

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

PERMIT ISSUED

Permit No: 01-1430	Issue Date: DEC 13 2001	CBL: 146 E009001
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Location of Construction: 1053 Forest Ave	Owner Name: 1053 Forest Avenue Llc	Owner Address: 72 Auburn St	Phone: 797-4838
Business Name:	Contractor Name: Burton, Jim	Contractor Address: 18 Killdeer Road Cape Elizabeth	Phone: 2076537272
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone: B-2

Past Use: restaurant call 653-7272	Proposed Use: restaurant	Permit Fee: \$132.00	Cost of Work: \$17,500.00	CEO District: 3
Proposed Project Description: seperate wall between counter and cooler pad new work in cobble 10'x20' Cooler Pad (concrete on frostwall)		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: U Type: 3 BOLA 1999	

Signature: <i>WMT</i>	Signature: <i>T MURPHY</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
Action: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	
Signature:	Date:

Permit Taken By: jodinea	Date Applied For: 11/16/2001	Zoning Approval
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>12/3/01</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT _____ ADDRESS _____ DATE _____ PHONE _____

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE _____ DATE _____ PHONE _____

01-1430

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>1053 Forest Ave.</u>		
Total Square Footage of Proposed Structure <u>1,200 +/- SF</u>	Square Footage of Lot <u>14,000 +/- SF</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>146</u> Block# <u>E</u> Lot# <u>9</u>	Owner: <u>1053 Forest Ave LLC</u>	Telephone: <u>797-4838</u>
Lessee/Buyer's Name (If Applicable) <u>The Maine Thing Inc.</u>	Applicant name, address & telephone: <u>Jim Burton</u> <u>18 Killdeer Rd</u> <u>Cape Elizabeth</u>	Cost Of Work: \$ <u>17,500</u> Fee: \$ <u>132.00</u>
Current use: <u>Restaurant/ Fast Food</u>		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: <u>Restaurant/ Fast Food</u>		
Project description: <u>Building a seperation wall between two spaces & counter area & cooler pad</u>		
Contractor's name, address & telephone: <u>Collico Inc., Plymouth Meeting, PA</u> <u>(610) 239-1040 - Ed Collins</u>		
Who should we contact when the permit is ready: <u>Jim Burton 653-7272</u>		
Mailing address: <u>18 Killdeer Rd</u> <u>Cape Elizabeth, ME 04107</u> Phone: <u>653-7272</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Jim Burton</u>	Date: <u>11/15/01</u>
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This is not a permit, you may not commence ANY work until the permit is issued

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME
NOV 16 2001

11/16/01
Gayb

Sarah Hopkins

01-1430

APPLICATION FOR EXEMPTION FROM SITE PLAN REVIEW

PAPA JOHN'S PIZZA

11-28-01

Applicant
18 KILDEER RD. CAPE ELIZABETH, ME 04107

Application Date
PAPA JOHN'S PIZZA

Applicant's Mailing Address
JIM BURTON 653-7272

Project Name/Description
1053 FOREST AVE.

Consultant/Agent/Phone Number

Address of Proposed Site

Description of Proposed Development:

CBL: ~~146-E-6,7,8~~
146-E-009

Cooler Addition

Please Attach Sketch/Plan of Proposal/Development

Criteria for Exemptions:

See Section 14-523 (4)

a) Within Existing Structures; No New Buildings, Demolitions or Additions

Applicant's Assessment (Yes, No, N/A)
Cooler under 500 SQ FT
✓
✓
✓
✓
✓
✓
✓
✓

Planning Office Use Only
✓
✓
✓
✓
✓
✓
✓
✓
✓

b) Footprint Increase Less Than 500 Sq. Ft.

c) No New Curb Cuts, Driveways, Parking Areas

d) Curbs and Sidewalks in Sound Condition/
Comply with ADA

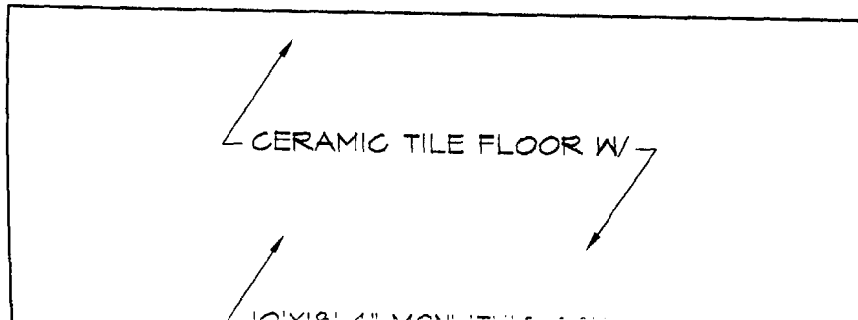
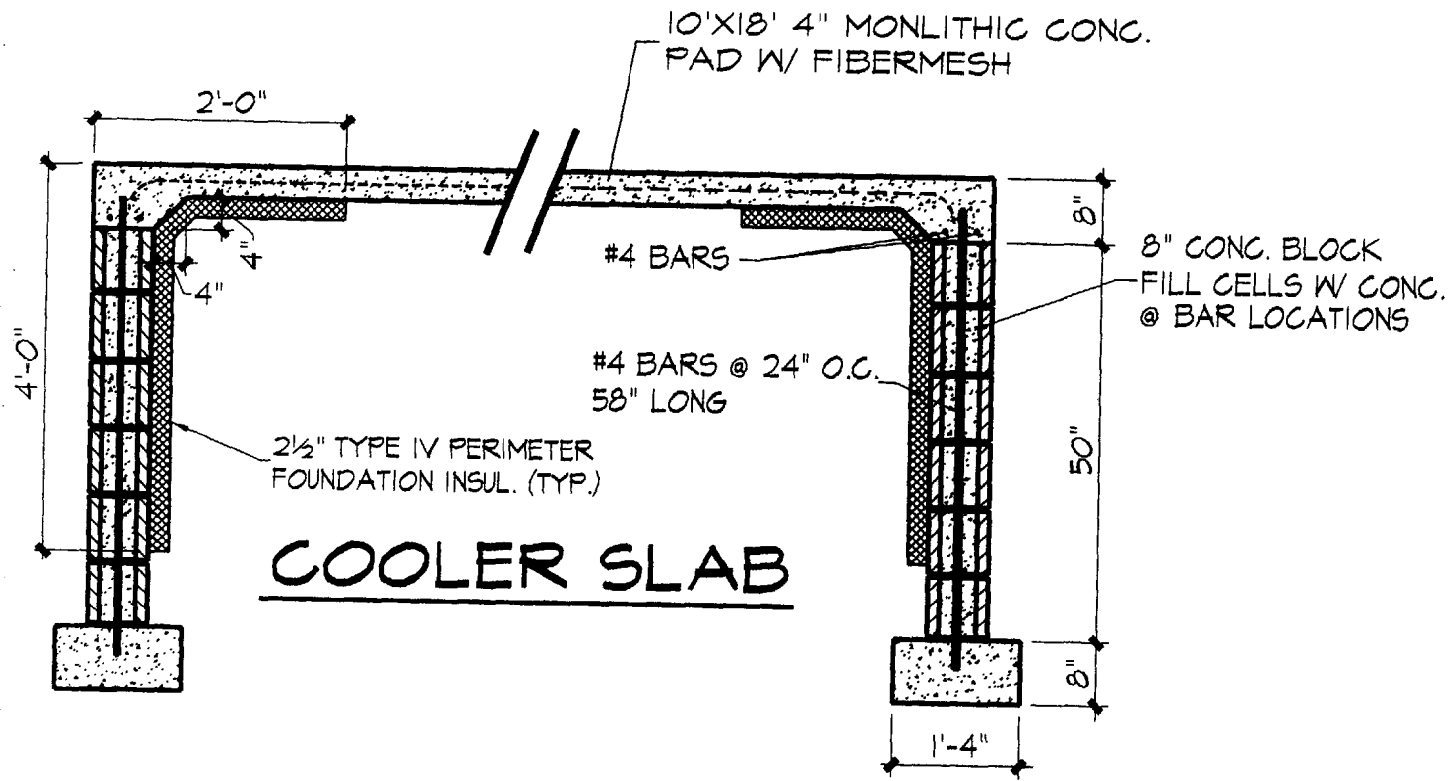
e) No Additional Parking / No Traffic Increase

f) No Stormwater Problems

g) Sufficient Property Screening

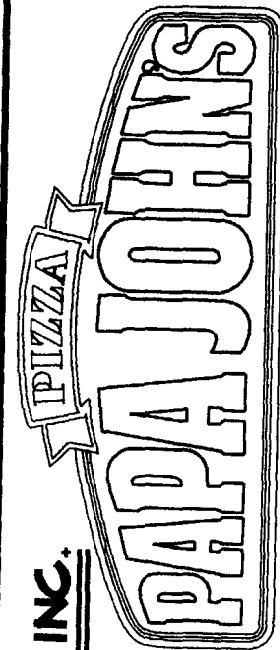
h) Adequate Utilities

Planning Office Use Only:
Exemption Granted /



00-422-1542

PROJECT NUMBER



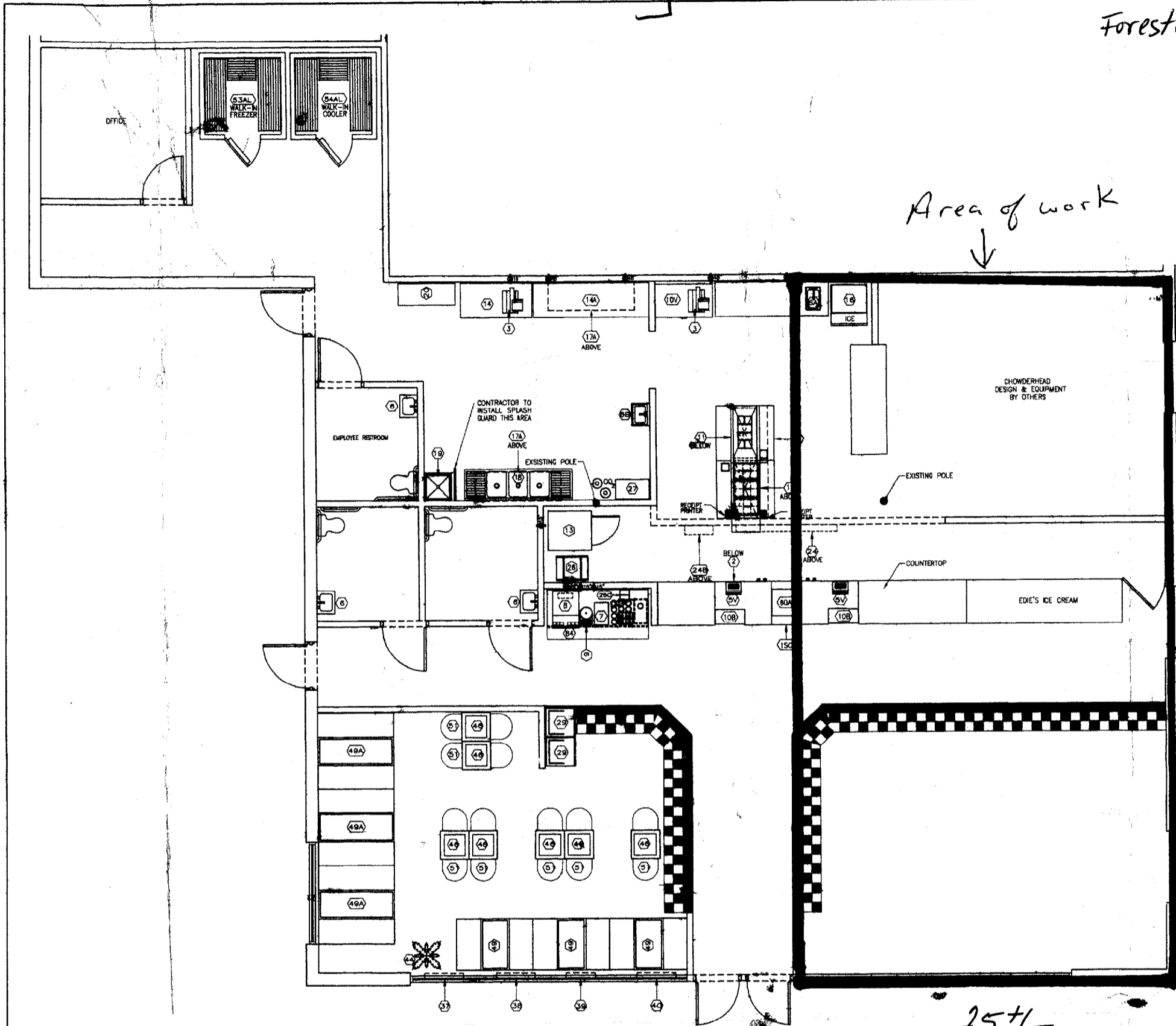
Better Ingredients.
Better Pizza.

ERNATIONAL, INC.

RKWAY
R 40299

Existing Conditions

1053
Forest Ave

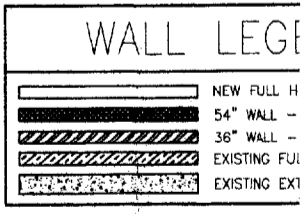


1 FURNITURE PLAN
SCALE: 1/4" = 1'-0"

GENERAL NOTES

- ALL DIFFUSERS, AIR VENTS, SPRINKLER HEAD CAPS AND ACCESS PANELS ARE TO BE PAINTED TO MATCH CEILINGS OR WALLS SURROUNDING THEM, BY THE GENERAL CONTRACTOR.
- ALL MOLDINGS AND PAINT FINISHES BY THE MILLWORK CONTRACTOR MUST BE APPROVED BY B I CONCEPT SYSTEMS PRIOR TO PRODUCTION.
- ALL WALLCOVERING QUANTITIES ARE TO BE VERIFIED BY THE WALL COVERING INSTALLER, PRIOR TO PURCHASE.
- ALL CARPET QUANTITIES ARE TO BE VERIFIED BY THE CARPET INSTALLER PRIOR TO PURCHASE.
- ALL TILE QUANTITIES ARE TO BE DETERMINED BY THE TILE INSTALLER AND VERIFIED BY THE GENERAL CONTRACTOR.
- ALL LIGHTING AND ELECTRICAL REQUIREMENTS SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR EXCEPT THOSE DESIGNATED AS DECORATIVE LIGHTING WITH A DL#. ALL DECORATIVE LIGHTING CAN BE SUPPLIED BY OWNER AND INSTALLED BY THE ELECTRICAL CONTRACTOR.
- IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO PROVIDE NECESSARY SUPPORT FOR CEILING MOUNT CHANDELIERS AND WALL MOUNT FIXTURES.
- ALL TILE SAMPLES ARE TO BE APPROVED BY B I CONCEPT SYSTEMS PRIOR TO PURCHASE.
- ALL PAINT SPECIFICATIONS ARE FOR COLOR ONLY. SOURCES MAY BE SUBMITTED ONLY WITH COLOR SAMPLE APPROVAL BY B I CONCEPT SYSTEMS.
- ANY PAINT COLOR SPECIFIED "TO MATCH" MUST BE APPROVED BY B I CONCEPT SYSTEMS.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR FINISHING ALL EXPOSED SURFACES AS LISTED ON ARCHITECTURAL FINISH SCHEDULES.
- THE MILLWORK CONTRACTOR IS RESPONSIBLE FOR FINISHING ALL MILLWORK ITEMS OF AREAS AS INDICATED ON B I CONCEPT SYSTEMS DRAWINGS AND LISTED IN MILLWORK SCHEDULE.
- THE GENERAL CONTRACTOR AND/OR THE MILLWORK CONTRACTOR MUST PRESERVE THE INTEGRITY OF THE DESIGN WITHIN EXISTING PHYSICAL CONDITIONS AND LIMITATIONS.
- ALL STAIN GRADE MILLWORK SHALL BE MANUFACTURED IN GENUINE OAK UNLESS OTHERWISE NOTED.
- ALL PAINT GRADE FIXTURES TO BE MANUFACTURED IN POPLAR UNLESS OTHERWISE NOTED.
- ALL STAIRS SPECIFIED TO RECEIVE CARPET ARE TO RECEIVE WHITE VINYL NOSING ON STAIR TREAD EDGES.
- GREASE TRAP AND/OR SAMPLING WELL MAY BE REQUIRED PER LOCAL CODE.
- SYRUP CO2 AND REQUIRED PUMPS SHOULD BE LOCATED IN WORK ROOM AS SHOWN. COKE LINES WILL RUN ABOVE CEILING TO SELF SERVE COKE MACHINE. CONDUIT LINES TO CARBONATOR IN SODA CABINET VIA 4" PVC PIPE IN WALL.
- ALL STEREO EQUIPMENT (SPEAKERS, WIRES, ETC...) TO BE INSTALLED PROFESSIONALLY.
- BOTH RESTROOMS TO BE FURNISHED WITH PAPER TOWEL DISPENSERS, SOAP DISPENSER AND MIRROR AT RECOMMENDED LOCATIONS INDICATED IN PLAN. VERIFY HEIGHTS OF EQUIPMENT PER HANDICAP CODES. MEN'S RESTROOM TO BE FURNISHED WITH SPLASH PARTITION AT URINAL. ALL FIXTURES TO BE SUPPLIED AND INSTALLED BY GENERAL CONTRACTOR. CONTRACTOR SHALL PROVIDE AND INSTALL GRAB BARS AT WATER CLOSETS PER APPLICABLE CODE.

- ### NOTES
- ALL DIMENSIONS TO BE VERIFIED BY THE CONTRACTOR BEFORE CONSTRUCTION BEGINS. ANY DISCREPANCIES SHOULD BE REPORTED TO B I CONCEPT SYSTEMS BEFORE CONSTRUCTION BEGINS. CONTACT THE CONSTRUCTION PLANNING MANAGER AT 800-486-8256 EXTENSION 22.
 - THIS DRAWING REPRESENTS CONCEPTUAL DESIGN ONLY AND DOES NOT NECESSARILY ELIMINATE THE NEED FOR AN ARCHITECT AND/OR SIMILAR PROFESSIONAL TO PROVIDE ADDITIONAL DRAWINGS TO COMPLY WITH FEDERAL, STATE OR LOCAL LAWS AND CODES.
 - ALL FINISHES AS STATED AND SHOWN ON THESE DRAWINGS MUST BE STRICTLY ADHERED TO.
 - ATTENTION ARCHITECT AND/OR GENERAL CONTRACTOR: THESE DRAWINGS ARE FOR DESIGN LAYOUT ONLY, BASED ON THE BEST AVAILABLE INFORMATION AND IS NOT INTENDED TO ACT AS OR TAKE THE PLACE OF CONSTRUCTION DRAWINGS. ALL MEASUREMENTS ARE SUBJECT TO PHYSICAL VERIFICATION AND LAYOUT. WORK DONE OR CHANGES MADE NECESSARY BY LOCAL CODE ORDINANCES OR STRUCTURAL CONDITIONS ARE THE RESPONSIBILITY OF THE SUBMITTER ARCHITECT AND/OR CONTRACTOR. BLIMPIE INTERNATIONAL WILL NOT BE HELD RESPONSIBLE FOR ANY ERRORS AND/OR OMISSIONS. ALL MEASUREMENTS AND SPECIFICATIONS OF THE ACTUAL WORKING (CONSTRUCTION) DRAWINGS MUST BE VERIFIED LOCALLY IN THE FIELD.
 - ATTENTION ARCHITECT OR FURNITURE MANUFACTURER: THESE DRAWINGS SERVE AS A GUIDE FOR THE MANUFACTURER AND WHERE PHYSICAL JOB SITE MEASUREMENTS ARE REQUIRED BEFORE FABRICATION, IT IS THE OBLIGATION OF THE MANUFACTURER TO OBTAIN SAME. IT SHALL BE THE SOLE DUTY AND RESPONSIBILITY OF THE GENERAL CONTRACTOR TO DETERMINE ACTUAL CONSTRUCTION DETAILS AND FABRICATE DESIGN IN ACCORDANCE WITH ACCEPTED GOOD PRACTICE AND PROCEDURE. BLIMPIE INTERNATIONAL WILL NOT BE HELD RESPONSIBLE FOR ANY ERRORS AND/OR OMISSIONS. ALL MEASUREMENTS AND SPECIFICATIONS OF THE ACTUAL WORKING (CONSTRUCTION) DRAWINGS MUST BE VERIFIED LOCALLY IN THE FIELD.
 - THESE DRAWINGS ARE INTENDED ONLY TO SHOW THE DESIGN REQUIREMENTS OF B I CONCEPT SYS. ACTUAL WORKING (CONSTRUCTION) DRAWINGS INCLUDING MECHANICAL, ELECTRICAL AND PLUMBING SHALL BE MADE BY ADAPTING THESE DRAWINGS TO THE SPECIFIC LEASE SPACE AND SHALL CONFORM TO ALL LOCAL CODES AND ORDINANCES. B I CONCEPT SYSTEMS WILL NOT BE HELD RESPONSIBLE FOR ANY ERRORS AND/OR OMISSIONS. ALL MEASUREMENTS AND SPECIFICATIONS OF THE ACTUAL WORKING (CONSTRUCTION) DRAWINGS MUST BE VERIFIED LOCALLY IN THE FIELD.
 - THESE DRAWINGS ARE PROVIDED BY B I CONCEPT SYSTEMS, INC. AND IS BASED ON THE BEST AVAILABLE INFORMATION PROVIDED BY THE FRANCHISEE/OWNER. RECIPIENT MUST DETERMINE IF THESE DRAWINGS MUST BE SUBMITTED TO A LICENSED ARCHITECT AND/OR SIMILAR PROFESSIONAL UNDER FEDERAL, STATE OR LOCAL LAWS AND CODES. ANY CHANGES MUST BE APPROVED BY B I CONCEPT SYSTEMS, INC. JOB WILL SCALE DIMENSIONS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS AND SHALL BE VERIFIED IN THE FIELD BY THE GENERAL CONTRACTOR AND/OR THE FRANCHISEE/OWNER. ANY DISCREPANCY IN DIMENSIONS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF B I CONCEPT SYSTEMS. THE GENERAL CONTRACTOR AND EACH SUBCONTRACTOR SHALL MAKE THEIR OWN INSPECTIONS AND MEASUREMENTS.
 - B I CONCEPT SYSTEMS, INC. SHALL NOT BE HELD RESPONSIBLE FOR THE ACCURACY OF DIMENSIONS AND FOR ERRORS AND/OR OMISSIONS IN THESE DRAWINGS.
 - THESE DRAWINGS AND THE INFORMATIONAL CONTENT HEREOF IS THE CONFIDENTIAL PROPERTY OF B I CONCEPT SYSTEMS, INC. AND IS PROVIDED SOLELY FOR THE USE OF AUTHORIZED FRANCHISEES, THEIR AGENTS AND CONTRACTORS. RECIPIENT AGREES NOT TO REPRODUCE, COPY USE OR TRANSMIT THESE DRAWINGS AND/OR ITS INFORMATIONAL CONTENT IN WHOLE OR IN PART, OR ALLOW SUCH ACTION BY OTHERS FOR ANY PURPOSE EXCEPT WITH THE WRITTEN PERMISSION OF B I CONCEPT SYSTEMS, INC. RECIPIENT FURTHER AGREES TO SURRENDER THESE DRAWINGS AND ANY PERMITTED COPIES HEREOF UPON DEMAND.
 - STORE MUST BE CONSTRUCTED AS DESIGNED IN THESE FLOOR PLANS SUBJECT TO FEDERAL, STATE AND LOCAL LAWS AND CODES. RECIPIENT IS RESPONSIBLE FOR ENSURING COMPLIANCE WITH ALL LAWS. IF MODIFICATIONS ARE NECESSARY, PLEASE CONTACT THE CONSTRUCTION PLANNING MANAGER AT 800-486-8256 EXTENSION 22 FOR WRITTEN APPROVAL OF THE REQUIRED CHANGES.
 - THESE PLANS ARE FOR REVIEW ONLY AND ARE NOT TO BE CONSTRUED AS FINAL APPROVAL.



SUBS

SALADS

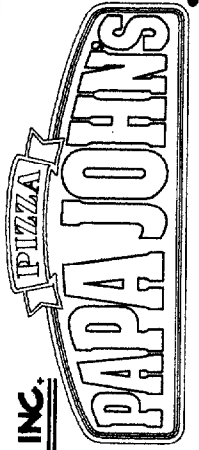
ABOVE MESH WINDOW SIGNS ARE REQUIRED LOCATIONS REFER TO THE SIGN BROCHURE AND ALL ELECTRICAL REQUIREMENTS/ INFO ALSO REFER TO THE SIGN BROCHURE FOR STANDARD EXTERIOR SIGNS. ORDER ALL IN THE HOUSTON OFFICE AT 800-486-8256. SIGN AND THE INTERIOR AWNING/ MONTRA HAVE ALL GRAPHICS AND COLORS APPROVE OFFICE. PLEASE ALL WITH ANY QUESTIONS.

NEON BLIMPIE LOGO, SHOWN ABOVE, IS AN

Proposed Floorplan

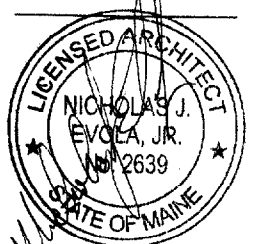
01-422-1851

PROJECT NUMBER



PAPA JOHN'S INTERNATIONAL, INC.

11492 BLUEGRASS PARKWAY
LOUISVILLE, KENTUCKY 40299



BAYUS EVOLA
ARCHITECTS

2908 EASTPOINT PARKWAY
LOUISVILLE, KENTUCKY 40223
(602) 428-8000
FAX: (602) 428-0827

NEW PAPA JOHN'S PIZZA STORE :

1053 FOREST AVE.
PORTLAND, ME.

DATE: 11/2/01

DATE REVISED

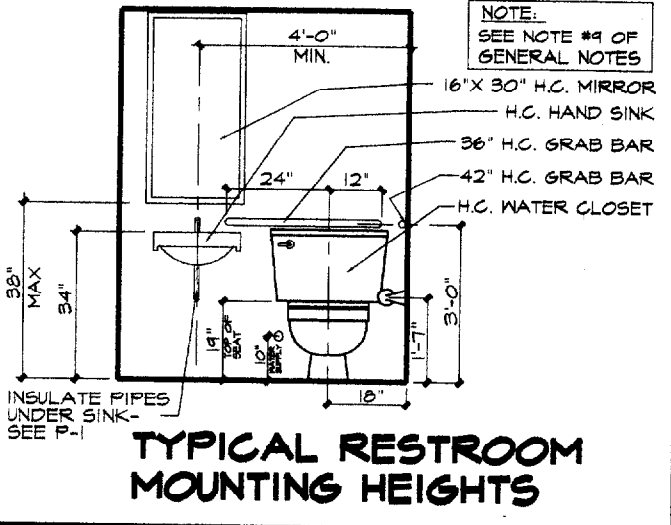
SHEET TITLE

EQUIPMENT/FLOOR PLAN
SCHEDULE
NOTES

SHEET NUMBER

A-1

KEMLITE
CORNER GUARD
AROUND PERIMETER
OF WINDOW

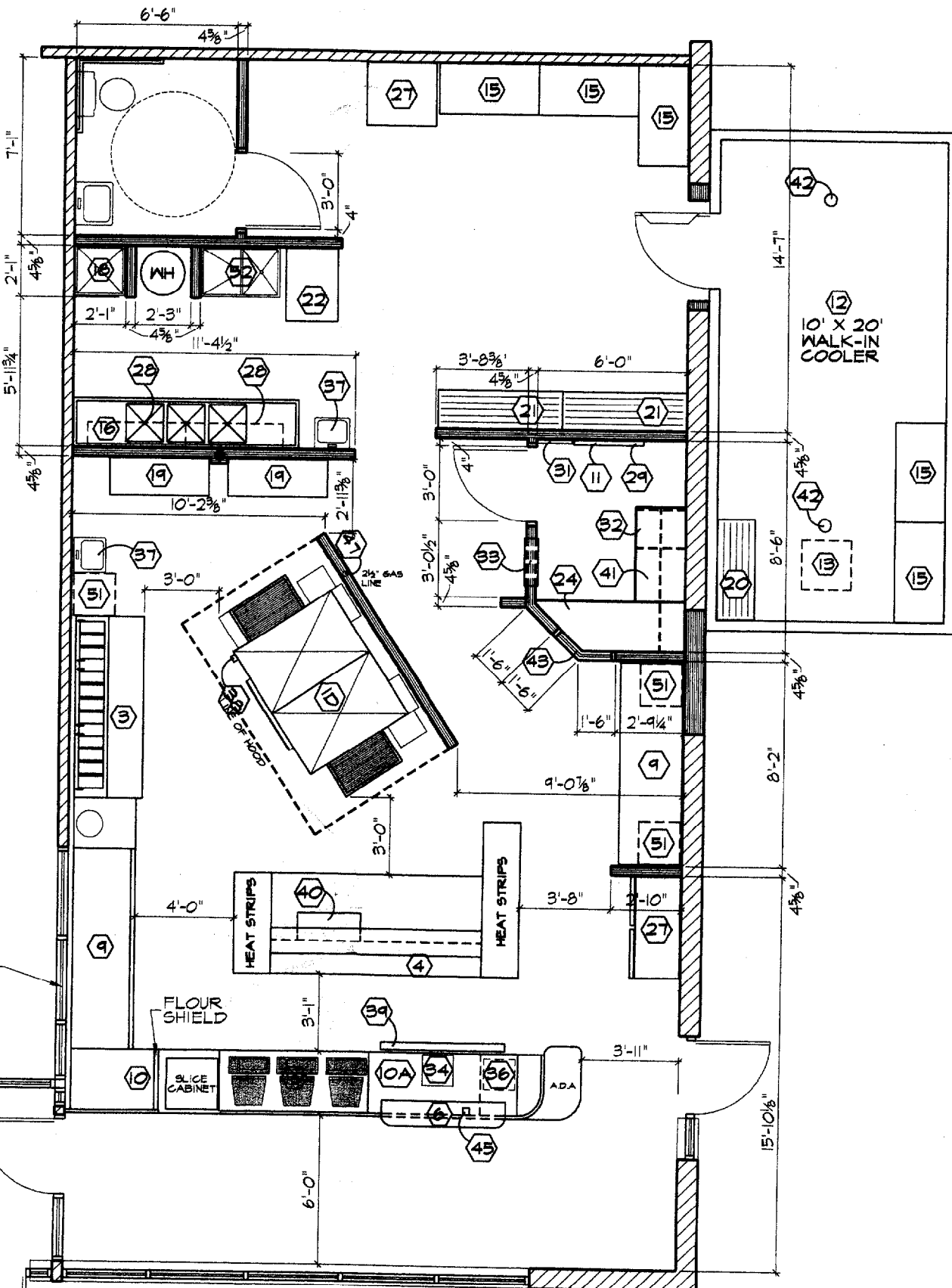


GENERAL NOTES:

1. DIMENSIONS ARE DRYWALL - TO - DRYWALL OR E.I.F.S. FACE TO E.I.F.S. FACE
2. GENERAL CONTRACTOR SHALL INSTALL ALL REQUIRED BLOCKING FOR ALL EQUIPMENT, HANGERS, ETC.
3. ALL WORK SHALL CONFORM TO ALL LOCAL AND STATE CODES AND REGULATIONS.
4. ALL INTERIOR DRYWALL PARTITIONS SHALL BE 2X4 WOOD STUDS SPACED 16" O.C. TO 4'-6" UNLESS NOTED OTHERWISE.
5. INTERIOR PARTITIONS SHALL BE FACED BOTH SIDES WITH 1/2" STANDARD DRYWALL.
6. GENERAL CONTRACTOR TO INSTALL PLYWOOD BACKING BEHIND ALL SHELVING AND SINKS AS NEEDED TO SUPPORT SUCH ITEMS. PLYWOOD BACKING IS TO BE INSTALLED BEHIND ITEMS 16, 28, 37, 51, & OFFICE CABINET. SEE SHEET A-2 FOR ITEM LOCATIONS.
7. GENERAL CONTRACTOR TO RUN EXTERIOR EXPOSED PHONE LINE THRU STEEL CONDUIT.
8. GENERAL CONTRACTOR SHALL FURNISH AND INSTALL THE FOLLOWING

BATH ACCESSORIES, BY BOBRICK 800-898-4931 = SHAWN STONE

- A. PAPER TOWEL DISPENSER = BY OWNER
- B. LIQUID SOAP DISPENSER = BOBRICK B-4112
- C. TOILET PAPER HOLDER = BOBRICK B-2140
- D. 18" X 27" STAINLESS STEEL FRAMED MIRROR = BOBRICK B-145
- E. DOOR MOUNTED ROBE HOOK
- F. WALL MOUNTED GRAB BAR = BOBRICK B-6106 36" & 48"
- G. HANDICAP RESTROOM REQ'D. EQUIPMENT PER LOCAL CODES



EQUIPMENT/FLOOR PLAN

SCALE: 1/4" = 1'-0"

NOTE:
ALL EXIST. WALLS
SHOWN HATCHED

NOTE:
ALL WALLS TO BE
REMOVED SHOWN
DASHED

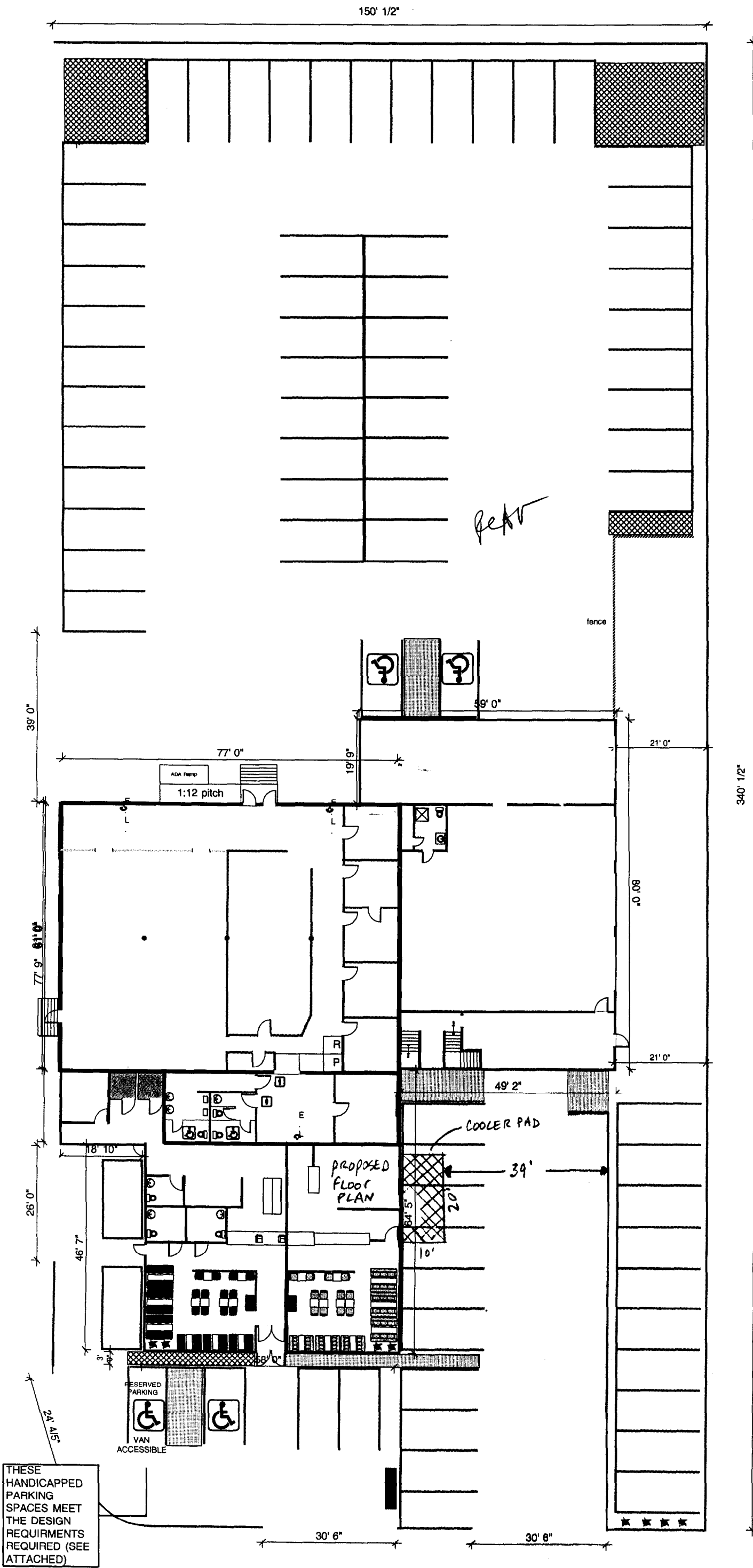
CONTRACTOR OR OWNER
TO VERIFY ALL DIMENSIONS
AND CONDITIONS, PRIOR TO
ERECTING WALLS AND
STARTING CONSTRUCTION.

NEW PAPA JOHN'S PIZZA STORE :
1053 FOREST AVE.
PORTLAND, ME.

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1/4" STAINLESS
SIL. PLATFORM
EQ. SUPPLIER

EXIST. 4"
CONC. SLAB



*note parking spaces are 9' X 19' in the rear and side. 9' X 18' in the front of the building

Sides

B-2 Zone OK

THESE HANDICAPPED PARKING SPACES MEET THE DESIGN REQUIREMENTS REQUIRED (SEE ATTACHED)

PLOT PLAN FOR 1053 FOREST AVE.

Flora