

1129-1131 FOREST AVENUE

1 THRU 1955



APPLICATION FOR PERMIT

B.O.C.A. USE GROUP 00-266

B.O.C.A. TYPE OF CONSTRUCTION

ZONING LOCATION 15-2 PORTLAND, MAINE, April 30, 1980

PERMIT ISSUED

MAY 6 1980

CITY OF PORTLAND

To the DIRECTOR OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 1125 Forest Ave.

1. Owner's name and address	Team Auto Body	same	Fire District #1 <input type="checkbox"/> #2 <input type="checkbox"/>
2. Lessee's name and address			Telephone
3. Contractor's name and address	Bailey Signs	Thompson's Point	Telephone
4. Architect		Specifications	Telephone 774-2843
Proposed use of building	auto repair shop	Plans	No. of sheets
Last use			No. families
Material	No. stories	Heat	No. families
Other buildings on same lot			Roofing
Estimated contractual cost \$			Fee \$ 14.90

FIELD INSPECTOR—Mr.

This application is for:

@ 775-5451

Dwelling

Ext. 234

GENERAL DESCRIPTION

Garage

To erect 7'x7' pole sign - plastic faces
as per plan

Masonry Bldg.

Stamp of Special Conditions

Metal B'dg.

Alterations

Demolitions

Change of Use

Other

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

PERMIT IS TO BE ISSUED TO 1 2 3 4

Other:

DETAILS OF NEW WORK

Is any plumbing involved in this work?

Is any electrical work involved in this work?

Is connection to be made to public sewer?

If not, what is proposed for sewage?

Has septic tank notice been sent?

Form notice sent?

Height average grade to top of plate

Height average grade to highest point of roof

Size, front

depth

No. stories

solid or filled land?

Material of foundation

Thickness, top

bottom

Kind of roof

Thickness, top

Rise per foot

Roof covering

No. of chimneys

Material of chimneys

Framing Lumber—Kind

of lining

Size Girder

Dressed or full size?

Columns under girders

Corner posts

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Thickness, top

Joists and rafters: 1st floor

2nd

On centers: 1st floor

2nd

Maximum span: 1st floor

2nd

If one story building with masonry walls, thickness of walls?

height?

IF A GARAGE

No. cars now accommodated on same lot

to be accommodated ... number commercial cars to be accommodated ...

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY:

DATE

BUILDING INSPECTION—PLAN EXAMINER

ZONING: OK. PZ. 3/15/80

BUILDING CODE:

Fire Dept.:

Health Dept.:

Others:

MISCELLANEOUS

Will work require disturbing of any tree on a public street?

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?

yes

Signature of Applicant

Phone #

Type Name of above

Ralph Hutchinson

1 2 3 4

Other

and Address

FIELD INSPECTOR'S COPY

NOTES

JUNE 9, 1980

Sign installed -

Permit No. 80/266
Location 1125 Forest St
Owner Ston Auto Supply
Date of permit 4-30-80
Approved 5-6-80



FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT FOR
HEATING, COOKING OR POWER EQUIPMENT

PERMIT ISSUED
00370

MAR 29 1955

CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 1131 Forest Ave Use of Building Garage No. Stories New Building
Name and address of owner of appliance Antonio Morabito, 243 Conant St. Westbrook Existing
Installer's name and address Peterson Oil Co., 377 Cumberland Ave. Telephone 3-7209

General Description of Work

To install suspended warm air heater and oil burning equipment

IF HEATER, OR POWER BOILER

Location of appliance suspended from Any burnable material in floor surface or beneath? ceiling
If so, how protected? Kind of fuel? oil
Minimum distance to burnable material, from top of appliance or casing top of furnace 25"
From top of smoke pipe 28" From front of appliance over 4' From sides or back of appliance over 3'
Size of chimney flue 8x8 Other connections to same flue none
If gas fired, how vented? Rated maximum demand per hour
Will sufficient fresh air be supplied to the appliance to insure proper and safe combustion? yes

IF OIL BURNER

Name and type of burner Armstrong 8801A-LS-165 Labelled by underwriters' laboratories? yes
Will operator be always in attendance? Does oil supply line feed from top or bottom of tank? bottom
Type of floor beneath burner concrete Size of vent pipe 3/4"
Location of oil storage outside (above ground) Number and capacity of tanks 1-275 gal.
Low water shut off Make No.
Will all tanks be more than five feet from any flame? How many tanks enclosed?
Capacity of any existing storage tanks for furnace burners

IF COOKING APPLIANCE

Location of appliance Any burnable material in floor surface or beneath?
If so, how protected? Height of Legs, if any
Skirting at bottom of appliance? Distance to combustible material from top of appliance?
From front of appliance From sides and back From top of smokepipe
Size of chimney flue Other connections to same flue
Is hood to be provided? If so, how vented? Forced or gravity?
If gas fired, how vented? Rated maximum demand per hour

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

Bottom of burner of heater will be 9' above floor.
Tank to set on 4" cement posts 9" in diameter
3/24/55
3/24/55
3/24/55

RELATED

Amount of fee enclosed? 2.00 (\$2.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

APPROVED:

Harry H. Miller

DEPT. OF FIRE DEPARTMENT

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Peterson Oil Co.

Signature of Installer BY: *E. H. Peterson*

C17-254-1M MARKS

INSPECTION COPY

1. Fill Pipe _____
2. Vent Pipe _____
3. Kind of Heat _____
4. Burner Rigidity & Support _____
5. Name & Label _____
6. Stack Control _____
7. High Limit _____
8. Remote Cont. _____
9. Piping Support & Protection _____
10. Valves in Supply Line _____
11. Capacity of Tanks _____
12. Tank Rigidity & Support _____
13. Tank Distance _____
14. Oil Gauge _____
15. Indication Lamp _____
16. Low Water Switch _____

NOTES

3/28/55

Permit No. 55/370
Location 11.31 Phosphate
Owner Antonia Mendita
Date of permit 3/29/55

Approved

6/24/55 L. J. S.

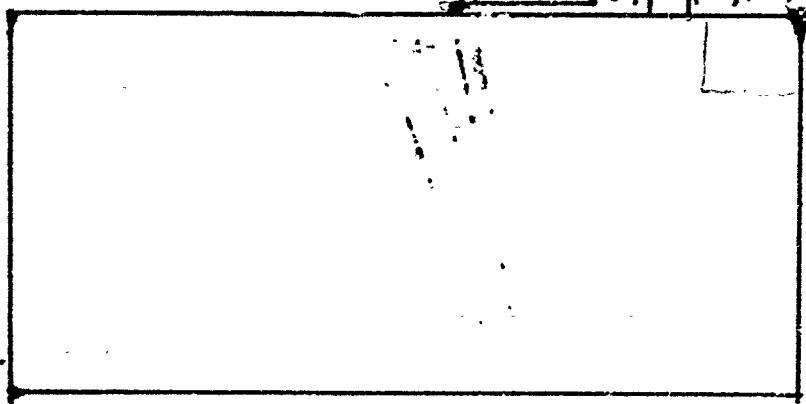
4/29/55 S. S.
After cleaning
and reassembling

1440

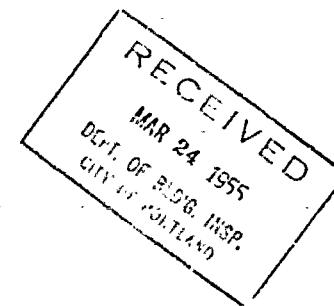
8" DIA-
9 FT CEMENT POST

815 GAL
TANK

CHIMNEY
7 FT



A. MORABITO
FOREST AVE



1131 FOREST AVE

3/17/55

Labeled unit being
installed as per applica-
tion. Hold up issuance
of permit until all
details of installation
including final oil
storage tank have been
corrected - AGJ

LOCATION 1131 Forest Ave
DATE 1/20/55

PERMIT

INQUIRY

COMPLIMENT

Applied for more
information

See letter

1/21/55

Continue to
hold
See letter
today

new

1/21/55
2/4/55

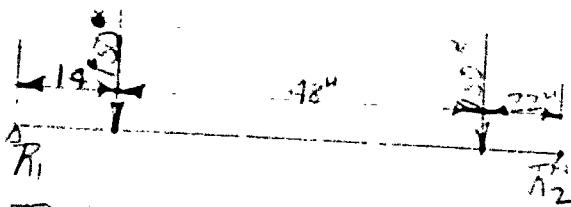
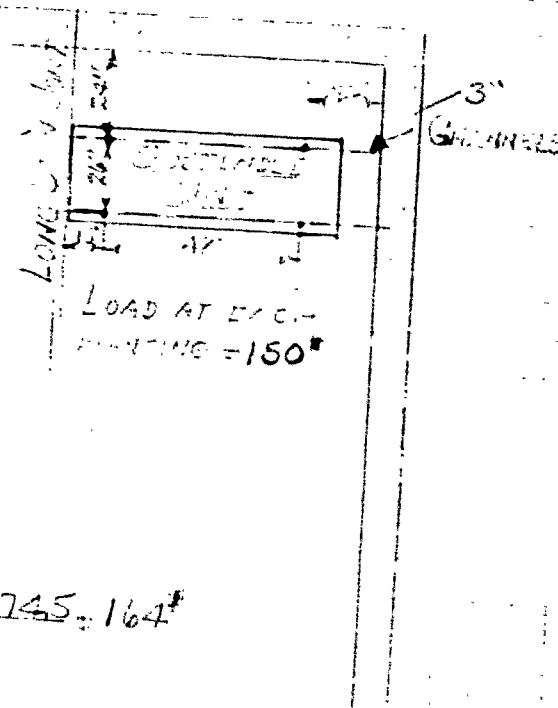
Hold for correction
of details of installation.
See letter with general
construction permit

OK

1131 Forest Ave
mosquito.
York Heat Co.
John Pennings
7-1-150
0-1-150
sufficed
9 ft above floor.
7 ft from ext wall
or 2 $3\frac{1}{2} \times 2$ "
on 7 ft span
4- $\frac{7}{8}$ " hanger rods.
2nd. Label on
unit + burner
wt 423 ~~ft~~
April 18
Return air only 12"
above floor.
No label?
Temporary tank looks OK

SUSPENDED TRUSS INVERTED T-ROOF AND FORCED AVG.

15 - 3 1/2" x 2"



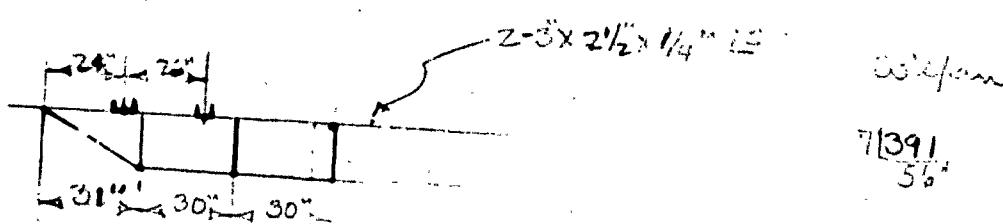
$$R_1 = \frac{150 \times 5.83}{7} = 112.5, \quad R_2 = 274.5, \quad 164^{\circ}$$

$$R_2 = (300 - 164) = 136^{\circ}$$

$$M_{max} = 136 \times 183 = 249^{\circ}$$

$$S_{req} = \frac{249 \times 12}{20,600} = 1394$$

Sof 3" x 1 1/2" C @ 4.1" = .21 (Y-Y axis)



February 8, 1955

AP 1131 Forest Ave.—suspended oil-fired unit not bearing the Underwriters' label indicating approval of the entire unit

Mr. C. H. Heiman, Jr.
Vice-Pres. York-Shipley, Inc.
York, Pennsylvania

Copies to: Peterson Oil Co.
Mr. Antonio Moratito
Mr. John Callahan

Dear Mr. Heiman:

It is regrettable that we are unable to accept the various approvals, which you have indicated in your letter of February 4, as having been accorded the same model of suspended warm air furnace which Peterson Oil Co. has installed at the above location. You are fortunate that in Pennsylvania your Industrial Board have allowed an alternate for Underwriters' Laboratories approval and that you have the facilities for testing such equipment in exactly the same way as tested by Underwriters' Laboratories. It is doubtful if many other states have such a thorough arrangement, which speaks a good word for Pennsylvania where I worked for 12 years in and out of Pittsburg.

In Maine for such general approvals we have to rely upon some well established testing agency not associated with State or Local Government; and Underwriters' Laboratories, Inc. seems to be about the only organization that a City in our circumstances can use.

I understand that oil burner assembly in this particular appliance does bear upon it the label of Underwriters' Laboratories, and, if the unit were in an ordinary business place or just any other place than a garage or service station building or hangar, the label on the oil burner would suffice. However, the suspended furnace in garages is the like has been approved by our Board in lieu of a fire-resistant heater room only if the furnace itself has upon it the label of Underwriters' Laboratories, Inc., identifying the unit for use in garages and hangars.

Thus, we have no other option than to require that this suspended furnace bear upon it test label. In order to assist the owner, who has been most anxious to get our certificate of occupancy so that he can legally occupy the building, we have issued a temporary certificate by letter on a condition that the furnace be made to comply with the requirements.

Very truly yours,

W.McD/B

Warren McDonald
Inspector of Buildings

YORK - SHIPLEY, INC.

RESIDENTIAL OIL AND GAS BURNERS • BOILER-BURNER UNITS • WINTER AIR CONDITIONERS • HEAT DISTRIBUTION SYSTEMS • GAS AND ELECTRIC WATER HEATERS • INDUSTRIAL FACTORY COORDINATED FUEL BURNING SYSTEMS • HORIZONTAL-ROTARY OIL BURNERS • HIGH AND LOW PRESSURE STEAM-PAK GENERATORS • SHIPLEY HOMEAIRE CONDITIONERS • COMPLETE HOME COOLING EQUIPMENT



YORK, PENNSYLVANIA

*Give with
a smile
with a smile*

February 4, 1955

Mr. Warren Macdonald, Building Inspector
City Hall
Portland, Maine

Dear Mr. Macdonald:

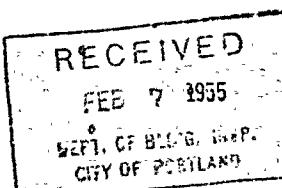
At the request of Mr. Callahan of our Boston Office I am writing you concerning an installation of one of our Model S1-150 suspended warm air furnaces installed by Peterson Oil Company, 377 Cumberland Avenue, Portland, Maine.

I understand that you have a question concerning the approval of this unit and I have been requested to write you, by Mr. Callahan, and tell you of the approvals we have received on this unit.

The Industrial Board of Pennsylvania requires that the unit be approved either by the Underwriters' Laboratories, Incorporated or by a test made in exact accordance with the Underwriters' Laboratories tests and witnessed by a representative of the Department of Labor and Industry of Pennsylvania.

We obtained the approval of the Industrial Board of Pennsylvania on November 27, 1951 on our Models S1-80, S1-115, S1-150, and S1-205, by making the Underwriters' tests in our laboratory and having a witness to these tests from the Industrial Board of Pennsylvania. We have certificates in our file certifying that our units meet the requirements of the tests and, therefore, have received the approval of the Commonwealth of Pennsylvania. This approval has been granted to us on Certificate No. 1679.

In addition to the approval of the State of Pennsylvania we, also, have the approval of the Board of Standards and Appeals of New York City.



Mr. Warren MacDonald, Building Inspector
City Hall
Portland, Maine

February 5, 1955
Page - 2 -

The approval number of our Models S1-80, S1-115, S1-150, and S1-205 is 435-51-SA. The original approval was granted by the Board of Standards and Appeals on October 3, 1951.

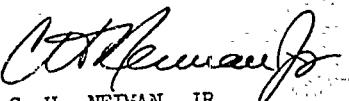
Reading from the November 6, 1951 Bulletin No. 45, Volume XXXVI, which is the official publication of the Board of Standards and Appeals Action, we find the following: "The Committee further recommends that this appliance may be installed in a garage and places of explosive atmosphere when the flame in the heater is located at least 8' above floor".

In addition to the approval of the Industrial Board of Pennsylvania and the New York Board of Standards and Appeals we have a letter dated July 27, 1953 signed by Mr. Thomas Dickson, Acting Assistant Fire Prevention Engineer, Commonwealth of Massachusetts, Department of Public Safety, on the subject of approval of York-Shipley, Incorporated oil fired suspended type unit heater for garage and airplane hangers. This letter reads as follows: "This is to certify that in accordance with the current rules of the Board of Fire Prevention Regulations, FPR-4, Rule 26, the suspended type unit heater manufactured by York-Shipley, Incorporated, York, Pennsylvania, has been approved by the State Fire Marshal". The letter further states, "It is our understanding that these unit heaters shall be located not less than eight (8) feet above the garage floor level, and in the case of gas or oil, the combustion chamber of such unit heaters shall be properly vented to the outer air".

We hope that by citing the approvals granted to us by other States and Municipalities that have rather stringent requirements for approval of equipment, you will see fit to grant approval to the Peterson Oil Company for the installation of our Model S1-150 unit.

Very truly yours,

YORK-SHIPLEY, INC.



C. H. NEIMAN, JR.
Vice-President in
Charge of Engineering

CHN:ba

CC: Mr. John Callahan
727 Shawmut Avenue
Roxbury, Massachusetts

February 2, 1955

AP - 1131 Forest Avenue

Installer—Peterson Oil Co.
377 Cumberland Ave.

^c
Owner—Antonio Morabito
243 Conant St.
Westbrook

Inspection of the suspended oil burning warm air heater installed before application for permit was filed in new garage at the above location fails to disclose any label of Underwriters' Laboratories, Inc. approving the entire unit, as is required for such an appliance installed in a building of this use. As indicated in a previous letter we are unable to find that a furnace of this make and model is qualified to bear such a label. Therefore, unless a label approving the unit can be found on the appliance, a belated permit cannot be issued for its installation, and it will be necessary to replace it with an approved device.

There are a number of other details of the installation which do not meet requirements. A return air duct has been extended to within about 18 inches of the floor. Minimum distance above the floor for such a duct is 48 inches. Opening in chimney where smokepipe enters is not tight.

We understand that the location of the fuel oil tank in a separate small building at the rear of the one in which the appliance is located is only temporary and that an underground tank is to be provided in the spring. Even on a temporary basis, however, it is necessary that fill and vent pipes extending outside the building be provided instead of the present arrangement.

The owner of the building is anxious to secure a certificate of occupancy for the building, but we shall be unable to issue even a temporary certificate until all questions of compliance with Building Code requirements relating to this installation have been cleared up. Therefore it is important that this matter receive your immediate attention.

Warren McDonald
Inspector of Buildings

AJS/G

January 26, 1955

AP - 1131 Forest Ave.

Contractor—Peterson Oil Co.
377 Cumberland Ave.

Owner—Antonio Morabito
243 Conant St.
Westbrook

The suspended oil-burning warm air heater, for installation of which in garage at the above location an application for permit has been filed, is required, where installed without enclosure in a building of this use, to bear the label of approval of Underwriters' Laboratories for the entire unit. We have been unable to find in our lists of approved appliances any record of the model and make of furnace indicated. Unless you can definitely establish that the furnace to be installed does bear this label of approval for the whole unit, we are unable to issue a permit for its installation.

It is noted that the application for permit specifies that the bottom of burner of heater is to be 14 feet above the floor of the building. This must be in error since plans of the building indicate that height from floor to underside of steel joists in roof construction is only 11 feet 6 inches. Definite information is needed as to this height and that in any case it will not be less than 8 feet.

Information is also needed as to the manner in which the furnace is to be hung from the long span steel roof joists, at what locations on the joists involved the fastenings are to be made, and that the joists are adequate to carry the additional load of the furnace.

Warren McDonald
Inspector of Buildings

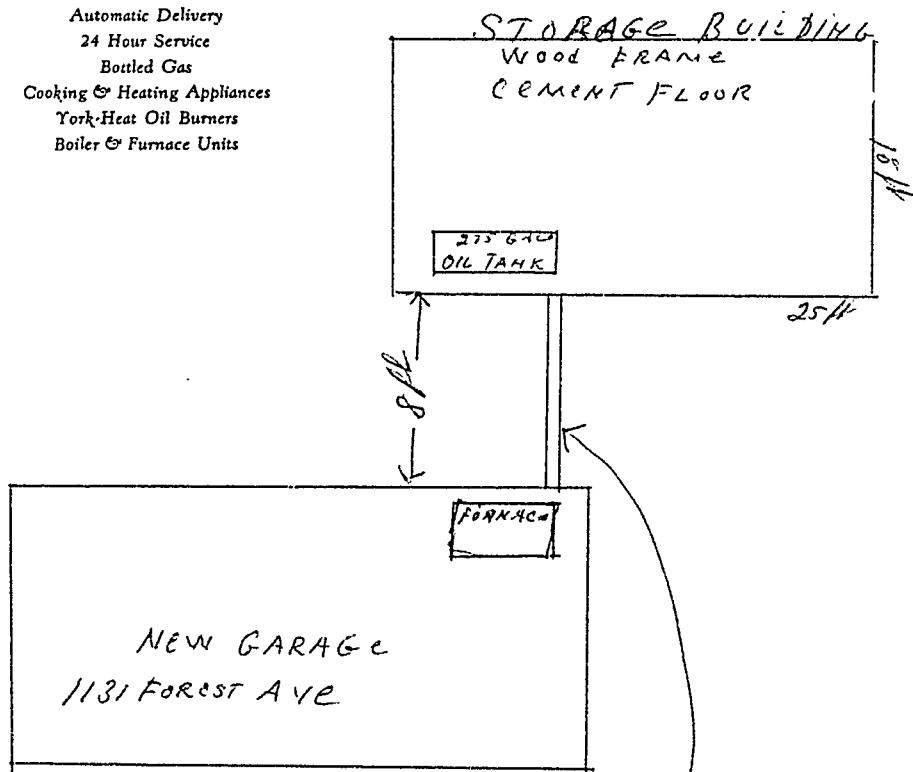
AJS/G

PETERSON OIL CO.
384 CUMBERLAND AVE.
PORTLAND, MAINE



TELEPHONE 3-7209

Range & Fuel Oil
Automatic Delivery
24 Hour Service
Bottled Gas
Cooking & Heating Appliances
York-Heat Oil Burners
Boiler & Furnace Units



This is $1\frac{1}{4}$ " blk iron pipe 12 ft from
ground with $\frac{3}{8}$ " oil line inside of pipe.

There is no driveway between buildings
no chance to get damaged

FOREST AVE

FINEST FUEL OIL SERVICE IN TOWN



FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT FOR
HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, January 24, 1955.....

AC 555

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 1131 Forest Ave. Use of Building Garage No. Stories New Building Existing " Name and address of owner of appliance Antonio Morabito, 243 Conant St., Westbrook Installer's name and address Peterson Oil Co., 377 Cumberland Ave. Telephone 3-7139

General Description of Work

To install suspended warm air heater and oil burning equipment

IF HEATER, OR POWER BOILER

Location of appliance suspended from Any burnable material in floor surface or beneath?
If so, how protected? Kind of fuel? oil
Minimum distance to burnable material, from top of appliance or casing top of furnace 25"
From top of smoke pipe 28" From front of appliance over 4" From sides or back of appliance over 3"
Size of chimney flue 8x8 Other connections to same flue none
If gas fired, how vented? Rated maximum demand per hour
Will sufficient fresh air be supplied to the appliance to insure proper and safe combustion? yes

IF OIL BURNER

Name and type of burner Armstrong 8801A-L8-165 Labelled by underwriters' laboratories? yes
Will operator be always in attendance? Does oil supply line feed from top or bottom of tank? bottom
Type of floor beneath burner concrete Size of vent pipe 1 1/4"
Location of oil storage in storage shed about 10' from existing garage Number and capacity of tanks 1-275 gal.
Low water shut off Make No.
Will all tanks be more than five feet from any flame? yes How many tanks enclosed?
Total capacity of any existing storage tanks for furnace burners

IF COOKING APPLIANCE

Location of appliance Any burnable material in floor surface or beneath?
If so, how protected? Height of Legs, if any
Skirting at bottom of appliance? Distance to combustible material from top of appliance?
From front of appliance From sides and back From top of smokepipe
Size of chimney flue Other connections to same flue
Is hood to be provided? If so, how vented? Forced or gravity?
If gas fired, how vented? Rated maximum demand per hour

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

Bottom of burner of heater will be 4' above floor.

Below ceiling 9' 6"

Amount of fee enclosed? 2.00 (\$2.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

APPROVED:

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Peterson Oil Co.

Signature of Installer by: *Griffith P. Peterson*

C17-254-1M MARKS

INSPECTION COPY

NOTES

Permit No. 55

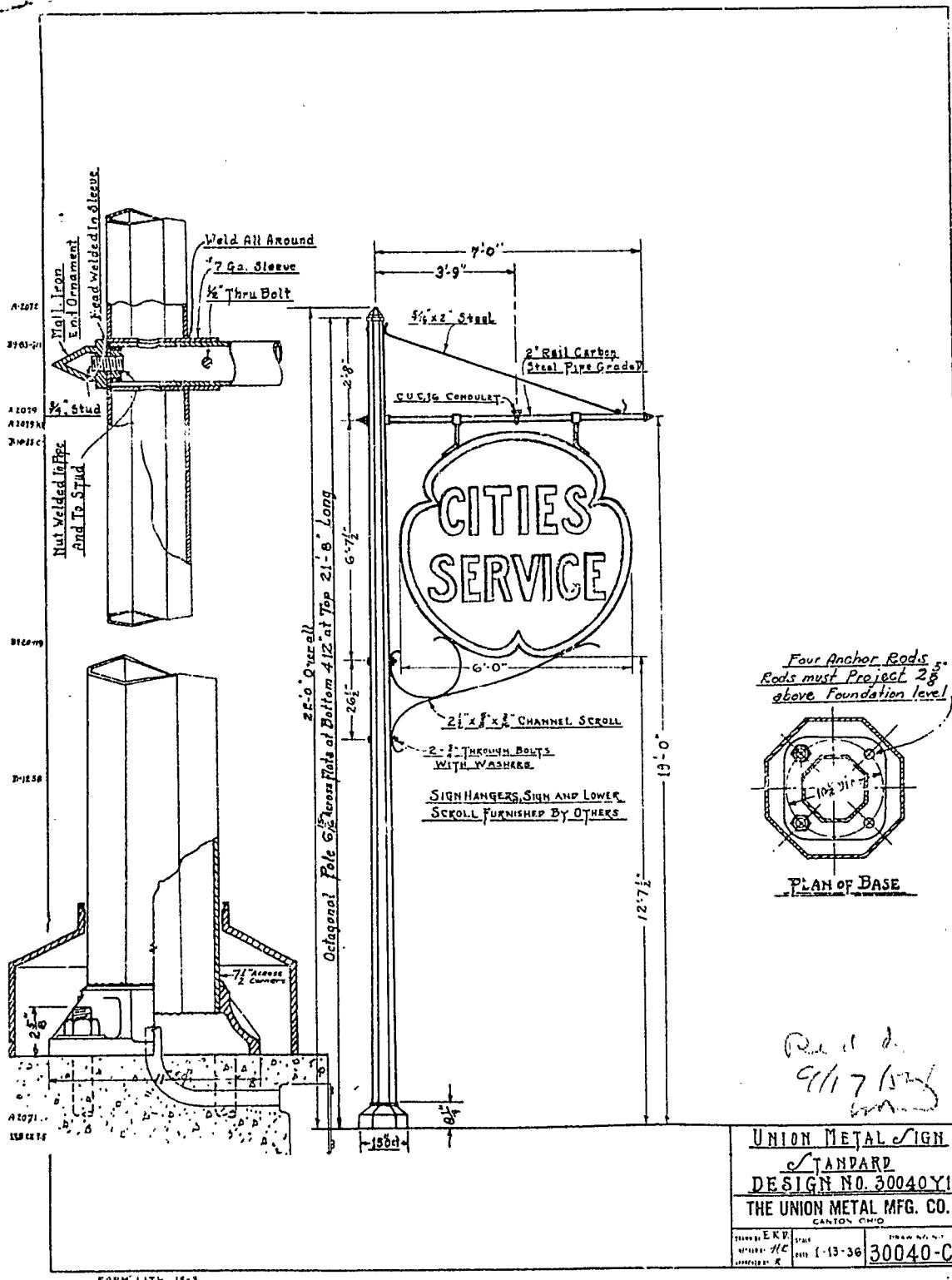
Location

卷之三

Owner Antonio Moschito

Date of

1



FORM LITH 15-3

September 27, 1954

AP - 1129 Forest Ave. - Projecting Sign for Cities Service Co.

John Donnelly & Son
73 Main St.
South Portland
Cities Service Oil Company
Att: Mr. Mayberry
Box 85 West End Station
Portland

Copy to: Mr. Anthony Morabito,
243 Conant St.
Westbrook

Gentlemen:-

Building permit to authorize projecting sign on a metal mast at 1129 Forest Ave. is issued to the sign contractor, herewith, but subject to the following conditions. If these conditions are not understood, or, if you are unable or unwilling to comply with them, it is important that you do not proceed with the work but contact this office with more information.

No less than 1/2 inch bolt is required through each of the sign hangers and through the horizontal pipe arm which supports the sign. Mr. Mayberry says that he will see to it that these are provided by the sign contractor.

Considerable difficulty has been experienced all around in getting this sign and standard to show compliance with the requirements, and some allowances have been made as to certification of welders etc. which we will not be able to make again in some other location.

We understand from Mr. Mayberry that before applications are filed for similar projecting signs, the data will be all in order.

It is well recognized that this delay has been no fault of Mr. Mayberry's or of any individual, but rather to the fact that the mast and pipe arm are furnished by one company and the sign with its hangers and scroll beneath are supplied by another.

In a case of future similar projects, we would like to see Union Metal Manufacturing Co.'s analysis of mast and pipe arm and foundation on the basis of 15 pounds per square foot live load and on the basis of stresses in the various materials allowed under the specifications of American Institute of Steel Construction, which are the same as our Code. We should also have on the plan of Funk Forging Co. a statement that all welding has been performed by welders qualified under the qualification procedure of the American Welding Society.

Since Union Metal Co. would be aware of our requirements as to design, they can well attach the statement of design required in our Building Code.

Very truly yours,

Warren McDonald
Inspector of Buildings

WMD/C

The Union Metal Manufacturing Co.

STEEL—
STREET LIGHTING STANDARDS
HIGHWAY LIGHTING POLES
BIRCH LIGHTING STANDARDS
FLOODLIGHTING POLES
TRAFFIC SIGNAL STANDARDS
MONOTUBE STRAIN POLES
SIGN STANDARDS



Craftsmen in Steel Fabrication

Canton 5 Ohio

September 15, 1954

STEEL—
FLUTED MONOTUBE PILES
SHIP MASTS AND BOOMS
SKIDS AND BOOMS
BUILDING COLUMNS
EXTERIOR LIGHTING FIXTURES
GRAY IRON CASTINGS

Cities Service Oil Company
Box 85 West End Station
Portland, Maine

Attention of Mr. G. E. Mayberry, Engineer

Subject: Union Metal Design #30040-Y1.
Sign Standard per Drawing #30040-C2

Gentlemen:

This will acknowledge receipt of your letter of September 8, relative to a permit to erect one of the subject sign standards as manufactured by our company.

Inasmuch as we are unfamiliar with the allowable working stresses, floor loads, etc., required by the building code of the City of Portland, Maine, we, of course, are not in position to sign the statement attached to your letter, certifying that design 30040-Y1 sign standard meets all these requirements.

In lieu of the above, we have prepared a stress analysis of design #30040-Y1, as illustrated on drawing #30040-C2, suitable for submitting to the proper parties at the City of Portland, Maine, which will illustrate to their Engineering Department the maximum stresses in the sign standard, mast arm, anchor rods, etc., under a 30# per square foot wind load.

We trust this stress analysis will suffice for your purposes.

Very truly yours,

M.R. Jones
M. R. Jones:RS Sales Engineer

CC A. R. Hahn, Boston Office

Rec'd 9/17/54

August 17, 1954

AP 1129 Forest Ave.—Projecting sign for Cities Service Company

John Donnelly & Sons
73 Main St.
South Portland, Me.

Copies to: John Donnelly & Sons for
Cities Service Engineering Dept.
Mr. Anthony Morabito
243 Conant St. Westbrook, Me.

Gentlemen:

Building permit intended to authorize the erection of a projecting sign for Cities Service Co. on the property of Anthony Morabito at 1129 Forest Ave. is not issuable because the information furnished is not complete enough to show compliance with the requirements; but more especially because the highest part of the sign, which is the pipe arm running out from the mast above the sign, would be approximately 19 feet above the grade of the sidewalk and the projection of the sign over the sidewalk is indicated as 7 feet, while Section 211c7 provides that no part of a projecting sign having a projection of more than 6 feet shall have a maximum height, exclusive of guys, of more than 17 feet above the surface of the sidewalk below.

The concrete foundation pier is shown to be 36 inches square at the bottom. No part of the pier is permitted to project beyond the street line beneath the public sidewalk. Thus, the center line of the mast must set at least 18 inches in on private property from the street line. Since the total length of upper pipe arm from the center line of the mast is only 7 feet, it becomes obvious that if the center line of the mast is set 18 inches from the street line, the actual projection over the public sidewalk could hardly be more than 5 feet 6 inches instead of the 7 feet shown on the application for the permit.

We are unable to handle applications for projecting signs with the type of information furnished in this case, since we cannot take time from other pressing jobs to study out what is intended. Written on the lithograph of the details of the sign is a request that Cities Service would like to have it back. Since this lithograph is part of the information as to the erection of the sign, it cannot be returned. All of these details are required to be filed in duplicate anyway, and, when done that way, one set will be returned to the bonded sign hanger with the permit.

We have been unable to discover any detail of the frame of the sign itself. That, of course, is necessary, and should be furnished in duplicate if the plan is marked up in crayon or otherwise as some of the other plans are.

While all of the details have not been checked, it is noted that the hangers which suspend the sign from the pipe arm are not indicated as being bolted through the pipe arm as required.

Wherever welding is done in the shop we must have a certification from the manufacturer that the welding has been done by operators who have qualified themselves under the procedure of the American Welding Society within one year prior to the date of doing the welding. Wherever welding is done on the job, it must be performed by operators who are certified in this department and carry their effective certificate.

Whoever takes the responsibility for the design of the mast and the foundation to resist windload and overturning must attach to the plan his signed statement of design as required by the Building Code—copy attached.

John Donnelly & Sons _____ 2

August 17, 1954

Filed with the application should be a location plan, which shows all of the essential features of location of the foundation and mast, the amount of projection of the sign over the public sidewalk and the clearance of all parts above the public sidewalk.

Very truly yours,

WMcD/B

Warren McDonald
Inspector of Buildings

Enc: Blank statement of design

315

grateful
BI FORM 52

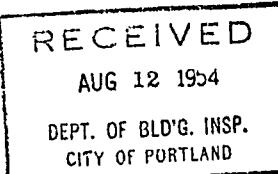
WRITTEN CONSENT AND AGREEMENT RELATING TO A CERTAIN SIGN PROPOSED TO
BE ERECTED PROJECTING OVER A PUBLIC SIDEWALK FROM THE PREMISES
AT 1129 Forest Ave IN PORTLAND, MAINE

Antonio Morabito, being the owner of the
premises at 1129 Forest Ave in Portland, Maine hereby gives
consent to the erection of a certain sign owned by Cities Service Oil Co
projecting over the public sidewalk from said premises as described in
application to the Inspector of Buildings of Portland, Maine for a permit
to cover erection of said sign;

And in consideration of the issuance of said permit Antonio
Morabito, owner of said premises, in event said sign shall
cease to serve the purpose for which it was erected or shall become dangerous
and in event the owner of said sign shall fail to remove said sign or make
it permanently safe in case the sign still serves the purpose for which it
was erected, hereby agrees for himself or itself, for his heirs, its
successors, and his or its assigns, to completely remove said sign within
ten days of notice from said Inspector of Buildings that said sign is in
such condition and of order from him to remove it.

In Witness whereof the owner of said premises has signed this consent
and agreement this 12th day of August 1954.

W. J. Sinclair Witness *Antonio Morabito* Owner





INDUSTRIAL ZONE
APPLICATION FOR PERMIT

Class of Building or Type of Structure

Portland, Maine, Sept. 8, 1954

PERMIT ISSUED

020854

CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect the following building in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 1131 Forest Ave.

Within Fire Limits? no Dist. No.

Owner's name and address Antonio Morabito, 243 Conant St., Westbrook Telephone 2-9498

Lessee's name and address

Telephone

Contractor's name and address Max J. Ernest Roberts, 1054 Washington Ave. Telephone

Architect, Specifications Yes No. of sheets 2

Proposed use of building WHEEL ALIGNMENT Body and bumper shop

No. families

Last use

No. families

Material No. stories Heat Style of roof Roofing

Other buildings on same lot none

Estimated cost \$ 5,000

Fee \$ 5.00

5,000

5.00 11/16/54

10,000

10.00

General Description of New Work

To construct 1-story concrete block shop 50' x 35' as per plans

Permit Issued with Letter

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Is any plumbing work involved in this work? Is any electrical work involved in this work?

Height average grade to top of plate Height average grade to highest point of roof

Size, front depth No. stories solid or filled land? earth or rock?

Material of foundation Thickness, top bottom cellar

Material of underpinning Height Thickness

Kind of roof Rise per foot Roof covering

No. of chimneys 1 Material of chimneys brick or lining tile Kind of heat ? fuel ?

Framing lumber—Kind Dressed or full size?

Corner posts Sills Girt or ledger board? Size

Girders Size Columns under girders Size Max. on centers

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters 1st floor, 2nd, 3rd, roof

On centers: 1st floor, 2nd, 3rd, roof

Maximum span: 1st floor, 2nd, 3rd, roof

If one story building with masonry walls, thickness of walls? height? 12"

If a Garage

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVED:

with letter by AC

Miscellaneous

Will work require disturbing of any tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

INSPECTION COPY

Signature of owner Antonio V. Morabito

Permit No. 3412068 of 5/24

Location 5131 Forest Ave.

Owner Centenario Morabito

Date of permit 11/18/54

Notif. closing-in

Inspr. closing-in

Final Notif.

Final Inspr.

Cert. of Occupancy issued 1/15/55

NOTES

5/13/54 - Went over details in letter with Ernest Robert,

(Contractor) Especial Co. of the United States - wire glass window

5/17/54 - Tank has been changed. E.S.B.

6/1/54 - Chimney still not extended

7/2/54 - Wall necessary - clear

long from joint to roof - 6/13/55 - same

by B. Bennett - architect

7/2/54 - Letter

8/13/54 - concerning property about 2 square

2.9 feet c. - V.W.

8/31/54 - Middle to get

into the garage or the above Certificate

Service Station - no

to be named

one around. E.S.B.

9/3/54 - As far as the building
itself is concerned - seems
OK. No change in letter
of yesterday concerning
ext. of 28

9/4/54 - Went out
by letter - V.W.

9/19/54 - No further
progress. E.S.B.

9/19/54 - Re-
about chimney
and tank

5/17/55 - Tank has
been changed. E.S.B.

6/1/55 - Chimney
still not extended

7/2/54 - Wall necessary - clear - E.S.B.

long from joint to roof - 6/13/55 - same
by B. Bennett - architect

7/2/54 - Letter

8/13/54 - concerning property about 2 square

2.9 feet c. - V.W.

8/31/54 - Middle to get

into the garage or the above Certificate

Service Station - no

to be named

one around. E.S.B.

(COPY)

CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION 1131 Forest Ave.

Date of Issue June 27, 1955

Issued to Antonio Morabito

This is to certify that the building, premises, or part thereof, at the above location, built ~~under~~ ^{under} Building Permit No. 54/2068, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

Entire

Wheel Alignment Shop

Limiting Conditions:

This certificate supersedes
certificate issued

Approved:

6/26/55

(Date) Inspector

Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

June 14, 1955

1131 Forest Ave.

Mr. J. Ernest Roberts
1054 Washington Ave.

Mr. Antonio Morabito

Mr. Antonio Morabito
243 Conant St.
Westbrook, Maine

New Building

Gentlemen:

Upon inspection of the above job on June 13, 1955 the following omissions or defects were found:

"Chimney not extended down to solid foundation at least four feet below grade and cast iron cleanout provided at bottom of flue". See paragraph two of letter of April 22, 1955.

It is important that correction of this condition be made before June 21, 1955, and notify this office of readiness for another inspection.

If additional information relative to the above work is desired, please phone Inspector Smith at 4-1431, extension 234, any week day but Saturday between 8:00 and 8:30 A.M.

Very truly yours,

Earle S. Smith
Field Inspector

ESS/B

Dear Mr. Roberts:

Through an oversight in this office, the letter of April 22 referred to, was not sent to you. However, I believe you are aware of the condition, and will no doubt correct it as above.

April 22, 1955

Location - 1131 Forest Ave.

Peterson Oil Co.
377 Cumberland Ave.
Mr. Antonio Morabito
1131 Forest Ave.

Owner - Antonio Morabito

Job - Heating Equipment

Gentlemen:-

Now that the frost has largely gone out of the ground it would seem necessary that the two items in letter of February 4, 1955 be taken care of by May 13, 1955.

These two items are as follows:-

"to extend chimney down to solid foundation extending at least four feet below grade and a cast iron cleanout door provided at the bottom of the flue".

"to install permanent underground tank in place of the temporary tank now located in small building at the rear of the one in which heater is located".

If additional information relative to the above is desired, please phone Inspector Smith at 4-1431, extension 234, any week day but Saturday between 8:00 and 8:30 A. M.

Very truly yours,

Earle S. Smith
Field Inspector

ESS/G

February 4, 1955

EP - 1129-1133 Forest Ave.

Mr. Antonio Morabito
243 Conant St.
Westbrook, Maine

Copy to: J. Ernest Roberts
1054 Washington Ave.

Dear Mr. Morabito:-

You may consider this letter as a temporary certificate of occupancy for use of your new wheel alignment garage at the above location, subject to the condition that before April 15, 1955 the following details are to be carried out as indicated below:-

1. Chimney is to be extended down to a solid foundation extending at least four feet below grade and a cast iron cleanout door provided at the bottom of the flue.

2. Present heating unit is to be replaced by a labelled unit unless it can be established that the one installed bears the Underwriters Label.

3. Permanent underground tank is to be installed and connected to the heating unit in place of the temporary tank now located in a small building at the rear of the one in which the heater is located.

Before the underground tank is installed it is necessary that a plan showing its location be furnished to go with the application for installation permit already filed. Issuance of this permit is being withheld until all details of the installation have been made to comply with requirements.

Very truly yours,

Warren McDonald
Inspector of Buildings

AJS/G

November 17, 1954

AP-1129-1133 Forest Avenue

Owner—Mr. Antonio Morabito
243 Conant St.

Contractor—Mr. J. Ernest Roberts
1054 Washington Ave.

Architect—Mr. W. B. Miller
48 Reservation St.

Building permit for construction of a one story concrete block building to be used as a motor vehicle wheel alignment shop is issued herewith based on plans filed November 16, 1954, but subject to the following conditions:

1. All windows in rear wall which will be closer than 30 feet to the side lot line (measurement taken at right angles to the wall of the building) are required to be glazed with wire glass.
2. No definite information has been furnished as to the type of heat to be used for heating the building. Your attention is called to the specifications of Section 204-1-4 and 204-8 of the Building Code relating to special requirements for heating equipment in a building of garage use. A separate permit issuable only to the actual installer is required for the installation of whatever type of heating equipment is to be used.
3. Provision is to be made to provide anchorage for end walls of building either by means of the bridging or by the roof planking or both.
4. This permit covers construction of no other partitions than those of the storage rooms marked on plan. If others are contemplated, an amendment to this permit is required before their erection. It should be noted that because the building is of Heavy Timber Construction and required to be so because of its use, any partitions of combustible material are required to be constructed as specified in Section 302-b-5 of the Building Code.
5. Any change in the lintels and supports for door and window openings at right hand front corner of building is to be covered by an amendment before the work is done.
6. A certificate of occupancy is required from this department before it is put into use.

AJS/B

Warren McDonald
Inspector of Buildings

September 14, 1954

AP - 1129-1133 Forest Avenue

Owner-Contractor - Antonio Morabito
243 Conant St.
Westbrook

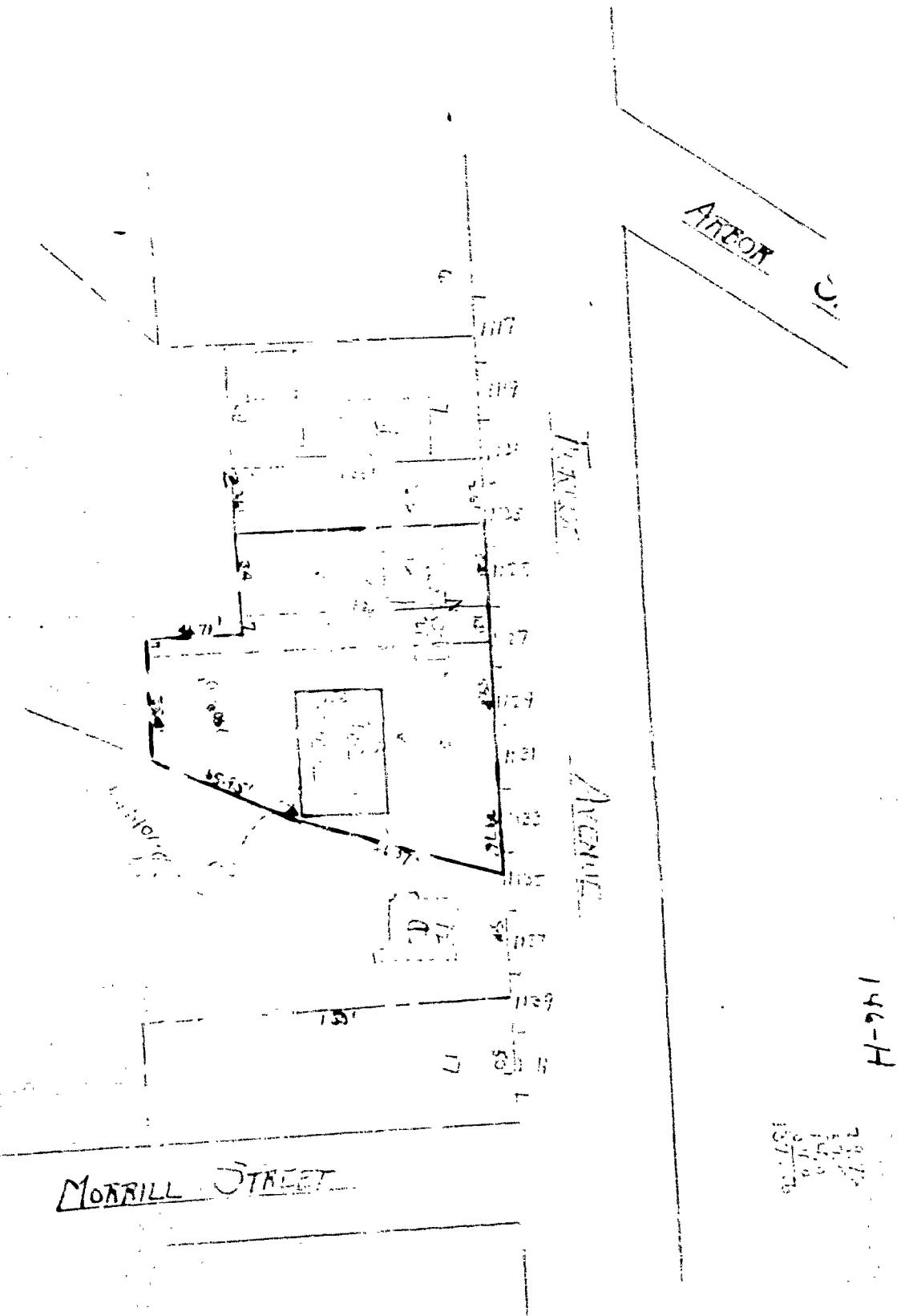
We are unable to issue a permit for construction of a one story concrete block building 35 feet by 50 feet for use as a repair garage at the above location because the plan filed with the application for permit is inadequate to show compliance with Building Code requirements. Plans to be acceptable must show compliance with requirements of Sect. 204 relating to a repair garage, with general requirements of Sect. 212, and with construction details of Chapter III of the Code. Plans must also bear the name and address of the plan maker and a statement of design covering design of roof trusses and steel and reinforced concrete lintels, as indicated in Sect. 104b3 of the Code. Location and construction of all partitions also need to be indicated.

We understand that you would like if possible to secure an advance permit for excavation and construction of foundation only. If this is so, you should file a separate application covering such work, which we shall be able to issue if the information given on plan already filed in regard to thickness and depth below grade of foundation wall and thickness and unsupported height above top of foundation wall of superstructure wall is to be as you have indicated.

We note that you have specified that the proposed building is to house a body and fender shop. Such a use is allowable in the Industrial Zone where the property is located only if it is carried on in such a manner as not to prove objectionable to the neighborhood by reason of the emission of fumes, dust, smoke, vibration or noise.

Warren McDonald
Inspector of Buildings

AJS/G





(I) INDUSTRIAL ZONE

APPLICATION FOR PERMIT TO ERECT
SIGN OVER PUBLIC SIDEWALK OR STREET

PERMIT ISSUED

01571

AUG 27 1954

City of PORTLAND

Portland, Maine, Aug. 10, 1954

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect the following described sign extending over a public sidewalk or street in accordance with the Building Code of the City of Portland, and the following specifications:

Location 1129 Forest Ave.

Within Fire Limits? no Dist. No. _____

Owner of building to which sign is to be attached Anthony Morabito

Name and address of owner of sign Cities Service Co., 1129 Forest Ave.

Contractor's name and address John Donnelly & Sons, 73 Main St., So. Portland Telephone 2-0050

When does contractor's bond expire? Dec. 31, 1954

Done all plans is

Information Concerning Building

In Mayberry
W. L. Mayberry
17 M.L. 65
CERTIFICATE OF OCCUPANCY
REQUIREMENT IS WAIVED

No. stories pole sign Material of wall to which sign is to be attached

Details of Sign and Connections

Building owner's consent and agreement filed with application yes

Electric yes Vertical dimension after erection 6' Horizontal 6'

Weight lbs. Will there be any hollow spaces? yes Any rigid frame? yes

Material of frame No. advertising faces 2 material porcelain enamel

No. rigid connections 3 Are they fastened directly to frame of sign? yes

No. through bolts Size Permit Issued Location, top or bottom

No. guys 2 material strap band iron Size 5/16x2 3/8x3

Minimum clear height above sidewalk or street 13' 8"

Maximum projection into street 7' John Donnelly & Sons Fee \$ 2.00

INSPECTION COPY

Signature of contractor by:

John Donnelly
Mayberry

Permit No. 541571

Location 1129 Forest Ave.

Owner Cities Service Co

Date of permit 9/27/54

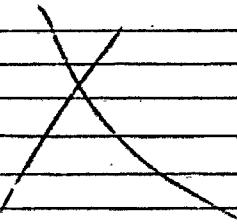
Sign Contractor John Donnelly & Sons

Final Inspn. 11/22/54

NOTES

11/22/54 - Installation

P. B. B.





INDUSTRIAL ZONE

APPLICATION FOR PERMIT

Class of Building or Type of Structure _____
Portland, Maine, Sept. 16, 1954PERMIT ISSUED
01461
SEP 17 1954

CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect ~~the excavation not to exceed~~ the following building structure as per plans and specifications, if any, submitted herewith and the following specifications:

Location 1131 Forest Ave. Within Fire Limits? no Dist. No. _____
Owner's name and address Antonio Morabito, 243 Conant St., Westbrook Telephone 2-9498
Lessee's name and address _____ Telephone _____
Contractor's name and address owner Telephone _____
Architect _____ Specifications _____ Plans no No. of sheets _____
Proposed use of building body and fender shop No. families _____
Last use _____ No. families _____
Material No. stories Heat Style of roof Roofing _____
Other buildings on same lot none _____
Estimated cost \$ _____ Fee \$1.00

General Description of New Work

To excavate and construct foundation only for proposed 1-story concrete block shop 20' x 35' as per plan with construction permit filed Sept. 8, 1954

Permit issued 9/17/54
and

Permit Issued with Memo

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO owner

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
Has septic tank notice been sent? _____ Form notice sent? _____
Height average grade to top of plate _____ Height average grade to highest point of roof _____
Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
Material of foundation CONCRETE Thickness, top 12" bottom 12" cellar _____
Material of underpinning _____ Height _____ Thickness _____
Kind of roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
Framing lumber—Kind _____ Dressed or full size? _____
Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

APPROVED:

with memo by A.M.

INSPECTION COPY

Signature of owner

Antonio V. Morabito

NOTES

10/4/54 - Room maps made

Permit No. 541461

Location 131 Grand Ave

Owner Antonio Morales

Date of permit 9/17/54

Notif. closing-in

Inspn. closing-in

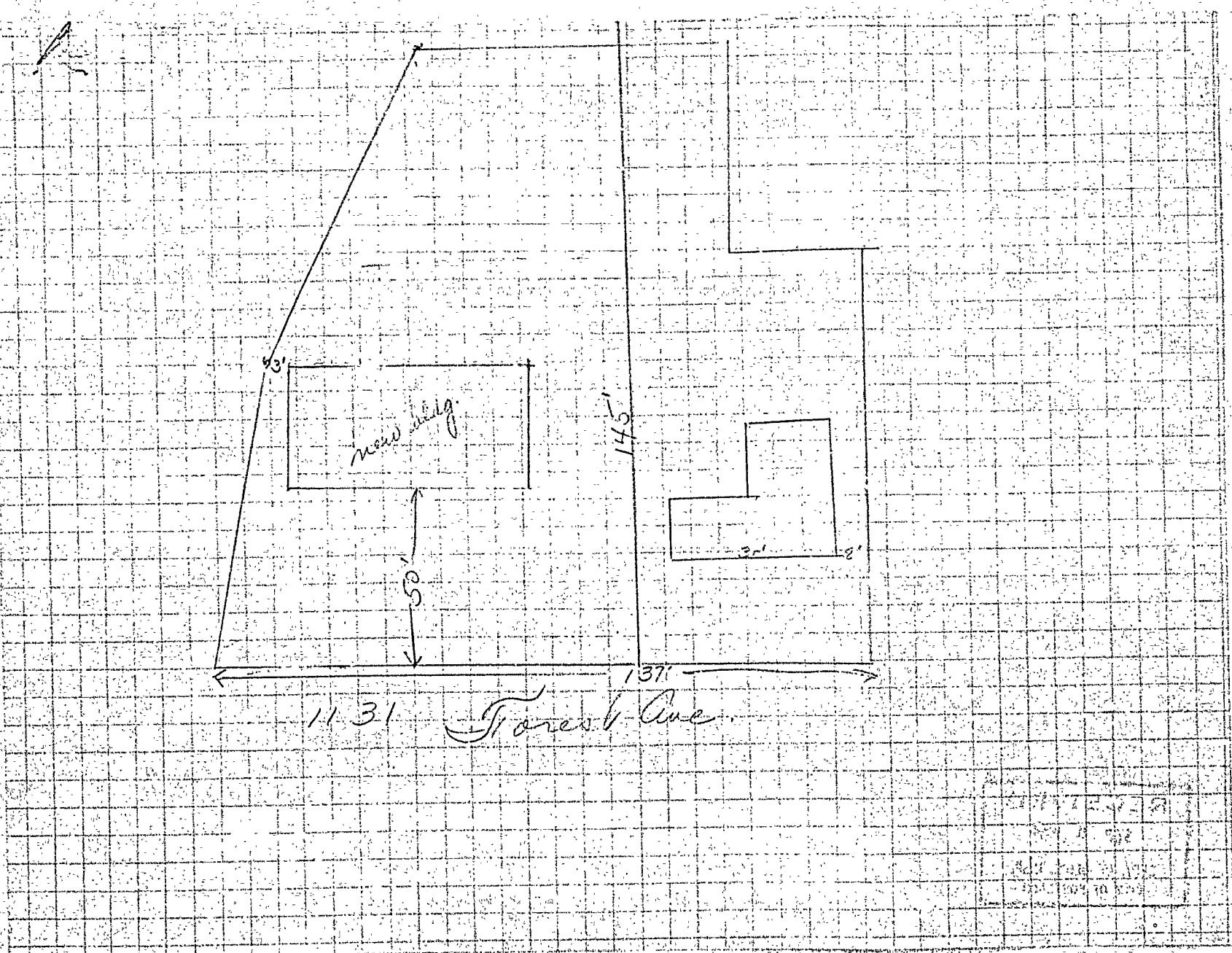
Final Notif.

Final Inspn. 10/4/54

Cert. of Occupancy issued

Staking Out Notice

Form Click Notice



Memorandum from Department of Building Inspector Portland, Maine

1131 Forest Ave. - Excavation and construction of foundation for one-story building
for and by Antonio Morabito - 9/16/54

Advance permit covering excavation and construction of foundation only for a proposed one story building 35 feet by 50 feet for use as a repair garage at above location is issued herewith without prejudice to any questions as to the foundation etc. that may arise when more detailed plans of the superstructure have been received. It is unlawful to proceed further with the construction of the building than the work covered by this permit until the general construction permit is in your possession.

AJS/G

(Signed) Warren McDonald
Inspector of Buildings



(I) INDUSTRIAL ZO
APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class

Portland, Maine, August 2, 1954

PERMIT ISSUED

01108

AUG 4 1954

CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to ~~excavate and~~ demolish ~~install~~ the following building ~~structure~~ in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 1131 Forest Ave. Within Fire Limits? no Dist. No. _____
 Owner's name and address Antonio Morabito, 243 Conant St., Westbrook Telephone _____
 Lessee's name and address _____ Telephone _____
 Contractor's name and address owner Telephone _____
 Architect _____ Specifications _____ Plans no No. of sheets _____
 Proposed use of building _____ No. families _____
 Last use dwelling house (vacant) No. families 2
 Material wood No. stories 2 Heat _____ Style of roof _____ Roofing _____
 Other buildings on same lot garage and service station
 Estimated cost \$ _____ Fee \$ 1.00

General Description of New Work

To demolish 2-story frame dwelling house 30' x 70'.

Do you agree to tightly and permanently close all sewer or drains connecting with public or private sewers from this building or structure to be demolished, under the supervision and to the approval of the Department of Public Works of the City of Portland? YES

Demolition Start 1123-1127 (146 H 15 V H-21)

Aug 1129-1133 (146 H 8)

Permit Issued with Letter

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO owner

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
 Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
 Has septic tank notice been sent? _____ Form notice sent? _____
 Height average grade to top of plate _____ Height average grade to highest point of roof _____
 Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
 Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
 Material of underpinning _____ Height _____ Thickness _____
 Kind of roof _____ Rise per foot _____ Roof covering _____
 No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
 Framing lumber—Kind _____ Dressed or full size? _____
 Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
 Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____ to be accommodated _____ number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

Miscellaneous

Will work require disturbing of any tree on a public street? no
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

INSPECTION COPY

Signature of owner

Antonio V. Morabito

August 3, 1954

AP 1131 Forest Avenue--Demolition of dwelling

Mr. Antonio Morabito
243 Conant St.
Westbrook, Maine

Dear Mr. Morabito:

With the issuance of the permit to demolish the dwelling house at 1131 Forest Ave., it seems best for me to tell you that this lot, w^t it has become vacant, or at least the particular part of the lot where the dwelling house is now located, may not be used for any purpose until a certificate of occupancy for that particular part has been applied for and issued from this department.

Presumably you wish to make some use of this particular part of the land other than leaving it just vacant. Thus, you should write a letter to me applying for the certificate of occupancy for that particular part of the lot and any other part of the lot which is to be changed in use, explaining what your plans are and just what part of the lot is involved in the new or changed uses.

Of course, if you plan to construct a building there, the application will be in the form of a building permit to do the construction work.

You are referred to Section 18C of the Zoning Ordinance.

Very truly yours,

WMcD/B

Warren McDonald
Inspector of Buildings



(1) INDUSTRIAL ZONE
APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class
Portland, Maine, August 4, 1949

PERMIT ISSUED
01280
AUG 16 1949
CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair or demolish the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 1129 Forest Avenue Within Fire Limits? no Dist. No.
Owner's name and address Antonio Morabito, 1129 Forest Ave. Telephone
Lessee's name and address _____ Telephone
Contractor's name and address owner Telephone
Architect _____ Specifications Plans yes No. of sheets 2
Proposed use of building Service Garage No. families _____
Last use Office No. families _____
Material frame No. stories 1 Heat pitch Roofing asphalt
Other buildings on same lot _____
Estimated cost \$ 1,500 Fee \$ 5.00

General Description of New Work

To construct 20'x25' addition to existing office building - new addition to be used for lubricitorium

To cut in new door between existing office building and new addition.

Permit Issued with Letter

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO owner

Detail of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? yes
Height average grade to top of plate 13' Height average grade to highest point of roof.
Size, front 20' depth 25' No. floors 1 solid or filled land? solid earth or rock? earth
Material of foundation concrete blocks Thickness, top 8" bottom 8" cellar no
Material of underpinning _____ Height _____ Thickness _____
Kind of roof pitch-gable Rise per foot _____ Roof covering asphalt roofing Class C Und. Lab.
Florence
No. of chimneys 1 Material of chimneys brick of lining tile Kind of heat approved fuel
heater
Framing lumber—Kind hemlock free Dressed or full size? dressed
Corner posts 4x4 Sills 2x6 Girt or ledger board? _____
Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor concrete, 2nd _____, 3rd _____, roof 2x6
On centers: 1st floor _____, 2nd _____, 3rd _____, roof 16"
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof 10'
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

with letter by AGJ

Miscellaneous

Will work require disturbing of any tree on a public street? _____
Will there be in charge of the above work a person who will see that the State and City requirements pertaining thereto are observed? yes

INSPECTION COPY

Signature of owner

Antonio Morabito

NOTES

Ind. on Bl. check enft 47/91
allotted and see if the stnts
or otherwise, are referring
in writing Bl. regrading the
situation of Bl. if needed.

Received no written contract
for work to be done special
alt etc. and to be checked
out when because he
already has most of the excavation
done even more - MWS 7/16/49

8/12/49 - Garage built to 20x17 ft
that is needed to close in before getting
his driving door to wall. E. C. T.
and of work agreeable to owner C. T.

8/12/49 - Left C. T. to close in with
note, no work to be done until
inspected & approved. E. C. T.

10/17/49 - Not ready for finish. E. C. T.

11/8/49 - Certificate of occupancy to be issued

Permit No. 47/1280

Location 1/2 Bl. House

Owner Antonia Marcella

Date of permit 7/16/49

Notif. closing-in 7/22/49 9:30

Inspr. closing-in 7/23/49

Notif. final inspection 7/26/49

Final Notif. 7/26/49

Final Inspr. 11/8/49

Cert. of Occupancy issued 11/8/49

W. C. T.

(D) and J. H. M. T.

COPY

CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

Issued to Antonio Morabito

Date of Issue November 10, 1949

This is to certify that the building, premises, or part thereof, indicated below, and ~~both~~
altered—~~changed~~ ~~at~~ ~~1129 Forest Avenue~~
under Building Permit No. 49/1280, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

Entire Building

APPROVED OCCUPANCY
Office and Service Garage

Limiting Conditions:

This certificate supersedes
certificate issued 4/30/47

Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from
owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.



APPLICATION FOR AMENDMENT TO PERMIT

Amendment No. 1

Portland, Maine, September 7, 1949

PERMIT 1035

SEP 8 1949

CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for amendment to Permit No. 49/1280, pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 1129 Forest Avenue Within Fire Limits? no Dist. No. _____
Owner's name and address Antonio Morabito, 1129 Forest Avenue Telephone _____
Lessee's name and address _____ Telephone _____
Contractor's name and address owner Telephone _____
Architect _____ Plans filed no No. of sheets _____
Proposed use of building Service Garage No. families _____
Last use Office No. families _____
Increased cost of work _____ Additional fee .25

Description of Proposed Work

To enlarge existing front window making it 5' x 5'. 4x6 header.
To cut in 5' x 5' window in side of present building. 5x6 header.

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
Height average-grade to top of plate _____ Height average grade to highest point of roof _____
Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
Material of underpinning _____ Height _____ Thickness _____
Kind of roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____
Framing lumber—Kind _____ Dressed or full size? _____
Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____

Approved:

Q.N. 9/8/49-AJS

Signature of Owner Antonio V. Morabito

Approved: 9/8/49 - WMS
Inspector of Buildings

INSPECTION COPY

Location 1125 1/33 Forest Ave

Date 5/15/47

Permit

Complaint

Inquiry

C 88 - Will you
sometime soon look
over situation at
this location where
a small office building
is being rapidly built
in connection with
the new coal business
on the property to see
if the wood garage on
lot with sidewalk boards
on the property is being
used for the storage of
automobiles. How it
too obvious about it
perhaps leads carious
distrubers away and
walk to this location.
Make several visits to
see if period of time

SI 67

of three weeks to see
if this is being done.
Of course if you find
out that repair of
automobiles is being
done in connection with
an insured car lot
report it at once and
we will go after him.
You set the use of
this building for
parking of any cars except
those that actually
stored there will be
a repair garage which
is not allowable in
a wood frame building.
This question has
come up before and Mr
Morelito should
know it is not legal.

5/16/47 - Two cars - garage
boulders and of one stacked up
commonly being worked on.

5/17/47 - Con - end of
garage - common being worked on.



(I) INDUSTRIAL ZONE
CITY OF PORTLAND, MAINE
DEPARTMENT OF BUILDING INSPECTION

Complaint No. 47/91

COMPLAINT

INSPECTION COPY

Date Received May 19, 1947

Location: 1125-1133 Forest Avenue Use of Building:

Owner's name and address Antonio Morabito, 243 Conant St., Westbrook Telephone —

Owner's name and address _____ Telephone _____

Tenant's name and address _____

Complainant's name and address - AJS
Description: One story wood frame 2 car minor garage on property is being used for repairing of automobiles in connection with used car business on lot.

① INDUSTRIAL ZONE

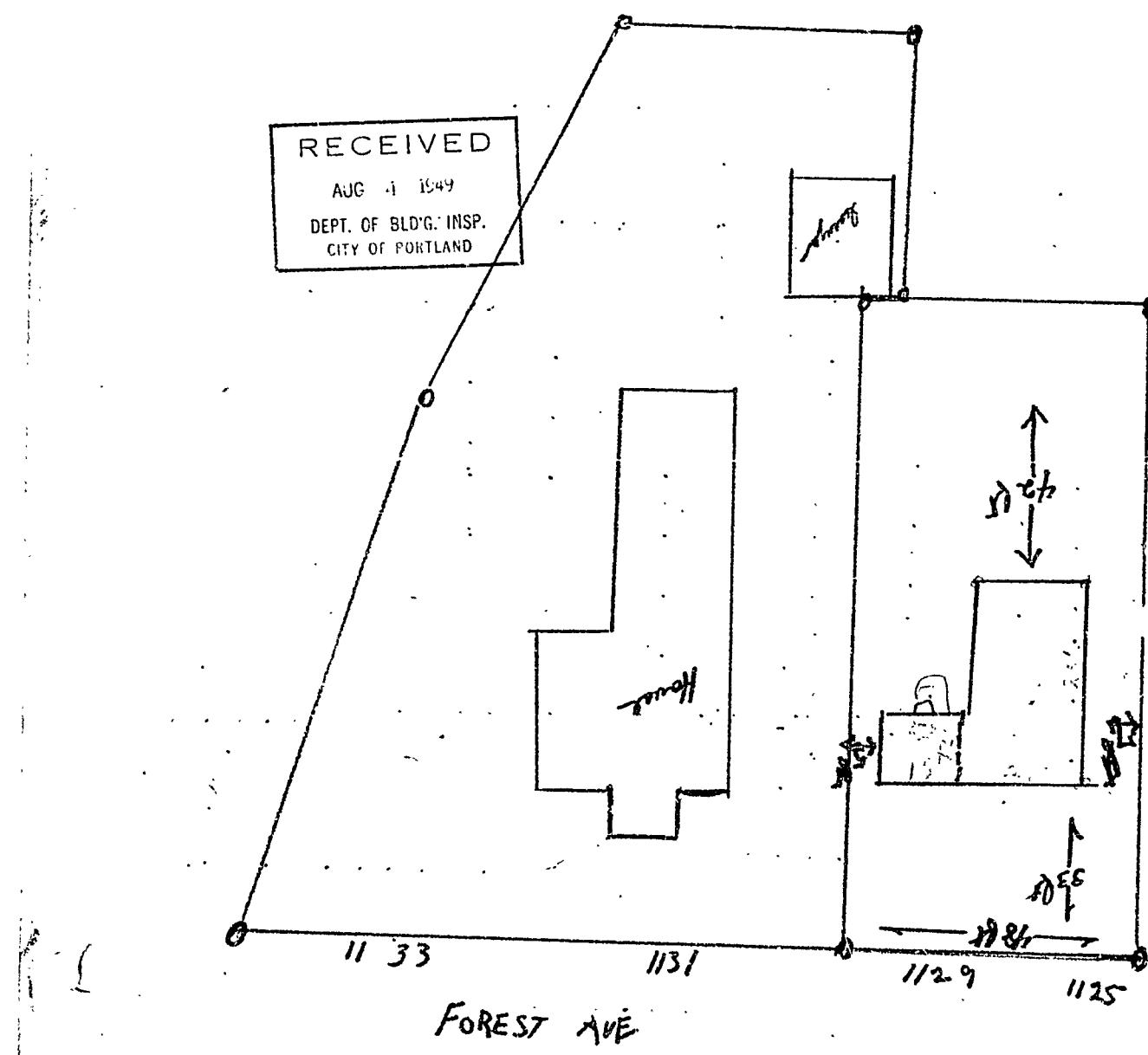
Complaint No. 47/91
Location 1125-1133 Forest Avenue
Date Received 5/19/47
Date Disposed of

NOTES

8/5/49 - This wood
frame of car garage
is still being used
as a repair garage. 8/8
8/15/49 - Mr. Morabito
says repair garage
will be demolished
trashed. (AJ)

8/16/49 - Fly letter
with permit for
garage garage
trashed.

RECEIVED
AUG 4 1949
DEPT. OF BLDG. INSPI.
CITY OF PORTLAND



Antonio v Monribio - Monribos Motor Co

AP 1123-1133 Forest Avenue-I

August 16, 1949

Mr. Antonio Morabito
1129 Forest Avenue
Portland, Maine

Subject: Permit for construction of addition to
office building for Service Station purposes
at 1123-1133 Forest Avenue

Dear Sir:

The permit for the above work is issued herewith based on the plans filed with
the application and subject to the following:

1. The use of this addition is defined as a Service Garage and as such is
limited to such acts as changing oil, greasing, changing tires and the making of minor
repairs and replacements. The making of major repairs is prohibited because the build-
ing is of wood frame construction.

2. As explained to you over the telephone the metal sash in the walls of the
building wherever closer than 30' to a property line must be glazed with wire glass,
and this you agreed to do.

3. An exit door is required from the rear of the addition and you have said
that you plan to provide one in the rear wall at the corner towards Morrill Street.
This will satisfy the requirement if the door is at least two feet wide and six feet
four inches high.

4. As given in the application a masonry chimney is to be provided at the rear
of the present office building. The foundation for the chimney must extend at least
four feet below grade and walls of chimney must be kept at least one inch away from any
woodwork and in the case of an outside chimney the brickwork of the chimney must be
corbelled through the wall of the building where the smokepipe enters it. Since heater
is not to be enclosed, the heating equipment must be of a type approved for use where
flammable vapors may be present. Such an installation must be covered by a separate
permit issuable only to the actual installer before work on the installation is started.

5. If a floor drain connected to the public sewer is to be provided in the
floors of the addition, a grease and oil separator approved by the Chief of the Fire
Department is required between the inlet to the drain and the sewer.

6. The sill for supporting the building on the foundation is required to be
4x6, all one piece in cross section, instead of the 2x6 shown on the plan and the permit
is issued on the basis that the 4x6 will be provided.

7. Because the studs in the outside walls are to be more than ten feet high,
cross bracing at about the center of the height is required.

8. Presumably the ceiling timbers are to be hung up to the rafters at the ridge.
9. It is understood that you plan to install gasoline tanks and pumps. A separate
permit issuable only to the installer is required for the installation of this equipment.

10. No sheetrock is to be applied to walls or ceilings until after notice for
an inspection of the structure has been given this office and authorization to do so
has been given on a green tag. Before addition is put into use, notice for a final in-
spection of the building is required when, if everything is found in order, the certi-
ficate of occupancy, without which use of the building is unlawful, will be issued.

Mr. Antonio Moravito-----2

August 16, 1949

11. We understand that the small wood frame building at the rear of the lot which in the past has been used as a Repair Garage contrary to Building Code requirements because of its type of construction is no longer being used for that purpose and will not be so used in the future. Please see to it that no use is made of this building except one which complies with Building Code and Zoning Ordinance requirements.

Very truly yours,

Warren McDonald
Inspector of Buildings

AJS/G

STATEMENT ACCOMPANYING APPLICATION FOR BUILDING PERMIT

for Service Station
at 1122 1125 Forrest Avenue Date 11/5/45

1. In whose name is the title of the property now recorded? Antonio V. Morabito
2. Are the boundaries of the property in the vicinity of the proposed work shown clearly on the ground, and how? Stakes
3. Is the outline of the proposed work now staked out upon the ground? No. If not, will you notify the Inspection Office when the work is staked out and before any of the work is commenced? Yes
4. What is to be maximum projection or overhang of eaves or drip? _____
5. Do you assume full responsibility for the correctness of the location plan or statement of location filed with this application, and does it show the complete outline of the proposed work on the ground, including bay windows, porches and other projections? Yes
6. Do you assume full responsibility for the correctness of all statements in the application concerning the sizes, design and use of the proposed building? Yes
7. Do you understand that in case changes are proposed in the location of the work or in any of the details specified in the application that a revised plan and application must be submitted to this office before the changes are made? Yes

Antonio V. Morabito

AP 1123-1125 Forest Ave...I

✓BS
✓ATH
✓PMT
✓FH
✓AJS
✓HL

November 14, 1943

Mr. Antonio V. Morabito
699 Main Street
Westbrook, Maine

Subject: Application for building permit to cover
construction of gasoline filling station and
automobile service station at 1123-1125 Forest
Avenue

Dear Sir:

You have been told that I am unable to issue this building permit because the property is located in a Limited Business Zone where such a use of buildings or land is not allowable under the Zoning Ordinance. You said that you would like to file a petition seeking a special right from the Board of Appeals to go ahead with the work despite the provisions of the Zoning Ordinance against it. That is your right, of course, under the Zoning Ordinance, and if you still wish to go ahead with the petition, after reading this letter, you should come to the office and pay the fee for the petition of five dollars and sign the initial petition paper.

Such a petition requires before it can come to the required public hearing before the Board of Appeals that the written consent to the proposition of the owners of certain nearby property frontage shall be secured. Under such circumstances when a petition is filed, the Planning Board locks up the location and owners of the property involved in the written consents proposition for the benefit of the petitioner so that he may know just what pieces of property are involved in the written consents requirement.

I presume that you have recently purchased this 60x100 lot and while you are in City Hall, if you file the petition, it would be well to make clear upon your plan the precise location along Forest Avenue of your lot as this will be of first importance to the Planning Board in working out the properties involved in the written consents.

It may be for your benefit to draw your attention to the fact that the Planning Board has recommended to the City Council extensive revisions of the Zoning Ordinance, as it now exists, including extensive changes in zone lines and the classes of zones in various locations. The recommendations of the Planning Board as they are at present would place this particular property in an Industrial Zone where the filling stations and service building would be an allowable use. Should you be content to wait, and should the amendments go through as now proposed, a building permit could be issued as far as the Zoning Ordinance is concerned, without the petition.

Irrespective of the settlement of the Zoning question, your attention is drawn to the facts that a building of this area for service stations (called under the Building Code a Service Garage) cannot have an area exceeding 900 square feet in a wooden frame building unless equipped with a sprinkler system, the proposed building having an area well over this figure; the Building Code does not allow any kind of motor vehicle repairs to be made in a building of wooden frame construction, a Service Garage being intended only for lubrication, changing tires, washing and the like maintenance operations as distinguished from repairs of any type--painting is considered as repair no wall of the wooden building would be permitted closer than five feet to a property line--two feet shown in one place; a number of safeguards are required around the

Mr. Antonio V. Morabito-----2

November 14, 1945

briating pit which are not indicated on the plan; no heat is indicated on application or plan and that is an important feature indicated by the Building Code in buildings of such use.

Before going ahead with this proposition, you and your architect should examine carefully Section 204 of the Building Code relating to garages and hangars and we would like to have the architect's name and address here on the plan.

Very truly yours,

Inspector of Buildings

WMD/L

CC: Camillo Profenno Company
25 Free Street
Portland 3, Maine



(B) LIMITED BUSINESS ZONE
APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class

Permit No. _____

Portland, Maine November 5, 1945

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect ~~and construct~~ the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 1123-1125 Forest Avenue Within Fire Limits? no Dist. No. _____
Owner's or Lessee's name and address Antonio V. Morabito, 699 Main St. Westbrook Telephone 1164W
Contractor's name and address Camillo Profenno Co., 25 Free Street Telephone _____
Architect _____ Plans filed Yes No. of sheets 1
Proposed use of building Service Station No. families _____
Other buildings on same lot _____
Estimated cost \$ 3000. Fee \$ 3.00

Description of Present Building to be Altered

Material No. stories Heat Style of roof Roofing
Last use _____ No. families _____

General Description of New Work

To construct 1 story frame building 30'x40' for Service Station, as per plan

This application is preliminary to get settled the question of zoning appeal. In event the appeal is sustained the applicant will furnish complete information and plans, the estimated cost and will pay legal fee.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Is any plumbing work involved in this work? Yes
Is any electrical work involved in this work? Yes Height average to top of plate
Size, front depth No. stories Height average grade to highest point of roof
To be erected on solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Material of underpinning Height Thickness
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining
Kind of heat Type of fuel Is gas fitting involved?
Framing lumber Kind Dressed or full size?
Corner posts Sills Girt or ledger board? Size
Material columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor, 2nd, 3rd, roof

On centers: 1st floor, 2nd, 3rd, roof

Maximum span: 1st floor, 2nd, 3rd, roof

If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot, to be accommodated

Total number commercial cars to be accommodated

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? Yes

Signature of owner Antonio V. Morabito
Original

Permit No 1457

Location 1123-1125 Forest Ave

Owner Antonio V. Morabito

Date of permit 1/17 1965

Notif. closing-in

Inspr. closing-in

Final Notif.

Final Inspr.

Cert. of Occupancy issued

NOTES

Janice J.

INQUIRY BLANK

ZONE B.

FIRE DIST. 205

CITY OF PORTLAND, MAINE
DEPARTMENT OF BUILDING INSPECTION

Verbal
By Telephone

DATE 9/3/45

LOCATION 1123-1125 Forest Grove OWNER F.E. Philbrick

MADE BY Answer. TEL. 4-1097

ADDRESS 180 Ashmont

PRESENT USE OF BUILDING Vacant land

CLASS OF CONSTRUCTION _____ NO. OF STORIES _____

REMARKS: _____

INQUIRY: If man buys this lot could he
build general & repair garage here?

ANSWER: No Limited Building - but if
zone is changed to DT zone and Garage
garage could be built - of course
or check with Building Code

DATE OF REPLY 9/3/45 REPLY BY W.M.R.

INQUIRY BLANK

ZONE B

FIRE DIST. 16

CITY OF PORTLAND, MAINE
DEPARTMENT OF BUILDING INSPECTION

Verbal
By Telephone ✓

DATE 8-22-45

LOCATION 1131 Front Ave. OWNER Frank W. Smith

MADE BY Fred P. Pillichich TEL. 4-1097

ADDRESS 180 Aspinwall St.

PRESENT USE OF BUILDING

CLASS OF CONSTRUCTION

NO. OF STORIES

REMARKS:

INQUIRY: (A) Could a garage for minor repairs be built here
(B) Could a general repair garage or filling station
be erected.

ANSWER: (A) Garage for minor repairs o.k. Not certain what
repairs mean, but assume it is such as car habitually
stored there.

(B) General repair garage should require an application
to be made first in usual manner. earliest a
new would be notice posted and Sept 4, for hearing
Sept 19th and reply by Sept 17th

size to be constructed not greater than is permissible
for that issue.

DATE OF RPTY 8-22-45

REPLY BY 8-20