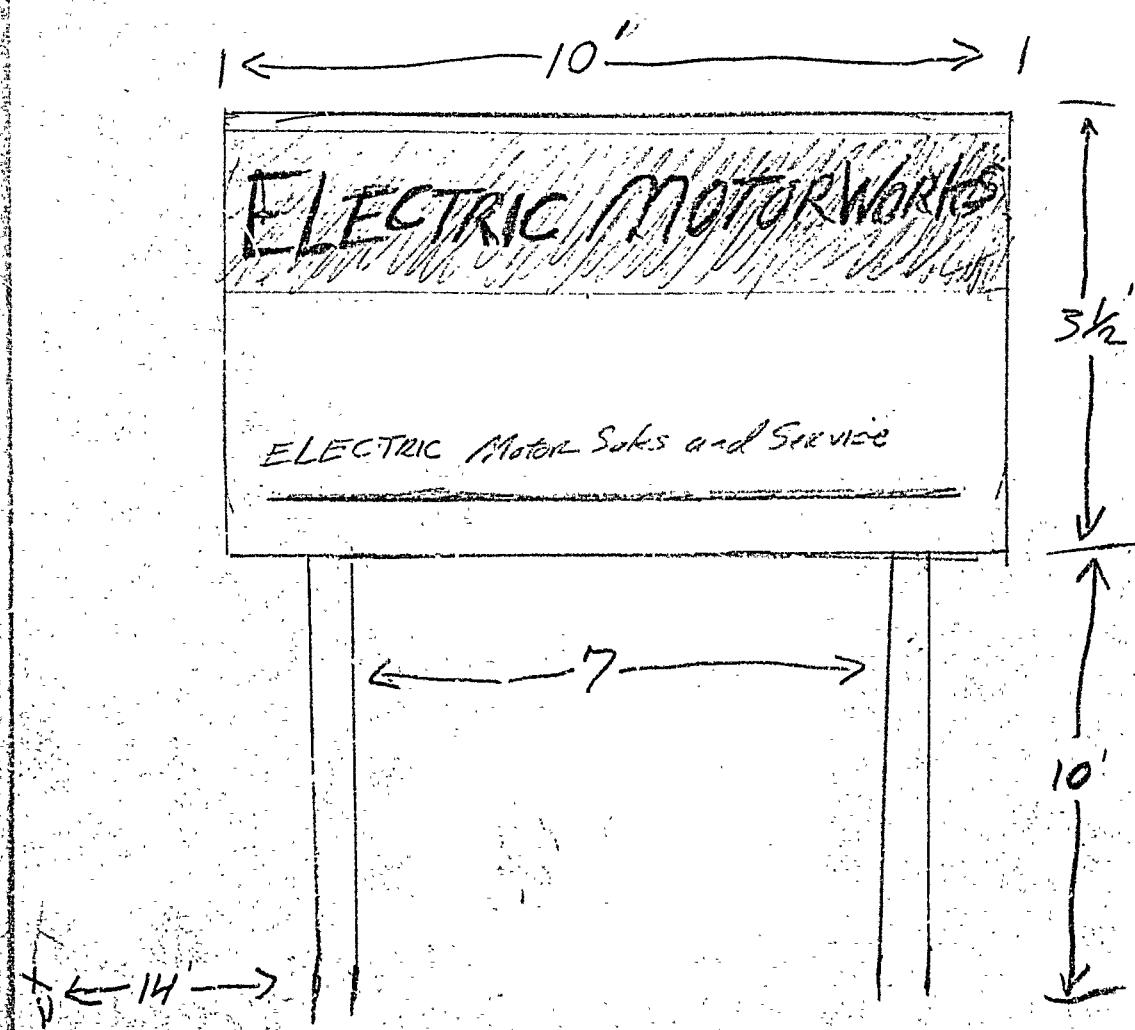
Electric Motor Sales & Service

↑ 4' ↓

Doors

Windows

Door



35 Square Feet

\* Sign is to be set in existing posts that  
are (have been) there.

\* Wooden Sign Frame with Lexan Glass Sign  
Panels

96 Square Ft.

Sign on Building

24'

Electric Motor working

1' Road sign

10'

10'

1 3 3 2 1 5

WRITTEN CONSENT AND AGREEMENT RELATING TO A CERTAIN SIGN OR AWNING PROPOSED  
TO BE ERECTED ON A BUILDING AT 1129 FOREST AVE  
IN PORTLAND, MAINE \_\_\_\_\_ being the owner of the premises  
at 1129 Forest Ave, in Portland, Maine hereby gives consent to the  
erection of a certain sign owned by \_\_\_\_\_ over the  
sidewalk or on the building from said premises as described in application  
to the Division of Inspection Services of Portland, Maine for a permit to  
cover the erection of said sign:

And in consideration of the issuance of said permit J,  
owner of said premises, in event said sign shall cease to serve the purpose  
for which it was erected or shall become dangerous and in event the owner of  
said sign shall fail to remove said sign or make it permanently safe in case  
the sign still serves the purpose for which it was erected, hereby agrees  
for himself or itself, for his heirs, its successors, and his or its  
assigns, to completely remove said sign if in such condition and of order  
from him to remove it.

In Witness whereof, the owner of said premises has signed this consent and  
agreement this 9th day of January 1992.

Rebecca Reis

Owner's signature

Chetty Brown

Lessee's signature

**Peerless Insurance**National Indemnity North America  
Fire, Life and Casualty Group

OFFICE ADDRESS: 1000 LEXINGTON AVENUE, NEW YORK, NY 10022

EFFECTIVE DATE: 01/21/91

## Declarations Page

RENEWAL OF POLICY CPP 4046164  
COMMERCIAL PACKAGE POLICY

Policy number	From	Policy period To	Coverage is provided in the	Agency
CPP 4046164	01/21/91	01/21/92	PEERLESS INSURANCE COMPANY	8210213
Named Insured and address		Producer		
THE MOTOR WORKS 21 BRIDGE STREET WESTBROOK, MAINE 04092		TURNER BARKER INSURANCE 157 FOX STREET PORTLAND, ME		

04101

## COMMERCIAL GENERAL LIABILITY COVERAGE PART DECLARATIONS (PAGE 1)

## GENERAL LIABILITY COVERAGE FORM(S)

 CG0001 COMMERCIAL GENERAL LIABILITY COVERAGE FORM CG0102 COMMERCIAL GENERAL LIABILITY COVERAGE FORM (CLAIMS MADE)

## LIMITS OF INSURANCE

GENERAL AGGREGATE LIMIT (OTHER THAN PRODUCTS - COMPLETED OPERATIONS) \$1,000,000

PRODUCTS - COMPLETED OPERATIONS AGGREGATE LIMIT \$1,000,000

PERSONAL &amp; ADVERTISING INJURY LIMIT \$300,000

ACCIDENTAL LIMIT \$300,000

FIRE DAMAGE LIMIT (\$1,500,000) (ANY ONE FIRE) \$50,000

MEDICAL EXPENSE LIMIT (\$1,000,000) (ANY ONE PERSON) \$5,000

DISCONTINUANCE (\$1,000,000) BI &amp; PD \$1,000,000 BI \$1,000,000 PD \$1,000,000

100-1012-10000





## SITE PLAN

N

FEES (Breakdown From Front)  
Base Fee \$ 34.60  
Subdivision Fee \$ \_\_\_\_\_  
Site Plan Review Fee \$ \_\_\_\_\_  
Other Fees \$ \_\_\_\_\_  
(Explain) \_\_\_\_\_  
Late Fee \$ \_\_\_\_\_

## Inspection Record

Type

Date

A CourtDriv

## COMMENTS

Signature of Applicant

Leigh L. Curran, Faberell BarrDate 4/1/93



## CITY OF PORTLAND

DEPARTMENT OF PLANNING & URBAN DEVELOPMENT  
INSPECTION SERVICES DIVISION

April 7, 1993

RE: 1133 Forest Ave., Portland, ME

Rockwell Burr  
184 Read St.  
Portland, ME 04103

Dear Sir:

Your application to erect a two-sided sign 6' X 4' has been reviewed and a permit is herewith issued subject to the following requirement:

Total signage must not exceed four square feet for each foot of building frontage.

If you have any questions regarding this requirement, please do not hesitate to contact this office.

Sincerely,

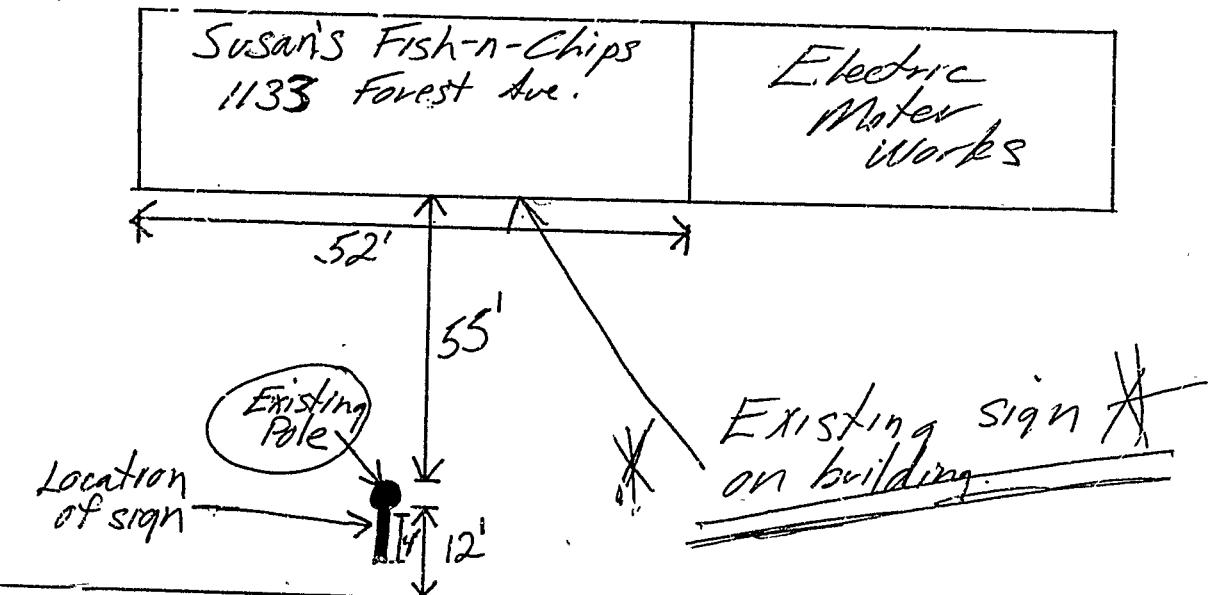
P. Samuel Hoffses  
Chief of Inspection Services

/el

cc: Mr. William Giroux, Zoning Administrator

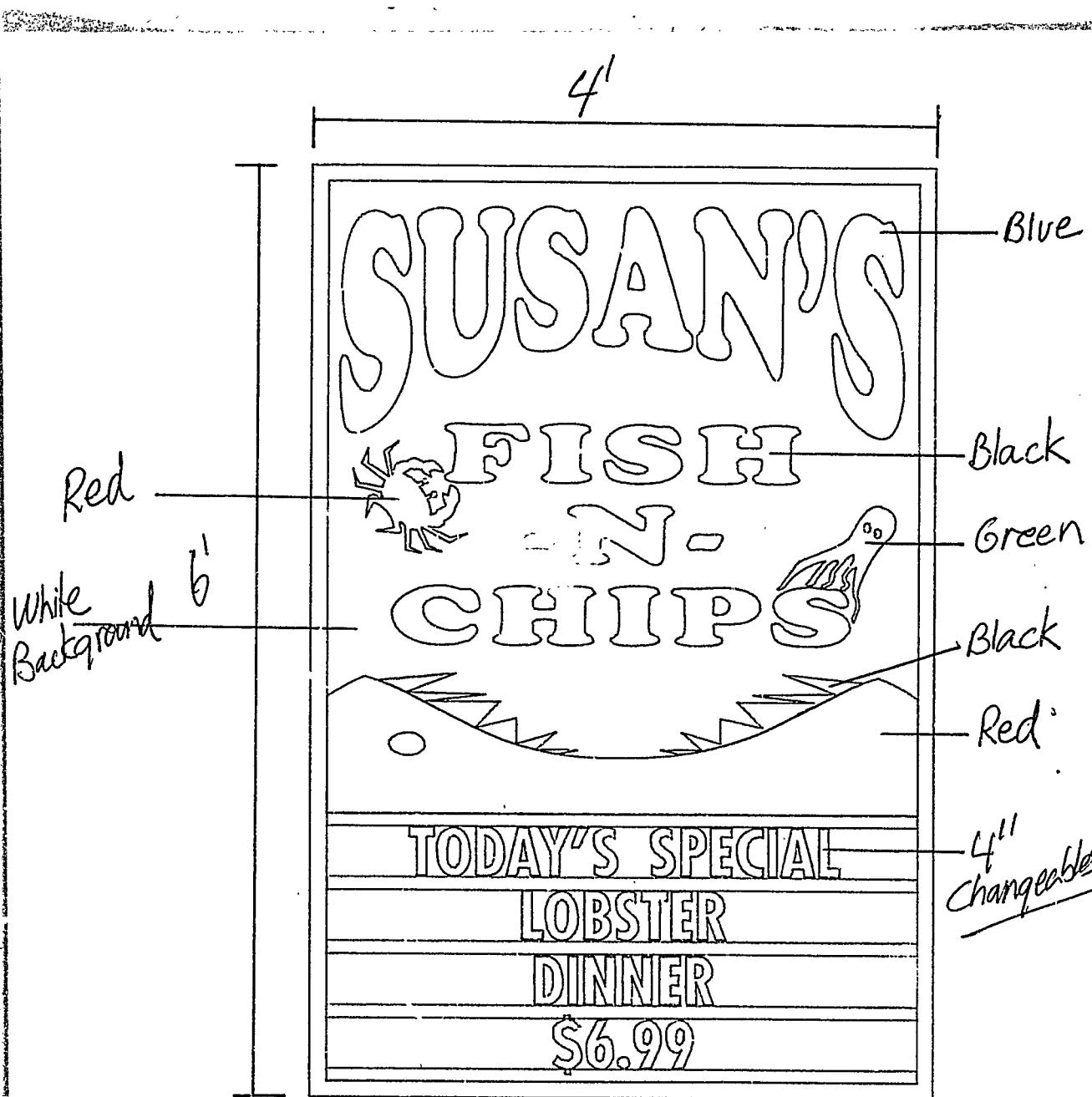
rockwell burr \_\_\_\_\_

PLOT PLAN - 1133 Forest Ave.



Dimensions - 6' x 4'  
Total Sq. Ft. - 48'

184 Read St.  
Portland, ME 04103  
(207) 761-3939



Total Sq. Footage - 48'  
1133 Forest Ave.



WRITTEN CONSENT AND AGREEMENT RELATING TO A CERTAIN SIGN OR AWNING PROPOSED  
TO BE ERECTED ON A BUILDING AT 1133 Forest Ave Sisen Fish n' Chip  
IN PORTLAND, MAINE A. J. TRUST being the owner of the premises  
at 1133 Forest Ave in Portland, Maine hereby gives consent to the  
erection of a certain sign owned by Susan Eklund over the  
sidewalk or on the building from said premises as described in application  
to the Division of Inspection Services of Portland, Maine for a permit to  
cover the erection of said sign:

34 (b)

And in consideration of the issuance of said permit A. J. TRUST,  
owner of said premises, in event said sign shall cease to serve the purpose  
for which it was erected or shall become dangerous and in event the owner of  
said sign shall fail to remove said sign or make it permanently safe in case  
the sign still serves the purpose for which it was erected, hereby agrees  
for himself or itself, for his heirs, its successors, and his or its  
assigns, to completely remove said sign is in such condition and of order  
from him to remove it.

In Witness whereof, the owner of said premises has signed this consent and  
agreement this 26<sup>th</sup> day of MARCH 19<sup>93</sup>.

A. J. TRUST  
By: Susan Eklund  
655 Congress Street  
Owner's signature  
Room 206  
PORTLAND, ME 04101

Susan Eklund  
Lessee's signature

## CERTIFICATE OF INSURANCE

03/31/93

PRODUCER  
**Pratt Insurance Agency**  
 One Post Office Sq. PO Box 439  
 Westbrook, ME  
 04098-  
 PHONE 207-854-9745

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERNS  
 NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND,  
 EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

## COMPANIES AFFORDING COVERAGE

INSURED  
 Susan's Fish & Chips  
 1135 Forest Ave.  
 Portland, ME  
 04103

COMPANY LETTER A North East Insurance Co  
 COMPANY LETTER B  
 COMPANY LETTER C  
 COMPANY LETTER D  
 COMPANY LETTER E

COVERAGE(S)  THIS IS TO CERTIFY THAT POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL TERMS, EXCLUSIONS, AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

CO/ILTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFF DATE	POLICY EXP DATE	ALL LIMITS IN THOUSANDS	
					GENERAL AGGREGATE	600
X	GENERAL LIABILITY	CPP 2239	08/27/92	08/27/93	PRODS-CORP/OPS AGG.	600
	<input type="checkbox"/> COMMERCIAL GEN LIABILITY				PERS. & ADVG. INJURY	300
	<input type="checkbox"/> <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCC.				EACH OCCURRENCE	300
	<input type="checkbox"/> OWNER'S & CONTRACTORS PROTECTIVE				FIRE DAMAGE (ANY ONE FIRE)	50
	<input type="checkbox"/>				MEDICAL EXPENSE (ANY ONE PERSON)	5
	<input type="checkbox"/>				CSL	
	AUTOMOBILE LIAB				BODILY INJURY (PER PERSON)	
	<input type="checkbox"/> ANY AUTO				BODILY INJURY (PER ACCIDENT)	
	<input type="checkbox"/> ALL OWNED AUTOS				PROPERTY	
	<input type="checkbox"/> SCHEDULED AUTOS					
	<input type="checkbox"/> HIRED AUTOS					
	<input type="checkbox"/> NON-OWNED AUTOS					
	<input type="checkbox"/> GARAGE LIABILITY					
	EXCESS LIABILITY				EACH OCC	AGGREGATE
	<input type="checkbox"/> UMBRELLA FORM					
	<input type="checkbox"/> OTHER THAN UMBRELLA FORM					
	WORKERS' COMP AND EMPLOYERS' LIAB				STATUTORY	EACH ACC DISEASE-POLICY LIMIT DISEASE-EACH EMPLOYEE
	OTHER					

## DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/SPECIAL ITEMS

CERTIFICATE HOLDER  CANCELLATION   
 ROCKWELL BURR  
 184 REED STREET  
 PORTLAND, ME 04103  
 SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE *Rockwell Burr*

ACORD 25-6 (3/88)