

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



# CITY OF PORTLAND BUILDING PERMIT

This is to certify that 1053 FOREST AVE LLC

Located At 1053 FOREST AVE

Job ID: 2012-43109 AMEND, 2012-02-3381-CH OF USE

CBL: 146- E-009-001

has permission to Add a new exterior egress off the assembly hall, including a door in former window and landing w/steps provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

\_\_\_\_\_  
**Fire Prevention Officer**

*[Signature]* 4/23/12  
\_\_\_\_\_  
**Code Enforcement Officer / Plan Reviewer**

**THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY  
PENALTY FOR REMOVING THIS CARD**

*closed*

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2012-02-3381-CH OF USE 2012-43109-AMEND	Date Applied: 2/24/2012	CBL: 146- E-009-001	
Location of Construction: 1053 FOREST AVE	Owner Name: 1053 FOREST AVE LLC	Owner Address: 200 RIVERSIDE INDUSTRIAL PKWY PORTLAND, ME 04103 ME - MAINE	Phone:
Business Name: Next Level Church	Contractor Name: SELF	Contractor Address:	Phone:
Lessee/Buyer's Name: Daniel King	Phone: 603-988-3502	Permit Type: BUILDING - Amend	Zone: B-2
Past Use: Place of Assembly	Proposed Use: Same - Place of Assembly - add exterior landing and stairs to ground - Bem St. Side	Cost of Work: 30000.00	CEO District:
		Fire Dept: <input checked="" type="checkbox"/> Approved w/condition <input type="checkbox"/> Denied <input type="checkbox"/> N/A	Inspection: Use Group: A-3 Type: 3B JBL 2009 Signature: JMB 4/23/12
Proposed Project Description: add exterior landing and stairs		Pedestrian Activities District (P.A.D.)	
Permit Taken By:	<b>Zoning Approval</b>		

	Special Zone or Reviews	Zoning Appeal	Historic Preservation
1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building Permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.	<input type="checkbox"/> Shoreland <input type="checkbox"/> Wetlands <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan  <input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM Date: 4/20/12 <i>OK w/condition</i> <i>ABU</i>	<input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied  Date:	<input checked="" type="checkbox"/> Not in Dist or Landmark <input type="checkbox"/> Does not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied  Date: <i>ABU</i>

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the appication is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

## BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: [buildinginspections@portlandmaine.gov](mailto:buildinginspections@portlandmaine.gov)

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

Footings/Setbacks allowed to provide photographs of 4' sonotube hole

Final Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



# PORTLAND MAINE

*Strengthening a Remarkable City, Building a Community for Life* • [www.portlandmaine.gov](http://www.portlandmaine.gov)

Acting Director of Planning and Urban Development  
Gregory Mitchell

Job ID: 2012-02-3381-CH OF USE

Located At: 1053 FOREST AVE

CBL: 146- E-009-001

## **Conditions of Approval:**

### **Zoning**

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. This permit is being approved using section 14-425. The landing and stairs extend a maximum of 4' off the building and the footprint is approx. 30 sf.

### **Building**

1. Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.
2. Permit approved based on the plans submitted and reviewed w/owner/ contractor, with additional information as agreed on and as noted on plans.
3. All previously approved conditions apply.

### **Fire**

1. All previously approved conditions apply.



150' 1/2"

- Our portion of building
- ▨ New egress, landing, and stairs

\*note parking spaces are 9' X 18' in the rear and side. 9' X 18' in the front of the building

4/20/12 spoke to  
 Daniel King  
 \* 7' 9" building to  
 property line per  
 owner  
 landing: stairs extend  
 45" - 48" off  
 building  
 min. setback is  
 3' 9"  
 Ok section 14-425.

Bell Street

10'

This cross pattern represents the opening in front of the restaurant

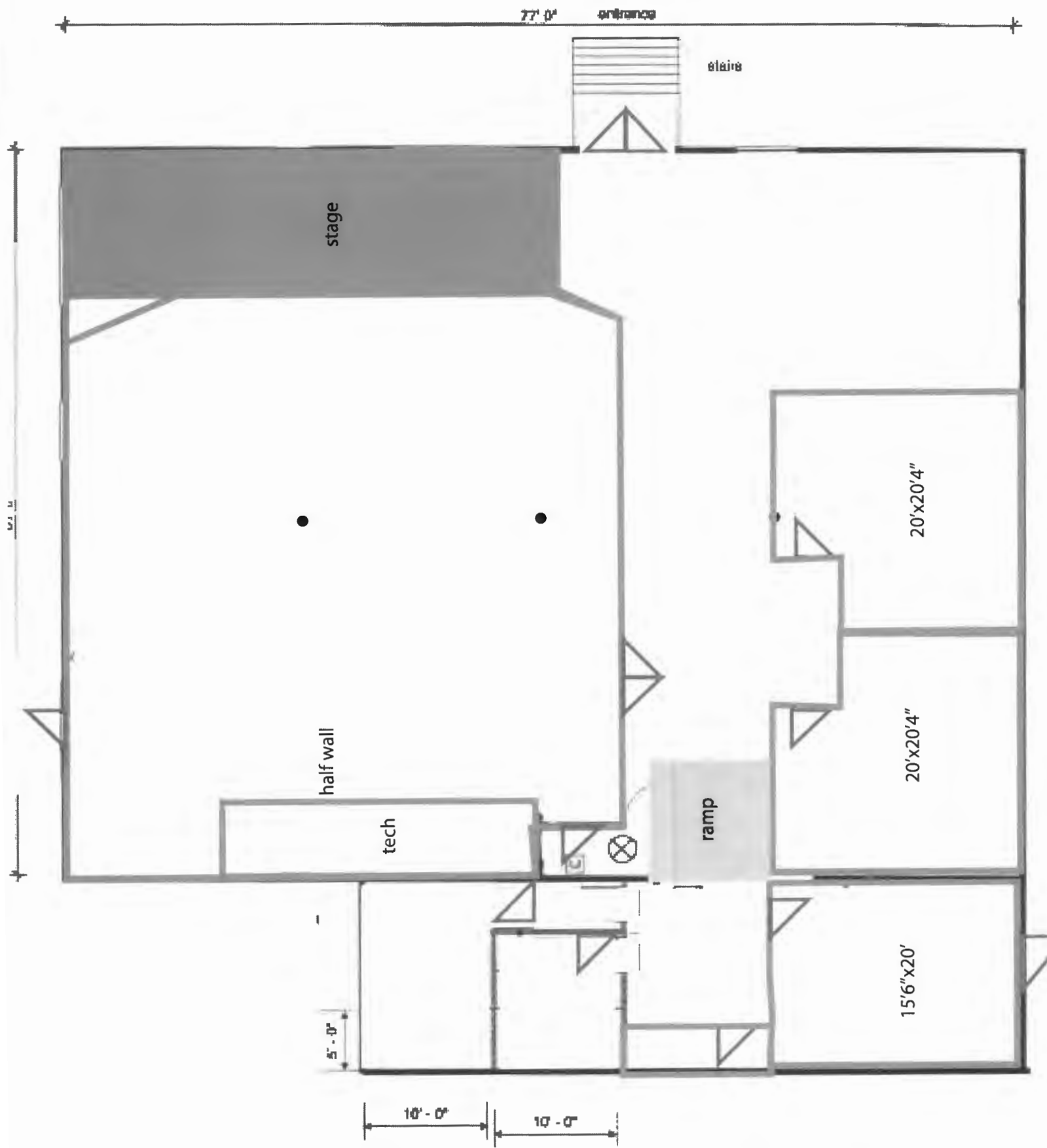
THESE HANDICAPPED PARKING SPACES MEET THE DESIGN REQUIREMENTS REQUIRED (SEE ATTACHED)

This is the location of the pylon sign

PLOT PLAN FOR 1053 FOREST AVE.

58' 0" frontage

Forest Avenue



Existing window is being replaced by new egress door as indicated by red circle in photo



Picture from the inside to show that new deck and interior floor are at the same grade as required



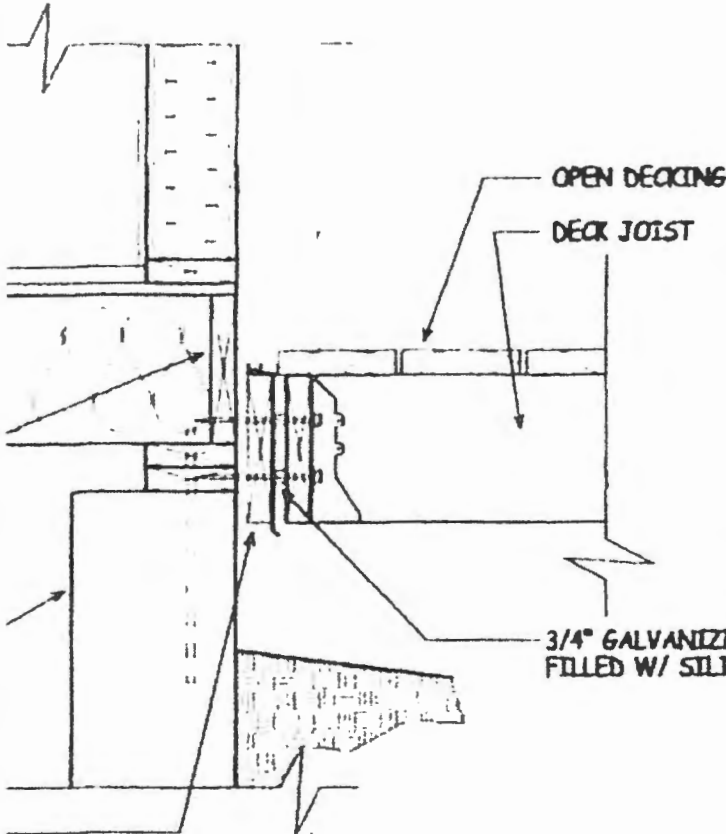
Finished door from the interior.

The door measures 35x83 inches and has panic hardware.





- Each step has 6" height, 11" tread
- Guard rail is 37" height with handrail attached on both sides of risers
- Lanking is 48" x 42"
- ~~37 1/2"~~ <sup>37 1/2"</sup> space between vertical posts of guard rails
- Risers are enclosed on front & sides
- Piers are frost protected at 4' with sawtooth
- Lumber is pressure treated
- Door swings out

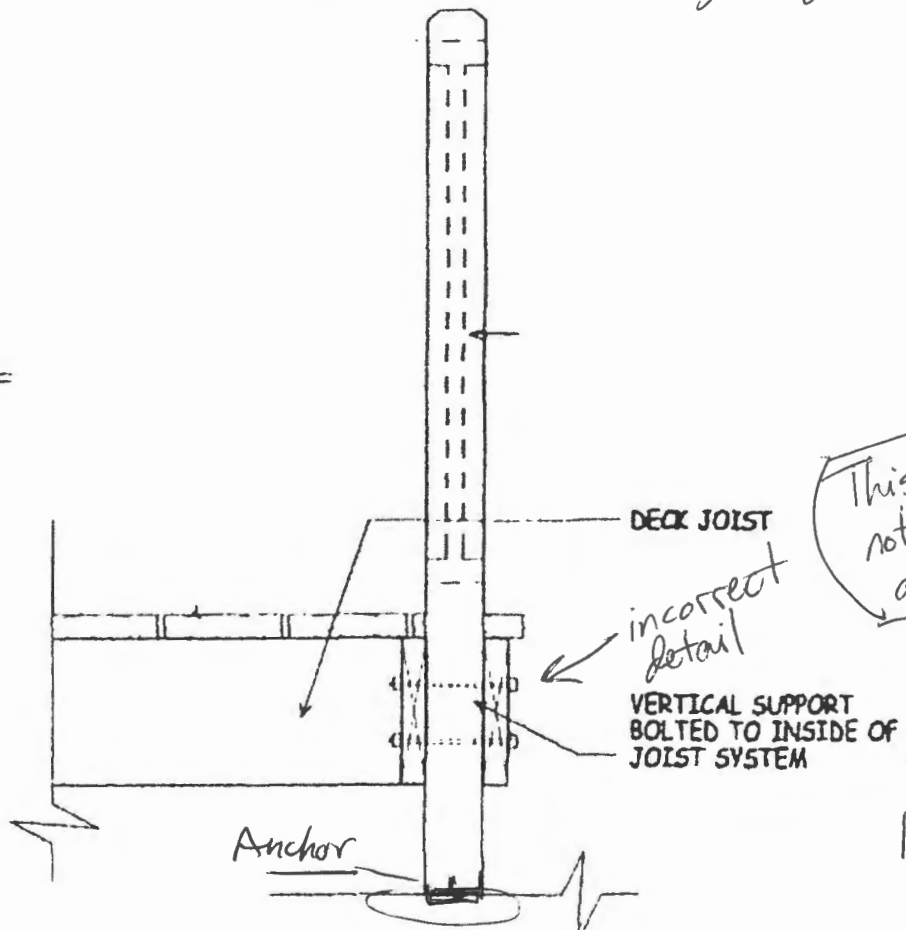


3/4" GALVANIZED HOLLOW SPACERS FILLED W/ SILICONE CAULK

• 30" deck to grade

# DECK DETAILS

SCALE: 1" = 1'-0"



This will be a 4x6 notched and anchored around the piers

2x6 pt on joist hangers 16" on center

34-38"  
handrail  
height

Graspable handrail

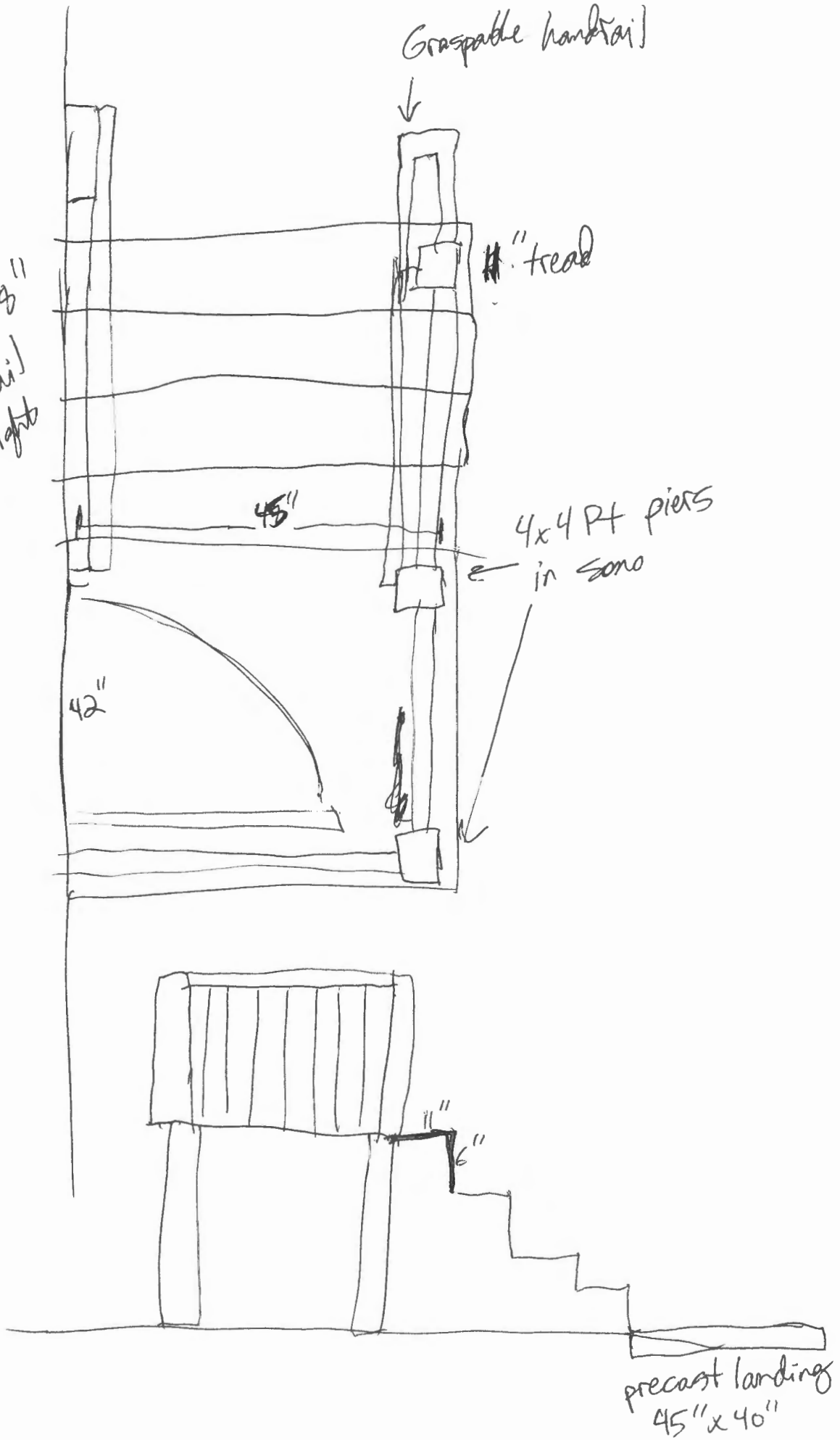


11" tread

45"

4x4 PT piers  
in Sono

42"





# Administrative Authorization Application

Portland, Maine

Planning and Urban Development Department, Planning Division

2012-463

PROJECT NAME: Next Level Church

PROJECT ADDRESS: 1053 Forest Ave CHART/BLOCK/LOT: 196 E-002-001A

APPLICATION FEE: \_\_\_\_\_ (\$50.00)

PROJECT DESCRIPTION: (Please Attach Sketch/Plan of the Proposal/Development)  
Addition of required exterior <sup>Door</sup> egress + stairs on Bell St side

### CONTACT INFORMATION:

#### OWNER/APPLICANT

Name: Next Level Church / Daniel King

Address: 1053 Forest Ave

Work #: \_\_\_\_\_

Cell #: 603-988-3507

Fax #: \_\_\_\_\_

Home #: \_\_\_\_\_

E-mail: daniel@nlcatv

#### CONSULTANT/AGENT

Name: n/a

Address: \_\_\_\_\_

Work #: \_\_\_\_\_

Cell #: \_\_\_\_\_

Fax #: \_\_\_\_\_

Home #: \_\_\_\_\_

E-mail: \_\_\_\_\_

### Criteria for an Administrative Authorizations: (see section 14-523(4) on pg. 2 of this appl.)

- a) Is the proposal within existing structures?
- b) Are there any new buildings, additions, or demolitions?
- c) Is the footprint increase less than 500 sq. ft.?
- d) Are there any new curb cuts, driveways or parking areas?
- e) Are the curbs and sidewalks in sound condition?
- f) Do the curbs and sidewalks comply with ADA?
- g) Is there any additional parking?
- h) Is there an increase in traffic?
- i) Are there any known stormwater problems?
- j) Does sufficient property screening exist?
- k) Are there adequate utilities?
- l) Are there any zoning violations?
- m) Is an emergency generator located to minimize noise?
- n) Are there any noise, vibration, glare, fumes or other impacts?

### Applicant's Assessment Planning Division Y(yes), N(no), N/A

Applicant's Assessment	Planning Division
Y(yes), N(no), N/A	Y(yes), N(no), N/A
N	N
Y	Y - <sup>with</sup> steps
Y	Y
N	N
Y	Y
N	N
Y	Y
N	N
N	N
Y	Y
N	N
N/A	N/A
N	N

RECEIVED

MAR 20 2012

City of Portland  
Planning Division

Signature of Applicant: Daniel King

Date: 3/17/12

Planning Division Use Only

Authorization Granted

Partial Exemption

Exemption Denied

Barbara Barbydt, Development Review Services mgr.  
- 3/26/12

Standard Condition of Approval: The applicant shall obtain all required City Permits, including building permits from the Inspection Division (Room 315, City Hall (874-8703)) prior to the start of any construction.

**IMPORTANT NOTICE TO APPLICANT:** The granting of an Administrative Authorization to exempt a development from site plan review does not exempt this proposal from other approvals or permits, nor is it an authorization for construction. You should first check with the Building Inspections Office, Room 315, City Hall (207)874-8703, to determine what other City permits, such as a building permit, will be required.

**PROVISION OF PORTLAND CITY CODE  
14-523 (SITE PLAN ORDINANCE)  
RE: Administrative Authorization**

**Sec. 14-523 (b). Applicability**

No person shall undertake any development identified in Section 14-523 without obtaining a site plan improvement permit under this article. (c) Administrative Authorization. Administrative Authorization means the Planning Authority may grant administrative authorization to exempt a development proposal from complete or partial site plan review that meets the standards below, as demonstrated by the applicant.

1. The proposed development will be located within existing structures, and there will be no new buildings, demolitions, or building additions other than those permitted by subsection b of this section;
2. Any building addition shall have a new building footprint expansion of less than five hundred (500) square feet;
3. The proposed site plan does not add any new curb cuts, driveways, or parking areas; the existing site has no more than one (1) curb cut and will not disrupt the circulation flows and parking on-site; and there will be no drive-through services provided;
4. The curbs and sidewalks adjacent to the lot are complete and in sound condition, as determined by the public works authority, with granite curb with at least four (4) inch reveal, and sidewalks are in good repair with uniform material and level surface and meet accessibility requirements of the Americans with Disabilities Act;
5. The use does not require additional or reduce existing parking, either on or off the site, and the project does not significantly increase traffic generation;
6. There are no known stormwater impacts from the proposed use or any existing deficient conditions of stormwater management on the site;
7. There are no evident deficiencies in existing screening from adjoining properties; and
8. Existing utility connections are adequate to serve the proposed development and there will be no disturbance to or improvements within the public right-of-way.
9. There are no current zoning violations;
10. Any emergency generators are to be located to minimize noise impacts to adjoining properties and documentation that routine testing of the generators occur on weekdays between the hours of 9 a.m. to 5 p.m. Documentation pertaining to the noise impacts of the emergency generator shall be submitted; and
11. There is no anticipated noise, vibration, glare, fumes or other foreseeable impacts associated with the project.

- a. **Filing the Application.** An applicant seeking an administrative authorization under this subsection shall submit an administrative authorization application for review, detailing the site plan with dimensions of proposed improvements and distances from all property lines, and stating that the proposal meets all of the provisions in standards 1-11 of Section 14-423 (b)1. **The application must be accompanied by an application fee of \$50.**
- b. **Review.** Upon receipt of such a complete application, the Planning Authority will process it and render a written decision of approval, approval with conditions or denial, with all associated findings.
- c. **Decision.** If a full administrative authorization is granted, the application shall be approved without further review under this article, and no performance guarantee shall be required. In the event that the Planning Authority determines that standards a and b of Section 14-523 (b) (1) and at least four (4) of the remaining standards have been met, the Planning Authority shall review the site plan according to all applicable review standards of Section 14-526 that are affected by the standards in this subsection that have not been met. If an exemption or partial exemption from site plan review is not granted, the applicant must submit a site plan application that will undergo a full review by the Planning Board or Planning Authority according to the standards of Section 14-526.

For an Administrative Authorizations:  
 Section 14-523 (4) on page 2 of this application)

Applicant's Assessment  
 Y(yes), N(no), N/A

Planning Division  
 Use Only

Is the proposal within existing structures?	No	No
Are there any new buildings, additions, or demolitions?	Yes	Yes
Is the footprint increase less than 500 sq. ft.?	Yes	Yes
d) Are there any new curb cuts, driveways or parking areas?	No	No
e) Are the curbs and sidewalks in sound condition?	Yes	Yes
f) Do the curbs and sidewalks comply with ADA?	Yes	Yes
g) Is there any additional parking?	No	No
h) Is there an increase in traffic?	No	No
i) Are there any known stormwater problems?	No	No
j) Does sufficient property screening exist?	Yes	Yes
k) Are there adequate utilities?	Yes	Yes
l) Are there any zoning violations?	No	No
m) Is an emergency generator located to minimize noise?	N/A	N/A
n) Are there any noise, vibration, glare, fumes or other impacts?	No	No

The Administrative Authorization for 1053 Forest Avenue was approved by Barbara Barhydt –Development Review Services Manager - on March 26, 2012 with the following required Standard Condition of Approval listed below:

1. Standard Condition of Approval: The applicant shall obtain all required City Permits, including building permits from the Inspection Division (874-8703) and any other permits required from the Department of Public Services (874-8801) prior to the start of any construction.