

Field Report

The Park Danforth **Project No:** 13-059-00
Portland ME **Field Report No:** 22

To: Mark Donovan **Time of Visit:** 8:00 AM
 PC Construction **Date of Visit:** 10/25/2016
 131 Presumpscot Street **Weather:** Sunny, Cool (40 Degrees)
 Portland ME

Submitted by: Scott Timmons **Copies:**
Present: Scott Timmons Andrew Pires PC Construction
Kemp Carey PC Construction

Item	Description	Status:
22.1	<p><u>WORK IN PROGRESS</u></p> <p>Exterior</p> <ul style="list-style-type: none"> - Masonry at Connector ongoing - Curtainwall and Storefront installation ongoing - Connector Roof ongoing. - Balcony Railing installation ongoing - Roofing metal panel installation ongoing <p>Tower Interior</p> <ul style="list-style-type: none"> - Elevator Installation ongoing (both A and B) - Level 5 interior drywall ongoing - Corridor ceiling framing ongoing through Level 4 - Finish painting ongoing through Level 5 in Resident Apartments, through level 3 in corridors - Resident Kitchen and bathroom cabinet installation ongoing through Level 5 - Resident Apartment carpet installation ongoing through Level 3 - Resident Apartments Kitchen appliance installation ongoing <p>Connector and Main Street:</p> <ul style="list-style-type: none"> - Interior framing ongoing in both Connector and Main Street - Drywall installation ongoing in Main Street - MEP Rough ins ongoing in Main Street 	<div style="border: 1px solid black; padding: 5px; width: fit-content; margin: auto;">Observation</div>
22.2	<p><u>Finish Flooring Protection</u></p> <p>Continue to protect carpeting and vinyl flooring in accordance with the Project Specifications. See attached Photos</p>	<div style="border: 1px solid black; padding: 5px; width: fit-content; margin: auto;">Correct Work</div>

Item	Description	Status:
22.3	<p>Threshold at Secondary Roof Deck Egress</p> <p>The storefront subcontractor had expressed concerns during the shop drawing phase about the use of the saddle threshold and water intrusion from this deck. Please confirm the issue of water intrusion from this area has been addressed.</p>	CM follow up
22.4	<p>Level 5 Community Room (5004)</p> <p>All above-ceiling drywall joints along the entry (rated) wall shall be taped per the partitions UL designation. All thru wall penetrations shall be properly fire sealed. See attached Photo.</p>	Correct Work
22.5	<p>Level 4 Group Room (4004)</p> <p>The wall that separates the Group Room from the toilet rooms/ante room is missing firestopping along the top of the wall. The drywall joint at the ceiling line also needs to be taped in accordance with it's UL design.</p> <p>Additionally, the column near door 4004 needs its spray fireproofing touched up prior to concealment in the wall.</p> <p>See attached photos.</p>	Correct Work
22.6	<p>Connector Steel Fireproofing</p> <p>Interior LGMF has been proceeding in areas of the connector that has yet to receive spray-applied fireproofing. Please note that all primary structural steel members and the metal roof deck shall receive 2-hour Spray-Applied Fireproofing. See attached photos.</p>	Observation

Attached Sketches:



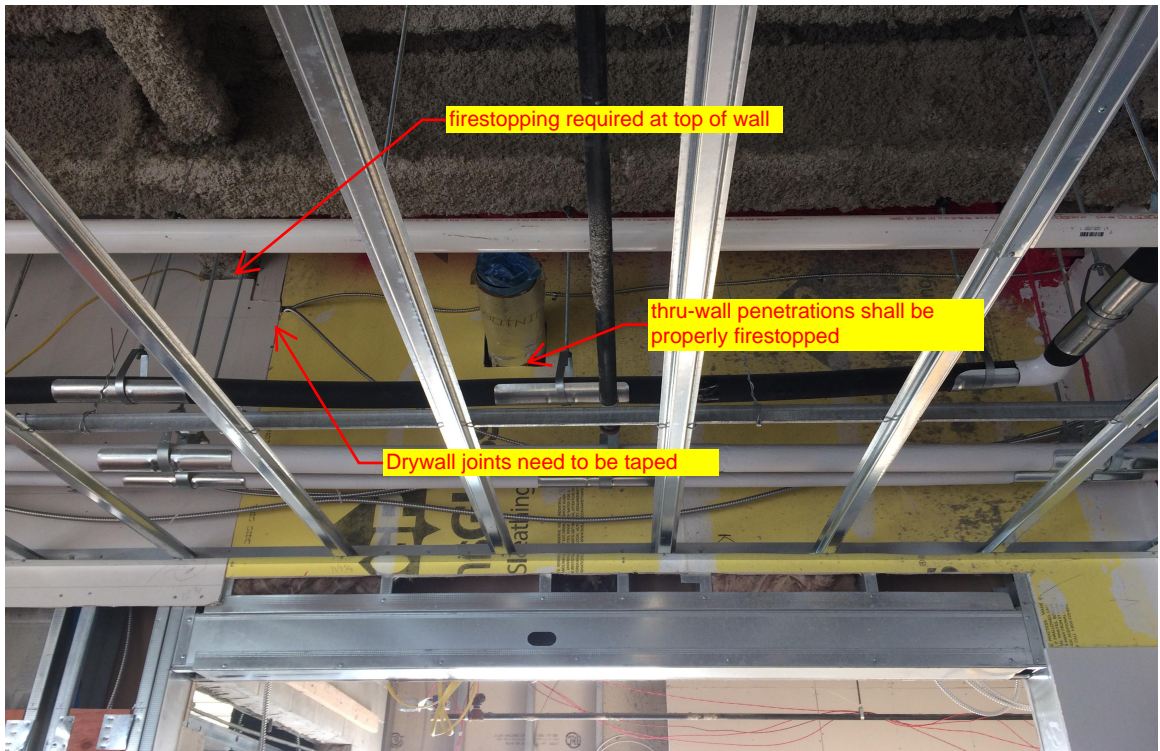
Flooring protection in typical bathroom

A



Corner Unit - Level 1 (Unit 1112)

B



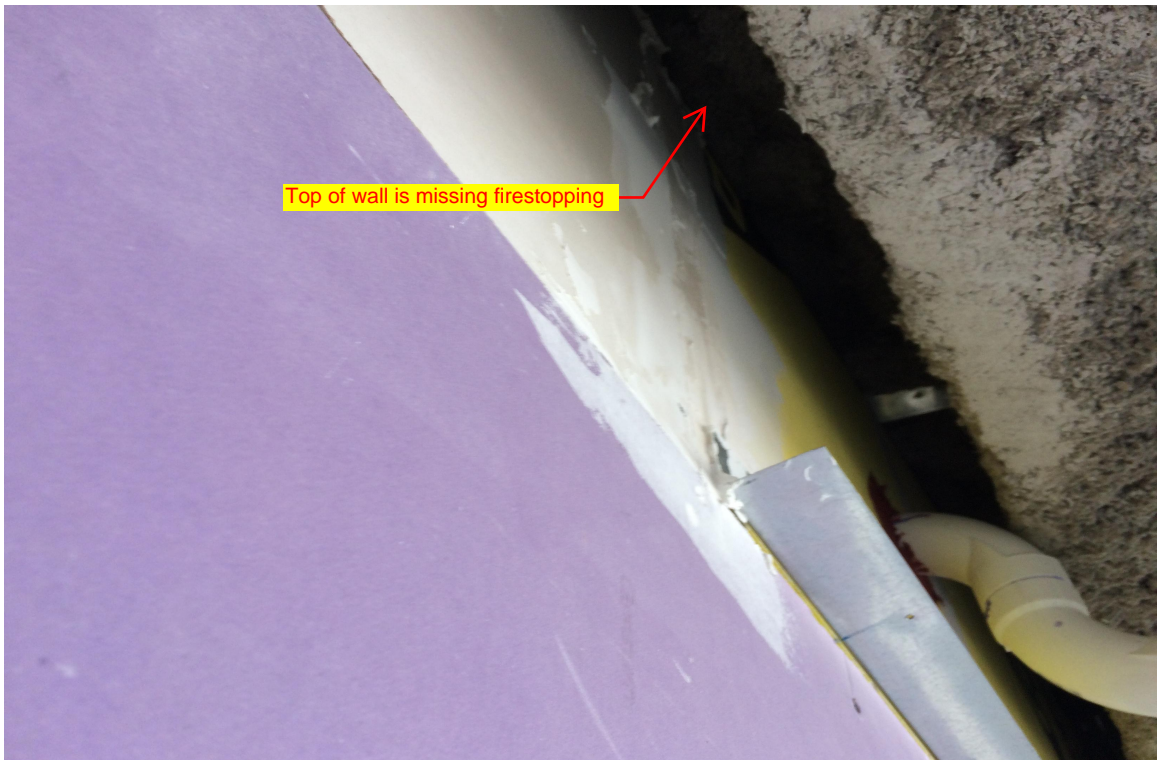
Level 5 Community Room above the room's entrance. Reference Item #22.4

A



Steel column in Group Room 4004. Reference Item #22.5

B



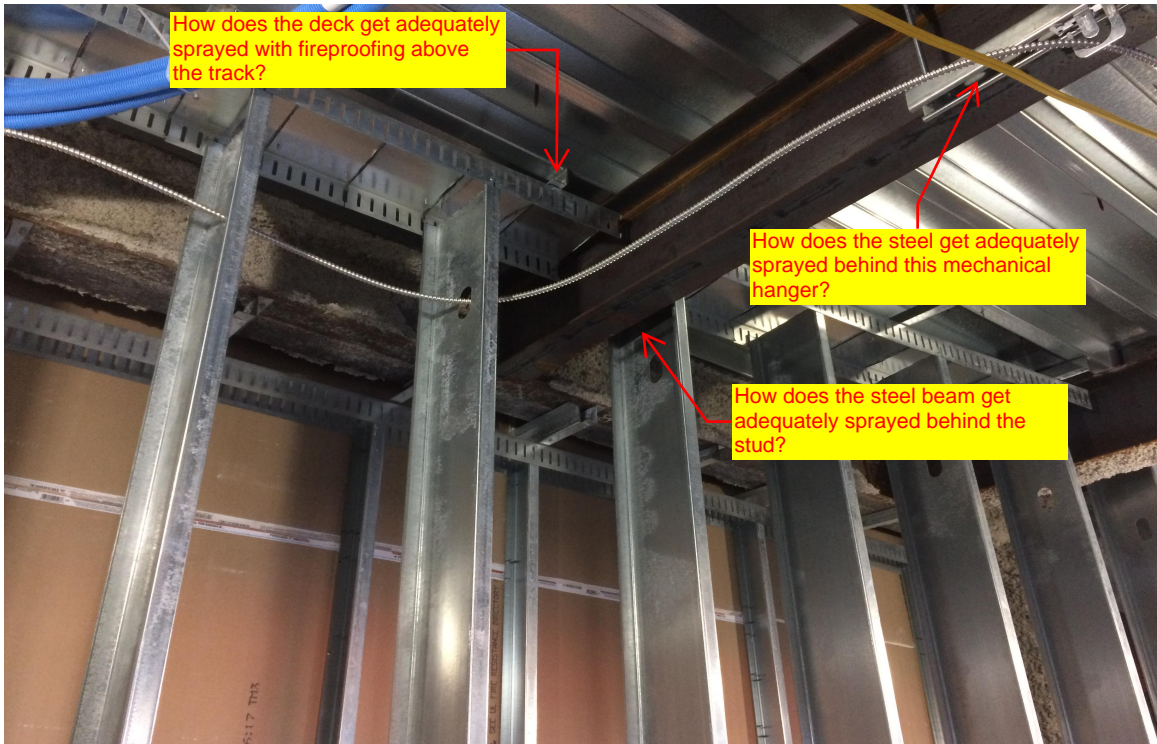
Group Room (4004) top of wall between group room and toilet rooms. Reference Item #22.5

A



Group Room (4004) wall between group room and toilet rooms. Reference Item #22.5

B



Fireproofing questions in Connector

A

B