

# Field Report

**The Park Danforth** **Project No:** 13-059-00  
**Portland ME** **Field Report No:** 20

**To:** Mark Donovan **Time of Visit:** 8:00 AM  
 PC Construction **Date of Visit:** 10/11/2016  
 131 Presumpscot Street **Weather:** Sunny, Cool 45F  
 Portland ME

**Submitted by:** Kim McCarthy **Copies:**  
**Present:** Scott Timmons (LBA), Kim McCarthy (LBA) Andrew Pires PC Construction  
Kemp Carey PC Construction

| Item | Description | Status: |
|------|-------------|---------|
|------|-------------|---------|

|              |                                |             |
|--------------|--------------------------------|-------------|
| <b>20.01</b> | <b><u>WORK IN PROGRESS</u></b> | Observation |
|--------------|--------------------------------|-------------|

- Exterior**
- Masonry at Connector courtyard side ongoing
  - Curtainwall and Storefront installation ongoing
  - Connector Roof ongoing.
  - Balcony Railing installation ongoing
  - Roofing metal panel installation ongoing
  - Weather barrier at Auditorium underway
  - Exterior sheathing and flashing primer at connector (dropoff side) underway
  - Level 5 Roof deck roof paver installation underway
- Tower Interior**
- Elevator Installation underway (both A and B)
  - Level 5 interior drywall ongoing
  - Level 5 Raised flooring in community room underway
  - Corridor ceiling framing ongoing through Level 4
  - Finish painting ongoing through Level 5 in Resident Apartments, through level 3 in corridors
  - Resident Kitchen and bathroom cabinet installation ongoing through Level 4
  - Resident closet shelving ongoing through level 3
  - Slab moisture mitigation and sheet vinyl installation ongoing through Level 4
  - Resident Apartment carpet installation ongoing through Level 2
  - Resident Apartments Kitchen appliance installation underway through level 1
- Connector and Main Street:**
- Interior framing ongoing in both Connector and Main Street
  - Drywall installation ongoing in Main Street
  - MEP Rough ins ongoing in Main Street

| Item  | Description  | Status:      |
|-------|--|--------------|
|       | - Fire sealing underway in Main Street   |              |
| 20.02 | Interior partition framing in Marketing Suite 151 is not the most recent floor plan. See SI 025 Marketing Suite Revisions and images A and B P15 of 19       | Correct Work |
| 20.03 | Roof drain in connector (approx. grid lines R10 and R12) needs to be located as tight to underside of beam as possible. See images A and B P16 of 19         | Correct Work |
| 20.04 | Unit 1506, corner drywall needs to be wrapped as tight as possible to the column. Coordinate with Casework. See image A P17 of 19                            | Correct Work |
| 20.05 | Community Room 4004. Apply fireproofing to column before enclosing in drywall. See Image B P17   | Correct Work |
| 20.06 | Add pilasters in corridor 1001 between the Administration Suite and Unit 1103. Coordinate with GWB soffit. See image A P18 of 19 and reference drawing A1.1C | Correct Work |
| 20.07 | Verify plastic sheeting in all openings to exterior are sealed to protect interior from water infiltration. See image B P18 of                               | CM follow up |
| 20.08 | Ensure smooth surface at base of wall for vinyl base/verify wall abnormalities will not telegraph through.   | CM follow up |
| 20.09 | Ensure all wall penetrations in rated walls on Main Street are fire sealed. See image B P19 of 19 for example.   | Correct Work |

**Attached Sketches:**



New Tower Construction from Forest Ave. at Arbor Street

**A**



New Tower West Wing, Courtyard Side

**B**





New Tower East Wing, courtyard side

**A**



Connector, courtyard side

**B**





New Tower East Wing facing North

**A**



Garage Entrance

**B**



New Tower West wing facing south east

**A**



Connector Farmer's porch, facing south

**B**





Connector and Auditorium facing south west

**A**



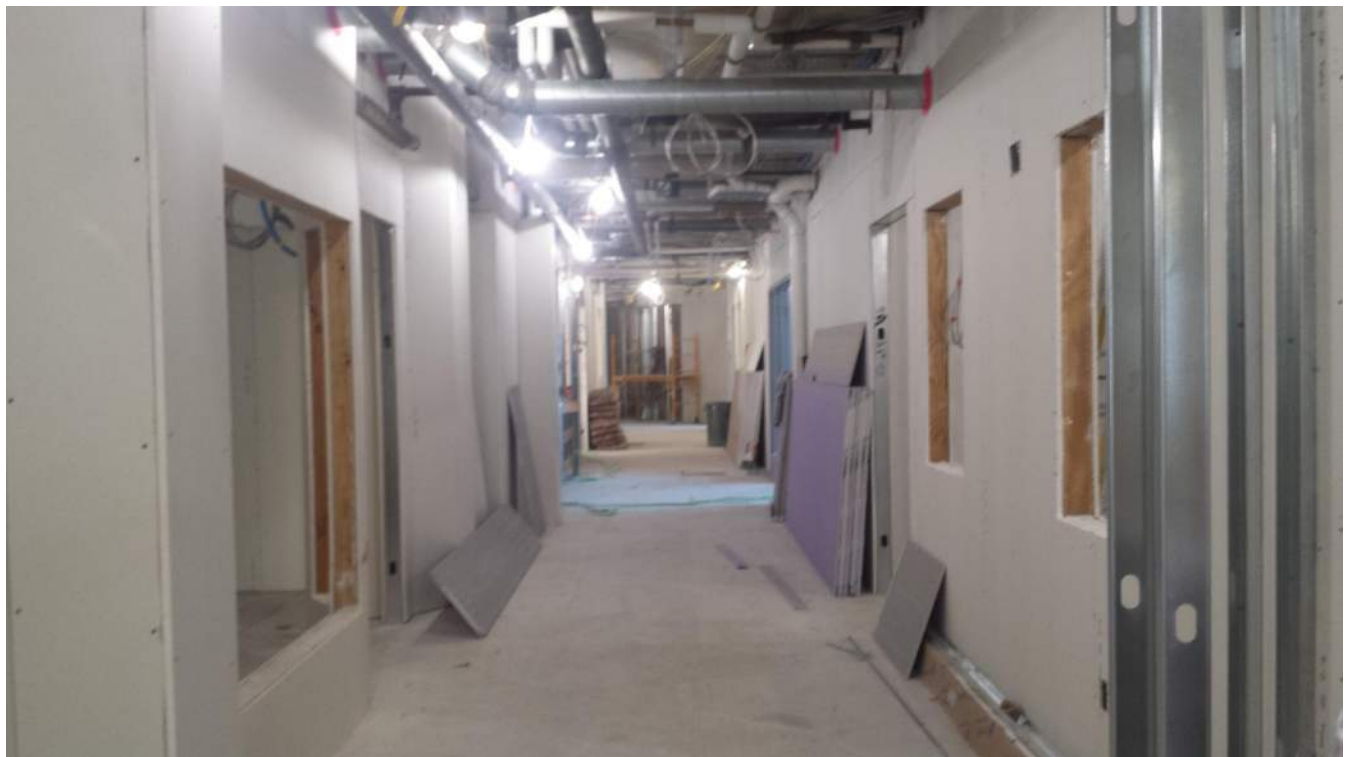
Auditorium facing southeast

**B**



Main Street from Reception end

**A**



Main Street from Activity Room end

**B**





Connector from Solarium area

A



Connector from ramp/activity room

B



Level 1 West Wing

**A**



Level 1 East Wing

**B**





Level 2 East Wing

**A**



Level 2 West Wing

**B**



Level 3 West Wing

**A**



Level 3 East Wing

**B**





Level 4 West Wing

**A**



Level 5 West Wing

**B**



Level 5 East Wing

**A**



Level 5 Garden Roof Deck

**B**





Typical Resident Kitchen casework progress, Levels 1-3 (Unit 1110 Shown)

**A**



Typical Resident Bathroom casework progress, Levels 1-3 (Unit 1212 Shown)

**B**



Typical Resident Kitchen casework progress level 4 (unit 1409 shown)

**A**



Typical Resident unit progress level 5 (unit 1507 shown).

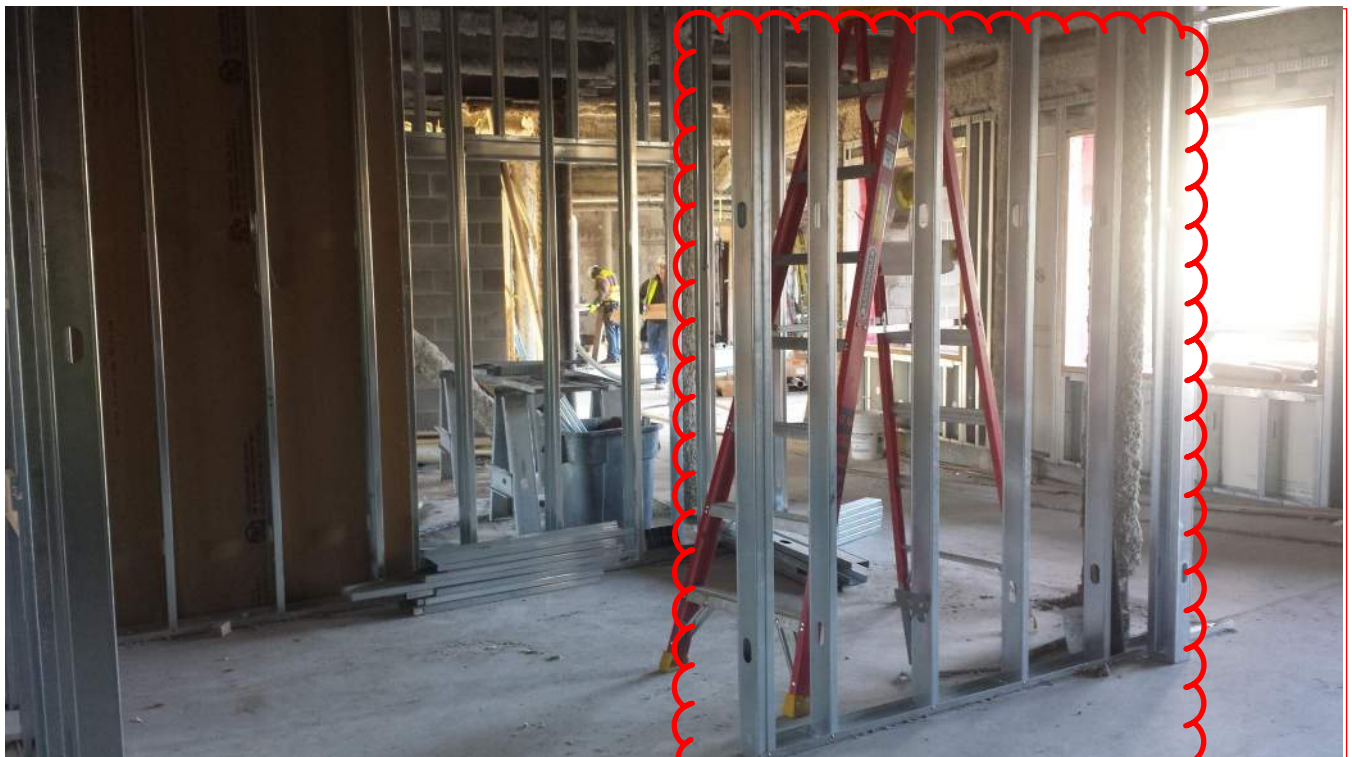
**B**





Connector, Marketing Suite 151. See Note 20.02

A



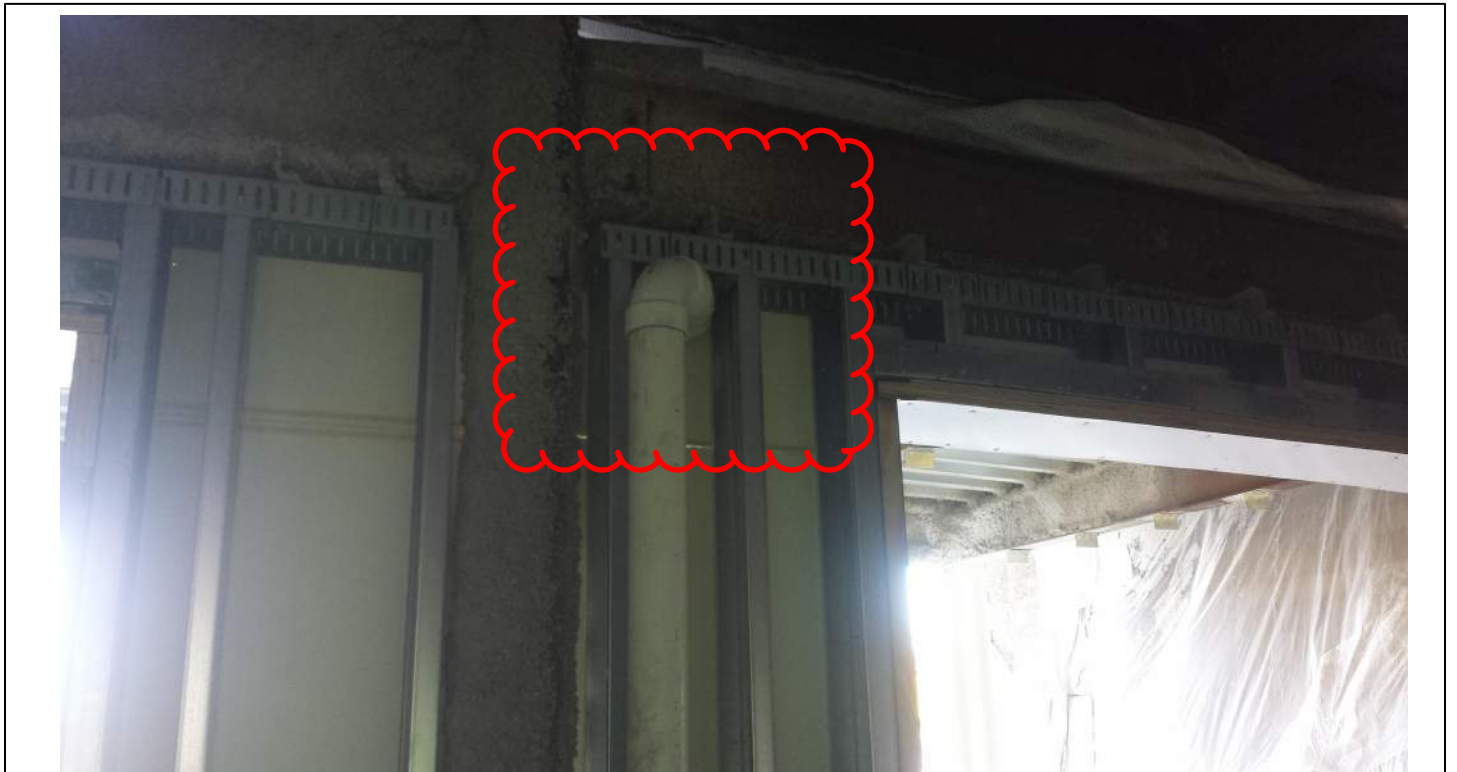
Connector, Marketing Suite 151. See Note 20.02

B



Connector, Farmer's porch, grid lines R.10 and R.12. See Note 20.03

A



Connector, Farmer's porch, grid lines R.10 and R.12. See Note 20.03

B





Resident Unit 1506, see note 20.04

A



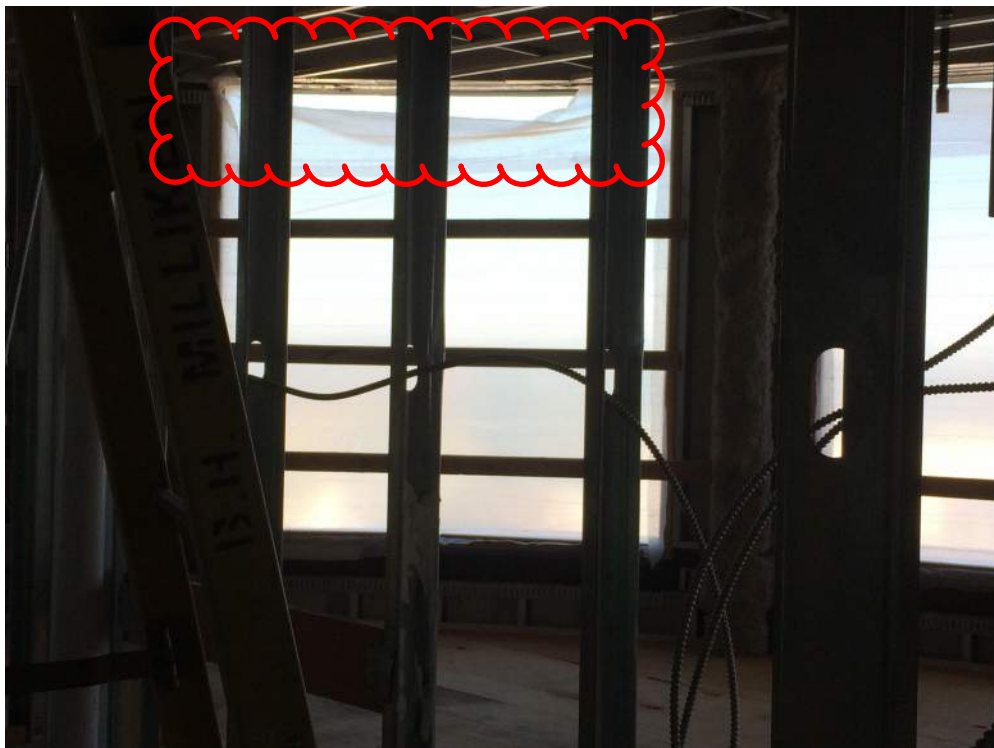
Group Room 4004, see note 20.05

B



Corridor 1001, See note 20.06

**A**



Community Room 5004, see note 20.07

**B**





GWB Base at floor slab. See Note 20.08

**A**



Main Street outside of Bistro (example) see note 20.09

**B**