

1129-1131 FOREST AVENUE

# 1 THRU 1955



# APPLICATION FOR PERMIT

B.O.C.A. USE GROUP

B.O.C.A. TYPE OF CONSTRUCTION

ZONING LOCATION B-2

PORTLAND, MAINE, April 30, 1980

PERMIT ISSUED

MAY 6 1980

CITY of PORTLAND

To the DIRECTOR OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 1125 Forest Ave.

1. Owner's name and address Team Auto Body same Fire District #1 ☐ #2 ☐  
2. Lessee's name and address Telephone  
3. Contractor's name and address Bailey Signs Thompson's Point Telephone 774-2843  
4. Architect Specifications Plans No. of sheets  
Proposed use of building auto repair shop No. families  
Last use No. families  
Material No. stories Heat Style of roof Roofing  
Other buildings on same lot  
Estimated contractual cost \$ Fee \$ 14.90

FIELD INSPECTOR—Mr.

GENERAL DESCRIPTION

This application is for:  
Dwelling  
Garage  
Masonry Bldg.  
Metal Bldg.  
Alterations  
Demolitions  
Change of Use  
Other

@ 775-5451  
Ext. 234

To erect 7'x7' pole sign - plastic faces  
as per plan

Stamp of Special Conditions

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

PERMIT IS TO BE ISSUED TO 1 ☐ 2 ☐ 3 ☐ 4 ☐  
Other:

## DETAILS OF NEW WORK

Is any plumbing involved in this work? Is any electrical work involved in this work?  
Is connection to be made to public sewer? If not, what is proposed for sewage?  
Has septic tank notice been sent? Form notice sent?  
Height average grade to top of plate Height average grade to highest point of roof  
Size, front depth No. stories solid or filled land? earth or rock?  
Material of foundation Thickness, top bottom cellar  
Kind of roof Rise per foot Roof covering  
No. of chimneys Material of chimneys of lining Kind of heat fuel  
Framing Lumber—Kind Dressed or full size? Corner posts Sills  
Size Girder Columns under girders Size Max. on centers  
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.  
Joists and rafters: 1st floor 2nd 3rd roof  
On centers: 1st floor 2nd 3rd roof  
Maximum span: 1st floor 2nd 3rd roof  
If one story building with masonry walls, thickness of walls? height?

## IF A GARAGE

No. cars now accommodated on same lot ..., to be accommodated ... number commercial cars to be accommodated ...  
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? ...

APPROVALS BY:

DATE

MISCELLANEOUS

BUILDING INSPECTION—PLAN EXAMINER

ZONING: ON P.O.D. 5/5/80

BUILDING CODE:

Fire Dept.:

Health Dept.:

Others:

Will work require disturbing of any tree on a public street? ..

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of Applicant

Type Name of above

Ralph Hutchinson

Phone #

1 ☐ 2 ☐ 3 ☐ 4 ☐

Other

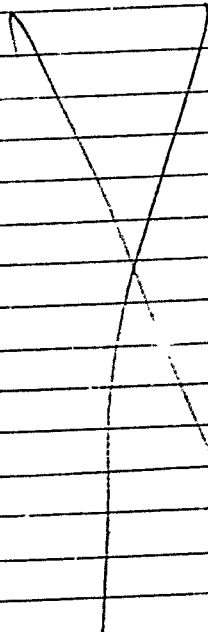
and Address

FIELD INSPECTOR'S COPY

NOTES

JUNE 9, 1980  
Sign installed -

Permit No. 80/266  
Location 1125 St. Louis Ave  
Owner Alcan Cante Laundry  
Date of permit 4-30-80  
Approved 5-6-80





FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT FOR  
HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, March 24, 1955

PERMIT ISSUED  
00370

MAR 29 1955

CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 1131 Forest Ave Use of Building Garage No. Stories New Building  
Name and address of owner of appliance Antonio Forabito, 243 Conant St. Westbrook  
Installer's name and address Peterson Oil Co., 377 Cumberland Ave. Telephone 3-7209

General Description of Work

To install suspended warm air heater and oil burning equipment

IF HEATER, OR POWER BOILER

Location of appliance suspended from Any burnable material in floor surface or beneath? ceiling  
If so, how protected? Kind of fuel? oil  
Minimum distance to burnable material, from top of appliance or casing top of furnace 25"  
From top of smoke pipe 28" From front of appliance over 4' From sides or back of appliance over 3'  
Size of chimney flue 8x8 Other connections to same flue none  
If gas fired, how vented? Rated maximum demand per hour  
Will sufficient fresh air be supplied to the appliance to insure proper and safe combustion? yes

IF OIL BURNER

Name and type of burner Armstrong 8801A-18-165 Labelled by underwriters' laboratories? yes  
Will operator be always in attendance? Does oil supply line feed from top or bottom of tank? bottom  
Type of floor beneath burner concrete Size of vent pipe 3/4"  
Location of oil storage outside (above ground) Number and capacity of tanks 1-275 gal.  
Low water shut off Make No.  
If all tanks be more than five feet from any flame? How many tanks enclosed?  
capacity of any existing storage tanks for furnace burners

IF COOKING APPLIANCE

Location of appliance Any burnable material in floor surface or beneath?  
If so, how protected? Height of Legs, if any  
Skirting at bottom of appliance? Distance to combustible material from top of appliance?  
From front of appliance From sides and back From top of smokepipe  
Size of chimney flue Other connections to same flue  
Is hood to be provided? If so, how vented? Forced or gravity?  
If gas fired, how vented? Rated maximum demand per hour

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

Bottom of burner of heater will be 9' above floor.  
Tank to rest on 4' cement posts 9" in diameter

RELATED

Amount of fee enclosed? 2.00 (\$2.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

APPROVED:

*Harry A. Moore*

CITY OF PORTLAND

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Peterson Oil Co.

Signature of Installer BY:

*Peterson*

INSPECTION COPY

C17-254-1M MAR 55

- 1 Fill Pipe
- 2 Vent Pipe
- 3 Kind of Heat
- 4 Burner Rating & Support
- 5 Name & Label
- 6 Stack Control
- 7 High Limit
- 8 Remote Control
- 9 Piping Support & Protection
- 10 Valves in Supply Line
- 11 Capacity of Tanks
- 12 Tank Eligibility & Supports
- 13 Tank Labeling
- 14 Oil Gauge
- 15 Inlet/Outlet Control
- 16 Low Water Switch

NOTES

3/29/55

Permit No. 55/370  
 Location 1131 Street Ave  
 Owner Antonio Morales  
 Date of permit 3/29/55  
 Approved 6/24/55 J. A. R.

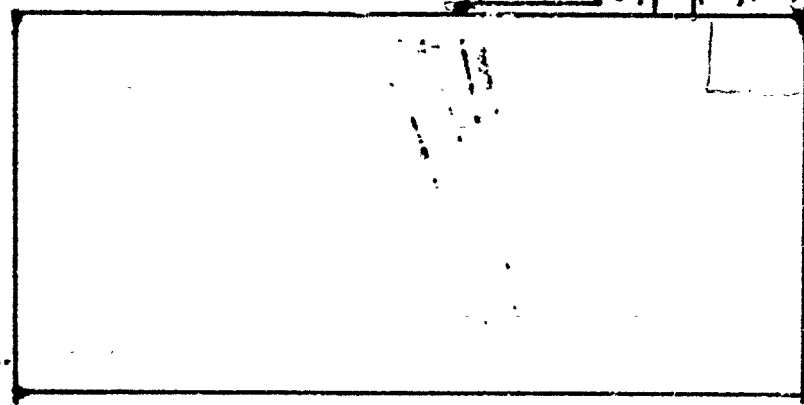
4/22/55 R. A. R.  
 all cleaning  
 and label  
 done

Antonio Morales

U

8" DIA -  
4 FT CEMENT POST

815 GAL  
TANK 5' 7" CRIMNEY  
7 FT



A. MORABITO  
FOREST AVE

RECEIVED  
MAR 24 1955  
DEPT. OF REG. INSP.  
CITY OF PORTLAND

1131 FOREST AVE

3/17/55

Labelled unit being  
installed as per applica-  
tion. Hold up issuance  
of permit until all  
details of installation  
including final oil  
storage tanks have been  
corrected - AGJ

LOCATION 1131 Forest Ave

DATE 1/20/55

PERMIT ☒

INQUIRY

COMPLAINT

Hold for more  
information  
See letter

WNR

Continue to  
hold  
See letter  
to day

WNR

2/2/55  
2/4/55

Hold for correction  
of details of installation  
See letter with general  
construction permit

WNR



1131 Finest Ave  
Morabito.  
York Heat Co.  
York Penna  
No label No  
0-1-150

Supported  
9 ft above floor.  
7 ft from ext wall  
on 2 @ 3 1/2 x 2"

on 7 ft span  
4-5/8" hanger rods.  
Wind. Label on  
unit + burner

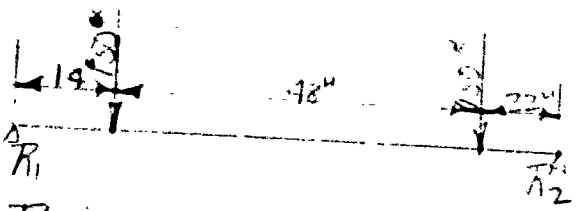
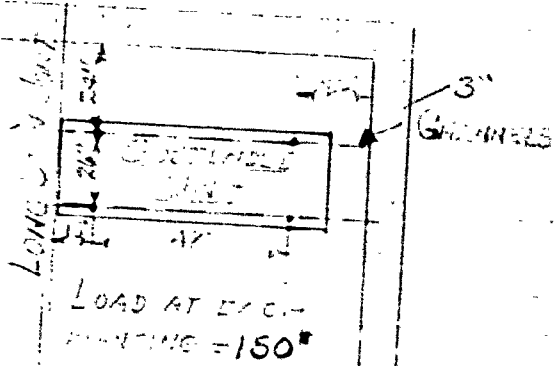
wt 423 ~~lb~~  
April 10

Return air only 18"  
above floor.

No label?  
Temporary tank hookup?

# SUSPENDED BRIDGE INSIDE A LUMI FOREST AVE

15 - 3 1/2" x 2"



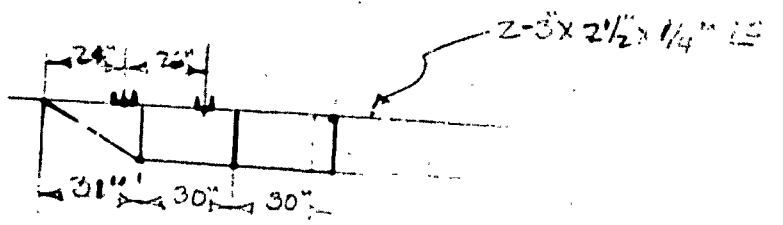
$$R_1 = (150 \times 5.83) - (150 \times 1.23) = 274.5 - 27.45 = 164^{\#}$$

$$R_2 = (300 - 164) = 136^{\#}$$

$$M_{MAX} = 136 \times 1.23 = 249^{\#}$$

$$S_{REQ} = \frac{249 \times 12}{20,000} = .1394$$

SEL 3" x 1 1/2" L @ 4.1" = .21 (Y-Y axis)



534/om  
71391  
56

February 8, 1955

AP 1131 Forest Ave.—Suspended oil-fired unit not bearing the Underwriters' label indicating approval of the entire unit

Mr. C. H. Weizan, Jr.  
Vice-Pres. York-Shipley, Inc.  
York, Pennsylvania

Copies to: Peterson Oil Co.  
Mr. Antonio Moratito  
Mr. John Callahan

Dear Mr. Weizan:

It is regrettable that we are unable to accept the various approvals, which you have indicated in your letter of February 4, as having been accorded the same model of suspended warm air furnace which Peterson Oil Co. has installed at the above location. You are fortunate that in Pennsylvania your Industrial Board have allowed an alternate for Underwriters' Laboratories approval and that you have the facilities for testing such equipment in exactly the same way as tested by Underwriters' Laboratories. It is doubtful if many other states have such a thorough arrangement, which speaks a good word for Pennsylvania where I worked for 12 years in and out of Pittsburg.

In haste for such general approvals we have to rely upon some well established testing agency not associated with State or Local Government; and Underwriters' Laboratories, Inc. seems to be about the only organization that a City in our circumstances can use.

I understand the oil burner assembly in this particular appliance does bear upon it the label of Underwriters' Laboratories, and, if the unit were in an ordinary business place or just any other place than a garage or service station building or hangar, the label on the oil burner would suffice. However, the suspended furnace in garages and the like has been approved by our Board in lieu of a fire-resistive heater room only if the furnace itself has upon it the label of Underwriters' Laboratories, Inc., identifying the unit for use in garages and hangars.

Thus, we have no other option than to require that this suspended furnace bear upon it that label. In order to assist the owner, who has been most anxious to get our certificate of occupancy so that he can legally occupy the building, we have issued a temporary certificate by letter on a condition that the furnace be made to comply with the requirements.

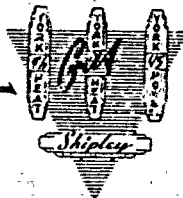
Very truly yours,

Warren McDonald  
Inspector of Buildings

WMD/B

## YORK - SHIPLEY, INC.

RESIDENTIAL OIL AND GAS BURNERS • BOILER-BURNER UNITS • WINTER AIR CON-  
DITIONERS • HEAT DISTRIBUTION SYSTEMS • GAS AND ELECTRIC WATER HEATERS  
• INDUSTRIAL FACTORY COORDINATED FUEL BURNING SYSTEMS • HORIZONTAL-  
ROTARY OIL BURNERS • HIGH AND LOW PRESSURE STEAM-PAK GENERATORS  
SHIPLEY HOMEAIR CONDITIONERS COMPLETE HOME COOLING EQUIPMENT



YORK, PENNSYLVANIA

February 4, 1955

*Free with  
answer  
with aff.*

Mr. Warren MacDonald, Building Inspector  
City Hall  
Portland, Maine

Dear Mr. MacDonald:

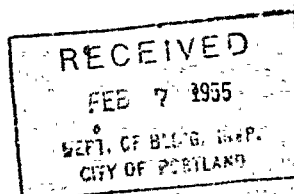
At the request of Mr. Callahan of our Boston Office I am writing you concerning an installation of one of our Model S1-150 suspended warm air furnaces installed by Peterson Oil Company, 377 Cumberland Avenue, Portland, Maine.

I understand that you have a question concerning the approval of this unit and I have been requested to write you, by Mr. Callahan, and tell you of the approvals we have received on this unit.

The Industrial Board of Pennsylvania requires that the unit be approved either by the Underwriters' Laboratories, Incorporated or by a test made in exact accordance with the Underwriters' Laboratories tests and witnessed by a representative of the Department of Labor and Industry of Pennsylvania.

We obtained the approval of the Industrial Board of Pennsylvania on November 27, 1951 on our Models S1-80, S1-115, S1-150, and S1-205 by making the Underwriters' tests in our laboratory and having a witness to these tests from the Industrial Board of Pennsylvania. We have certificates in our file certifying that our units meet the requirements of the tests and, therefore, have received the approval of the Commonwealth of Pennsylvania. This approval has been granted to us on Certificate No. 1679.

In addition to the approval of the State of Pennsylvania we, also, have the approval of the Board of Standards and Appeals of New York City.



Mr. Warren MacDonald, Building Inspector  
City Hall  
Portland, Maine

February 5, 1955  
Page - 2 -

The approval number of our Models S1-80, S1-115, S1-150, and S1-205 is 435-51-SA. The original approval was granted by the Board of Standards and Appeals on October 3, 1951.


Reading from the November 6, 1951 Bulletin No. 45, Volume XXXVI, which is the official publication of the Board of Standards and Appeals Action, we find the following: "The Committee further recommends that this appliance may be installed in a garage and places of explosive atmosphere when the flame in the heater is located at least 8' above floor".

In addition to the approval of the Industrial Board of Pennsylvania and the New York Board of Standards and Appeals we have a letter dated July 27, 1953 signed by Mr. Thomas Dickson, Acting Assistant Fire Prevention Engineer, Commonwealth of Massachusetts, Department of Public Safety, on the subject of approval of York-Shipley, Incorporated oil fired suspended type unit heater for garage and airplane hangers. This letter reads as follows: "This is to certify that in accordance with the current rules of the Board of Fire Prevention Regulations, FPR-4, Rule 26, the suspended type unit heater manufactured by York-Shipley, Incorporated, York, Pennsylvania, has been approved by the State Fire Marshal". The letter further states, "It is our understanding that these unit heaters shall be located not less than eight (8) feet above the garage floor level, and in the case of gas or oil, the combustion chamber of such unit heaters shall be properly vented to the outer air".

We hope that by citing the approvals granted to us by other States and Municipalities that have rather stringent requirements for approval of equipment, you will see fit to grant approval to the Peterson Oil Company for the installation of our Model S1-150 unit.

Very truly yours,

YORK-SHIPLEY, INC.

  
C. H. NEIMAN, JR.  
Vice-President in  
Charge of Engineering

CHN:ba

CC: Mr. John Callahan  
727 Shawmut Avenue  
Roxbury, Massachusetts

February 2, 1955

AP - 1131 Forest Avenue

Installer—<sup>O</sup>Peterson Oil Co.  
377 Cumberland Ave.

Owner—<sup>C</sup>Antonio Morabito  
243 Conant St.  
Westbrook

Inspection of the suspended oil burning warm air heater installed before application for permit was filed in new garage at the above location fails to disclose any label of Underwriters' Laboratories, Inc. approving the entire unit, as is required for such an appliance installed in a building of this use. As indicated in a previous letter we are unable to find that a furnace of this make and model is qualified to bear such a label. Therefore, unless a label approving the unit can be found on the appliance, a belated permit cannot be issued for its installation, and it will be necessary to replace it with an approved device.

There are a number of other details of the installation which do not meet requirements. A return air duct has been extended to within about 18 inches of the floor. Minimum distance above the floor for such a duct is 48 inches. Opening in chimney where smokepipe enters is not tight.

We understand that the location of the fuel oil tank in a separate small building at the rear of the one in which the appliance is located is only temporary and that an underground tank is to be provided in the spring. Even on a temporary basis, however, it is necessary that fill and vent pipes extending outside the building be provided instead of the present arrangement.

The owner of the building is anxious to secure a certificate of occupancy for the building, but we shall be unable to issue even a temporary certificate until all questions of compliance with Building Code requirements relating to this installation have been cleared up. Therefore it is important that this matter receive your immediate attention.

Warren McDonald  
Inspector of Buildings

AJS/G

January 26, 1955

AP - 1131 Forest Ave.

Contractor—<sup>o</sup>Peterson Oil Co.  
377 Cumberland Ave.

Owner—<sup>c</sup>Antonio Morabito  
243 Conant St.  
Westbrook

The suspended oil-burning warm air heater, for installation of which in garage at the above location an application for permit has been filed, is required, where installed without enclosure in a building of this use, to bear the label of approval of Underwriters' Laboratories for the entire unit. We have been unable to find in our lists of approved appliances any record of the model and make of furnace indicated. Unless you can definitely establish that the furnace to be installed does bear this label of approval for the whole unit, we are unable to issue a permit for its installation.

It is noted that the application for permit specifies that the bottom of burner of heater is to be 14 feet above the floor of the building. This must be in error since plans of the building indicate that height from floor to underside of steel joists in roof construction is only 11 feet 6 inches. Definite information is needed as to this height and that in any case it will not be less than 8 feet.

Information is also needed as to the manner in which the furnace is to be hung from the long span steel roof joists, at what locations on the joists involved the fastenings are to be made, and that the joists are adequate to carry the additional load of the furnace.

Warren McDonald  
Inspector of Buildings

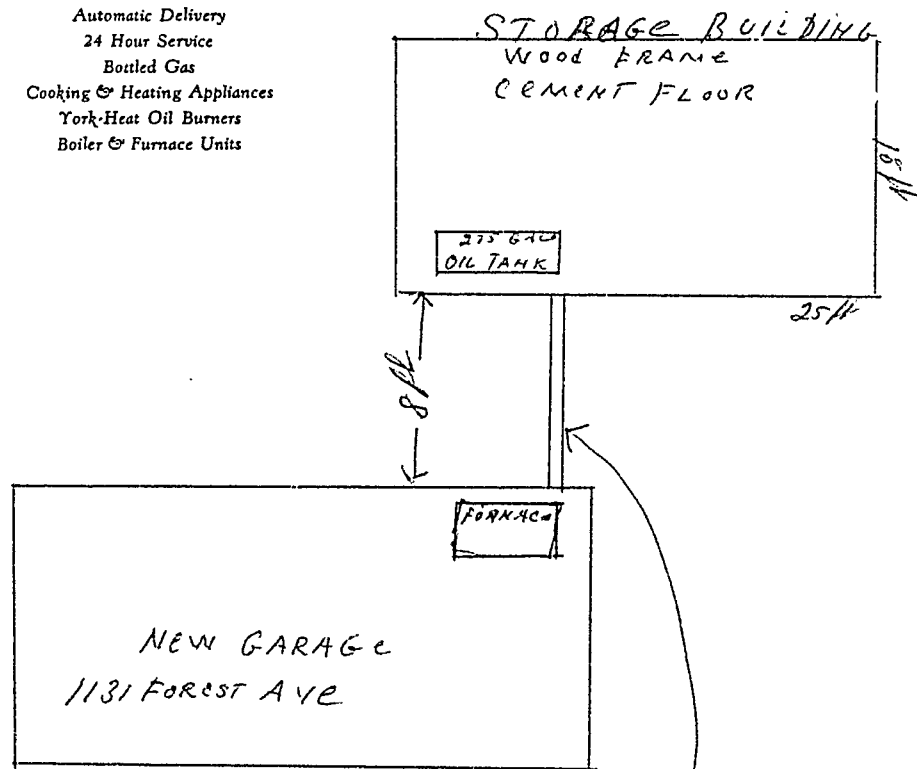
AJS/G

PETERSON OIL CO.  
384 CUMBERLAND AVE.  
PORTLAND, MAINE



TELEPHONE 3-7209

Range & Fuel Oil  
Automatic Delivery  
24 Hour Service  
Bottled Gas  
Cooking & Heating Appliances  
York-Heat Oil Burners  
Boiler & Furnace Units



This is 1 1/4" blk iron pipe 12 ft from  
ground with 3/8" oil line inside of pipe.  
There is no driveway between buildings  
no chance to get damaged

FOREST AVE

FINEST FUEL OIL SERVICE IN TOWN





FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT FOR  
HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, January 24, 1955

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 1131 Forest Ave. Use of Building Garage No. Stories 14-555  
Name and address of owner of appliance Antonio Morabito, 243 Conant St., Westbrook  
Installer's name and address Peterson Oil Co., 377 Cumberland Ave. Telephone 3-7209

General Description of Work

To install suspended warm air heater and oil burning equipment

IF HEATER, OR POWER BOILER

Location of appliance suspended from ceiling Any burnable material in floor surface or beneath? Kind of fuel? oil  
Minimum distance to burnable material, from top of appliance or casing top of furnace 25"  
From top of smoke pipe 28" From front of appliance over 4' From sides or back of appliance over 3'  
Size of chimney flue 8x8 Other connections to same flue none  
If gas fired, how vented? Rated maximum demand per hour  
Will sufficient fresh air be supplied to the appliance to insure proper and safe combustion? yes

IF OIL BURNER

Name and type of burner Armstrong 8801A-18-165 Labeled by underwriters' laboratories? yes  
Will operator be always in attendance? Does oil supply line feed from top or bottom of tank? bottom  
Type of floor beneath burner concrete Size of vent pipe 1 1/2"  
Location of oil storage in storage shed about 10' from service station garage Number and capacity of tanks 1-275 gal.  
Low water shut off Make No.  
Will all tanks be more than five feet from any flame? yes How many tanks enclosed?  
Total capacity of any existing storage tanks for furnace burners

IF COOKING APPLIANCE

Location of appliance Any burnable material in floor surface or beneath?  
If so, how protected? Height of Legs, if any  
Skirting at bottom of appliance? Distance to combustible material from top of appliance?  
From front of appliance From sides and back From top of smokepipe  
Size of chimney flue Other connections to same flue  
Is hood to be provided? If so, how vented? Forced or gravity?  
If gas fired, how vented? Rated maximum demand per hour

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

Bottom of burner of heater will be 14' above floor.  
Sub on 4' Conant St. 9' 1/2"  
Amount of fee enclosed? 2.00 (\$2.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

APPROVED:

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Peterson Oil Co.

Signature of Installer by: J. M. Peterson

INSPECTION COPY

C17-254-1M MARRS

Permit No. 55/

Location 1131 Street Ave

Owner Antonio M. Mordito

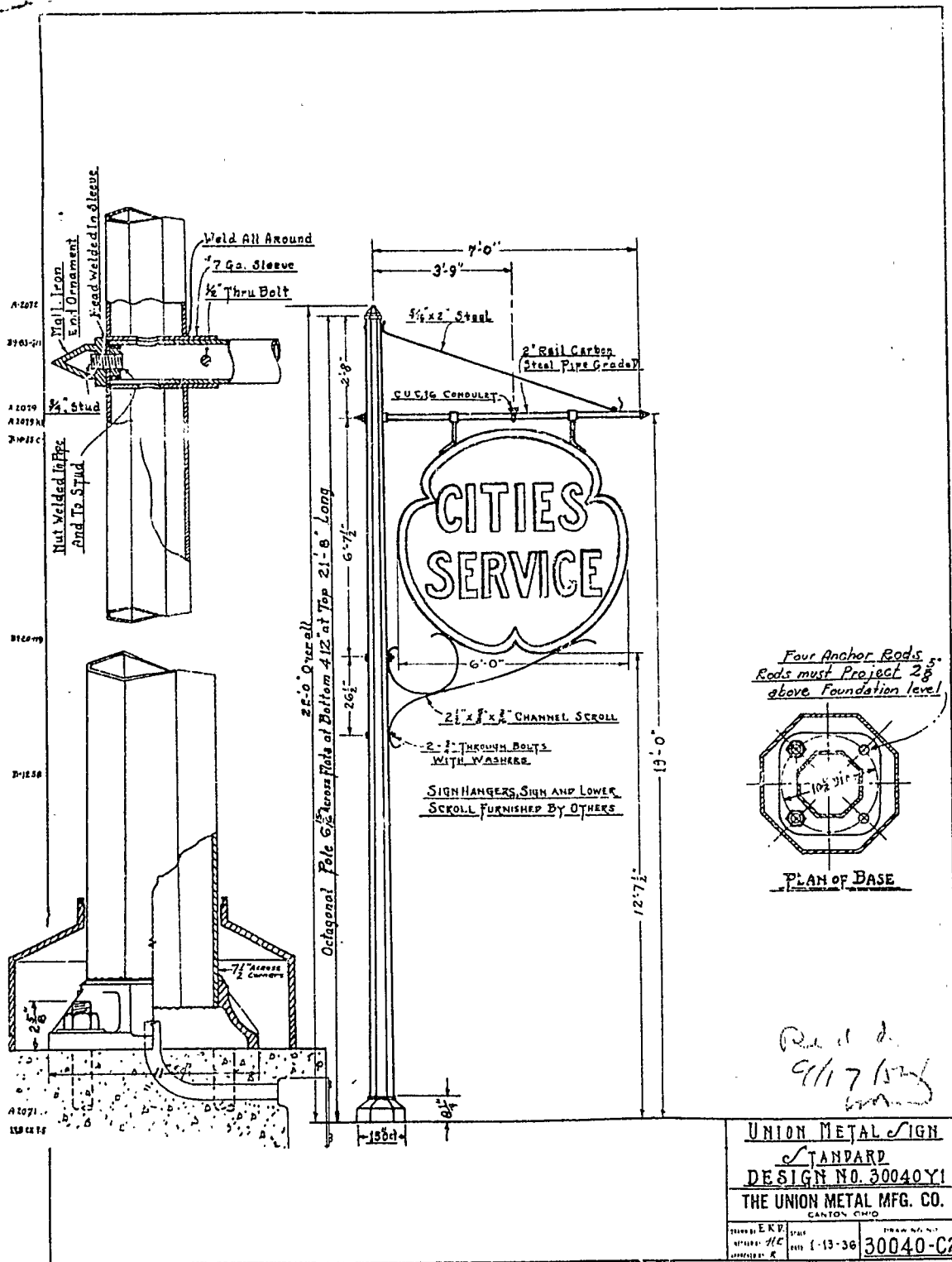
Date of permit 55/55

Approved

## NOTES

451

This image shows a single sheet of white paper with horizontal blue or grey ruling lines. The lines are evenly spaced and run across the width of the page. There is no handwriting or printed text on the paper.



September 27, 1954

AP - 1129 Forest Ave. - Projecting Sign for Cities Service Co.

John Donnelly & Sons  
73 Main St.  
South Portland  
Cities Service Oil Company  
Att: Mr. Mayberry  
Box 85 West End Station  
Portland

Copy to: Mr. Anthony Morabito  
243 Conant St.  
Westbrook

Gentlemen:-

Building permit to authorize projecting sign on a metal mast at 1129 Forest Ave. is issued to the sign contractor, herewith, but subject to the following conditions. If these conditions are not understood, or, if you are unable or unwilling to comply with them, it is important that you do not proceed with the work but contact this office with more information.

No less than 1/2 inch bolt is required through each of the sign hangers and through the horizontal pipe arm which supports the sign. Mr. Mayberry says that he will see to it that these are provided by the sign contractor.

Considerable difficulty has been experienced all around in getting this sign and standard to show compliance with the requirements, and some allowances have been made as to certification of welders etc. which we will not be able to make again in some other location.

We understand from Mr. Mayberry that before applications are filed for similar projecting signs, the data will be all in order.

It is well recognized that this delay has been no fault of Mr. Mayberry's or of any individual, but rather to the fact that the mast and pipe arm are furnished by one company and the sign with its hangers and scroll beneath are supplied by another.

In a case of future similar projects, we would like to see Union Metal Manufacturing Co.'s analysis of mast and pipe arm and foundation of the basis of 15 pounds per square foot live load and on the basis of stresses in the various materials allowed under the specifications of American Institute of Steel Construction, which are the same as our Code. We should also have on the plan of Funk Forging Co. a statement that all welding has been performed by welders qualified under the qualification procedure of the American Welding Society.

Since Union Metal Co. would be aware of our requirements as to design, they can well attach the statement of design required in our Building Code.

Very truly yours,

Warren McDonald  
Inspector of Buildings

WMC/D/G

# The Union Metal Manufacturing Co.

STEEL-  
STREET LIGHTING STANDARDS  
HIGHWAY LIGHTING POLES  
BRIDGE LIGHTING STANDARDS  
FLOODLIGHTING POLES  
TRAFFIC SIGNAL STANDARDS  
MONOTUBE STRAIN POLES  
SIGN STANDARDS



Craftsmen in Steel Fabrication

**Canton 5 Ohio**

September 15, 1954

STEEL-  
FLUTED MONOTUBE PILL  
SHIP MASTS AND BOOMS  
SKIDS AND BOXES  
BUILDING COLUMNS  
EXTERIOR LIGHTING FIXTURES  
GRAY IRON CASTINGS

Cities Service Oil Company  
Box 85 West End Station  
Portland, Maine

Attention of Mr. G. E. Mayberry, Engineer

Subject: Union Metal Design #30040-Y1  
Sign Standard per Drawing #30040-C2

Gentlemen:

This will acknowledge receipt of your letter of September 8, relative to a permit to erect one of the subject sign standards as manufactured by our company.

Inasmuch as we are unfamiliar with the allowable working stresses, floor loads, etc., required by the building code of the City of Portland, Maine, we, of course, are not in position to sign the statement attached to your letter, certifying that design 30040-Y1 sign standard meets all these requirements.

In lieu of the above, we have prepared a stress analysis of design #30040-Y1, as illustrated on drawing #30040-C2, suitable for submitting to the proper parties at the City of Portland, Maine, which will illustrate to their Engineering Department the maximum stresses in the sign standard, mast arm, anchor rods, etc., under a 30# per square foot wind load.

We trust this stress analysis will suffice for your purposes.

Very truly yours,

*M. R. Jones*  
Sales Engineer

M. R. Jones:RS

CC A. R. Hahn, Boston Office

Rec'd 9/17/54  
*mm*

August 17, 1954

AP 1129 Forest Ave.—Projecting sign for Cities Service Company

John Donnelly & Sons  
73 Main St.  
South Portland, Me.

Copies to: John Donnelly & Sons for  
Cities Service Engineering Dept.  
Mr. Anthony Morabito  
243 Conant St. Westbrook, Me.

Gentlemen:

Building permit intended to authorize the erection of a projecting sign for Cities Service Co. on the property of Anthony Morabito at 1129 Forest Ave. is not issuable because the information furnished is not complete enough to show compliance with the requirements; but more especially because the higher part of the sign, which is the pipe arm running out from the mast above the sign, would be approximately 19 feet above the grade of the sidewalk and the projection of the sign over the sidewalk is indicated as 7 feet, while Section 211c7 provides that no part of a projecting sign having a projection of more than 6 feet shall have a maximum height, exclusive of guys, of more than 17 feet above the surface of the sidewalk below.

The concrete foundation pier is shown to be 36 inches square at the bottom. No part of the pier is permitted to project beyond the street line beneath the public sidewalk. Thus, the center line of the mast must set at least 18 inches in on private property from the street line. Since the total length of upper pipe arm from the center line of the mast is only 7 feet, it becomes obvious that if the center line of the mast is set 18 inches from the street line, the actual projection over the public sidewalk could hardly be more than 5 feet 6 inches instead of the 7 feet shown on the application for the permit.

We are unable to handle applications for projecting signs with the type of information furnished in this case, since we cannot take time from other pressing jobs to study out what is intended. Written on the lithograph of the details of the sign is a request that Cities Service would like to have it back. Since this lithograph is part of the information as to the erection of the sign, it cannot be returned. All of these details are required to be filed in duplicate anyway, and, when done that way, one set will be returned to the bonded sign hanger with the permit.

We have been unable to discover any detail of the frame of the sign itself. That, of course, is necessary, and should be furnished in duplicate if the plan is marked up in crayon or otherwise as some of the other plans are.

While all of the details have not been checked, it is noted that the hangers which suspend the sign from the pipe arm are not indicated as being bolted through the pipe arm as required.

Wherever welding is done in the shop we must have a certification from the manufacturer that the welding has been done by operators who have qualified themselves under the procedure of the American Welding Society within one year prior to the date of doing the welding. Wherever welding is done on the job, it must be performed by operators who are certified in this department and carry their effective certificate.

Whoever takes the responsibility for the design of the mast and the foundation to resist windload and overturning must attach to the plan his signed statement of design as required by the Building Code—copy attached.

John Donnelly & Sons-----2

August 17, 1954

Filed with the application should be a location plan, which shows all of the essential features of location of the foundation and mast, the amount of projection of the sign over the public sidewalk and the clearance of all parts above the public sidewalk.

Very truly yours,

WMcD/B

Warren McDonald  
Inspector of Buildings

Enc: Plank statement of design

3/3

BI FORM 52

WRITTEN CONSENT AND AGREEMENT RELATING TO A CERTAIN SIGN PROPOSED TO  
BE ERECTED PROJECTING OVER A PUBLIC SIDEWALK FROM THE PREMISES  
AT 1129 FOREST AVE. IN PORTLAND, MAINE

Antonio MORABITO, being the owner of the  
premises at 1129 FOREST AVE. in Portland, Maine hereby gives  
consent to the erection of a certain sign owned by Cities Service Oil Co  
projecting over the public sidewalk from said premises as described in  
application to the Inspector of Buildings of Portland, Maine for a permit  
to cover erection of said sign;

And in consideration of the issuance of said permit Antonio  
MORABITO, owner of said premises, in event said sign shall  
cease to serve the purpose for which it was erected or shall become dangerous  
and in event the owner of said sign shall fail to remove said sign or make  
it permanently safe in case the sign still serves the purpose for which it  
was erected, hereby agrees for himself or itself, for his heirs, its  
successors, and his or its assigns, to completely remove said sign within  
ten days of notice from said Inspector of Buildings that said sign is in  
such condition and of order from him to remove it.

In Witness whereof the owner of said premises has signed this consent  
and agreement this 12<sup>th</sup> day of AUGUST 1984.

W. M. Sinclair Witness Antonio Morabito Owner

RECEIVED

AUG 12 1984

DEPT. OF BLD'G. INSP.  
CITY OF PORTLAND





INDUSTRIAL ZONE

# APPLICATION FOR PERMIT

Class of Building or Type of Structure

Portland, Maine, Sept. 8, 1954

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect ~~the following building~~ in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 1131 Forest Ave. Within Fire Limits? no Dist. No.   
Owner's name and address Antonio Forabito, 243 Conant St., Westbrook Telephone 2-9498  
Lessee's name and address  Telephone   
Contractor's name and address James J. Ernest Roberts, 1054 Washington Ave. Telephone   
Architect  Specifications Plans yes No. of sheets 2  
Proposed use of building WHEEL ALIGNMENT Body and Fender shop No. families   
Last use  No. families   
Material  No. stories  Heat  Style of roof  Roofing   
Other buildings on same lot none  
Estimated cost \$ 5,000 Fee \$ 5.00  
5,000 10,000 General Description of New Work 11/16/54  
10,000

To construct 1-story concrete block shop 50' x 35' as per plans

Permit Issued with Letter

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

## Details of New Work

Is any plumbing work involved in this work?  Is any electrical work involved in this work?   
Height average grade to top of plate  Height average grade to highest point of roof   
Size, front  depth  No. stories  solid or filled land?  earth or rock?   
Material of foundation  Thickness, top  bottom  cellar   
Material of underpinning  Height  Thickness   
Kind of roof  Rise per foot  Roof covering   
No. of chimneys 1 Material of chimneys brick of lining tile Kind of heat ? fuel ?  
Framing lumber—Kind  Dressed or full size?   
Corner posts  Sills  Girt or ledger board?  Size   
Girders  Size  Columns under girders  Size  Max. on centers   
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.  
Joists and rafters: 1st floor , 2nd , 3rd , roof   
On centers: 1st floor , 2nd , 3rd , roof   
Maximum span: 1st floor , 2nd , 3rd , roof   
If one story building with masonry walls, thickness of walls? 9" height? 12'

## If a Garage

No. cars now accommodated on same lot , to be accommodated  number commercial cars to be accommodated   
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVED:

with letter by ABC

## Miscellaneous

Will work require disturbing of any tree on a public street? no  
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

INSPECTION COPY

Signature of owner

Antonio Forabito

~~1/10/54~~ ~~3/11/54~~ ~~7/11/54~~ ~~8/15/54~~ ~~4/15/54~~  
 Permit No. 34120686542  
 Location 1131 Forest Ave.  
 Owner Antonio Moralito  
 Date of permit 11/18/54  
 Notif. closing-in \_\_\_\_\_  
 Inspn. closing-in \_\_\_\_\_  
 Final Notif. \_\_\_\_\_  
 Final Inspn. 6/24/55  
 Cert. of Occupancy issued 7/1/55 W.M.

NOTES

12/13/54 - Went over deturb letter with Ernest Roberts, (Contractor) especially regarding metal roof & fire glass window. E.B.B.  
 12/23/54 - Working on roof - down E.B.B.  
 Long span joints provided by Bennett Martin. E.B.B.  
 1/13/55 - Working on roof about chimney E.B.B.  
 1/31/55 - Made to get into the garage on the down Certificate Service Station - no to be issued one around E.B.B.

3/3/55 - As far as the building itself is concerned - seemed OK. No change since letter of yesterday concerning best. E.B.B.  
 7/4/55 - Letter sent by letter - W.M.  
 3/19/55 - no further progress. E.B.B.

7/27/55 - Letter about chimney and tank

5/17/55 - Tank has been changed. E.B.B.

6/10/55 - Chimney still not extended

6/13/55 - Same E.B.B.

6/15/55 - Letter about chimney E.B.B.

6/24/55 - Work done Certificate to be issued E.B.B.

X

(COPY)

CS-151-50-Marks

CITY OF PORTLAND, MAINE  
Department of Building Inspection



## Certificate of Occupancy

LOCATION 1131 Forest Ave.

Date of Issue June 27, 1955

Issued to Antonio Forabito

This is to certify that the building, premises, or part thereof, at the above location, built ~~at~~  
~~under~~ Building Permit No. 54/2068, has had final inspection, has been found to conform  
substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for  
occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

Wheel Alignment Shop

Entire

Limiting Conditions:

This certificate supersedes  
certificate issued

Approved:

6/24/55

(Date)

*Earl Smith*  
Inspector

*W. A. Smith*  
Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from  
owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

June 14, 1955

1131 Forest Ave.

Mr. Antonio Morabito

New Building

Mr. J. Ernest Roberts  
1054 Washington Ave.

Mr. Antonio Morabito  
243 Conant St.  
Westbrook, Maine

Gentlemen:

Upon inspection of the above job on June 13, 1955 the following omissions or defects were found:

"Chimney not extended down to solid foundation at least four feet below grade and cast iron cleanout provided at bottom of flue". See paragraph two of letter of April 22, 1955.

It is important that correction of this condition be made before June 21, 1955, and notify this office of readiness for another inspection.

If additional information relative to the above work is desired, please phone Inspector Smith at 4-1431, extension 234, any week day but Saturday between 8:00 and 8:30 A.M.

Very truly yours,

Earle S. Smith  
Field Inspector

ESS/B

Dear Mr. Roberts:

Through an oversight in this office, the letter of April 22 referred to, was not sent to you. However, I believe you are aware of the condition, and will no doubt correct it as above.

April 22, 1955

Peterson Oil Co.  
377 Cumberland Ave.  
Mr. Antonio Morabito  
1131 Forest Ave.

Location - 1131 Forest Ave.  
Owner - Antonio Morabito  
Job - Heating Equipment

Gentlemen:-

Now that the frost has largely gone out of the ground it would seem necessary that the two items in letter of February 4, 1955 be taken care of by May 13, 1955.

These two items are as follows:-

"to extend chimney down to solid foundation extending at least four feet below grade and a cast iron cleanout door provided at the bottom of the flue".

"to install permanent underground tank in place of the temporary tank now located in small building at the rear of the one in which heater is located".

If additional information relative to the above is desired, please phone Inspector Smith at 4-1431, extension 234, any week day but Saturday between 8:00 and 8:30 A. M.

Very truly yours,

Earle S. Smith  
Field Inspector

ESS/G

February 4, 1955

EP - 1129-1133 Forest Ave.

Mr. Antonio Morabito  
243 Conant St.  
Westbrook, Maine

Copy to: J. Ernest Roberts  
1054 Washington Ave.

Dear Mr. Morabito:-

You may consider this letter as a temporary certificate of occupancy for use of your new wheel alignment garage at the above location, subject to the condition that before April 15, 1955 the following details are to be cared for as indicated below:-

1. Chimney is to be extended down to a solid foundation extending at least four feet below grade and a cast iron cleanout door provided at the bottom of the flue.

OK  
2/15  
2. Present heating unit is to be replaced by a labelled unit unless it can be established that the one installed bears the Underwriters Label.

3. Permanent underground tank is to be installed and connected to the heating unit in place of the temporary tank now located in a small building at the rear of the one in which the heater is located.

Before the underground tank is installed it is necessary that a plan showing its location be furnished to go with the application for installation permit already filed. Issuance of this permit is being withheld until all details of the installation have been made to comply with requirements.

Very truly yours,

Warren McDonald  
Inspector of Buildings

AJS/G

November 17, 1954

AP-1129-1133 Forest Avenue

Owner—Mr. Antonio Morabito  
243 Conant St.

Contractor—Mr. J. Ernest Roberts  
1054 Washington Ave.

Architect—Mr. W. B. Millwa  
48 Fessenden St.

Building permit for construction of a one story concrete block building to be used as a motor vehicle wheel alignment shop is issued herewith based on plans filed November 16, 1954, but subject to the following conditions:

1. All windows in rear wall which will be closer than 30 feet to the side lot line (measurement taken at right angles to the wall of the building) are required to be glazed with wire glass.
2. No definite information has been furnished as to the type of heat to be used for heating the building. Your attention is called to the specifications of Section 204-f-4 and 204-g of the Building Code relating to special requirements for heating equipment in a building of garage use. A separate permit issuable only to the actual installer is required for the installation of whatever type of heating equipment is to be used.
3. Provision is to be made to provide anchorage for end walls of building either by means of the bridging or by the roof planking or both.
4. This permit covers construction of no other partitions than those of the storage room marked on plan. If others are contemplated, an amendment to this permit is required before their erection. It should be noted that because the building is of Heavy Timber construction and required to be so because of its use, any partitions of combustible material are required to be constructed as specified in Section 302-b-5 of the Building Code.
5. Any change in the lintels and supports for door and window openings at right hand front corner of building is to be covered by an amendment before the work is done.
6. A certificate of occupancy is required from this department before it is put into use.

AJS/B

Warren McDonald  
Inspector of Buildings

September 14, 1954

AP - 1129-1133 Forest Avenue

Owner-Contractor - Antonio Morabito  
243 Conant St.  
Westbrook

We are unable to issue a permit for construction of a one story concrete block building 35 feet by 50 feet for use as a repair garage at the above location because the plan filed with the application for permit is inadequate to show compliance with Building Code requirements. Plans to be acceptable must show compliance with requirements of Sect. 204 relating to a repair garage, with general requirements of Sect. 212, and with construction details of Chapter III of the Code. Plans must also bear the name and address of the plan maker and a statement of design covering design of roof trusses and steel and reinforced concrete lintels, as indicated in Sect. 104b3 of the Code. Location and construction of all partitions also need to be indicated.

We understand that you would like if possible to secure an advance permit for excavation and construction of foundation only. If this is so, you should file a separate application covering such work, which we shall be able to issue if the information given on plan already filed in regard to thickness and depth below grade of foundation wall and thickness and unsupported height above top of foundation wall of superstructure wall is to be as you have indicated.

We note that you have specified that the proposed building is to house a body and fender shop. Such a use is allowable in the Industrial Zone where the property is located only if it is carried on in such a manner as not to prove objectionable to the neighborhood by reason of the emission of fumes, dust, smoke, vibration or noise.

Warren McDonald  
Inspector of Buildings

AJS/G







(D) INDUSTRIAL ZONE

APPLICATION FOR PERMIT TO ERECT  
SIGN OVER PUBLIC SIDEWALK OR STREET

PERMIT ISSUED  
01571  
AUG 27 1954  
CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

Portland, Maine, Aug. 10, 1954

The undersigned hereby applies for a permit to erect the following described sign extending over a public sidewalk or street in accordance with the Building Code of the City of Portland, and the following specifications:

Location 1129 Forest Ave.

Within Fire Limits? NO Dist. No. \_\_\_\_\_

Owner of building to which sign is to be attached Anthony Morabito

Name and address of owner of sign Cities Service Co., 1129 Forest Ave.

Contractor's name and address Hohn Donnelly & Sons, 73 Main St., So. Portland Telephone 2-0050

When does contractor's bond expire? Dec. 31, 1954

Information Concerning Building

No. stories pole sign Material of wall to which sign is to be attached \_\_\_\_\_

Details of Sign and Connections

Buildir - owner's consent and agreement filed with application yes

Electric yes Vertical dimension after erection 6'

Weight \_\_\_\_\_ lbs., Will there be any hollow spaces? yes

Material of frame \_\_\_\_\_ No. advertising faces 2

No. rigid connections 3 Are they fast with Letter

No. through bolts \_\_\_\_\_, Size Permit issued

No. guys 2, material strip band iron

Minimum clear height above sidewalk or street 13' 8"

Maximum projection into street 7'

Hohn Donnelly & Sons

Signature of contractor by: James J. Donnelly

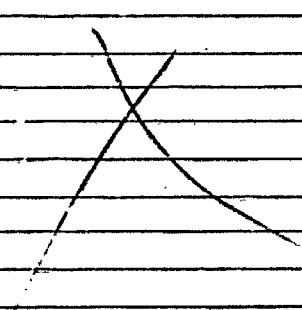
Fee \$ 2.00

INSPECTION COPY

CERTIFICATE OF OCCUPANCY  
REQUIREMENT IS WAIVED

Permit No. 54/1571  
Location 1129 Forest Ave.  
Owner Cities Service Co.  
Date of permit 9/27/54  
Sign Contractor John Donnelly & Sons  
Final Inspn. 11/22/54

11/22/54 - NOTES  
all done  
P.B.B.





INDUSTRIAL ZONE

## APPLICATION FOR PERMIT

Class of Building or Type of Structure \_\_\_\_\_

Portland, Maine, Sept. 16, 1954

PERMIT ISSUED  
01401

SEP 17 1954

CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect ~~an excavation~~ ~~to install~~ the following building ~~structure~~ ~~equipment~~ in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 1131 Forest Ave. Within Fire Limits? no Dist. No. \_\_\_\_\_  
Owner's name and address Antonio Forabito, 243 Conant St., Westbrook Telephone 2-9498  
Lessee's name and address \_\_\_\_\_ Telephone \_\_\_\_\_  
Contractor's name and address owner Telephone \_\_\_\_\_  
Architect \_\_\_\_\_ Specifications \_\_\_\_\_ Plans no No. of sheets \_\_\_\_\_  
Proposed use of building body and fender shop No. families \_\_\_\_\_  
Last use \_\_\_\_\_ No. families \_\_\_\_\_  
Material \_\_\_\_\_ No. stories \_\_\_\_\_ Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_  
Other buildings on same lot none Fee \$1.00  
Estimated cost \$ \_\_\_\_\_

## General Description of New Work

To excavate and construct foundation only for proposed 1-story concrete block shop 30' x 35' as per plan with construction permit filed Sept. 8, 1954

*Permitted 9/17/54*  
*and*

Permit Issued with Memo

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO** owner

## Details of New Work

Is any plumbing involved in this work? \_\_\_\_\_ Is any electrical work involved in this work? \_\_\_\_\_  
Is connection to be made to public sewer? \_\_\_\_\_ If not, what is proposed for sewage? \_\_\_\_\_  
Has septic tank notice been sent? \_\_\_\_\_ Form notice sent? \_\_\_\_\_  
Height average grade to top of plate \_\_\_\_\_ Height average grade to highest point of roof \_\_\_\_\_  
Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_  
Material of foundation CONCRETE Thickness, top 12" bottom 12" cellar \_\_\_\_\_  
Material of underpinning \_\_\_\_\_ Height \_\_\_\_\_ Thickness \_\_\_\_\_  
Kind of roof \_\_\_\_\_ Rise per foot \_\_\_\_\_ Roof covering \_\_\_\_\_  
No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_ Kind of heat \_\_\_\_\_ fuel \_\_\_\_\_  
Framing lumber—Kind \_\_\_\_\_ Dressed or full size? \_\_\_\_\_  
Corner posts \_\_\_\_\_ Sills \_\_\_\_\_ Girt or ledger board? \_\_\_\_\_ Size \_\_\_\_\_  
Girders \_\_\_\_\_ Size \_\_\_\_\_ Columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.  
Joists and rafters: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

## If a Garage

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_ number commercial cars to be accommodated \_\_\_\_\_  
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

## Miscellaneous

Will work require disturbing of any tree on a public street? no  
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

APPROVED:

*with memo by agf*

Signature of owner

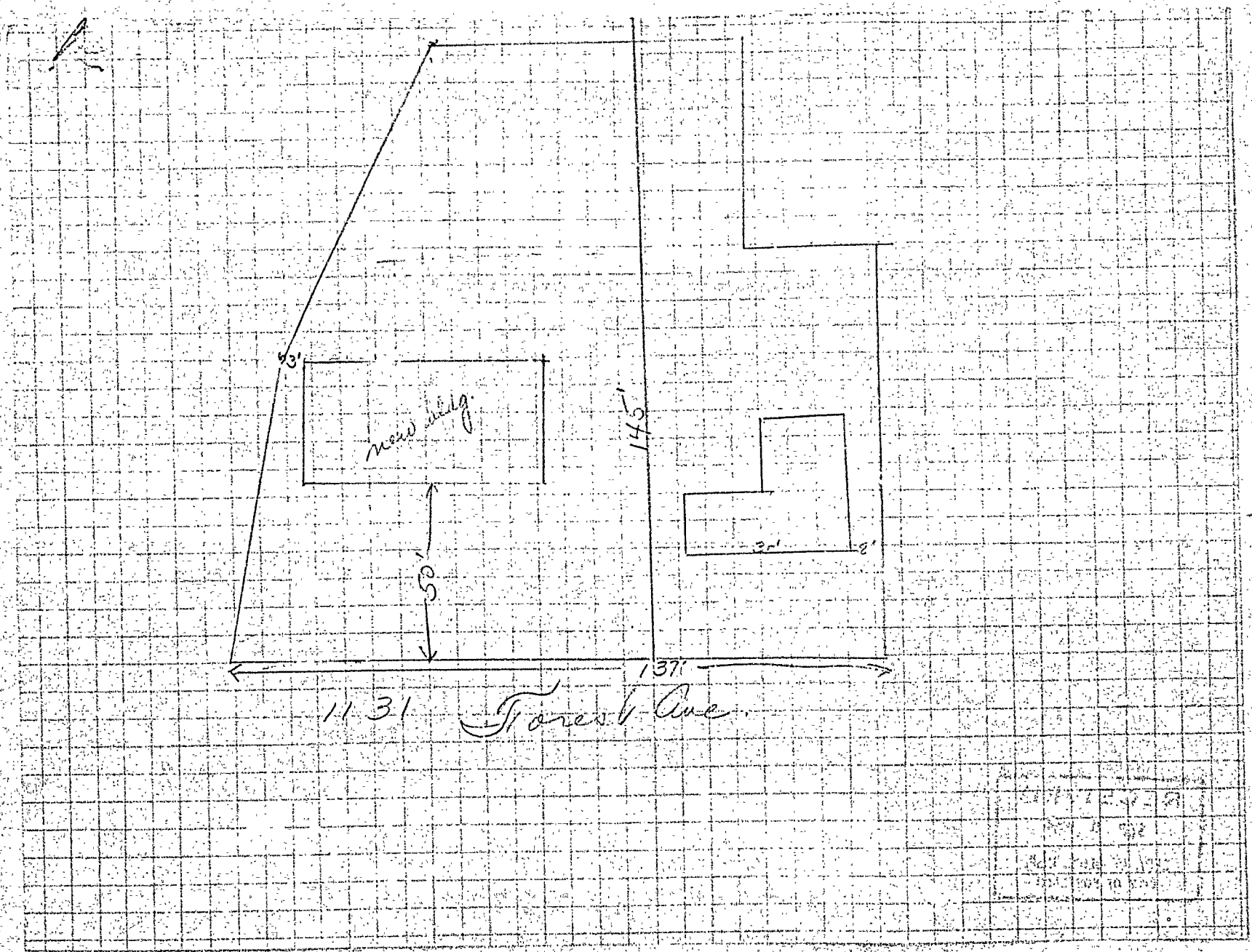
*Antonio Forabito*

INSPECTION COPY

NOTES

10/4/54 - Form insp made

Permit No. 541461  
 Location 1131 Grand Ave.  
 Owner Antonio Morales  
 Date of permit 9/17/54  
 Notif. closing-in  
 Inspn. closing-in  
 Final Notif.  
 Final Inspn. 10/4/54  
 Cert. of Occupancy issued  
 Staking Out Notice  
 Form Check Notice



Memorandum from Department of Building Inspector Portland, Maine

1131 Forest Ave. - Excavation and construction of foundation for one-story building  
for and by Antonio Morabito - 9/16/54

Advance permit covering excavation and construction of foundation only for a proposed one story building 35 feet by 50 feet for use as a repair garage at above location is issued herewith without prejudice to any questions as to the foundation etc. that may arise when more detailed plans of the superstructure have been received. It is unlawful to proceed further with the construction of the building than the work covered by this permit until the general construction permit is in your possession.

AJS/G

(Signed) Warren McDonald  
Inspector of Buildings



(3) INDUSTRIAL ZONE

## APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class

Portland, Maine, August 2, 1954

PERMIT ISSUED

01108  
AUG 4 1954

CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to ~~demolish~~ demolish the following building ~~specifications~~ in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 1131 Forest Ave. Within Fire Limits? no Dist. No. \_\_\_\_\_  
Owner's name and address Antonio Morabito, 243 Conant St., Westbrook Telephone \_\_\_\_\_  
Lessee's name and address \_\_\_\_\_ Telephone \_\_\_\_\_  
Contractor's name and address owner Telephone \_\_\_\_\_  
Architect \_\_\_\_\_ Specifications \_\_\_\_\_ Plans no No. of sheets \_\_\_\_\_  
Proposed use of building \_\_\_\_\_ No. families \_\_\_\_\_  
Last use dwelling house (vacant) No. families 2  
Material wood No. stories 2 Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_  
Other buildings on same lot garage and service station  
Estimated cost \$ \_\_\_\_\_ Fee \$ 1.00

### General Description of New Work

To demolish 2-story frame dwelling house 30' x 70'.

Do you agree to tightly and permanently close all sewer or drains connecting with public or private sewers from this building or structure to be demolished, under the supervision and to the approval of the Department of Public Works of the City of Portland? YES

Filling & etc. at 1125 & 1127 (146 H & H 21)  
Dug 1129-1133 (146 H & H)

### Permit Issued with Letter

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO** owner

### Details of New Work

Is any plumbing involved in this work? \_\_\_\_\_ Is any electrical work involved in this work? \_\_\_\_\_  
Is connection to be made to public sewer? \_\_\_\_\_ If not, what is proposed for sewage? \_\_\_\_\_  
Has septic tank notice been sent? \_\_\_\_\_ Form notice sent? \_\_\_\_\_  
Height average grade to top of plate \_\_\_\_\_ Height average grade to highest point of roof \_\_\_\_\_  
Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_  
Material of foundation \_\_\_\_\_ Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_ cellar \_\_\_\_\_  
Material of underpinning \_\_\_\_\_ Height \_\_\_\_\_ Thickness \_\_\_\_\_  
Kind of roof \_\_\_\_\_ Rise per foot \_\_\_\_\_ Roof covering \_\_\_\_\_  
No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_ Kind of heat \_\_\_\_\_ fuel \_\_\_\_\_  
Framing lumber—Kind \_\_\_\_\_ Dressed or full size? \_\_\_\_\_  
Corner posts \_\_\_\_\_ Sills \_\_\_\_\_ Girt or ledger board? \_\_\_\_\_ Size \_\_\_\_\_  
Girders \_\_\_\_\_ Size \_\_\_\_\_ Columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.  
Joists and rafters: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

### If a Garage

No. cars now accommodated on same lot \_\_\_\_\_ to be accommodated \_\_\_\_\_ number commercial cars to be accommodated \_\_\_\_\_  
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

APPROVED:

### Miscellaneous

Will work require disturbing of any tree on a public street? no  
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

INSPECTION COPY

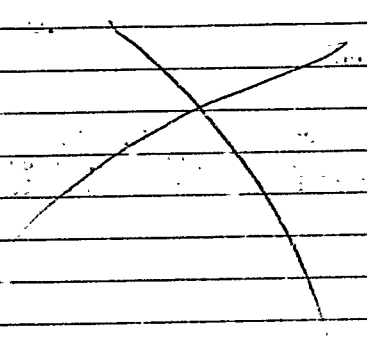
Signature of owner

Antonio Morabito



NOTES

8/19/54 - W.D. in Transit  
E.S.S.  
9/9/54 - Bldg. down  
E.S.S.  
9/29/54 - Erecting frame  
E.S.S.  
10/1/54 - Frame up  
E.S.S.



Permit No. 54/1108  
Location 1131 Street Ave  
Owner Antonio Mendez  
Date of permit 8/4/54  
Notif. closing-in  
Inspn. closing-in  
Final Notif.  
Final Inspn. 10/4/54  
Cert. of Occupancy issued  
Sinking Out Notice  
Form Check Notice

8/15/54  
7/15/54

August 3, 1954

AP 1131 Forest Avenue--Demolition of dwelling

Mr. Antonio Morabito  
243 Conant St.  
Westbrook, Maine

Dear Mr. Morabito:

With the issuance of the permit to demolish the dwelling house at 1131 Forest Ave., it seems best for me to tell you that this lot, which it has become vacant, or at least the particular part of the lot where the dwelling house is now located, may not be used for any purpose until a certificate of occupancy for that particular part has been applied for and issued from this department.

Presumably you wish to make some use of this particular part of the land other than leaving it just vacant. Thus, you should write a letter to me applying for the certificate of occupancy for that particular part of the lot and any other part of the lot which is to be changed in use, explaining what your plans are and just what part of the lot is involved in the new or changed uses.

Of course, if you plan to construct a building there, the application will be in the form of a building permit to do the construction work.

You are referred to Section 18C of the Zoning Ordinance.

Very truly yours,

Warren McDonald  
Inspector of Buildings

WMCD/B



(1) INDUSTRIAL ZONE  
APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class

Portland, Maine, August 4, 1949

PERMIT ISSUED

01280  
JUG 16 1949

CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish or move the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 1129 Forest Avenue Within Fire Limits? no Dist. No. \_\_\_\_\_  
Owner's name and address Antonio Morabito, 1129 Forest Ave. Telephone \_\_\_\_\_  
Lessee's name and address \_\_\_\_\_ Telephone \_\_\_\_\_  
Contractor's name and address owner Telephone \_\_\_\_\_  
Architect \_\_\_\_\_ Specifications \_\_\_\_\_ Plans yes No. of sheets 2  
Proposed use of building Service Garage No. families \_\_\_\_\_  
Last use Office No. families \_\_\_\_\_  
Material frama No. stories 1 Heat \_\_\_\_\_ Style of roof pitch Roofing asphalt  
Other buildings on same lot \_\_\_\_\_  
Estimated cost \$ 1500 Fee \$ 5.00

General Description of New Work

To construct 20'x25' addition to existing office building - new addition to be used for lubritorium

To cut in new door between existing office building and new addition.

Permit Issued with Letter

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO owner

Detail of New Work

Is any plumbing involved in this work? \_\_\_\_\_ Is any electrical work involved in this work? yes  
Height average grade to top of plate 13' Height average grade to highest point of roof \_\_\_\_\_  
Size, front 20' depth 25' No. stories 1 solid or filled land? solid earth or rock? earth  
Material of foundation concrete blocks Thickness, top 8" bottom 8" cellar no  
Material of underpinning \_\_\_\_\_ Height \_\_\_\_\_ Thickness \_\_\_\_\_  
Kind of roof pitch-gable Rise per foot \_\_\_\_\_ Roof covering asphalt roofing Class C Und. Lab. \_\_\_\_\_  
No. of chimneys 1 Material of chimneys brick of lining tile Kind of heat approved fuel heater  
Framing lumber—Kind hemlock select Dressed or full size? dressed  
Corner posts 4x4 Sills 2x6 bolted Girt or ledger board? \_\_\_\_\_ Size \_\_\_\_\_  
Girders \_\_\_\_\_ Size \_\_\_\_\_ Columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.  
Joists and rafters: 1st floor concrete, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof 2x6  
On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof 16"  
Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof 10'  
If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

If a Garage

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_ number commercial cars to be accommodated \_\_\_\_\_  
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

APPROVED

with letter by ags

Miscellaneous

Will work require disturbing of any tree on a public street? \_\_\_\_\_  
Will there be in charge of the above work a person who has been observed? yes  
see that the State and City requirements pert

INSPECTION COPY

Signature of owner

Antonio Morabito

NOTES

Inspection of the check and 47/91  
attached and see if he starts  
or continues, and referring  
in writing to the reporting the  
situation of the excavator.

Excavator must be examined  
got brought to a special  
attention and to be checked  
out while because he

a driver he has most of the excavation  
done even now - WMD 716149

9/22/49 - George built to a MAD Marabito  
that it is needed to clear in before getting  
his driving close to call of the third lamp to  
and of which agreeable I returned clear C.T.

9/23/49 - Left C.T. to close in with  
note, no rising to be covered until  
inspected & approved. E.S.

10/17/49 - Not ready for final C.S.

11/7/49 - Certificate of Occupancy to be issued

Permit No. 49/1280  
Location 1129 Throat Ave  
Owner Antonio Marabito  
Date of permit 9/16/49  
Notif. closing in 9/23/49 9:30  
Inspn. closing in 9/23/49 9:30  
Final Inspn. 11/8/49  
Cert. of Occupancy issued 11/10/49

11/10/49

11/10/49

COPY



CITY OF PORTLAND, MAINE  
Department of Building Inspection

## Certificate of Occupancy

Date of Issue November 10, 1949

Issued to Antonio Morabito

This is to certify that the building, premises, or part thereof, indicated below, and ~~being~~  
altered—~~changed as shown at~~ 1129 Forest Avenue  
under Building Permit No. 49/1280, has had final inspection, has been found to conform substan-  
tially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved  
for occupancy, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

Entire Building

APPROVED OCCUPANCY

Office and Service Garage

Limiting Conditions:

This certificate supersedes  
certificate issued 4/30/47

.....  
Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from  
owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.



# APPLICATION FOR AMENDMENT TO PERMIT

Amendment No. 1

Portland, Maine, September 7, 1949

PERMIT 1280

SEP 8 1949

CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for amendment to Permit No. 1280, pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 1129 Forest Avenue Within Fire Limits? no Dist. No. \_\_\_\_\_  
Owner's name and address Antonio Morabito, 1129 Forest Avenue Telephone \_\_\_\_\_  
Lessee's name and address \_\_\_\_\_ Telephone \_\_\_\_\_  
Contractor's name and address owner Telephone \_\_\_\_\_  
Architect \_\_\_\_\_ Plans filed no No. of sheets \_\_\_\_\_  
Proposed use of building Service Garage No. families \_\_\_\_\_  
Last use Office No. families \_\_\_\_\_  
Increased cost of work \_\_\_\_\_ Additional fee .25

## Description of Proposed Work

☒ To enlarge existing front window making it 5' x 5'. 4x6 header.  
To cut in 5' x 5' window in side of present building. 4x6 header.

## Details of New Work

Is any plumbing involved in this work? \_\_\_\_\_ Is any electrical work involved in this work? \_\_\_\_\_  
Height average grade to top of plate \_\_\_\_\_ Height average grade to highest point of roof \_\_\_\_\_  
Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_  
Material of foundation \_\_\_\_\_ Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_ cellar \_\_\_\_\_  
Material of underpinning \_\_\_\_\_ Height \_\_\_\_\_ Thickness \_\_\_\_\_  
Kind of roof \_\_\_\_\_ Rise per foot \_\_\_\_\_ Roof covering \_\_\_\_\_  
No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_  
Framing lumber—Kind \_\_\_\_\_ Dressed or full size? \_\_\_\_\_  
Corner posts \_\_\_\_\_ Sills \_\_\_\_\_ Girt or ledger board? \_\_\_\_\_ Size \_\_\_\_\_  
Girders \_\_\_\_\_ Size \_\_\_\_\_ Columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.  
Joists and rafters: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_

Approved:

O.N. 9/8/49 - ags

INSPECTION COPY

Signature of Owner

Approved:

Inspector of Buildings

Location 1125-1133 Interstate

Date 5/15/47

Permit  
Completion  
Industry

Ed S. - Will you  
sometimes soon look  
over situation at  
this location where  
a small office build-  
ing was recently built  
in connection with  
the used car business  
on the property to see  
if the used garage on  
lot with existing house  
on the property is being  
used for the storage of  
automobiles. It will be  
too obvious about it  
perhaps mark car case  
distance away and  
walk to this location.  
Make several visits  
over a period of two

of three weeks to see  
if this is being done.  
Of course if you find  
out that repair of  
and mobiles is being  
done in connection  
with the car lot  
report at once and  
we will go after him.

You see the use of  
this building for re-  
pair of any cars except  
those habitually  
stored there makes it  
a repair garage which  
is not allowable in  
a wood frame building.

This question has  
come up before and Mr.  
Moralita should  
know it isn't legal.

CJS

5/16/47 - Two cars in garage,  
both end of one soaked up  
obviously being worked on.

5/17/47 - Car in one end of  
garage, obviously being worked  
on. CJS





(1) INDUSTRIAL ZONE  
CITY OF PORTLAND, MAINE  
DEPARTMENT OF BUILDING INSPECTION

Complaint No. 47/91

# COMPLAINT

INSPECTION COPY

Date Received May 19, 1947

Location 1125-1133 Forest Avenue Use of Building \_\_\_\_\_

Location \_\_\_\_\_  
Owner's name and address Antonio Morabito, 243 Conant St., Westbrook Telephone \_\_\_\_\_

Tenant's name and address \_\_\_\_\_ Telephone \_\_\_\_\_

Complainant's name and address KJS Telephone                     

Complainant's name and address: AKS

Description: One story wood frame 2 car minor garage on property is being used for repairing of automobiles in connection with used car business on lot.

[illegible]

(D) INDUSTRIAL ZONE

Complaint No. 47/91

Location 1125-1133 Forest Avenue

Date Received 5/19/47

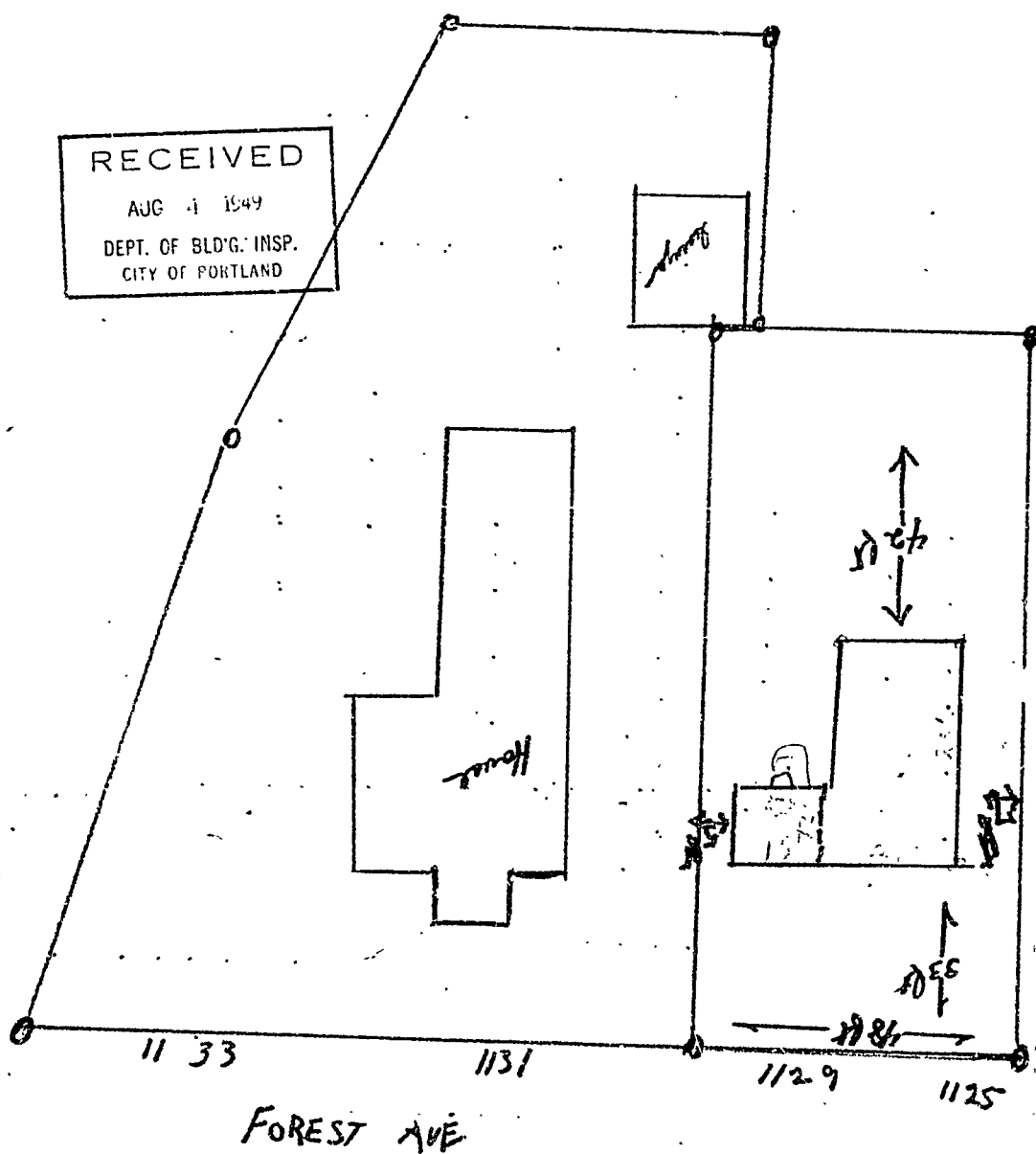
Date Disposed of

NOTES

8/5/49 - This wood  
frame of car garage  
is still being used  
as a repair garage. C.S.V.  
8/15/49 - Mr. Morabito  
says repair garage  
will have been discon-  
tinued. - A.J.

8/16/49 - See letter  
with permit for  
repair garage  
done

RECEIVED  
AUG 4 1949  
DEPT. OF BLD'G. INSP.  
CITY OF PORTLAND



Antonio v Morabito - Monnik & S Motor Co

AP 1123-1133 Forest Avenue-I

August 16, 1949

Mr. Antonio Morabito  
1129 Forest Avenue  
Portland, Maine

Subject: Permit for construction of addition to  
office building for Service Station purposes  
at 1123-1133 Forest Avenue

Dear Sir:

The permit for the above work is issued herewith based on the plans filed with the application and subject to the following:

1. The use of this addition is defined as a Service Garage and as such is limited to such acts as changing oil, greasing, changing tires and the making of minor repairs and replacements. The making of major repairs is prohibited because the building is of wood frame construction.

X 2. As explained to you over the telephone the metal sash in the walls of the building wherever closer than 30' to a property line must be glazed with wire glass, and this you agreed to do.

X 3. An exit door is required from the rear of the addition and you have said that you plan to provide one in the rear wall at the corner towards Morrill Street. This will satisfy the requirement if the door is at least two feet wide and six feet four inches high.

X 4. As given in the application a masonry chimney is to be provided at the rear of the present office building. The foundation for the chimney must extend at least four feet below grade and walls of chimney must be kept at least one inch away from any woodwork and in the case of an outside chimney the brickwork of the chimney must be corbelled through the wall of the building where the smokepipe enters it. Since heater is not to be enclosed, the heating equipment must be of a type approved for use where flammable vapors may be present. Such an installation must be covered by a separate permit issuable only to the actual installer before work on the installation is started.

X 5. If a floor drain connected to the public sewer is to be provided in the floor of the addition, a grease and oil separator approved by the Chief of the Fire Department is required between the inlet to the drain and the sewer.

X 6. The sill for supporting the building on the foundation is required to be 4x6, all one piece in cross section, instead of the 2x6 shown on the plan and the permit is issued on the basis that the 4x6 will be provided.

X 7. Because the studs in the outside walls are to be more than ten feet high, cross bracing at about the center of the height is required.

X 8. Presumably the ceiling timbers are to be hung up to the rafters at the ridge.

9. It is understood that you plan to install gasoline tanks and pumps. A separate permit issuable only to the installer is required for the installation of this equipment.

X 10. No sheetrock is to be applied to walls or ceilings until after notice for an inspection of the structure has been given this office and authorization to do so has been given on a green tag. Before addition is put into use, notice for a final inspection of the building is required when, if everything is found in order, the certificate of occupancy, without which use of the building is unlawful, will be issued.

Mr. Antonio Moravito-----2

August 16, 1949

11. We understand that the small wood frame building at the rear of the lot which in the past has been used as a Repair Garage contrary to Building Code requirements because of its type of construction is no longer being used for that purpose and will not be so used in the future. Please see to it that no use is made of this building except one which complies with Building Code and Zoning Ordinance requirements.

Very truly yours,

Warren McDonald  
Inspector of Buildings

AJS/G

STATEMENT ACCOMPANYING APPLICATION FOR BUILDING PERMIT

for Service Station  
at 1122 1125 Forest Avenue Date 11/5/45

1. In whose name is the title of the property now recorded? Antonio V. Morabito
2. Are the boundaries of the property in the vicinity of the proposed work shown clearly on the ground, and how? Stakes
3. Is the outline of the proposed work now staked out upon the ground? No. If not, will you notify the Inspection Office when the work is staked out and before any of the work is commenced? Yes
4. What is to be maximum projection or overhang of eaves or drip?
5. Do you assume full responsibility for the correctness of the location plan or statement of location filed with this application, and does it show the complete outline of the proposed work on the ground, including bay windows, porches and other projections? Yes
6. Do you assume full responsibility for the correctness of all statements in the application concerning the sizes, design and use of the proposed building? Yes
7. Do you understand that in case changes are proposed in the location of the work or in any of the details specified in the application that a revised plan and application must be submitted to this office before the changes are made? Yes

Antonio V. Morabito

AP 1123-1125 Forest Ave.-I

✓BS  
✓ATH  
✓PMT  
✓PH  
✓AJS  
✓HL

November 14, 1943

Mr. Antonio V. Morabito  
699 Main Street  
Westbrook, Maine

Subject: Application for building permit to cover  
construction of gasoline filling station and  
automobile service station at 1123-1125 Forest  
Avenue

Dear Sir:

You have been told that I am unable to issue this building permit because the property is located in a Limited Business Zone where such a use of buildings or land is not allowable under the Zoning Ordinance. You said that you would like to file a petition seeking a special right from the Board of Appeals to go ahead with the work despite the provisions of the Zoning Ordinance against it. That is your right, of course, under the Zoning Ordinance, and if you still wish to go ahead with the petition, after reading this letter, you should come to the office and pay the fee for the petition of five dollars and sign the initial petition paper.

Such a petition requires before it can come to the required public hearing before the Board of Appeals that the written consent to the proposition of the owners of certain nearby property frontage shall be secured. Under such circumstances when a petition is filed, the Planning Board looks up the location and owners of the property involved in the written consents proposition for the benefit of the petitioner so that he may know just what pieces of property are involved in the written consents requirement.

I presume that you have recently purchased this 60x100 lot and while you are in City Hall, if you file the petition, it would be well to make clear upon your plan the precise location along Forest Avenue of your lot as this will be of first importance to the Planning Board in working out the properties involved in the written consents.

It may be for your benefit to draw your attention to the fact that the Planning Board has recommended to the City Council extensive revisions of the Zoning Ordinance, as it now exists, including extensive changes in zone lines and the classes of zones in various locations. The recommendations of the Planning Board as they are at present would place this particular property in an Industrial Zone where the filling stations and service building would be an allowable use. Should you be content to wait, and should the amendments go through as now proposed, a building permit could be issued as far as the Zoning Ordinance is concerned, without the petition.

Irrespective of the settlement of the Zoning question, your attention is drawn to the facts that a building of this area for service stations (called under the Building Code a Service Garage) cannot have an area exceeding 900 square feet in a wooden frame building unless equipped with a sprinkler system, the proposed building having an area well over this figure; the Building Code does not allow any kind of motor vehicle repairs to be made in a building of wooden frame construction, a Service Garage being intended only for lubrication, changing tires, washing and the like maintenance operations as distinguished from repairs of any type--painting is considered as repair no wall of the wooden building would be permitted closer than five feet to a property line--two feet shown in one place; a number of safeguards are required around the 1

Mr. Antonio V. Morabito-----2

November 14, 1945

draining pit which are not indicated on the plan; no heat is indicated on application or plan and that is an important feature indicated by the Building Code in buildings of such use.

Before going ahead with this proposition, you and your architect should examine carefully Section 204 of the Building Code relating to garages and hangars and we would like to have the architect's name and address here on the plan.

Very truly yours,

Inspector of Buildings

WMcD/L

CC: Camillo Profenno Company  
25 Free Street  
Portland 3, Maine





(C) LIMITED BUSINESS ZONE  
APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class

Permit No. \_\_\_\_\_

Portland, Maine November 5, 1945

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect ~~and fill~~ the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 1123-1125 Forest Avenue Within Fire Limits? no Dist. No. Westbrook  
Owner's or Lessee's name and address Antonio V. Morabito, 699 Main St. Telephone 1164W  
Contractor's name and address Camillo Profenno Co., 25 Free Street Telephone \_\_\_\_\_  
Architect \_\_\_\_\_ Plans filed Yes No. of sheets 1  
Proposed use of building Service Station No. families \_\_\_\_\_  
Other buildings on same lot \_\_\_\_\_  
Estimated cost \$ 3000. Fee \$ 3.00

Description of Present Building to be Altered

Material \_\_\_\_\_ No. stories \_\_\_\_\_ Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_  
Last use \_\_\_\_\_ No. families \_\_\_\_\_

General Description of New Work

To construct 1 story frame building 30'x40' for Service Station, as per plan

This application is preliminary to get settled the question of zoning appeal. In event the appeal is sustained the applicant will furnish complete information and plans, the estimated cost and will pay legal fee.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Is any plumbing work involved in this work? Yes  
Is any electrical work involved in this work? Yes Height average to top of plate  
Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ Height average to highest point of roof  
To be erected on solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_  
Material of foundation \_\_\_\_\_ Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_ cellar \_\_\_\_\_  
Material of underpinning \_\_\_\_\_ Height \_\_\_\_\_ Thickness \_\_\_\_\_  
Kind of roof \_\_\_\_\_ Rise per foot \_\_\_\_\_ Roof covering \_\_\_\_\_  
No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_  
Kind of heat \_\_\_\_\_ Type of fuel \_\_\_\_\_ Is gas fitting involved? \_\_\_\_\_  
Framing lumber—Kind \_\_\_\_\_ Dressed or full size? \_\_\_\_\_  
Corner posts \_\_\_\_\_ Sills \_\_\_\_\_ Girt or ledger board? \_\_\_\_\_ Size \_\_\_\_\_  
Material columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.  
Joists and rafters: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_

If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

If a Garage

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_  
Total number commercial cars to be accommodated \_\_\_\_\_  
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no  
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of owner Antonio V. Morabito

Stamp  
ORIGINAL

Permit No 1457

Location 1123-1125 Thresh

Owner Antonio V. Morabito

Date of permit 12/145

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn.

Cert. of Occupancy issued

NOTES

*Derived*

*File*  
INQUIRY BLANK

ZONE B.  
FIRE DIST. 205

CITY OF PORTLAND, MAINE  
DEPARTMENT OF BUILDING INSPECTION

Verbal  
By Telephone

DATE 9/13/45

LOCATION 1123-1125 Forest Ave. OWNER F.E. Philbrick  
MADE BY Owner TEL. 4-1097  
ADDRESS 180 Ashmont  
PRESENT USE OF BUILDING Vacant land  
CLASS OF CONSTRUCTION \_\_\_\_\_ NO. OF STORIES \_\_\_\_\_  
REMARKS: \_\_\_\_\_

INQUIRY: If man buys this lot could he  
build general & repair garage here?

ANSWER: No Limited Bm zone - but if  
zone is changed to T zone as planned  
garage could be built - of course  
to comply with Building Code

DATE OF REPLY 9/13/45 REPLY BY WMJ

*Free*  
INQUIRY BLANK

ZONE B  
FIRE DIST. 16

CITY OF PORTLAND, MAINE  
DEPARTMENT OF BUILDING INSPECTION

Verbal  
By Telephone ☒

DATE 8-22-45

LOCATION 1131 Front Ave. OWNER Charles W. Smith

MADE BY Fred E. Dillbridge TEL. 4-1097

ADDRESS 180 Ashmont St.

PRESENT USE OF BUILDING ---

CLASS OF CONSTRUCTION --- NO. OF STORIES ---

REMARKS: ---

INQUIRY: ① Could a garage for minor repairs be built here  
② Could a general repair garage or filling station  
be erected.

ANSWER: ① Garage for minor repairs O.K. Not certain what  
repairs mean, but assume it is work on cars habitually  
stored there.

② General repair garage <sup>or filling station</sup> would require an official  
application to be made first in usual manner. Earliest a  
now would be: notices posted Sept 4, for hearing  
Sept. 14<sup>th</sup> and reply Sept. 17<sup>th</sup>  
Size type construction not given to as was permissible  
for that issue.

DATE OF REPLY 8-22-45 REPLY BY W.D.