

CITY OF PORTLAND, MAINE
DEPARTMENT OF BUILDING INSPECTION

Record of Inquiry

Verbal in person
By telephone

Date

11/7/38

Location

1123 Portland Ave.

Made by

Chas. Smith, 644 Forest Ave.

Inquiry 1

What use can be made of the

property.

2

3

Answer 1

Little 11/8/38

2

3

Reply by

Em

File - inquiry

November 3, 1938

Mr. Charles Smith,
614 Forest Avenue,
Portland, Maine

Dear Sir:

The location at 1123 Forest Avenue about which you inquired yesterday is in a Limited Business Zone under the Zoning Ordinance, and the Ordinance states in such a zone the following allowable uses, the uses permitted in an Apartment House Zone as indicated in item No. 1 being dwelling house, tenement house, hotel, certain clubs, church, educational use, hospital or sanitarium, municipal recreational use, telephone exchange office, accessory use incidental of any of these.

Very truly yours,

WWCD/H

Inspector of buildings

P. S. Fearing that this letter would be confusing to you as I have written it, I am enclosing a marked list of the permissible uses in the Limited Business Zone where your property is located, and also a list of uses allowed in an Apartment House Zone. You will note that the first item under Limited Business is "Any use permitted in an apartment house zone".



APPLICATION FOR PERMIT

PERMIT ISSUED

0322
MAR 22 1937

Class of Building or Type of Structure Third Class

Portland, Maine, Mar 22, 1937

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to ~~erect~~ alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 1121 Forest Avenue Ward 9 Within Fire Limits? no Dist. No. 859
Owner's or Lessee's name and address Peter Nielson, 859 Forest Avenue Telephone no
Contractor's name and address Owner Telephone no
Architect's name and address _____
Proposed use of building _____ No. families _____
Other buildings on same lot _____
Plans filed as part of this application? no No. of sheets _____
Estimated cost \$ _____ Fee \$.50

Description of Present Building to be Altered

Material wood No. stories 1 Heat _____ Style of roof _____ Roofing _____
Last use Vacant No. families _____

General Description of New Work

To demolish building 10' x 15'

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Size, front _____ depth _____ No. stories _____ Height average grade to top of plate _____
To be erected on solid or filled land? _____ Height average grade to highest point of roof _____
Material of foundation _____ Thickness, top _____ bottom _____
Material of underpinning _____ Height _____ Thickness _____
Kind of Roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____
Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____
Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
Material columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____
Total number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

INSPECTION COPY

Signature of owner

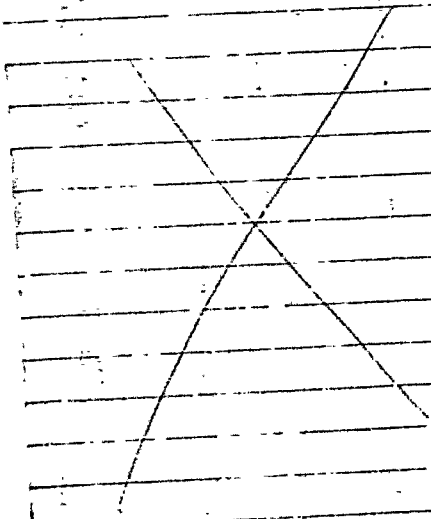
Peter Nielson

8424B

Ward 9 Permit No. 37/322
Location 1131 Forest Ave
Owner Peter Nielsen
Date of permit 3/22/37
Notif. closing-in _____
Inspn. closing-in _____
Final Notif. _____
Final Inspn. _____
Cert. of Occupancy issued None

NOTES

3/29/37. Not started yet.





DEPT

PERMIT ISSUED

Original Permit No.

Amendment No. 1 1934

AMENDMENT TO APPLICATION FOR PERMIT

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

Portland, Maine, September 28, 1934

The undersigned hereby applies for an amendment to Permit No. 54/1581 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 1151 Forest Avenue Ward 9 With the Fire Limits? no Dist. No. Owner's or Lessee's name and address Peter Nelson, 828 Forest AvenueContractor's name and address E. H. Barry, 78 Woodman Ave. 3-7733Plans filed as part of this Amendment no No. of sheets

Description of Proposed Work

To provide new 8' door in rear of building so it may be used as a three car garage.

Approved:

WILLIAM J. BROWN

Chief of Fire Department.

Signature of Owner

Peter Nelson

Approved:

10/1/34Warren D. Dwyer



LIMITED BUSINESS ZONE
APPLICATION FOR PERMIT

PERMIT ISSUED

SEP 19 1934

Class of Building or Type of Structure Third Class

Portland, Maine, September 12, 1934

To the SPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to ~~erect~~ alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 1151 Forest Avenue Ward 8 Within Fire Limits? NO Dist. No. _____
Owner's or lessor's name and address Peter Neilson, 839 Forest Ave. Telephone 37-718
Contractor's name and address H. S. Perry, 78 Goodwin Ave. Telephone 4-7876
Architect's name and address _____
Proposed use of building 2 car garage No. families _____
Other buildings on same lot _____
Plans filed as part of this application? NO No. of sheets _____
Estimated cost \$ 100. Fee \$.50

Description of Present Building to be Altered

Material wood No. stories 1 Heat NO Style of roof pitch Roofing _____
Last use 1 car garage No. families _____

General Description of New Work

To change existing door opening to 8' opening 8' high, new 8 1/2' opening, 9' high)
To cut in new 8' opening (gable end of building)

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by the heating contractor.

Details of New Work

Height average grade to top of plate _____
Size, front _____ depth _____ No. stories _____ Height average grade to highest point of roof _____
To be erected on solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____
Material of underpinning _____ Height _____ Thickness _____
Kind of Roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____
Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____
Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
Material columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
Joists & rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot 1, to be accommodated 2
Total number commercial _____ to be accommodated none
Will automobile repairs _____ other than minor repairs to cars habitually stored in the proposed building? no

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

INSPECTION COPY

Oliver T. Sanborn

CHIEF OF FIRE DEPT.

Signature of owner Peter Neilson

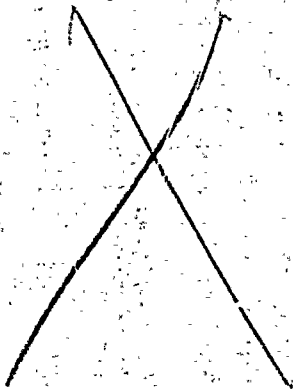
Herbert S. Perry

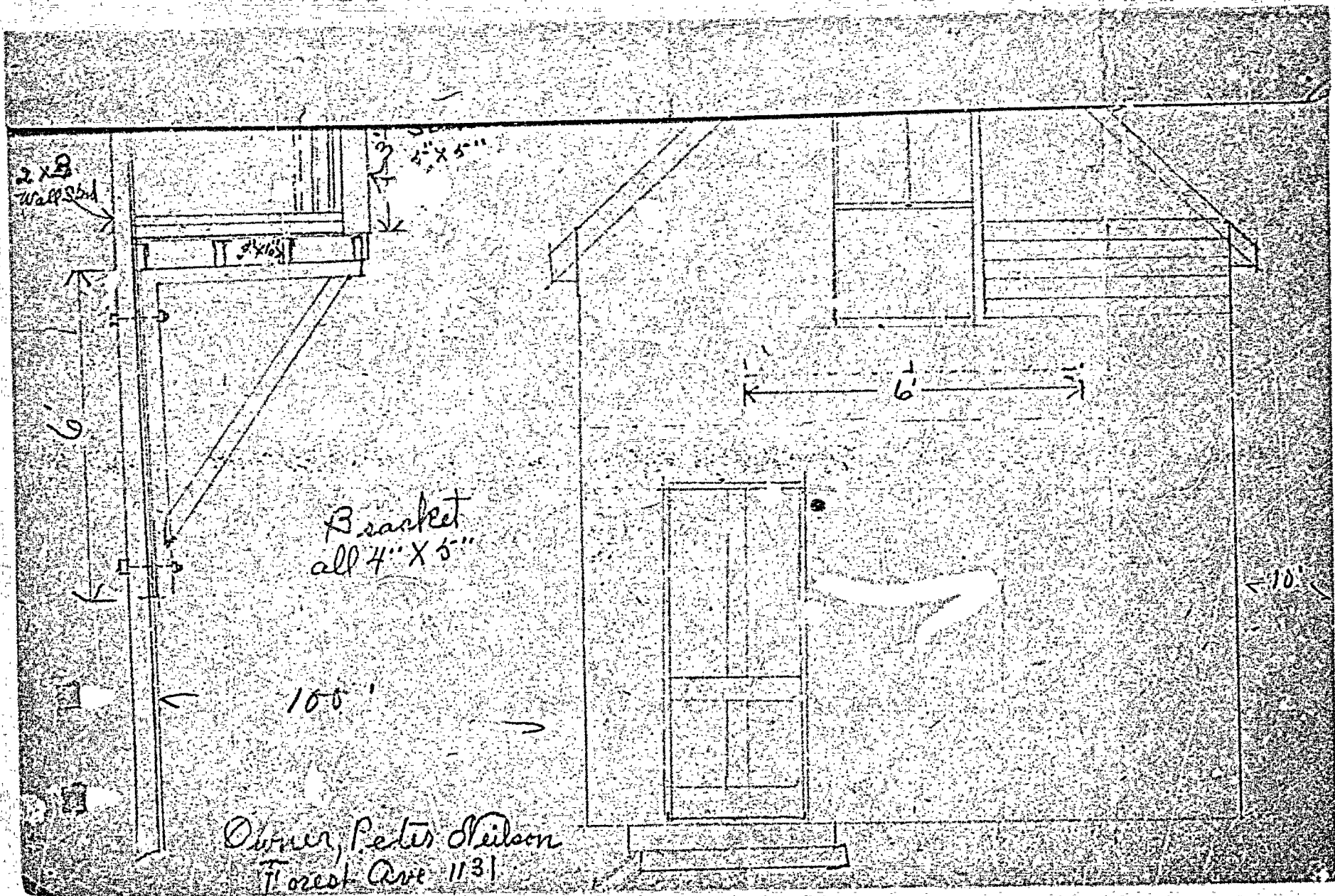
2735B

Ward 9 Permit No. 34/1381
1131 Forest Ave
Owner Peter Neilson
Date of permit 9/19/34
Notif.
Inspn. closing-in
Final Notif.
Final Inspn. 10/4/34
Cert. of Occupancy issued None

NOTES

9/26/34 Work not yet
done - ajs
10/4/34 Work done -
ajs







APPLICATION FOR PERMIT ^{Permit Issued}

1970

Class of Building or Type of Structure Third Class SEP 7 1933

Portland, Maine, September 7, 1933

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to ~~erect~~ alter ~~install~~ the following building ~~structure equipment~~ in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 1121 Forest Avenue Ward 9 Within Fire Limits? no Dist. No. _____
Owner's or lessee's name and address Peter Neilson, Forest Ave. Telephone _____
Contractor's name and address H. S. Berry, 78 Woodlawn Ave Telephone 37728
Architect's name and address _____
Proposed use of building dwelling house No. families 2
Other buildings on same lot _____
Plans filed as part of this application? yes No. of sheets 1
Estimated cost \$ 25. Fee \$.25

Description of Present Building to be Altered

Material wood No. stories 2-1 1/2 Heat _____ Style of roof _____ Roofing _____
Last use dwelling house No. families 2

General Description of New Work

To construct platform 4' on rear of building, second floor level, changing window to door to lead onto porch

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Size, front _____ depth _____ No. stories _____ Height average grade to top of plate _____
To be erected on solid or filled land? _____ earth or rock? _____
Material of foundation brackets 4x5 Thickness, top _____ bottom _____
Material of underpinning _____ Height _____ Thickness _____
Kind of Roof no Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____
Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____
Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
Material columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
Joists and rafters: 1st floor 2x8, 2nd _____, 3rd _____, roof no
On centers: 1st floor 12", 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor 6', 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____
Total number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

INSPECTION COPY

Signature of owner

Peter Neilson

Herbert S. Berry

573

Ward 9 Permit No. 33/1270

Location 1131 Forest Ave

Owner Peter Neilson

Date of permit 9/7/33

Notif. closing-in

Inspn. closing-in

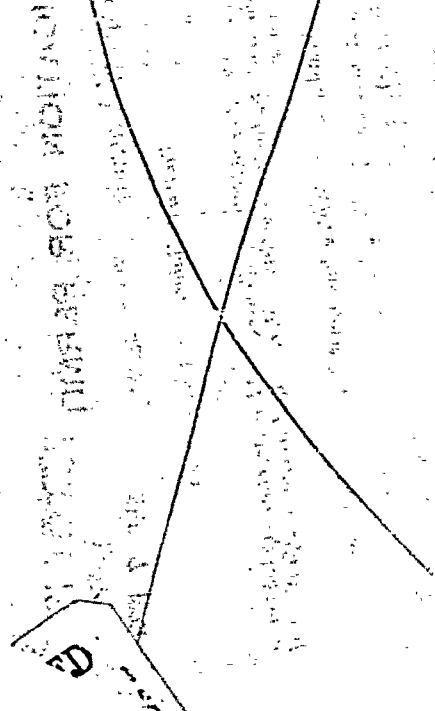
Final Notif.

Final Inspn. 9/13/33 OK

Cert. of Occupancy issued None

9/9/33. NOTES

Work not started. jcd



YOU!

are responsible for complying
with the law, whether you
know the requirements or not.

Location, Ownership and detail must be correct, complete and legible.

Separate application required for every building.

Plans must be filed with this application.

BEFORE Commencing Work.



Application for Permit for Alterations, etc.

EXPENSE
Portland, Me., Mar. 24, 1926. 19

To the

INSPECTOR OF BUILDINGS:

The undersigned applies for a permit to alter the following described building:—

Description of Present Bldg.
Location 1151 Forest Ave. Ward 9 in fire-limits? No.
Name of Owner Isaiah Hawkes Address 1151 Forest Ave.
" " Contractor, Owner
" " Architect,
Material of Building is Wood Style of Roof, Material of Roofing,
Size of Building is feet long; feet wide. No. of Stories, 1 1/2
Cellar Wall is constructed of is inches wide on bottom and batters to inches on top.
Underpinning is is inches thick; is feet in height.
Height of Building Wall, if Brick; 1st, 2d, 3d, 4th, 5th.
What was Building last used for? Dwelling No. of Families? 2
What will Building now be used for? Same

Detail of Proposed Work

Build one story piazza about 8 ft. x 10 ft. . This will be a front piazza
and will set on concrete posts extended well down below frost line. All work
will comply with the building ordinance.

NOTTICA, ON
before
LATHING OR CLOSING IN
Estimated Cost \$ 100.00

If Extended On Any Side

Size of Extension, No. of feet long?; No. of feet wide?; No. of feet high above sidewalk?
No. of Stories high?; Style of Roof?; Material of Roofing?
Of what material will the Extension be built? Foundation?
If of Brick, what will be the thickness of External Walls? inches; and Party Walls inches.
How will the extension be occupied? How connected with Main Building?

When Moved, Raised or Built Upon

No. of Stories in height when Moved, Raised, or Built upon? Proposed Foundations?
No. of feet high from level of ground to highest part of Roof to be?
How many feet will the External Walls be increased in height? Party Walls

If Any Portion of the External or Party Walls Are Removed

Will an opening be made in the Party or External Walls? in Story.
Size of the opening? How protected?
How will the remaining portion of the wall be supported?

Signature of Owner or
Authorized Representative Isaiah Hawkes

Address By D. L. Hunt

Fee \$ 0.25

PERMIT MUST BE OBTAINED BEFORE BEGINNING WORK

P.F.

26/130

1123-13
1131 Forest Avenue
Lenah Station
March 24, 1926.

RECEIVED BELORE EPOCHING (100)



YOU are responsible for the location, ownership, and detail must be correct, complete and legible. Separate application required for every building.

RECEIVED
This Application and
Get All Grants to
BEFORE CARRYING OUT WORK.
APPLICATION FOR PERMIT TO BUILD
A PRIVATE GARAGE

Portland, Me., December 3, 1925

TO THE
INSPECTOR OF BUILDINGS

The undersigned hereby applies for a permit to build, according to the following Specifications:-

Location 1131 Forest Ave Fire Districts no Ward 9

Name of owner is? I Hawkes Address 1131 Forest Ave

Name of mechanic is? Everett Budd Address Forest Ave

Proposes occupancy of building (purpose)? wood Private garage for three

cars only, and no space to be let.

All parts of garage will be at least two feet from all lot lines.

Garage will be at least 100 feet from all windows of adjoining property.

A fire extinguisher to be kept in garage.

Size of building, No. of feet front? 20ft; No. of feet rear? 20ft; No. of feet deep? 36ft

No. of stories? 1

No. of feet in height from the mean grade of street to the highest part of the roof? 12ft

Floor to be? earth

Will the roof be flat, pitch, mansard, or hip? pitch Material of roofing? asphalt

Will there be a chimney? no Will the flues be lined? no No stoves to be used.

Will the building conform to the requirements of the law? yes

Will the building be as good in appearance as other surrounding buildings? yes

Have you or any person acting for you previously applied for a permit to build a private garage? no

~~Is this building to be used for any other purpose?~~ Two family house and two car private garage

~~No portion of this building will be used for transacting a public automobile business by way of letting, selling or repairing of automobiles, or where services connected with the business are rendered to the general public, or where more than three automobiles are kept in live storage.~~

~~The above construction will not require the removal of or disturbing of any shade tree on the public street.~~

Estimated Cost,

\$ 325

Signatures of owner or authorized representative;

Isaiah Hawkes

Address,

Olin J. Sargent

2487

1123-33

1131 Forest Ave

Dec 3/25

DEC 3 1925



YOU!

are responsible for complying with the law, whether you application required for every building. Plans must be filed with this application.

READ!

This Application and
APPLICATION FOR PERMIT TO BUILD
BEFORE COMMENCING WORK (3RD CLASS BUILDING)

Fail to Do So

Penalty

Portland, Me., May 11, 1925 19

TO THE

INSPECTOR OF BUILDINGS

The undersigned hereby applies for a permit to build, according to the following

Specifications:—

Location 1131 Forest Ave Ward 9 Fire Limits? no
Name of owner is? C E Hammond Address 1131 Forest Ave
Name of mechanic is? owner Address _____
Name of architect is? _____ Address _____
Proposed occupancy of building (purpose)? dwelling (camp)
If a dwelling or tenement house, for how many families? 1
Are there to be stores in the lower story? _____
Size of lot, No. of feet front? _____; No. of feet rear? _____; No. of feet deep? _____
Size of building, No. of feet front? 12ft; No. of feet rear? 12ft; No. of feet deep? 24ft
No. of stories, front? 1 1/2; rear? _____
No. of feet in height from the mean grade of street to the highest part of the roof? 12ft
Distance from lot lines, front? _____ feet; side? _____ feet; side? _____ feet; rear? _____
Firestop to be used? yes
Will the building be erected on solid or filled land? _____
Will the foundation be laid on earth, rock or piles? _____
If on piles, No. of rows? _____ distance on centers? _____ length of? _____
Diameter, top of? _____ diameter, bottom of? _____
Size of posts, 4x6 Studding 2x4 16 O. C. Sills 4x8 Roof Rafters 2x6 24 O. C. Girders 6x8
Size of girts 4x4
Size of floor timbers? 1st floor 2x6, 2d 2x6, 3d _____, 4th _____
O. C. " " " 16, 2d 16, 3d _____, 4th _____
Span " " " not over 16, 2d not over 16, 3d _____, 4th _____
Will the building be properly braced? yes. Bridging in every floor span over 8ft
Building, how framed? Sills and posts will be all one piece in cross section
Material of foundation? posts thickness of? _____ laid with mortar? _____
Underpinning, material of? _____ height of? _____ thickness of? _____
Will the roof be flat, pitch, mansard or hip? pitch Material of roofing? asphalt
Will the building be heated by steam, furnaces, stoves or grates? stove Will the flues be lined? yes
Will the building conform to the requirements of the law? yes
Means of egress? _____

If the building is to be occupied as a Tenement House, give the following particulars

What is the height of cellar or basement? _____
What will be the clear height of first story? _____ second? _____ third? _____
State what means of egress is to be provided _____
_____ Scuttle and stepladder to roof? _____

Estimated Cost,

\$ 500.

Signature of owner or authorized representative,

Address,

Plans submitted? _____

Received by? _____

PERMIT MUST BE RECEIVED BEFORE BEGINNING WORK

Plans must be submitted in duplicate, one set to be filed with the Department and the duplicate set thereof (bearing the approval of the Inspector of Buildings) shall be kept on the work and exhibited on demand.

1661

1123-23

1131 Forest Ave

May 12, 1925

*all
4/3/25*



Location, Ownership and detail must be correct, complete and legible.
Separate application required for every building.
Plans must be filed with this application.

Application for Permit for Alterations, etc.

Portland, Me., Oct 23, 1924 19

To the
INSPECTOR OF BUILDINGS:

The undersigned applies for a permit to alter the following described building:—

Description of
Present
Bldg.

Location 1131 Forest Avenue Ward 9 in fire-limits? no
Name of Owner or Les-ee. I Hawkes Address Brooks Street
" Contractor, E G Budd " Aldworth St
" Architect, " "
Material of Building is wood Style of Roof, pitch Material of Roofing, asphalt
Size of Building is 40ft feet long; 28ft feet wide. No. of Stories, 1½
Cellar Wall is constructed of stone is inches wide on bottom and batters to inches on top.
Underpinning is brick is inches thick; is feet in height.
Height of Building 25ft Wall, if Brick; 1st, 2d, 3d, 4th, 5th, 1
What was Building last used for? dwelling No. of Families? 1
What will Building now be used for? dwelling 2 families

Detail of Proposed Work

Cut in interior doors, build dormer window, alter one partition, put in
two bathrooms, new heating plant all to comply with the building
ordinance

Estimated Cost \$ 1500.

If Extended On Any Side

Size of Extension, No. of feet long?; No. of feet wide?; No. of feet high above sidewalk?
No. of Stories high?; Style of Roof?; Material of Roofing?
Of what material will the Extension be built? Foundation?
If of Brick, what will be the thickness of External Walls? inches; and Party Walls inches.
How will the extension be occupied? How connected with Main Building?

When Moved, Raised or Built Upon

No. of Stories in height when Moved, Raised, or Built upon? Proposed Foundations?
No. of feet high from level of ground to highest part of Roof to be?
How many feet will the External Walls be increased in height? Party Walls

If Any Portion of the External or Party Walls Are Removed

Will an opening be made in the Party or External Walls? in Story.
Size of the opening? How protected?
How will the remaining portion of the wall be supported?

Signature of Owner or
Authorized Representative

Address

Irish Hawkes

PERMIT MUST BE OBTAINED BEFORE BEGINNING WORK

11 00

11 Extended on 27th 2014

DATE 10-19-63 BY 3803

Year	Month	Day	Time	Place	Event	Remarks
1907	Jan	1	10:00	St. Paul	Arrived	From New York
1907	Jan	2	10:00	St. Paul	Departed	For Chicago
1907	Jan	3	10:00	Chicago	Arrived	From St. Paul
1907	Jan	4	10:00	Chicago	Departed	For New York
1907	Jan	5	10:00	New York	Arrived	From Chicago
1907	Jan	6	10:00	New York	Departed	For St. Paul
1907	Jan	7	10:00	St. Paul	Arrived	From New York
1907	Jan	8	10:00	St. Paul	Departed	For Chicago
1907	Jan	9	10:00	Chicago	Arrived	From St. Paul
1907	Jan	10	10:00	Chicago	Departed	For New York
1907	Jan	11	10:00	New York	Arrived	From Chicago
1907	Jan	12	10:00	New York	Departed	For St. Paul
1907	Jan	13	10:00	St. Paul	Arrived	From New York
1907	Jan	14	10:00	St. Paul	Departed	For Chicago
1907	Jan	15	10:00	Chicago	Arrived	From St. Paul
1907	Jan	16	10:00	Chicago	Departed	For New York
1907	Jan	17	10:00	New York	Arrived	From Chicago
1907	Jan	18	10:00	New York	Departed	For St. Paul
1907	Jan	19	10:00	St. Paul	Arrived	From New York
1907	Jan	20	10:00	St. Paul	Departed	For Chicago
1907	Jan	21	10:00	Chicago	Arrived	From St. Paul
1907	Jan	22	10:00	Chicago	Departed	For New York
1907	Jan	23	10:00	New York	Arrived	From Chicago
1907	Jan	24	10:00	New York	Departed	For St. Paul
1907	Jan	25	10:00	St. Paul	Arrived	From New York
1907	Jan	26	10:00	St. Paul	Departed	For Chicago
1907	Jan	27	10:00	Chicago	Arrived	From St. Paul
1907	Jan	28	10:00	Chicago	Departed	For New York
1907	Jan	29	10:00	New York	Arrived	From Chicago
1907	Jan	30	10:00	New York	Departed	For St. Paul
1907	Jan	31	10:00	St. Paul	Arrived	From New York

PERSONNEL MUST BE OBSERVED BEFORE BEGINNING WORK

1151 Forest Ave

Oct 23, 1924

[illegible]

There are two other very important considerations which must be taken into account in the design of a system for the control of a process. The first is the need for a system which is capable of operating in a safe manner in the event of a failure. The second is the need for a system which is capable of operating in a manner which is consistent with the requirements of the process.

Location, Ownership and detail must be correct, complete and legible.
Separate application required for every building.
Plans must be filed with this application.

Application for Permit for Alterations, etc.

Portland, Me., Sept 22, 1924 19

To the
INSPECTOR OF BUILDINGS:

The undersigned applies for a permit to alter the following described building:—

Location 1131 Forest Ave Ward 9 in fire-limit? NO
Name of Owner or Lessee, Isiah Hawkes Address 1131 Forest Ave
Description of Present Bldg. " Contractor, F. W. Foster " Woodford, R. F. D. 3
" Architect, _____ " _____
Material of Building is wood Style of Roof, Pitch Material of Roofing, Shingle
Size of Building is _____ feet long; _____ feet wide. No. of Stories, _____
Cellar Wall is constructed of _____ is _____ inches wide on bottom and batters to _____ inches on top.
Underpinning is _____ is _____ inches thick; is _____ feet in height.
Height of Building _____ Wall, if Brick; 1st, _____ 2d, _____ 3d, _____ 4th, _____ 5th, _____
What was Building last used for? stable No. of Families? _____
What will Building now be used for? demolish

Detail of Proposed Work

to demolish building all to comply with the building ordinance

Estimated Cost \$ 150.

If Extended On Any Side

Size of Extension, No. of feet long? _____; No. of feet wide? _____; No. of feet high above sidewalk? _____
No. of Stories high? _____; Style of Roof? _____; Material of Roofing? _____
Of what material will the Extension be built? _____ Foundation? _____
If of Brick, what will be the thickness of External Walls? _____ inches; and Party Walls _____ inches.
How will the extension be occupied? _____ How connected with Main Building? _____

When Moved, Raised or Built Upon

No. of Stories in height when Moved, Raised, or Built upon? _____ Proposed Foundations? _____
No. of feet high from level of ground to highest part of Roof to be? _____
How many feet will the External Walls be increased in height? _____ Party Walls _____

If Any Portion of the External or Party Walls Are Removed

Will an opening be made in the Party or External Walls? _____ in _____ Story.
Size of the opening? _____ How protected? _____
How will the remaining portion of the wall be supported? _____

Signature of Owner or
Authorized Representative

Address

F. W. Foster
Woodford, Me.
R. F. D. 3

PERMIT MUST BE OBTAINED BEFORE BEGINNING WORK

100



(1) INDUSTRIAL ZONE

APPLICATION FOR PERMIT

Class of Building or Type of Structure

Location

Portland, Maine, Oct. 20, 1949

PERMIT ISSUED

01783

CITY OF PORTLAND

A-ESS

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to ~~erect~~ install the following building ~~equipment~~ in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 1127-1133 Forest Avenue Within Fire Limits? no Dist. No.
Owner's name and address Antonio Morabito, 1127-1133 Forest Avenue Telephone
Lessee's name and address Telephone
Contractor's name and address Portland Pump Co., 275 Lincoln St., So. Portland Telephone 2-6336
Architect Specifications Plans yes No. of sheets 1
Proposed use of building Service Station Res
Last use
Material No. stories Heat Style of roof Roofing
Other buildings on same lot
Estimated cost \$ Fee \$ 1.00

General Description of New Work

To install 1-2000 gallon and 1-3,000 gallon gasoline tanks. Storage to be for public use. Tanks will be 3' underground and painted with asphaltum. Tanks bear Underwriters label. New installation. 2 electric pumps to be installed. 2" vents, 1 1/2" suction line, 4" fill pipes.

BEFORE Covering Tank and any Piping APPROVAL of FIRE DEPT. Required.

Permit Issued with Memo

SENT to Fire Dept. 10/20/49
Rec'd from Fire Dept. 10/21/49

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO** Portland Pump Co.

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Material of underpinning Height Thickness
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing lumber—Kind Dressed or full size?
Corner posts Sills Girt or ledger board? Size
Girders Size Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor, 2nd, 3rd, roof
On centers: 1st floor, 2nd, 3rd, roof
Maximum span: 1st floor, 2nd, 3rd, roof
If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVED:

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes
Antonio Morabito
Portland Pump Co.

INSPECTION COPY

Signature of owner by

Charles W. Clark

11/23/49

Permit No. 49/1782

Location 1127-1133 Street Ave

Owner Antonio Morales

Date of permit 10/22/49

Notif. closing-in

Inspn. closing-in

Final Notif.

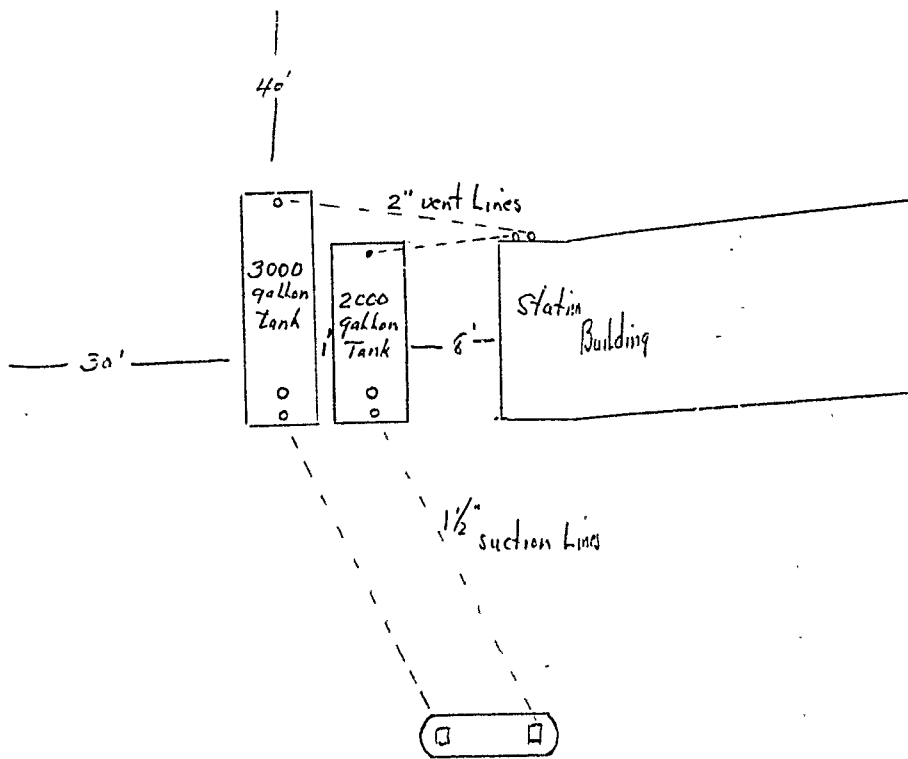
Final Inspn.

Cert. of Occupancy Issued *none*

NOTES

11/9/49- P.I. *281*

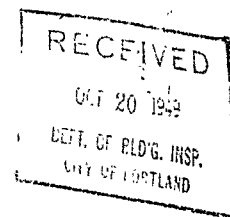
Contractor
Portland Pump Co
275 Lincoln St.
So Portland Me



Sidewalk

Forest Ave

Scale 1"=10'



Memorandum from Department of Building Inspection, Portland, Maine

1127-1133 Forest Avenue--Installation of 1-2000 gallon gasoline tank and 1-3000 gallon gasoline tank for Antonio Morabito by Portland Pump Co., installers

Before tank and piping is covered from view, installer is required to notify Fire Department Headquarters of readiness for inspection and to refrain from covering up until approved by the Fire Department.

These tanks of 2000 and 3000 gallons capacity are required to be of steel or wrought iron no less in thickness than No. 7 gauge and before installation are required to be protected against corrosion, even though galvanized, by two preliminary coats of red lead and heavy coat of hot asphalt.

Pipe lines connected to underground tanks, other than tubing and except fill lines and test wells, must be provided with double swing joints arranged to permit the tank to settle without impairing the efficiency of the pipe connections.

Owner and installer will have to bear the responsibility for the structural capacity of the tank to support loads from above such as heavy motor trucks.

If tanks will be so located as to be subjected to the action of tide water or "ground" water, adequate anchorage or weighting must be provided to prevent "floating" when tank is empty or nearly so.

S

CC: Mr. Antonio Morabito
1127-1133 Forest Avenue

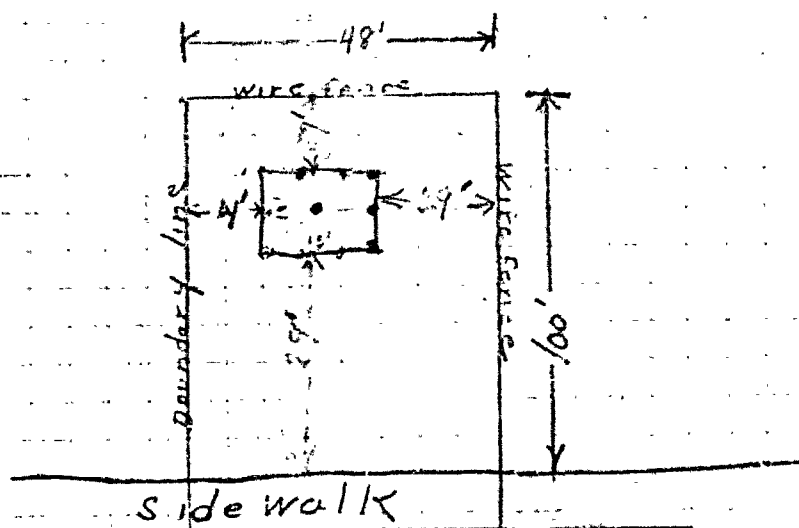
Oliver T. Sanborn, Chief
of the Fire Department

(Signed) Warren McDonald
Inspector of Buildings

for information

Trydole E. Tullis, Jr.
Carmel - Bishop - Thomas Ave.

Building
15' x 12'



← (Morrill's Corner) Forest - Ave



STATEMENT ACCOMPANYING APPLICATION FOR BUILDING PERMIT

for William J. Gatti Date 1/10/47
at 1129 West Ave.

1. In whose name is the title of the property now recorded? John Gatti
2. Are the boundaries of the property in the vicinity of the proposed work shown clearly on the ground, and how? Yes
3. Is the outline of the proposed work now staked out upon the ground? No
If not, will you notify the Inspection Office when the work is staked out and before any of the work is commenced? Yes
4. What is to be maximum projection or overhang of eaves or drip? 6"
5. Do you assume full responsibility for the correctness of the location plan or statement of location filed with this application, and does it show the complete outline of the proposed work on the ground, including bay windows, porches and other projections? Yes
6. Do you assume full responsibility for the correctness of all statements in the application concerning the sizes, design and use of the proposed building? Yes
7. Do you understand that in case changes are proposed in the location of the work or in any of the details specified in the application that a revised plan and application must be submitted to this office before the changes are made? Yes

William J. Gatti

Temporary Certificate only Final to be issued later	CITY OF PORTLAND, MAINE	
	DEPARTMENT OF BUILDING INSPECTION	
	CERTIFICATE OF OCCUPANCY	
	This is to certify that the building at 1120 Forest Avenue, built under Building Permit No. 47/665 has been finally inspected and may now be oc- cupied for the purpose of office.	
	Date 4/10/17	
	Inspector of Buildings	
	Issued to Antonio Corabito	
	(See reverse side for conditions)	

AP 1129 Forest Avenue-I

April 11, 1947

Mr. Antonio Morabito
243 Conant Street
Westbrook, Maine

Subject: Permit for construction of one-story
frame office building 12' x 15' at 1129
Forest Avenue

Dear Sir:

Permit for the above work is issued herewith, subject to the following:

1. The cedar posts to support building will be spaced no more than 5' on centers beneath the front and rear walls of the building and the girder supporting the center of the floor. The 4x6 sills and girder will be placed with the 6" upright.
2. The exterior walls will be covered with wooden boards not less than one inch (nominal dimension) in thickness, which will be covered with material that is weather resistive and permanently durable for outside exposure.
3. Suitable ties will be provided at the plate line to keep the walls of the building from spreading. Before any closing-in of the inside of building, either of walls or ceilings, is done, inspection is required by this office, at which time, if everything is found in order, a green tag giving permission to close in will be issued.
4. We understand that this office building is to be used in connection with a used car lot on the premises. While it is true that this use is allowable in the Industrial Zone where the property is located, you should also realize that conduct of this business in such a way as to make it injurious, noxious or offensive to the neighborhood by reason of the emission of odor, fumes, dust, smoke, vibration or noise or other cause would be contrary to the Zoning Ordinance.

Very truly yours,

Inspector of Buildings

WMCB/S

P.S. If any advertising signs are proposed on the lot, other than signs flat against the wall of the building, it will be best for you to tell this office just what you propose with a location sketch showing location of the sign with relation to the street line and the side property lines, since these matters are controlled in some instances by Building Code regulations.



(D) INDUSTRIAL ZONE
APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class

Permit No. 00665

Portland, Maine, April 10, 1947

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect ~~and install~~ the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 1129 Forest Avenue Within Fire Limits? no Dist. No. _____
Owner's or Lessee's name and address Antonio Forabito, 242 Conant St., Westbrook Telephone _____
Contractor's name and address owner Telephone _____
Architect _____ Plans filed yes No. of sheets 2
Proposed use of building Office No. families _____
Other buildings on same lot _____
Estimated cost \$ 300. Fee \$.50 pd. 4/9/47
Description of Present Building to be Altered
Material _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____
Last use _____ No. families _____

General Description of New Work

To construct 1 story frame building 15'x12' for use as office.

Permit Issued with Letter

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Is any plumbing work involved in this work? yes
Is any electrical work involved in this work? yes Height average grade to top of plate 8'
Size, front 15' depth 12' No. stories 1 Height average grade to highest point of roof 12'
To be erected on solid or filled land? solid earth or rock? earth
Material of foundation cedar posts at least 4' below grade Thickness, top _____ bottom _____ cellar _____
Material of underpinning _____ Height _____ Thickness _____
Kind of roof pitch-gable Rise per foot 7" Roof covering asphalt roofing class C and lab.
No. of chimneys none Material of chimneys _____ of lining _____
Kind of heat none Type of fuel _____ Is gas fitting involved? _____
Framing lumber—Kind hemlock Dressed or full size? dressed
Corner posts 4x6 Sills 4x6 Girt or ledger board? _____ Size _____
Material columns under girders cedar posts Size 3x4 Max. on centers 5'
Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
Joists and rafters: 1st floor 2x6, 2nd _____, 3rd _____, roof 2x4
On centers: 1st floor 16", 2nd _____, 3rd _____, roof 24"
Maximum span: 1st floor 7'6", 2nd _____, 3rd _____, roof 6'
If one story building with masonry walls, thickness of walls? 4x6 through center - 6" upright height? _____

If a Garage

No. cars now accommodated on same lot _____ to be accommodated _____
Total number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of owner Antonio Forabito

ORIGINAL

Permit No 47/665
Location 1129 Forest ave
Owner Antonio Moritola
Date of permit 4/11/47
Notif. closing-in _____
Inspn. closing-in _____
Final Notif. _____
Final Inspn. _____
Cert. of Occupancy issued 4/30/47

NOTES

4/10/47 - Staking out
O.R. 1 - C. 100 ft
4/18/47 - Givens did all with
kind of flat as told him to
add a 7" x 6" on top of the
in small wood cut etc. E. 1/2
4/29/47 - Cross B.T. to
above in 200 ft around
wing till same has been
imp. approved. E. 1/2



(I) INDUSTRIAL ZONE

APPLICATION FOR PERMIT

Class of Building or Type of Structure Third
Portland, Maine, April 9, 1947

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to ~~construct~~ ^{move} ~~install~~ the following building ~~structure~~ in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 1129 Forest Avenue Within Fire Limits? Yes Dist. No. 1
Owner's name and address Antonio Morabito, 233 Commercial St., Westbrook Telephone _____
Lessee's name and address _____ Telephone _____
Contractor's name and address Chase Transfer Co., 25 Commercial Street Telephone _____
Architect _____ Specifications _____ Plans _____ No. of sheets _____
Proposed use of building Office No. families _____
Last use _____ No. families _____
Material wood No. stories 1 Heat _____ Style of roof _____ Roofing _____
Other buildings on same lot none
Estimated cost \$ _____ Fee \$.50

General Description of New Work

To move one story frame office 12' x 13' from 233 Forest Avenue to 1129 Forest Avenue

THIS PERMIT DOES NOT INCLUDE THE
RIGHT OF CONSTRUCTION OR ALTERATION
OF THE BUILDING OR STRUCTURE

NOTIFICATION BEFORE LATHING
OR CLOSING-IN IS WAIVED
CERTIFICATE OF OCCUPANCY
REQUIREMENT IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
Height average grade to top of plate _____ Height average grade to highest point of roof _____
Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
Material of foundation cedar posts Thickness, top _____ bottom _____ cellar _____
Material of underpinning at least 4" below grade Height _____ Thickness _____
Kind of roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
Framing lumber—Kind _____ Dressed or full size? _____
Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

INSPECTION COPY

Signature of owner

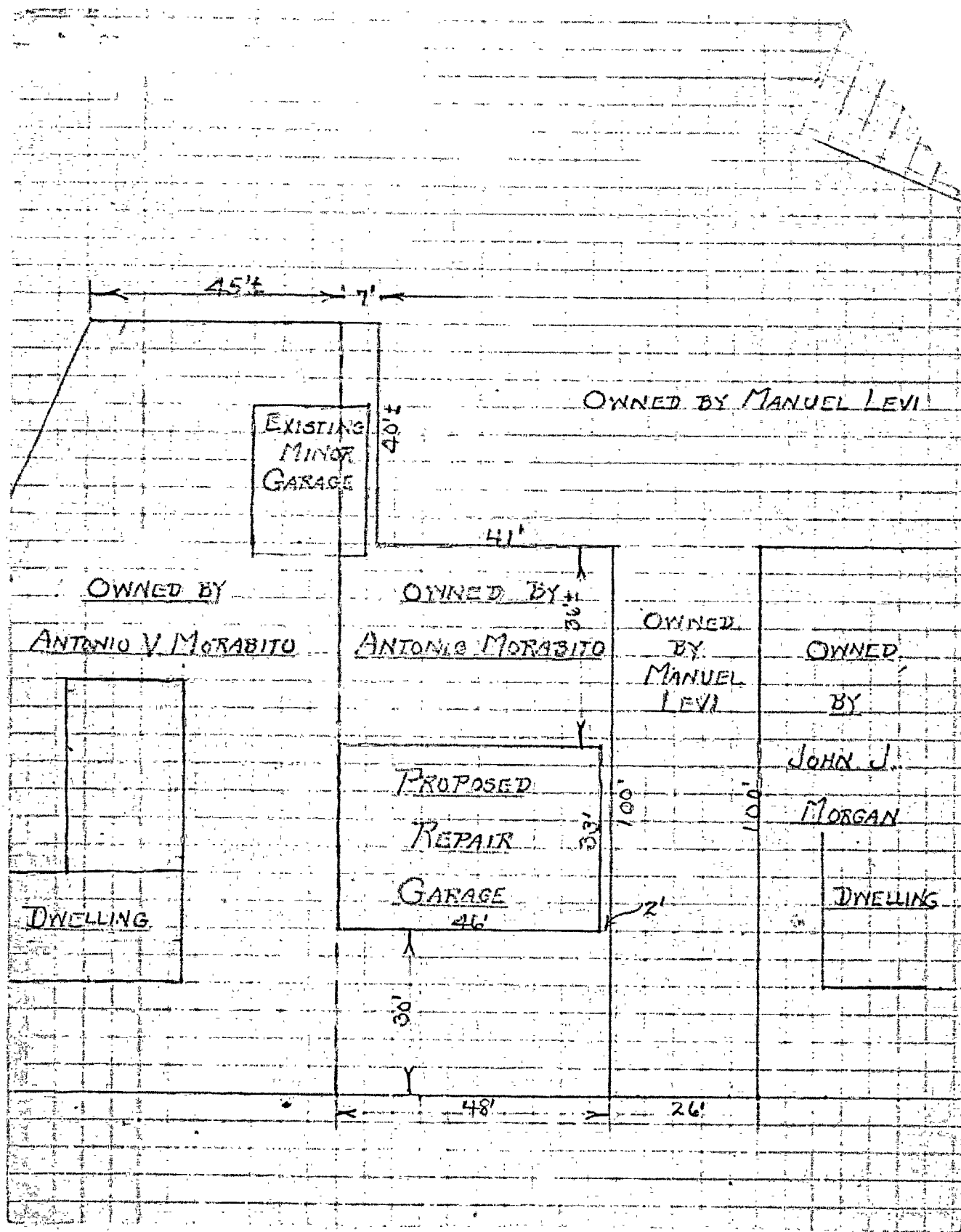
Antonio Morabito

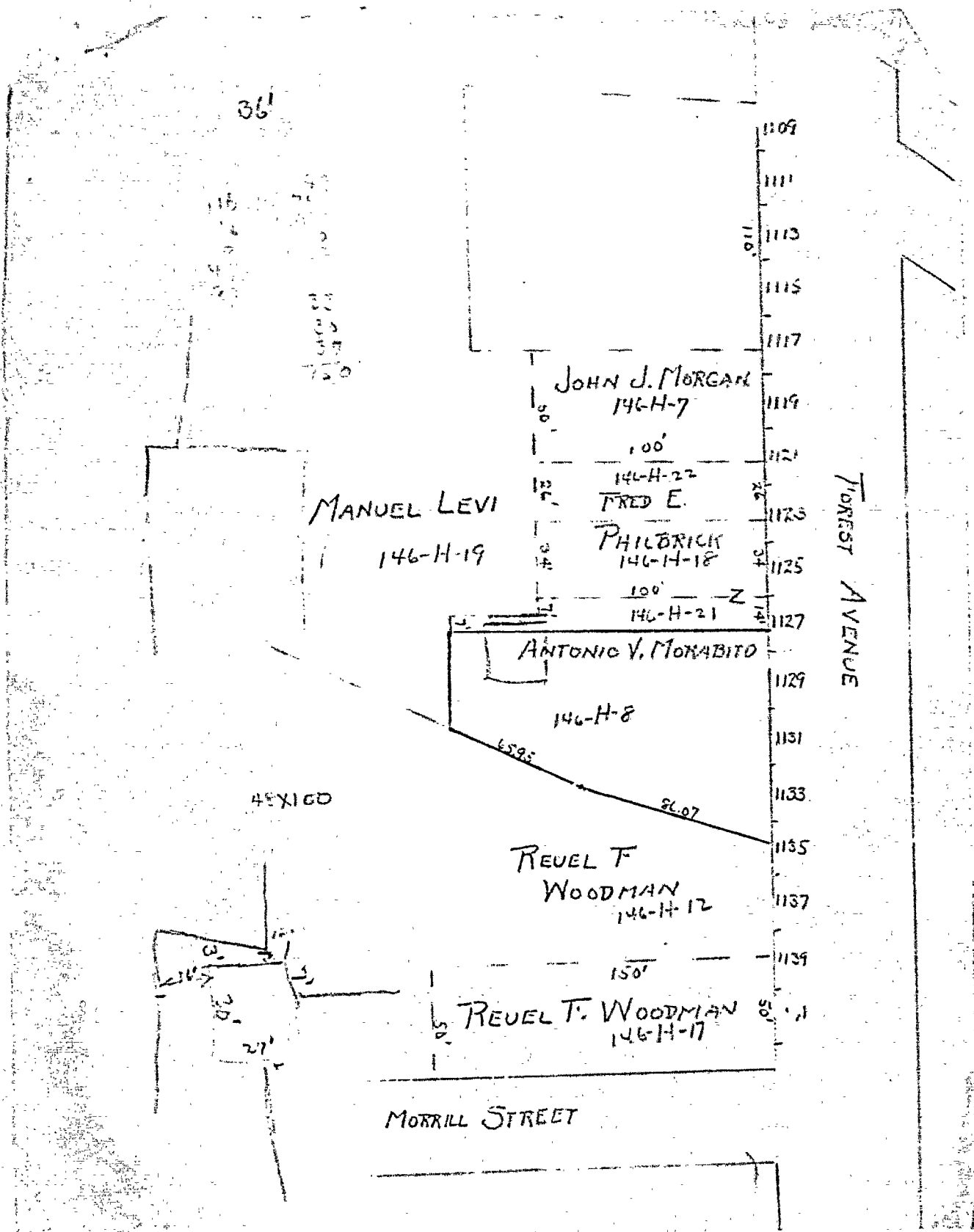
Permit No. 471
Location 1129 Forest Ave.
Owner Antonio Morabito
Date of permit 4/1/47
Notif. closing-in _____
Inspn. closing-in _____
Final Notif. _____
Final Inspn. _____
Cert. of Occupancy issued _____

NOTES

4/10/47 - [unclear] [unclear] [unclear]

Not to be used for new
work - [unclear]
[unclear] [unclear]





Ap 1129 Forest Avenue-I

ATH
LESS
RT
AJS
PH
DC
DY
BS

March 24, 1947

C. D'Alfonso & Son
47 Adam Street
Mr. Antonio V. Morabito
243 Conant Street
Eastbrook, Maine

Subject: Application for building permit on
August 22, 1946 for construction of concrete
block service station at 1129 Forest Avenue
and refund of building permit fee of six
dollars

Gentlemen:

I have the contractor's request for refund of the above building
permit fee and the returned receipt for that fee.

This refund is being certified to the City Auditor and the con-
tractor will doubtless receive the money by voucher as soon as the
matter has been cleared.

This letter is for the purpose of formally refusing to issue the
permit so that the fee may be legally refunded. The Building Code pro-
vides that such a building permit fee shall only be refunded after issu-
ance of the permit has been denied and if the receipt for the fee is
returned to this office within ten days of that refusal.

Very truly yours,

Inspector of Buildings

EMCD/J

STATEMENT ACCOMPANYING APPLICATION FOR BUILDING PERMIT

for Antonio V. Marabito
at 1129 Forest Ave.

Date 8/22/46

1. In whose name is the title of the property now recorded? _____
2. Are the boundaries of the property in the vicinity of the proposed work shown clearly on the ground, and how? Stakes
3. Is the outline of the proposed work now staked out upon the ground? No
If not, will you notify the Inspection Office when the work is staked out and before any of the work is commenced? Yes
4. What is to be maximum projection or overhang of eaves or drip? None
5. Do you assume full responsibility for the correctness of the location plan or statement of location filed with this application, and does it show the complete outline of the proposed work on the ground, including lay windows, porches and other projections? Yes
6. Do you assume full responsibility for the correctness of all statements in the application concerning the sizes, design and use of the proposed building? Yes
7. Do you understand that in case changes are proposed in the location of the work or in any of the details specified in the application that a revised plan and application must be submitted to this office before the changes are made? Yes

C. DiGennaro

900430

Permit# _____ City of Portland BUILDING PERMIT APPLICATION Fee \$10. Zone _____ Map # _____ Lot# _____
 Please fill out any part which applies to job. Proper plans must accompany form.

Owner: Rebecca Rice Phone # 773-1314
 Address: 1129 Forest Ave.; Portland, ME 04101
 LOCATION OF CONSTRUCTION 1129 Forest Ave.
 Contractor: Clean Harbors Of Maine
 Address: 17 Main St; South Portland, ME Phone # 799-3111
 Est. Construction Cost: 04106 Proposed Use: commercial
 Past Use: same
 # of Existing Res. Units _____ # of New Res. Units _____
 Building Dimensions L _____ W _____ Total Sq. Ft. _____
 # Stories: _____ # Bedrooms _____ Lot Size _____
 Is Proposed Use: Single Condominium _____ Conversion _____
 Explain Conversion REMOVE three tanks- 2,000-gallon gasoline
4,000-gallon gasoline
4,000-gallon gasoline

PERMIT ISSUED
 For Official Use Only
 Date 5/21/90 Subdivision: _____
 Inside Fire Limits _____ Name MAY 25 1990
 Bldg Code _____ Lot _____
 Time Limit _____ Ownership City Of Portland
 Estimated Cost _____
 Zoning: _____
 Street Frontage Provided: _____
 Provided Setbacks: Front _____ Back _____ Side _____
 Review Required: _____
 Zoning Board Approval: Yes _____ No _____ Date: _____
 Planning Board Approval: Yes _____ No _____ Date: _____
 Conditional Use: _____ Variance _____ Site Plan _____ Subdivision _____
 Shoreland Zoning Yes _____ No _____ Floodplain Yes _____ No _____
 Special Exception _____
 Other (Explain) OK WWA-7-5-23-96

Foundation:

1. Type of Soil: _____
2. Set Backs - Front _____ Rear _____ Side(s) _____
3. Footings Size: _____
4. Foundation Size: _____
5. Other _____

Floor:

1. Sills Size: _____ Sills must be anchored.
2. Girder Size: _____
3. Lally Column Spacing: _____ Size: _____
4. Joists Size: _____ Spacing 16" O.C.
5. Bridging Type: _____ Size: _____
6. Floor Sheathing Type: _____ Size: _____
7. Other Material: _____

Exterior Walls:

1. Studding Size _____ Spacing _____
2. No. windows _____
3. No. Doors _____
4. Header Sizes _____ Span(s) _____
5. Bracing: Yes _____ No _____
6. Corner Posts Size _____
7. Insulation Type _____ Size _____
8. Sheathing Type _____ Size _____
9. Siding Type _____ Weather Exposure _____
10. Masonry Materials _____
11. Metal Materials _____

Interior Walls:

1. Studding Size _____ Spacing _____
2. Header Sizes _____ Span(s) _____
3. Wall Covering Type _____
4. Fire Wall if required _____
5. Other Materials _____

Ceiling:
 1. Ceiling Joists Size: _____
 2. Ceiling Strapping Size _____ Spacing _____
 3. Type Ceilings: _____
 4. Insulation Type _____ Size _____
 5. Ceiling Height: _____
 Roof:
 1. Truss or Rafter Size _____ Span _____
 2. Sheathing Type _____ Size _____
 3. Roof Covering Type _____
 Chimneys:
 Type: _____ Number of Fire Places _____
 Heating:
 Type of Heat: _____
 Electrical:
 Service Entrance Size: _____ Smoke Detector Required Yes _____ No _____
 Plumbing:
 1. Approval of soil test if required Yes _____ No _____
 2. No. of Tubs or Showers _____
 3. No. of Flushes _____
 4. No. of Lavatories _____
 5. No. of Other Fixtures _____
 Swimming Pools:
 1. Type: _____
 2. Pool Size: _____ x _____ Square Footage _____
 3. Must conform to National Electrical Code and State Law.

Permit Received By Louise E. ChaseSignature of Applicant Bill McCuskey Date 5/21/90Signature of City Bill McCuskey Date 5-22-90

Inspection Dates _____

White-Tax Assessor

Yellow-GPCOG

White-Tax Assessor

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PLOT PLAN



FEES (Breakdown From Front)

Base Fee \$ _____
 Subdivision Fee \$ _____
 Site Plan Review Fee \$ _____
 Other Fees \$ _____
 (Explain) _____
 Late Fee \$ _____

Inspection Record

Type	Date
_____	____/____/____
_____	____/____/____
_____	____/____/____
_____	____/____/____
_____	____/____/____

COMMENTS

2/28/91 OK AR

Signature of Applicant

Bill McLeish

Date

5/21/90

Maine Department of Environmental Protection
Bureau of Oil & Hazardous Materials Control
State House Station #17
Augusta, Maine 04333
Telephone: 207-289-2651
Attn: Tank Removal Notice

7/88
RECEIVED

MAY 21 1990

NOTICE OF INTENT
TO ABANDON (REMOVE) AN
UNDERGROUND OIL STORAGE FACILITY

DEPT OF BUILDING INSPECTIONS
CITY OF PORTLAND

PLEASE TYPE OR PRINT IN INK:

Name of Facility Owner: Rebecca Rice
Mailing Address: 155 Congress St. Portland Telephone No.: 443-1814
City: Portland State: ME Zip Code: 04101
Contact Person (name, address & telephone no.): Jeffrey Rice, Same
Name of Facility: 1129 Forest Ave. Portland Registration No.:
Facility Location: former Team Authority's Susan's Restaurant
(current)

1. Identify the tanks at this location which are to be removed:

	Tank Number	Age of Tank (Years)	Tank Size (Gallons)	Type of Product Most Recently Stored
A.	1		2,000	gasoline
B.	2		4,000	gasoline
C.	3		4,000	gasoline
D.				

2. Directions to Facility (be specific):

1129 Forest Ave., Portland, ME

3. Is tank(s) used for the storage of Class I liquids (e.g. gasoline, jet fuel)? Yes ☒ No ☐ (IF YES, REMOVAL OF THE TANK MUST BE UNDER THE DIRECTION OF A CERTIFIED TANK INSTALLER OR PROFESSIONAL FIREFIGHTER.)

4. Name and telephone number of contractor who will do the tank removal: Clean Harbors of ME, Inc. 799-8111

Certified Tank Installer Certification Number & Name (if applicable):
Jeffrey Rice #300

Professional Firefighter Yes ☐ No ☒ (Affiliation: _____)

5. Expected date of removal:

June 25, 1990

I hereby provide Notice that I intend to properly abandon the underground oil storage facility as described above.

Date:

May 21, 1990

Signature of Tank Owner or Operator

Rebecca Rice

Printed Name and Title

Rebecca Rice

Owner

THIS FORM MUST BE FILED WITH THE DEPARTMENT AND LOCAL FIRE DEPARTMENT 10 DAYS PRIOR TO REMOVAL

Mail original and yellow copy to DEP; pink copy to fire dept.; retain gold copy

BUILDING PERMIT REPORT

DATE: 5-22-90

ADDRESS: 1129 Forest Ave

REASON FOR PERMIT: Underground Tank Removal Installation

1-2,000 gal. 2-4,000 gal. gas

BUILDING OWNER: Forest Park Home Rics

CONTRACTOR: Chem Haborers of Maine

PERMIT APPLICANT Bill M. Caruso

APPROVED: XXX DENIED

CONDITION OF APPROVAL OR DENIAL:

- (1) All underground tank removal and/or installation shall be done in accordance with Department of Environmental Protection Regulations Chapter 691
- (2) No cutting of tanks on site. Cutting of tanks to be done at an approved tank disposal site.
- (3) Fire Dispatcher must be notified 48 hours in advance of removal and/or transportation of tanks.

CITY OF PORTLAND.....DEPT. OF BUILDING INSPECTION

Check List of Compliance with Building Code and Zoning Ordinance Requirements

September 4, 1946

Job Location 1122 Forest Avenue

Owner Antonio V. Morabito

Contractor C. D'Alfonso & Son

Architect F. E. Littlefield

*Ellen G. Grier
Capitol Building*

We are unable to issue permit for the above work because Section 106b of the Building Code requires that applicant must show on application and plans compliance with Building Code and Zoning Ordinance before a building permit is issued, and application and plans of this job do not show compliance with the law as indicated below. References at left are to sections of Building Code where applicable (pending publication of revised Code, old section numbers are used). If plan maker disagrees with statements below, he should seek a conference by phone or in person at this office. If he agrees, plans and application should be corrected accordingly.

1. Sec. 204a. Proposed use of building is given as service station. This usually means what the Building Code calls a Service Garage defined as a garage where motor vehicles other than those habitually kept there are serviced or maintained by such acts as changing oil, greasing, changing tires and the like, but where no repairs of any kind are made. A Repair Garage is defined as a garage where motor vehicles, other than those habitually kept there, are repaired. It should be made clear in the application which type of garage is intended as later sections of the Building Code under garages make a difference between these two classification.

*To be
repair garage*

2. Sec. 204b1. The plat plan divides the property in two lots—one marked 1122 and the other marked 1131. The Assessor's records show the Morabito property to be all one lot including that on which the dwelling house is. The plat plan seems to indicate that it is the intention to set out a separate lot for the garage, and if so the two lots might be under separate ownership sometime in the future.

*Separate
lot*

Our inspector reports that the building, indicated to be 48 feet wide, is staked out 30 inches from an iron fence which he took to be the side of the right of way leading into Casco Bottling Company. If this is correct, this 30 inches plus 48 feet (the width of the building) would make the north wall of the building projecting over the property line which the plat plan sets out as 48 feet from the Casco Bottling right of way.

It is not clear what the distance will be from the rear wall of the garage to the rear property line, but wherever the exterior walls of the garage would be closer than five feet to any private property line whether long existing or now to be set out, the windows in that wall would have to be metal sash and wire glass, any doors would have to be fire doors and the wall would have to be carried to a parapet wall no less than 32 inches above the roof. The cross-section on the plan shows the parapet wall to extend only 24 inches above the roof. If a new property line is to be set out on the north side certainly it should be set out far enough from the Casco Bottling right of way to accommodate the building fully and metal sash and wire glass and the required parapet wall must be on that wall. If the Casco Bottling right of way is a private right of way for them and not controlled by others, then on that side the windows should be metal sash and wire glass, the doors fire doors and the 32-inch parapet wall used. If there would be more than five feet from the rear wall to the rear property line then the parapet wall would not be needed there. Window on side toward Casco Bottling right of way is shown metal sash and wire glass,

September 4, 1946

and the three doors are shown as "Class B". It may be an economy for the owner to find out precisely whether or not the Casco Bottling right of way is controlled only by them and whether or not the fire protection on that side might not be eliminated. Also in this connection see the later provision about ^{Class B} ~~Class B~~ and fire glass and fire doors where exterior openings are closer than 20 feet to a private property line. A little extra bother to find out the true facts may save the owner a little money.

5. Sec. 204c. There is a note on the plan "Building to be provided with sprinkler system. See supplementary specifications." We do not have the supplementary specifications. While we certainly advocate the use of sprinkler systems, the building would be rated as Second Class Construction and would not require a sprinkler system if the building is to be used purely for a Service Garage, as explained above. On the other hand if the sprinkler system were put in, the building could be used for a Repair Garage, if desired, but note special provisions about prohibition of pits in "Repair Garages and other special requirements called to attention later which apply more to Repair Garages than to Service Garages."

4. Sec. 204d. Is there to be one or more lubricating pits? If so, note the requirements for ventilation of pits in this section. All of this should be shown on the plan and if lifts are to be used, they should be shown.

5. Sec. 204e. Two means of egress from the garage part as far apart as possible are required and the large doors cannot be counted as means of egress. These doors are required to be no less than two feet wide nor less than six feet four inches high. A "wicket" door of that size in one of the large doors would meet the requirements for the front of the garage space but there should be another in the rear wall. If desired the exit door in the front of the garage space could lead into the office close to the front wall and then the exit would lead to the exterior door from the office.

6. Sec. 212e5.2 and e5.3. Show and provide a handrail on at least one side of the stairs to boiler room as well as a handrail around the well. Show the treads and risers of the boiler room stairs in figures.

7. Sec. 204f1. If pits are to be used show the protection provided in this section. If pits were desired and the building still was to be used as a Repair Garage, the pits would have to be in a separate fire-resistive room.

8. Sec. 204f3. If there would be electrical equipment in the building tending to produce sparks unless totally enclosed tight and four feet above the floor level, or forges, welding, vulcanizing and other heat-generating apparatus except central heating plants or unit heaters, or apparatus for spraying on paint or finishes in the building, make provision for the separate fire-resistive rooms called for by this section unless protection equivalent thereto and arranged for and approved by the Chief of the Fire Department.

9. Sec. 204f4. Show and provide liquid door closer on the fire door leading to the stockroom which is really a separation between the garage part and the fire room. Normally the raised threshold is required under the fire door. The arrangement you have shown might work out, but I am somewhat doubtful of having open stairway to the heater room from the stockroom where alcohol and other inflammables are likely to be stored. A fire-resistive enclosure around the stairwell might be better.

10. Sec. 204i1. If there are to be any floor drains in the building, they should be shown and the grease and inflammable liquids traps called for by this section indicated and provided.

11. Sec. 204j2. Separate permits are required from this department to cover installation of tanks, pumps, piping, etc. for gasoline, such permits to be applied for by and being issuable only to the actual installer.

To have
sprinkler
system

no
pits

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12. Sec. 302e. The automatic sprinkler system to be provided requires a separate permit from this department and with the application should be filed a plan of the layout bearing upon it the stamp of approval of the New England Insurance Rating Bureau or some equivalent authority. Such applications are to be made by and permits are issuable only to the actual installer.
13. Sec. 305b and cl. I presume the architect has made sure about the bearing capacity of the soil or will make sure about it. Probably there is little question about the bearing capacity of the soil under the wall foundations, but the reactions of the large steel I-beams amount to a good deal and special care should be taken to see that the soil is not overloaded or loaded so much more heavily there than under the wall beside it on either side that unequal settlement will take place and crack the walls. Details of these piers and footings and reinforcement, if any, should be shown.
14. Sec. 306c3.8. The depth of the walls around the heater room—seven feet—represents quite a height of earth to be retained with only a 12-inch thickness of the wall at the bottom. It is true that the heater room floor at the bottom and the reinforced concrete floor at the ground level as well as the weight on top of both walls would keep them from overturning, but they should be investigated to see if sufficient tension would be present in the face of the walls to require reinforcement, since these walls would act as simple slabs, the floors, top and bottom, being the reactions.
15. Sec. 307b8. Though not shown I presume there is no doubt that care will be taken to bond the brick pilasters beneath the steel beams thoroughly into the concrete block wall.
16. Sec. 311c3.2(c). The metal wall anchors where roof joists are parallel to the walls should be three-eighths of an inch thick instead of three-sixteenths.
17. Sec. 302b5. The parapet wall in front of the building is marked on the section through office as to be four feet above the roof. Height of the eight inch wall above the roof is limited to 22 inches unless some means can be devised of reinforcing the wall to make it stable.
18. Sec. 311d1. Fire stops of non-burnable material are required where the ceiling over office and toilet rooms meet the masonry walls.
19. Sec. 104b3. Signed statement of design of the architect is required to be attached to the plan to cover design of structural steel, roof beams and lintels and reinforced concrete floor slabs. Text of the statement may be found in this section and copies may be secured at this office for signing and attaching to the plan.
20. Structural.
 - (1) Presumably all of the structural steel lintels are to be bricked in, and two angles are to be provided over all of the ordinary-sized doors and windows.
 - (2) It is not clear how the isolated piers to support the ends of the steel roof beams are to be built up. Section 308b1d of the Code requires that such piers shall not exceed 10 times their least dimension in unsupported height. Please show how these piers are to be built up and, if partially of concrete block, how bonded together to act as unit.
 - (3) Section 310b3. The six-inch wide flange of the steel roof beams amounts to only about one-sixtieth of the span length, and therefore the top (compression) flange must be adequately braced so that the ratio of the flange width to unsupported span length will not exceed 40. There are various ways of doing this, but the details shown on the cross-section will hardly do it. As a matter of fact, many builders will testify that the details shown will make a hump in the roofing or the roof sheathing due to unequal shrinkage.

Check List—1123 Forest Avenue—4

September 4, 1946

(4) The scheme of roof drainage is not understood. A note on cross-section says: "Pitch one-quarter inch to one foot to center, drain to back of building" but no downspout or other means of drainage at the back of the building appears.

(5) The cross-section of the reinforced concrete floor slab is required showing the distance of the reinforcement above the bottom of the slab, what is to be done about negative tension, if any, and I would like to see his figures of design on using this mesh, also what is to be done around stair-wall. It seems to me that the live load on the stockroom floor ought to be no less than 100 pounds per square foot and on office and toilets no less than 50 pounds per square foot.

(6) I do not understand the designation "three inch tar and gravel for the roof".

Inspector of Buildings

MacD/D

Original to: F. W. Littlefield
91 Bonny Bank Road
South Portland, Maine

Carbon Copy: C. Delfonso & Son
47 Adams Street

Antonio V. Morabito
243 Conant Street
Westbrook, Maine



INDUSTRIAL ZONE
APPLICATION FOR PERMIT

Permit No. _____

Class of Building or Type of Structure Second Class

Portland, Maine, August 22, 1946

Plans destroyed

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 1129 Forest Avenue Ward _____ Within Fire Limits? no Dist. No. _____
Owner's or Lessee's name and address Antonio V. Morabito, 243 Conant St. Telephone _____
Contractor's name and address C. Delfonso, & Son, 17 Adams St. Telephone 3-6313
Architect F. W. Littlefield, Cape Elizabeth, Maine Plans filed yes No. of sheets 1
Proposed use of building Service Station No. families _____
Other buildings on same lot _____
Estimated cost \$ 11,700. Fee \$ 6.00

Description of Present Building to be Altered

Material _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____
Last use _____ No. families _____

General Description of New Work

To construct 1 story concrete block building 46'x33' as per plans.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. Framing Lumber

Kind? hemlock

Details of New Work

Dressed or Full Size? dressed

Height average grade to top of plate _____

Size, front _____ depth _____ No. stories 1 Height average grade to highest point of roof 16' 1/4"

To be erected on solid or filled land? solid earth or rock? earth
at least 4' below grade

Material of foundation concrete Thickness, top 10" bottom 12"

Material of underpinning _____ Height _____ Thickness _____

Kind of Roof flat Rise per foot _____ Roof covering tar and gravel - 5 ply

No. of chimneys 1 Material of chimneys brick of lining tile

Kind of heat steam Type of fuel oil Is gas fitting involved? _____

Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____

Material columns under girders _____ Size _____ Max. on centers _____

Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor concrete, 2nd _____, 3rd _____, roof 2x8

On centers: 1st floor _____, 2nd _____, 3rd _____, roof 16"

Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof 12' 1/4"

If one story building with masonry walls, thickness of walls? 16" height? 16' 1/4"

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____

Total number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree _____ public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Antonio Morabito

Signature of owner _____

ORIGINAL

Ward _____ Permit No. 461
 Location 1129 Forest Ave
 Owner Antonio V. Moribato
 Date of permit 8/1/46
 Notif. closing-in _____
 Inspn. closing-in _____
 Final Notif. 8/3/46
 Final Inspn. _____
 Cert. of Occupancy issued _____

9/24/46 - Location staked
 9/7/46 - Staking - 1st lot

NOTES

8/24/46 - Location staked
 out about 30' in from
 street and 20' from rear
 fence, which is presumed
 close to lot line at corner
 of way. According to owner
 this is the location of the
 two lots. This is in conformity
 with the dwelling house
 on its lot and under one
 ownership. If this be
 true location should be
 O.K. even though it is obvious
 that the lot is less than
 40' wide. The 40' width
 of lot shown on location
 plan from fence is

900430

Permit # City of Portland **BUILDING PERMIT APPLICATION** Fee \$10. Zone Map # Lot #
Please fill out any part which applies to job. Proper plans must accompany form.

Owner: Rebecca Rice Phone # 773-1814
Address: 1129 Forest Ave.; Portland, ME 04101
LOCATION OF CONSTRUCTION 1129 Forest Ave.
Contractor: Clean Harbors Of Maine
Address: 17 Main St; South Pt. Id. Phone # 799-8111
Est. Construction Cost: 04106 Proposed Use: commercial
Past Use: same
of Existing Res. Units # of New Res. Units
Building Dimensions L W Total Sq. Ft.
Stories: # Bedrooms Lot Size
Is Proposed Use: Residential Condominium Conversion
Explain Conversion REMOVE three tanks- 2,000-gallon gasoline
4,000-gallon gasoline
4,000-gallon gasoline

For Official Use Only		PERMIT ISSUED
Date <u>5/21/90</u>	Subdivision: <u> </u>	Name <u>MAY 25 1990</u>
Inside Fire Limits <u> </u>	Lot <u> </u>	City Of Portland
Bldg Code <u> </u>	Ownership <u> </u>	
Time Limit <u> </u>		
Estimated Cost <u> </u>		

Zoning:
Street Frontage Provided: Back Side Side
Provided Setbacks: Front Back Side Side
Review Required:
Zoning Board Approval: Yes No Date:
Planning Board Approval: Yes No Date:
Conditional Use: Variance Site Plan Subdivision
Shoreland Zoning Yes No Floodplain Yes No
Special Exception
Other (Explain) OK WDA 5-23-90

Foundation:

1. Type of Soil:
2. Set Backs - Front Rear Side(s)
3. Footings Size:
4. Foundation Size:
5. Other

Floor:

1. Sills Size: Sills must be anchored.
2. Girder Size:
3. Lally Column Spacing: Size:
4. Joists Size: Spacing 16" O.C.
5. Bridging Type: Size:
6. Floor Sheathing Type: Size:
7. Other Material:

Exterior Walls:

1. Studding Size Spacing
2. No. windows
3. No. Doors
4. Header Sizes Span(s)
5. Bracing: Yes No
6. Corner Posts Size
7. Insulation Type Size
8. Sheathing Type e
9. Siding Type Weather Exposure
10. Masonry Materials
11. Metal Materials

Interior Walls:

1. Studding Size Spacing
2. Header Sizes Span(s)
3. Wall Covering Type
4. Fire Wall if required
5. Other Materials

Roof:
1. Truss or Rafter Size Span
2. Sheathing Type Size
3. Roof Covering Type
Chimneys:
Type: Number of Fire Places
Heating:
Type of Heat:
Electrical:
Service Entrance Size: Smoke Detector Required Yes No
Plumbing:
1. Approval of soil test if required Yes No
2. No. of Tubs or Showers
3. No. of Flushes
4. No. of Lavatories
5. No. of Other Fixtures
Swimming Pools:
1. Type:
2. Pool Size: x Square Footage
3. Must conform to National Electrical Code and State Law.

Permit Received By Louise E. ChaseSignature of Applicant Bill McCusker Date 5/21/90
Signature of CEO Bill McCusker Date 5-22-90Inspection Dates

White-Tax Assesor

Yellow-GPCOG

White Tag-CEO

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PLOT PLAN



FEES (Breakdown From Front)

Base Fee \$ _____
 Subdivision Fee \$ _____
 Site Plan Review Fee \$ _____
 Other Fees \$ _____
 (Explain) _____
 Late Fee \$ _____

Inspection Record

Type	Date
_____	____/____/____
_____	____/____/____
_____	____/____/____
_____	____/____/____
_____	____/____/____

COMMENTS

2/28/91 OK AOL

Signature of Applicant

Bill McIntosh

Date

5/21/90

Maine Department of Environmental Protection
Bureau of Oil & Hazardous Materials Control
State House Station #17
Augusta, Maine 04333
Telephone: 207-289-2651
Attn: Tank Removal Notice

7/88
RECEIVED
MAY 31 1990

NOTICE OF INTENT
TO ABANDON (REMOVE) AN
UNDERGROUND OIL STORAGE FACILITY

DEPT. OF BUILDING INSPECTIONS
CITY OF PORTLAND

PLEASE TYPE OR PRINT IN INK:

Name of Facility Owner: Rebecca Rice
Mailing Address: 155 Congress St. Portland Telephone No.: 973-1814
City: Portland State: ME Zip Code: 04101
Contact Person (name, address & telephone no.): Jeffrey Rice
Same
Name of Facility: 1129 Forest Ave. Portland Registration No.:
Facility Location: former Team Anthony's Susan's Restaurant
(current)

1. Identify the tanks at this location which are to be removed:

	Tank Number	Age of Tank (Years)	Tank Size (Gallons)	Type of Product Most Recently Stored
A.	1		2,000	gasoline
B.			4,000	gasoline
C.	3			gasoline
D.			4,000	

2. Directions to Facility (be specific):
1129 Forest Ave., Portland, ME

3. Is tank(s) used for the storage of Class I liquids (e.g. gasoline, jet fuel)? Yes ☒ No ☐ (IF YES, REMOVAL OF THE TANK MUST BE UNDER THE DIRECTION OF A CERTIFIED TANK INSTALLER OR PROFESSIONAL FIREFIGHTER.)

4. Name and telephone number of contractor who will do the tank removal: Allen Harbois of ME, Inc. 799-8111

Certified Tank Installer Certification Number & Name (if applicable):
tentative: Joe Laby #300

Professional Firefighter Yes ☐ No ☐ (Affiliation: _____)

5. Expected date of removal: June 25, 1990

I hereby provide Notice that I intend to properly abandon the underground oil storage facility as described above.

Date: May 21, 1990

[Signature]
Signature of Tank Owner or Operator

C.H. I.
Printed Name and Title

THIS FORM MUST BE FILED WITH THE DEPARTMENT AND LOCAL FIRE DEPARTMENT 10 DAYS PRIOR TO REMOVAL

Mail original and yellow copy to DEP; pink copy to fire dept.; retain gold copy

BUILDING PERMIT REPORT

DATE: 5-22-90
ADDRESS: 1129 Forest Ave
REASON FOR PERMIT: Underground Installation
1-2000 gal 2-4000 gal
BUILDING OWNER: Forest Rebecca Rice
CONTRACTOR: Clean Harbors of Maine
PERMIT APPLICANT: Bill Mc Carless
APPROVED: XXX DENIED: _____
CONDITION OF APPROVAL OR DENIAL:

- (1) All underground tank removal and/or installation shall be done in accordance with Department of Environmental Protection Regulations Chapter 691
- (2) No cutting of tanks on site. Cutting of tanks to be done at an approved tank disposal site.
- (3) Fire Dispatcher must be notified 48 hours in advance of removal and/or transportation of tanks.