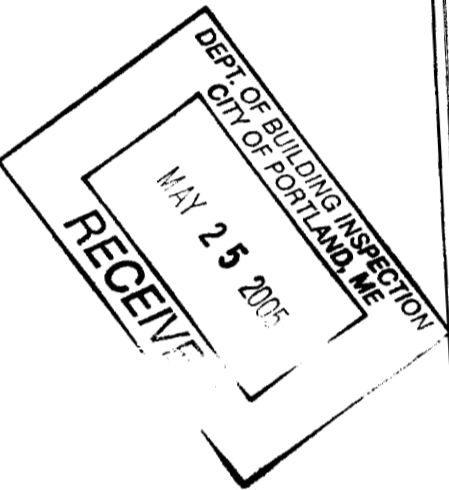
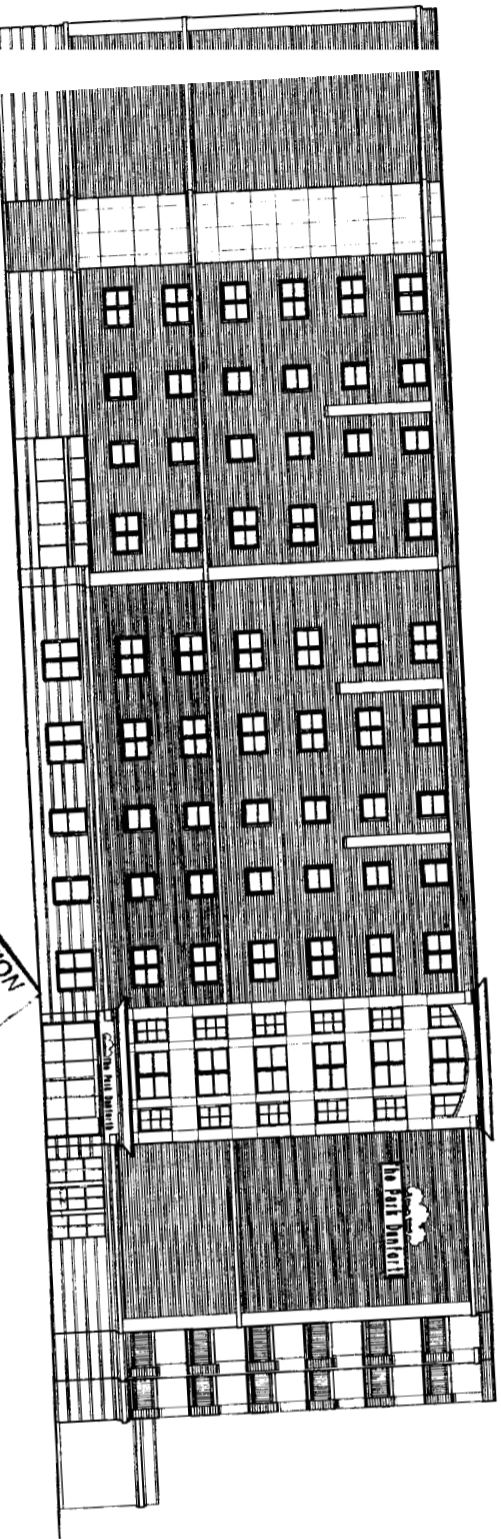


THE PARK DANFORTH

PORTLAND, MAINE

HUD NO. 024-35098



AREA TABULATIONS TABLES ADDED

DRAWING REVIEW

DWG NO.	PROJECT	ISSUED FOR PERMIT	DRAWING DATE
A.0	TITLE PAGE & DRAWING INDEX	<input checked="" type="checkbox"/>	October 01, 2005
C-1	SITE LAYOUT, UTILITIES	<input checked="" type="checkbox"/>	February 2, 2005
C-2	STRUCTURAL DRAWINGS	<input checked="" type="checkbox"/>	February 2, 2005
S1	GENERAL NOTES & TYP DETAILS	<input checked="" type="checkbox"/>	February 2, 2005
S2	EAST / WEST ELEVATIONS	<input checked="" type="checkbox"/>	February 2, 2005
S3	NORTH / SOUTH ELEVATIONS	<input checked="" type="checkbox"/>	February 2, 2005
S4	ELEVATIONS & SECTIONS	<input checked="" type="checkbox"/>	February 2, 2005
S5	SECTIONS & DETAILS	<input checked="" type="checkbox"/>	February 2, 2005
S6	SECTIONS & DETAILS	<input checked="" type="checkbox"/>	February 2, 2005
S7	ELEVATIONS & SECTIONS	<input checked="" type="checkbox"/>	February 2, 2005
A1.1	ARCHITECTURAL DRAWINGS	<input checked="" type="checkbox"/>	February 2, 2005
A1.2	FIRST FLOOR PLAN	<input checked="" type="checkbox"/>	February 2, 2005
A1.3	SECOND FLOOR PLAN	<input checked="" type="checkbox"/>	February 2, 2005
A1.4	THIRD FLOOR PLAN	<input checked="" type="checkbox"/>	February 2, 2005
A1.5	4TH FLOOR PLAN	<input checked="" type="checkbox"/>	February 2, 2005
A1.6	5TH AND 6TH FLOOR PLANS	<input checked="" type="checkbox"/>	February 2, 2005
A1.7	7TH FLOOR PLAN	<input checked="" type="checkbox"/>	February 2, 2005
A1.8	ROOF PLAN	<input checked="" type="checkbox"/>	February 2, 2005
A3.1	WEST ELEVATION	<input checked="" type="checkbox"/>	February 2, 2005
A3.2	SOUTH ELEVATION	<input checked="" type="checkbox"/>	February 2, 2005
A3.3	EAST ELEVATION	<input checked="" type="checkbox"/>	February 2, 2005
A3.4	NORTH ELEVATION	<input checked="" type="checkbox"/>	February 2, 2005
A4.1	ENTRANCE DETAILS	<input checked="" type="checkbox"/>	February 2, 2005
A4.2	BALCONY DETAILS	<input checked="" type="checkbox"/>	February 2, 2005
A5.1	SECTIONS	<input checked="" type="checkbox"/>	February 2, 2005
A7.1	ENLARGED DETAILS	<input checked="" type="checkbox"/>	February 2, 2005
A7.2	ENLARGED DETAILS	<input checked="" type="checkbox"/>	February 2, 2005
A7.3	ENLARGED DETAILS	<input checked="" type="checkbox"/>	February 2, 2005
A7.4	EX STING & PROPOSED ENRM WALL SECTIONS	<input checked="" type="checkbox"/>	February 2, 2005
A7.5	CANOPY DETAILS	<input checked="" type="checkbox"/>	February 2, 2005
A7.6	SHOWER DETAILS	<input checked="" type="checkbox"/>	February 2, 2005

Curtis Walker Stewart
Architects

434 Cumberland Avenue
Portland, ME 04107
Phone: (207) 774-4444
Fax: (207) 774-4006
Architects
Space Planning
Value Design
www.danarch.com

Owner:
THE PARK DANFORTH
Portland, ME

Construction Management:
ALLIED COC CONSTRUCTION
46 US 80
Scarborough, ME 04147
(207) 772-2

EXTERIOR RENOVATION TO THE PARK DANFORTH
Portland, ME

Project No: 99.042
Drawing Title:
TITLE PAGE

Scale:
Date: October 0
Revision Dates:
February
March 1

RECEIVED
MAR 2 20
ALLIED CONSTRUCTION

Drawing Number:
A(

THE PARK DANFORTH

OWNER:
THE PARK DANFORTH
777 STEVENS AVENUE
PORTLAND ME 04103

CWS ARCHITECTS

434 CUMBERLAND AVENUE
PORTLAND ME 04103-2325
(207) 774-4444

BECKER STRUCTURAL ENGINEERS

75 YORK STREET
PORTLAND ME 04101-2325
(207) 879-8938

ALLIED COOK CONSTRUCTION CO.

18 US ROUTE 1
SCARBOROUGH ME 04074
(207) 773-2888

SUBURBAN MORTGAGE ASSOC., INC.

1 UNION STREET - SUITE 400
PORTLAND ME 04101
(207) 778-3668

SKILLINGS-SHAW ASSOC. INC

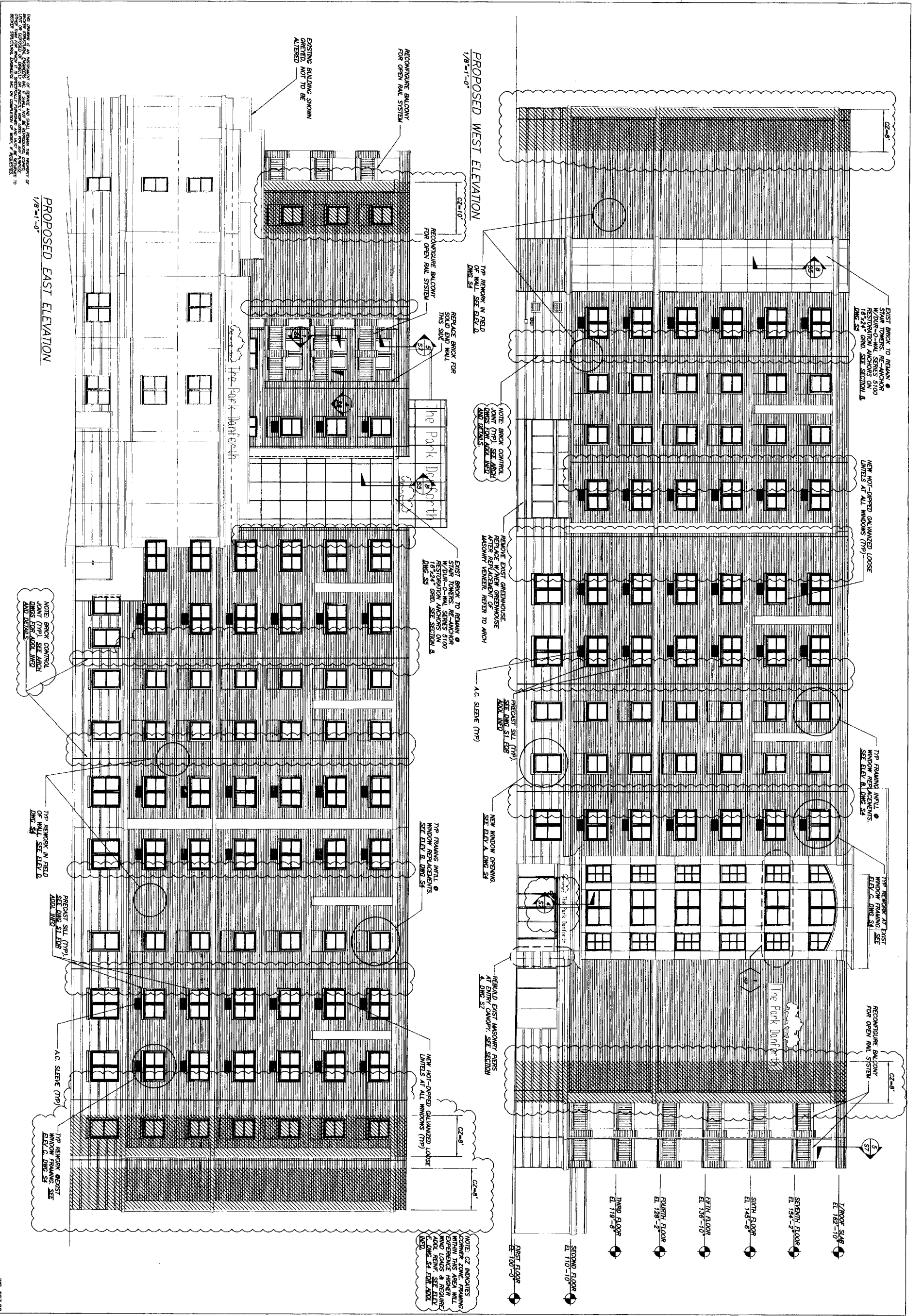
495 MAIN STREET - P.O. BOX 481
LEWISTON, ME 04243-0481
(207) 753-1300

AREA TABULATIONS

AREA TYPE	QUANTITY	AREA
LIBRARY	1	542 S.F.
GREENHOUSE	1	133 S.F.
ACTIVITY ROOMS	1	3827 S.F.
DINING AREA	1	411 S.F.
COMM/SIAR	1	411 S.F.
TOTAL		5422 S.F.
TOTAL		4346 S.F.
SITE SIZE		1110, 127 S.F.
BUILDING GROSS AREA (TOTAL OF 7 FLOORS)		141, 236 S.F.
TOTAL PARKING SPACES	71	
DESIGNATED HANDICAPPED ACCESSIBLE B.E. PARKING	1	

AREA TABULATIONS

AREA TYPE	QUANTITY	AREA
ONE BEDROOM	#18	623 S.F.
ONE BEDROOM	#17	623 S.F.
ONE BEDROOM	#2	529 S.F.
ONE BEDROOM	#4	550 S.F.
ONE BEDROOM W/ DEN	#2	760 S.F.
ONE BEDROOM W/ DEN	#5	720 S.F.
ONE BEDROOM W/ DEN	#1	920 S.F.
ONE BEDROOM	#4	920 S.F.
2 BR. 2 BATH	#27	274 S.F.
STUDIO "1"	#1	482 S.F.
STUDIO "2"	#1	434 S.F.
STUDIO "3"	#2	388 S.F.
STUDIO "4"	#1	408 S.F.
DE-LUXE STUDIO "1"	#1	482 S.F.
DE-LUXE STUDIO "2"	#1	482 S.F.
SUBTOTAL MARKET RATE UNITS	90	47, 917 S.F.
***	***	***
HUD STUDIO APARTMENT	17	430 S.F.
HUD ONE BEDROOM APARTMENT	53	525 S.F.
TOTAL HUD UNITS	70	35, 475 S.F.
TOTAL ALL UNITS	100	83, 392 S.F.



Owner:
The Park Darforth
777 Slocums Avenue
Portland ME 04105

Contractor:
Allied / Cook
Construction Inc.
#8 U.S. Route 1
Scarborough ME 04074
207-772-2888

Project No.: 99420

Drawn Title:
EAST / WEST ELEVATIONS

Scale: As Noted

Date: 10/01/04

Revision Dates:
Rev 1 12/30/04

Project Name:
Restoration
Renovations
to The
Park Darforth
777 Slocums Avenue
Portland ME 04105

454 Cumberland Avenue
Portland, ME 04101
Phone: (207) 774-4444
Fax: (207) 774-4016
PO Box 65555
Laurens, ME 05247
Phone: (603) 524-3000
Fax: (603) 521-0700
www.CWBecker.com

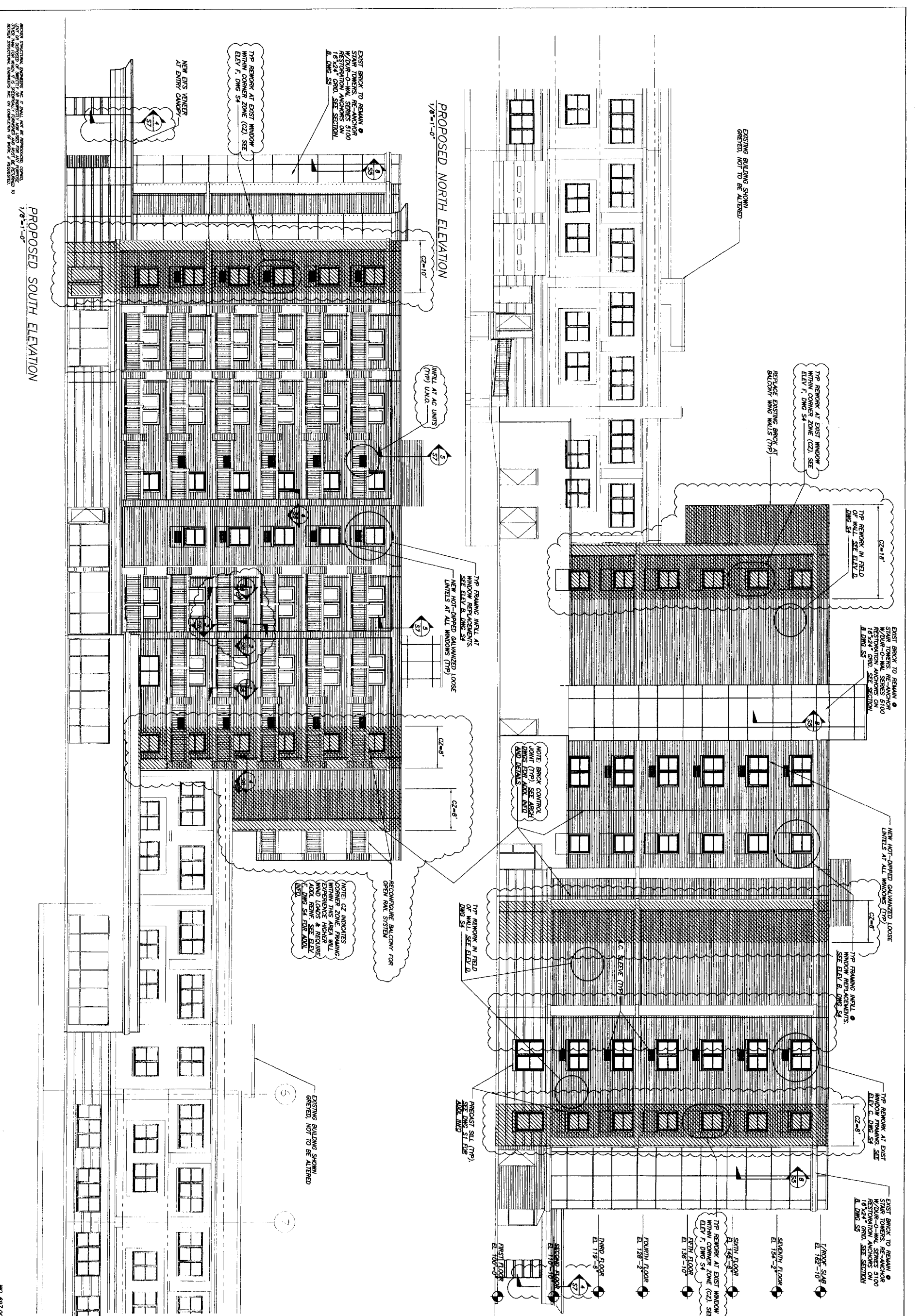
BECKER
ARCHITECTS
1118
SOUTH BROAD STREET
PORTLAND, ME 04102
Tel: 207-774-4444
Fax: 207-774-4016

Curtis Vander Smart
Architects

CWS

Project Number:
S2

NO. 897.00



PROPOSED SOUTH ELEVATION
1/8"=1'-0"

PROPOSED NORTH ELEVATION
1/8"=1'-0"

EXIST BRICK TO REMAIN
STAIR TOWERS. RE-ANCHOR
RESTORATION ANCHORS ON
18"x24" GRID. SEE SECTION
B, DWG S3

THE REMOVAL AT EXIST WINDOW
WITHIN CORNER ZONE (CZ) SEE
ELEV. F, DWG S4

EXIST BRICK TO REMAIN
STAIR TOWERS. RE-ANCHOR
RESTORATION ANCHORS ON
18"x24" GRID. SEE SECTION
B, DWG S3

NEW EDS VENEER
AT ENTRY CANOPY

INTEL AT AC UNITS
(TYP) UNO.

TYP FRAMING INTEL AT
AC UNITS. SEE ELEV. D, DWG S4
NEW HOT-DIPPED GALVANIZED LOOSE
LINTELS AT ALL WINDOWS (TYP)

NOTE: CZ INDICATES
CORNER ZONE. FRAMING
WITHIN THIS AREA WILL
BE REWORKED. REPAIR
WIND LOADS & REQUIRE
ADOL BEING. SEE ELEV.
F, DWG S4 FOR ADOL
DETAIL.

RECONFIGURE BALCONY FOR
OPEN RAIL SYSTEM

NOTE: BRICK CONTROL
JOINT (TYP) SEE AREA
DIMS. ELEV. ADD. LINED
AND DETAILS.

TYP REWORK IN FIELD
OF WALL. SEE ELEV. D,
DWG S4

TYP REWORK IN FIELD
OF WALL. SEE ELEV. D,
DWG S4

EXIST BRICK TO REMAIN
STAIR TOWERS. RE-ANCHOR
W/DUR-O-WALL SERIES 5100
RESTORATION ANCHORS ON
18"x24" GRID. SEE SECTION
B, DWG S3

NEW HOT-DIPPED GALVANIZED LOOSE
LINTELS AT ALL WINDOWS (TYP)

TYP FRAMING INTEL @
WINDOW REPAIRMENTS.
SEE ELEV. B, DWG S4

TYP REWORK AT EXIST
WINDOW WITHIN CORNER ZONE
SEE ELEV. C, DWG S4

EXIST BRICK TO REMAIN
STAIR TOWERS. RE-ANCHOR
RESTORATION ANCHORS ON
18"x24" GRID. SEE SECTION
B, DWG S3

EXISTING BUILDING SHOWN
GREYED, NOT TO BE ALTERED

REPLACE EXISTING BRICK AT
BLOCKING WING WALLS (TYP)

1/ROOF SLAB
EL. 182'-10"

SPANDYL FLOOR
EL. 154'-2"

SIXTH FLOOR
EL. 135'-8"

TYP REWORK AT EXIST WINDOW
WITHIN CORNER ZONE (CZ) SEE
ELEV. F, DWG S4

FIFTH FLOOR
EL. 136'-10"

FOURTH FLOOR
EL. 128'-2"

THIRD FLOOR
EL. 119'-6"

SECOND FLOOR
EL. 110'-10"

PRECAST SILL (TYP)
SEE DWG S1 ELEV.
ADOL LINED

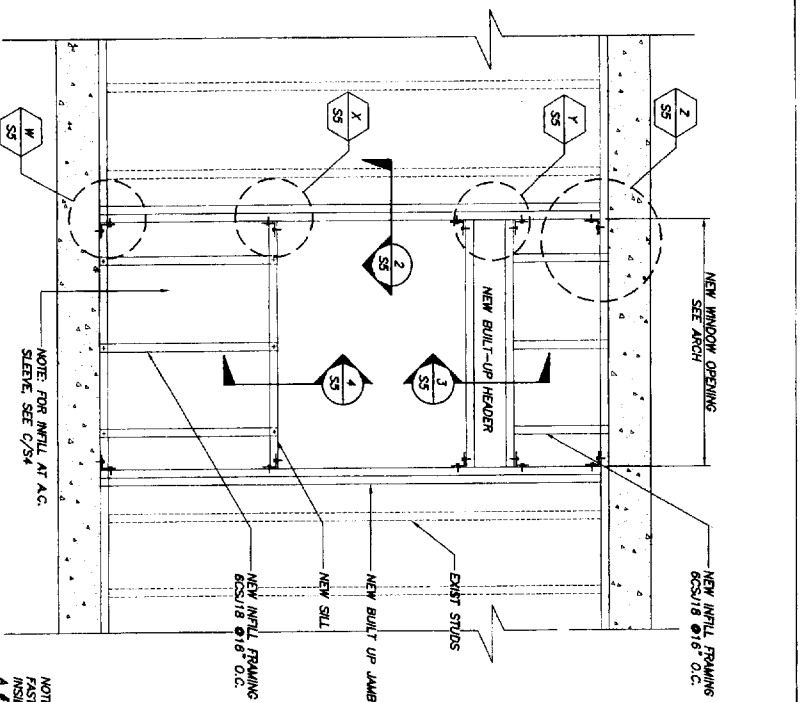
PRESTRESS FLOOR
EL. 100'-0"

NO 697.00

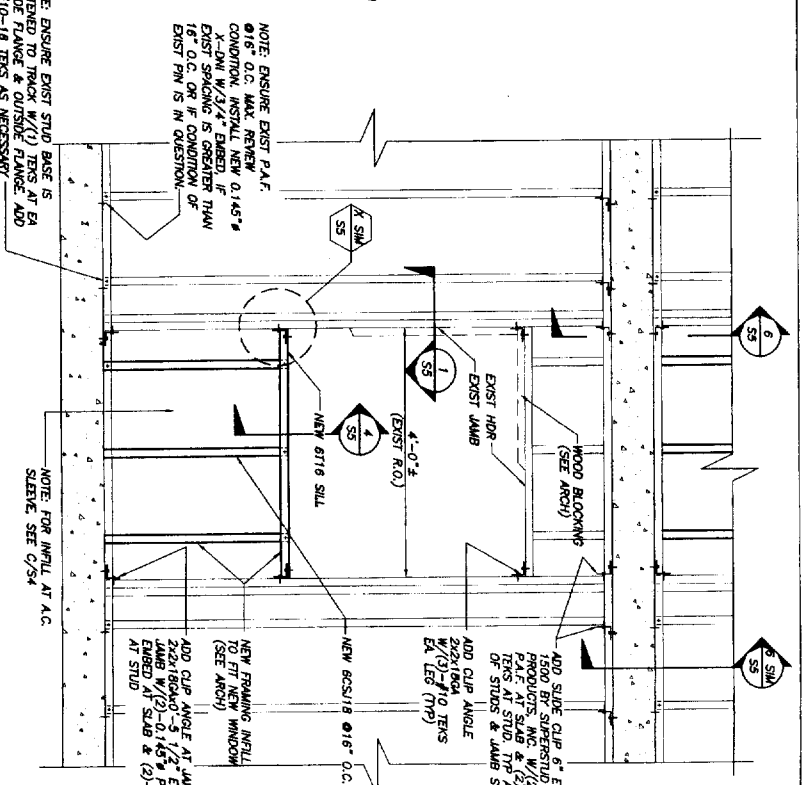
<p>CWIS Curtis Walker Stewart Architects</p>	<p>BECKER ARCHITECTS 1155 STATE STREET, 11TH FLOOR PORTLAND, ME 04103 TEL: (207) 774-4441 WWW.BECKERARCHITECTS.COM</p>	<p>454 Cumberland Avenue Portland, ME 04101 Phone: (207) 774-4441 Fax: (207) 774-4046</p>
		<p>Owner: The Park Danforth 777 Seaview Avenue Portland, ME 04105</p>
<p>Contractor: Allied / Cook Construction Inc. #8115, Route 1 Scarborough, ME 04074 207-772-2888</p>	<p>Project No: 99420 Drawing Title: NORTH/SOUTH ELEVATIONS</p>	<p>Scale: As Noted Date: 10/01/04 Revision Dates: Rev 1: 12/30/04</p>

Project Number: **S3**

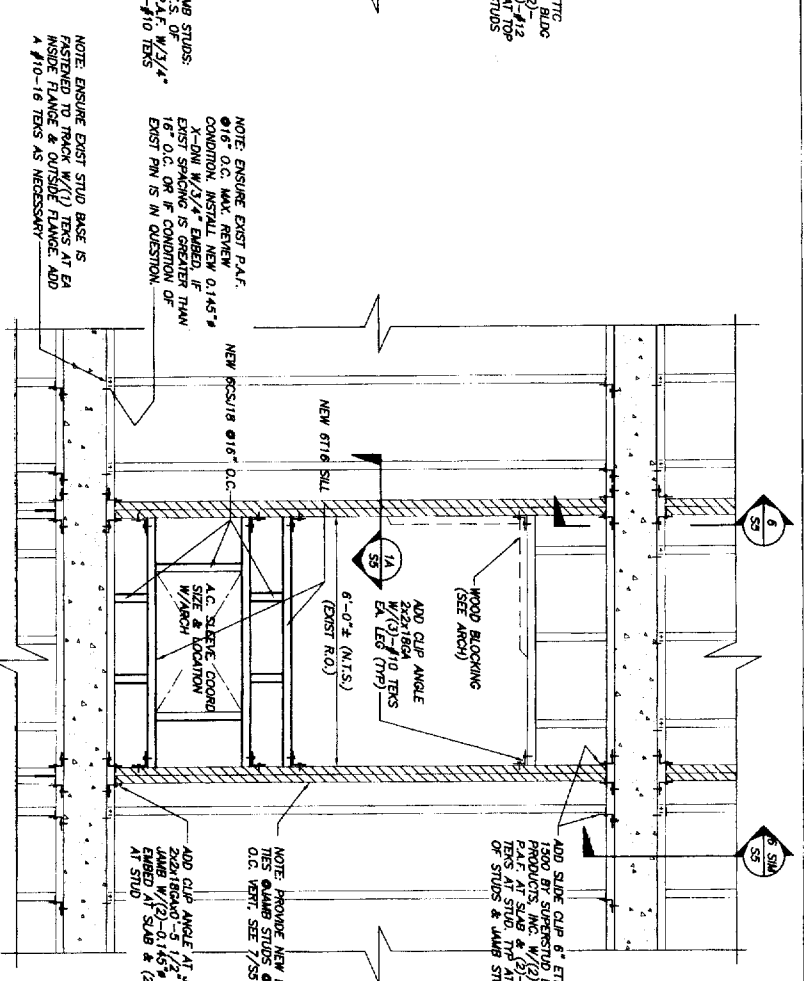
Professional Seal: POL. STATE OF MAINE, BECKER ARCHITECTS, CURTIS WALKER STEWART ARCHITECTS



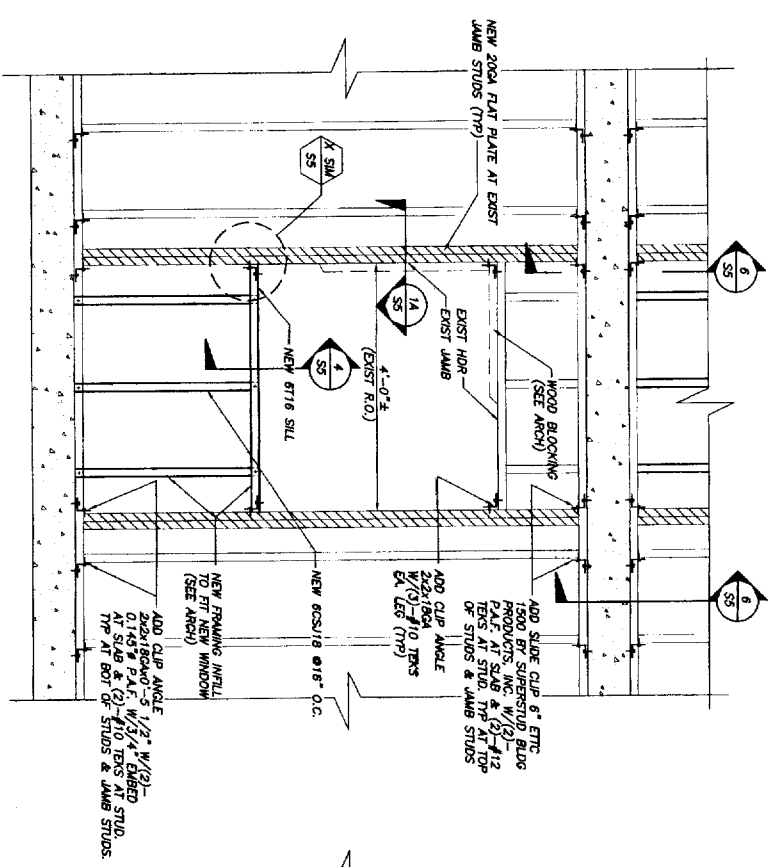
A ELEVATION-NEW SINGLE WINDOW FRAMING
3/4\"/>



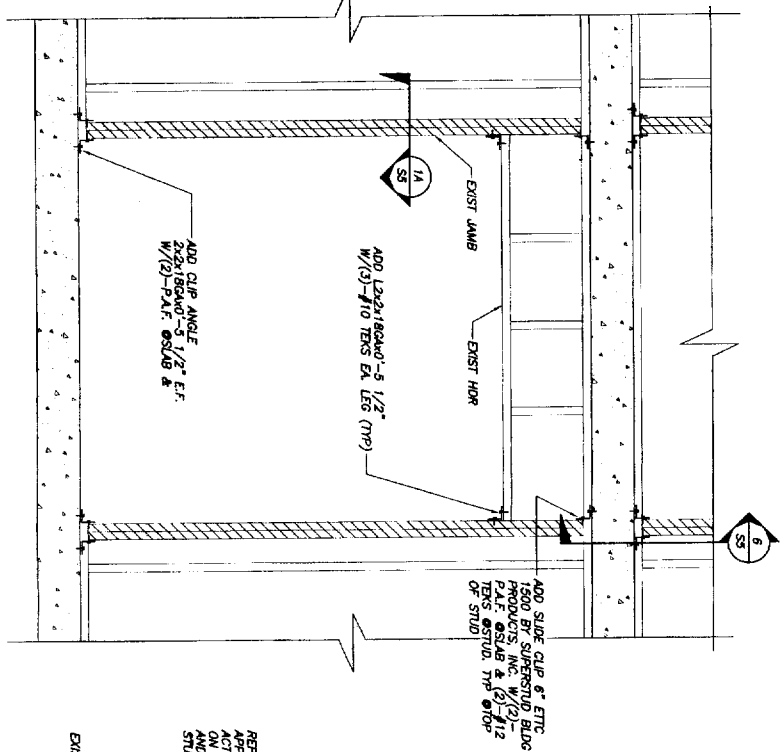
B ELEVATION-REWORK @ EXIST 4' WINDOW OPENING
3/4\"/>



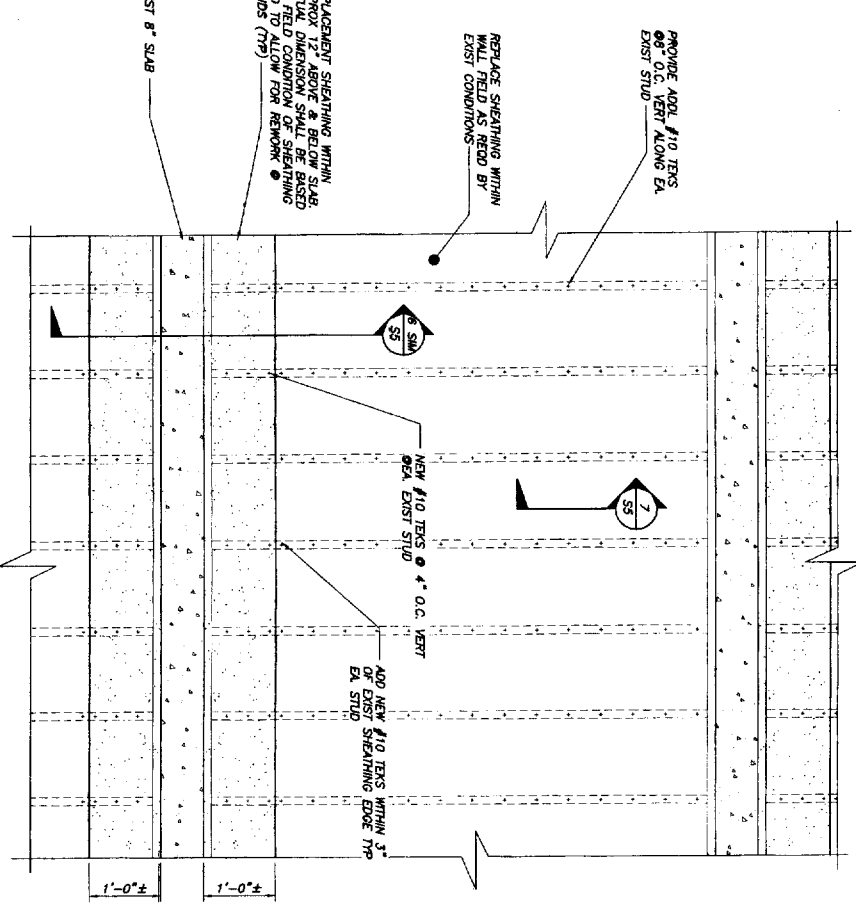
C ELEVATION-REWORK @ EXIST 6' WINDOW OPENING
3/4\"/>



D ELEVATION-REWORK AT EXIST 4' WINDOW OPENING
3/4\"/>



E ELEVATION-REWORK AT EXIST SLIDING DOORS
3/4\"/>



F SHEATHING REPLACEMENT/FASTENING AT EXIST EXTERIOR WALL
3/4\"/>

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Architects

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ARCHITECTURAL ENGINEERS AND DESIGNERS, INC.
1400 COMMERCIAL STREET
PORTLAND, ME 04101
TEL: (207) 774-4441
FAX: (207) 774-4406

494 Cumberland Avenue
Portland, ME 04101
Phone: (207) 774-4441
Fax: (207) 774-4406
PO Box 65555
Lacrosse, NH 03241
Phone: (603) 524-5000
Fax: (603) 521-0700
www.CWSarch.com

Owner:
The Park Danforth
777 Stevens Avenue
Portland ME 04105

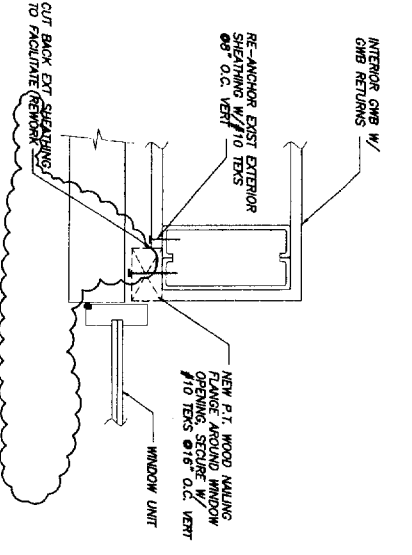
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Construction Inc.
#B.U.S. Rule!
Scarborough ME 04074
207-772-2888

Client:
Exterior Renovations
to The
Park Danforth
777 Stevens Avenue
Portland ME 04105

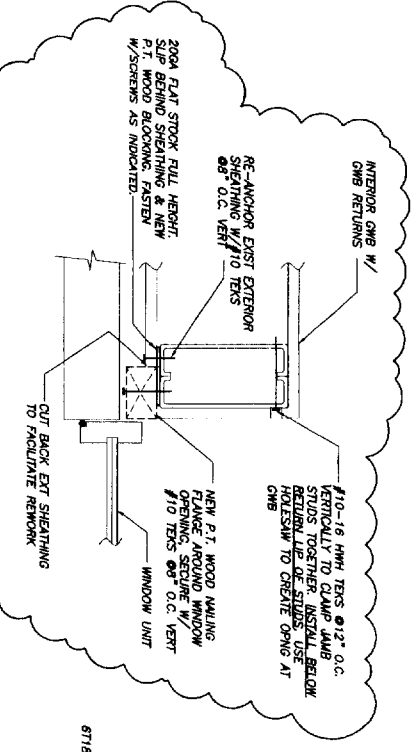
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Drawing Title:
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Scale: As Noted
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Revision Dates:
Rev 1 12/30/04

PAUL B. BECKER
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ME 0000000000
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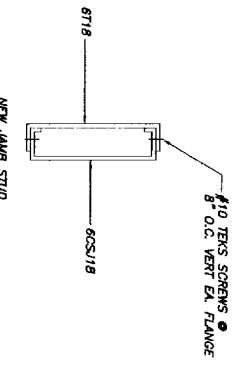
Drawn Number:
S4



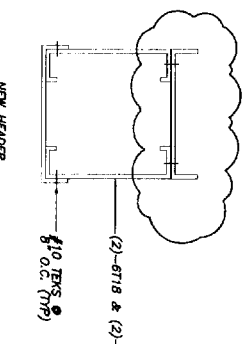
SECTION 1
3'-1'-0" S4



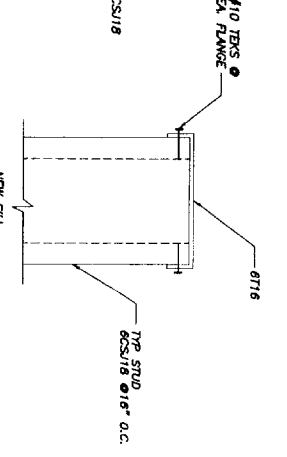
SECTION 1A
3'-1'-0" S4



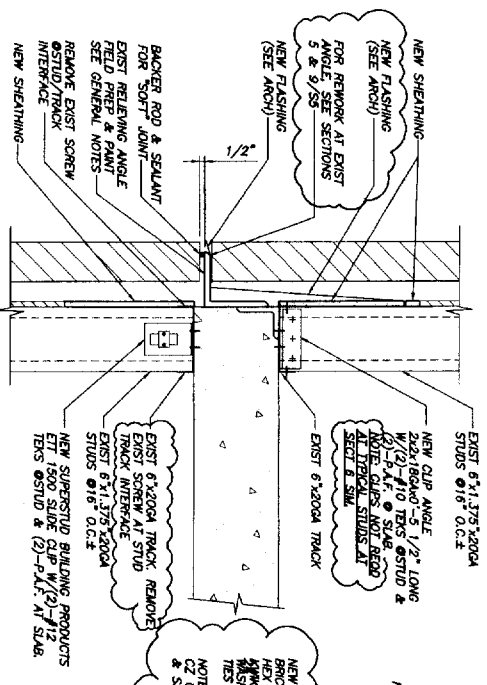
SECTION 2
3'-1'-0" S4



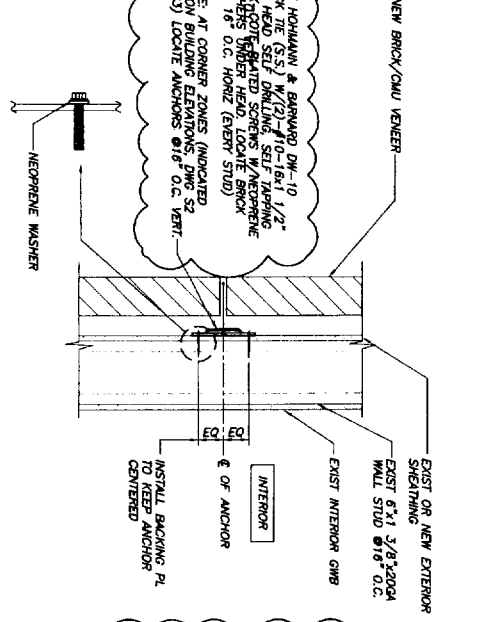
SECTION 3
3'-1'-0" S4



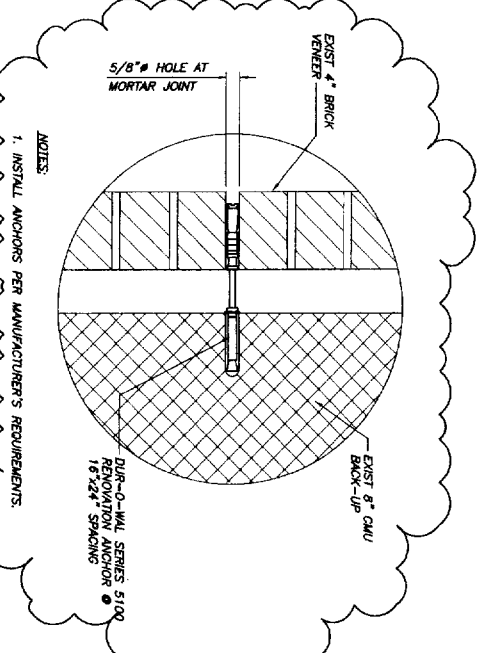
SECTION 4
3'-1'-0" S4



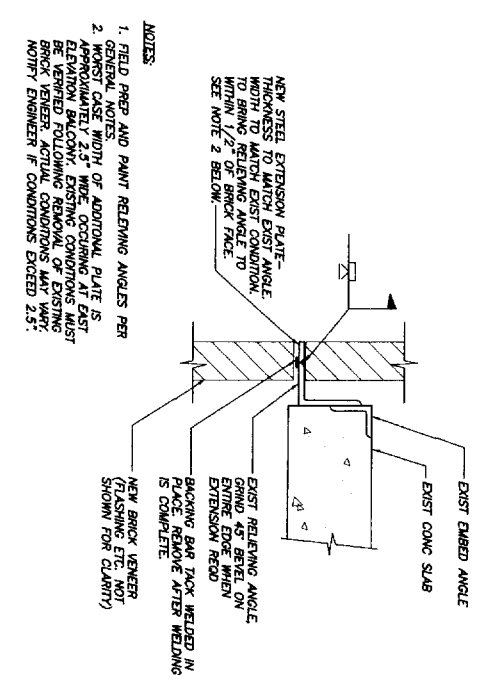
SECTION 5 @ STUD ANCHORAGE
1 1/2'-1'-0" S4 S4 S4



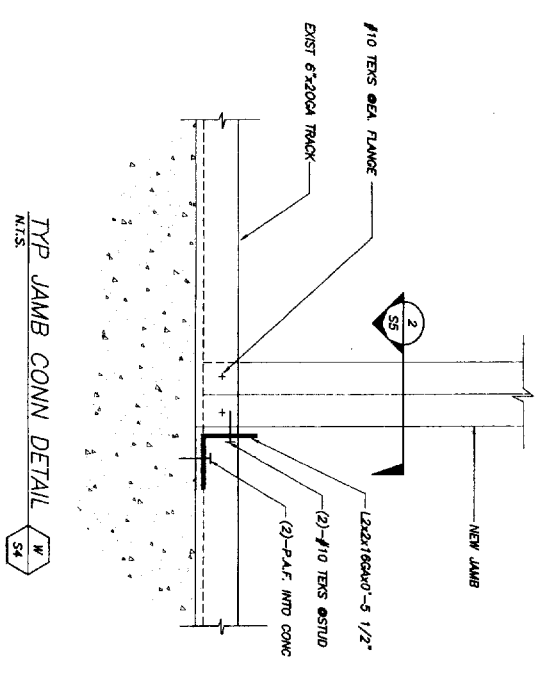
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1 1/2'-1'-0" S4



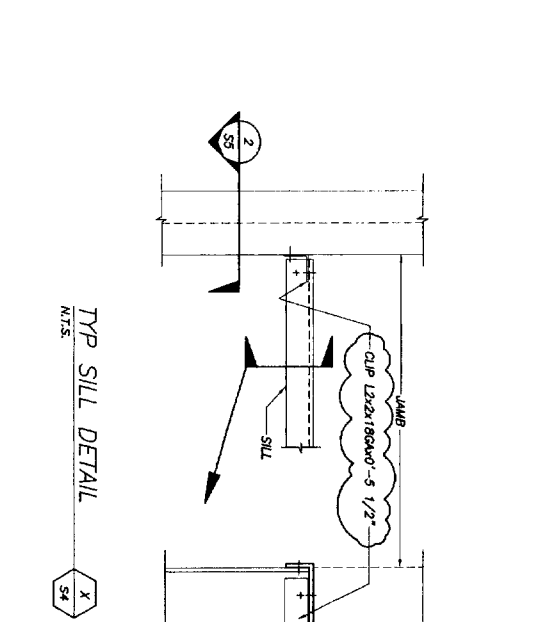
SECTION 8 @ STAIR TOWERS
3'-1'-0" S4



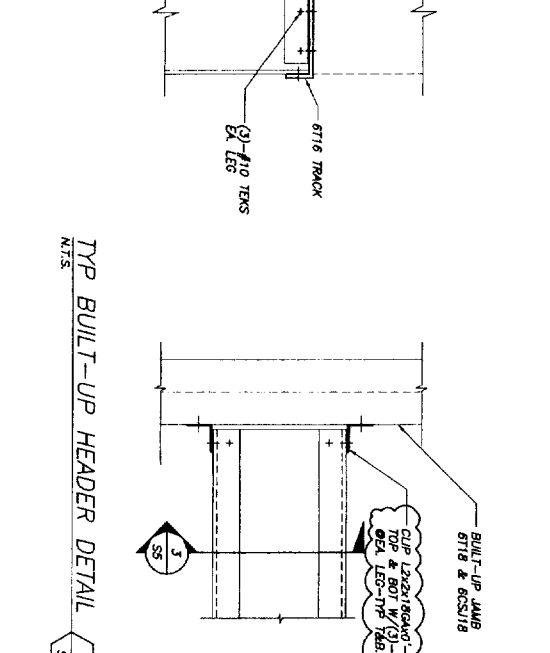
SECTION 9 @ EXIST RELIEVING ANGLE EXTENSION
1 1/2'-1'-0" S4



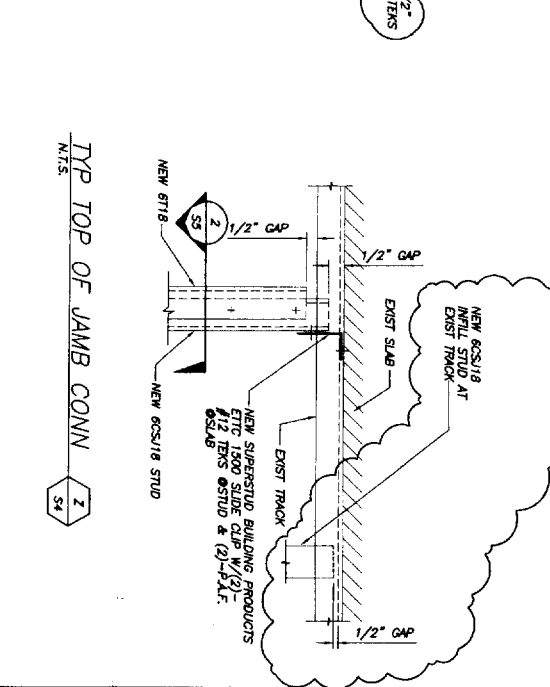
TYP JAMB CONN DETAIL
N.T.S. S4



TYP SILL DETAIL
N.T.S. S4



TYP BUILT-UP HEADER DETAIL
N.T.S. S4



TYP TOP OF JAMB CONN
N.T.S. S4

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Chris Walker Stewart
Architects

BECKER
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Portland, ME 04101
Phone: (207) 774-4411
Fax: (207) 774-4016

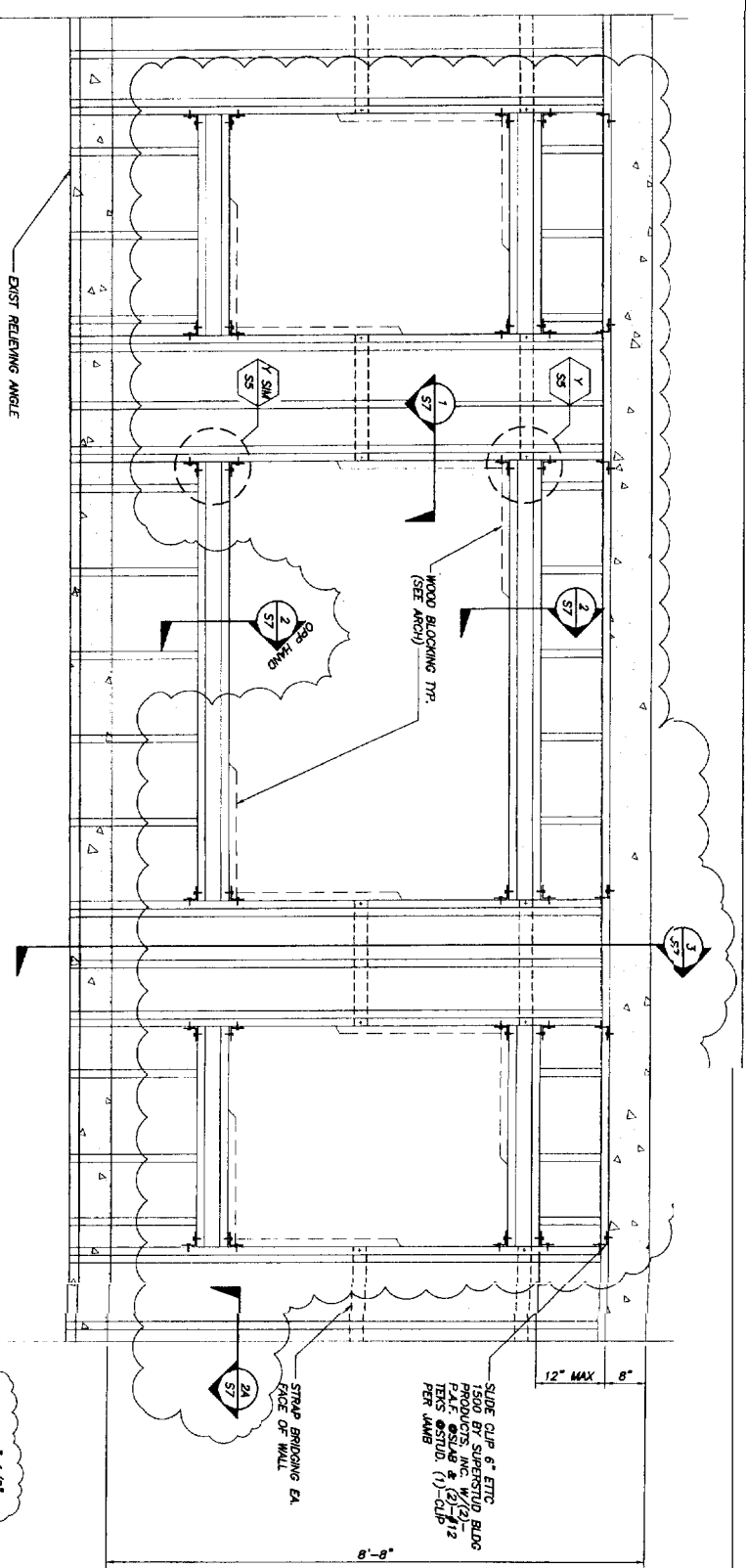
434 Cambridge Avenue
Portland, ME 04101
Phone: (207) 774-4411
Fax: (207) 774-4016
P.O. Box 65555
Lebanon, NH 03247
Phone: (603) 524-3000
Fax: (603) 527-0700
www.chfsarch.com

Owner:
The Park Portfolio
777 Stevens Avenue
Portland, ME 04105

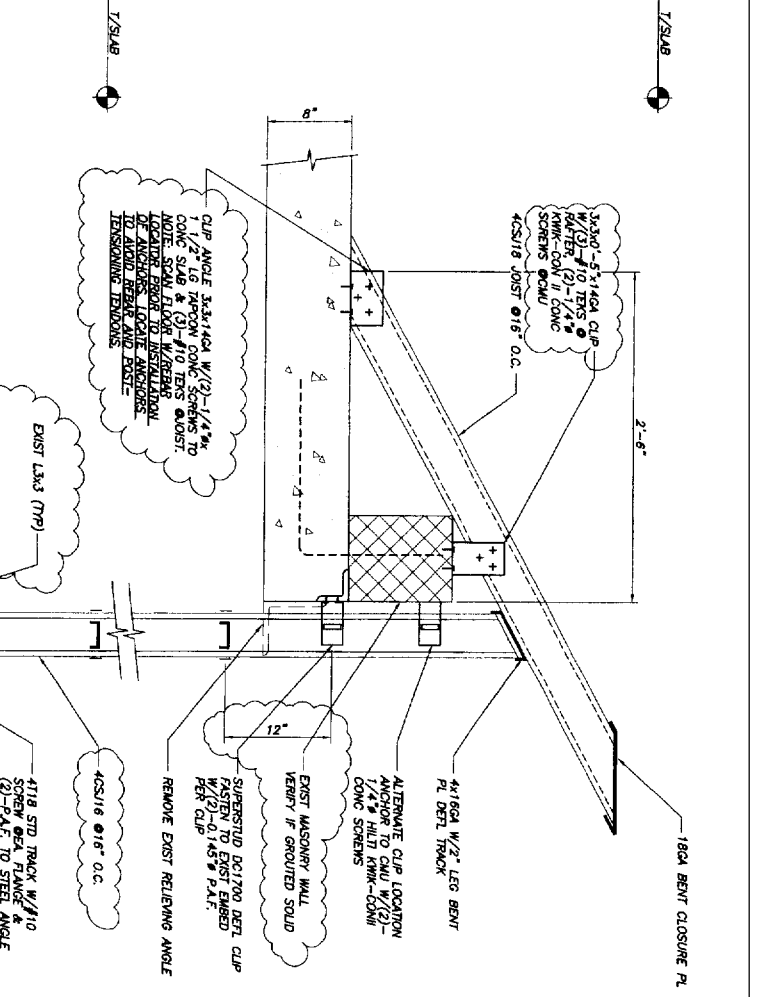
Contractor:
Allied / Cook
Construction Inc.
#8 U.S. Route 1
Scarborough, ME 04074
207-772-2888

Exterior Renovations
to The
Park Portfolio
777 Stevens Avenue
Portland, ME 04105

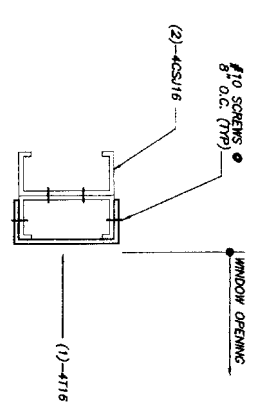
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Drawing Title: SECTIONS & DETAILS
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Date: 10/01/04
Revision Dates: 12/30/04
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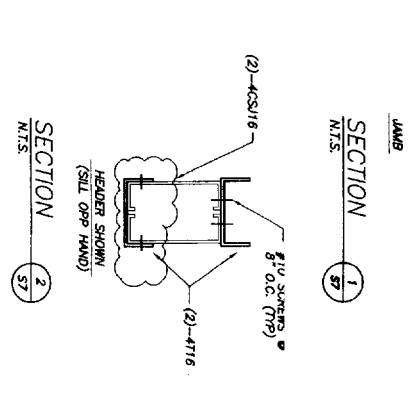
WEST ELEVATION BALCONY INFILL (ABOVE MAIN ENTRY)
3/4"=1'-0"



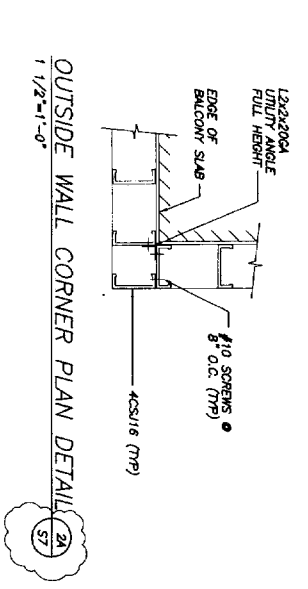
SECTION 3
1/2"=1'-0"



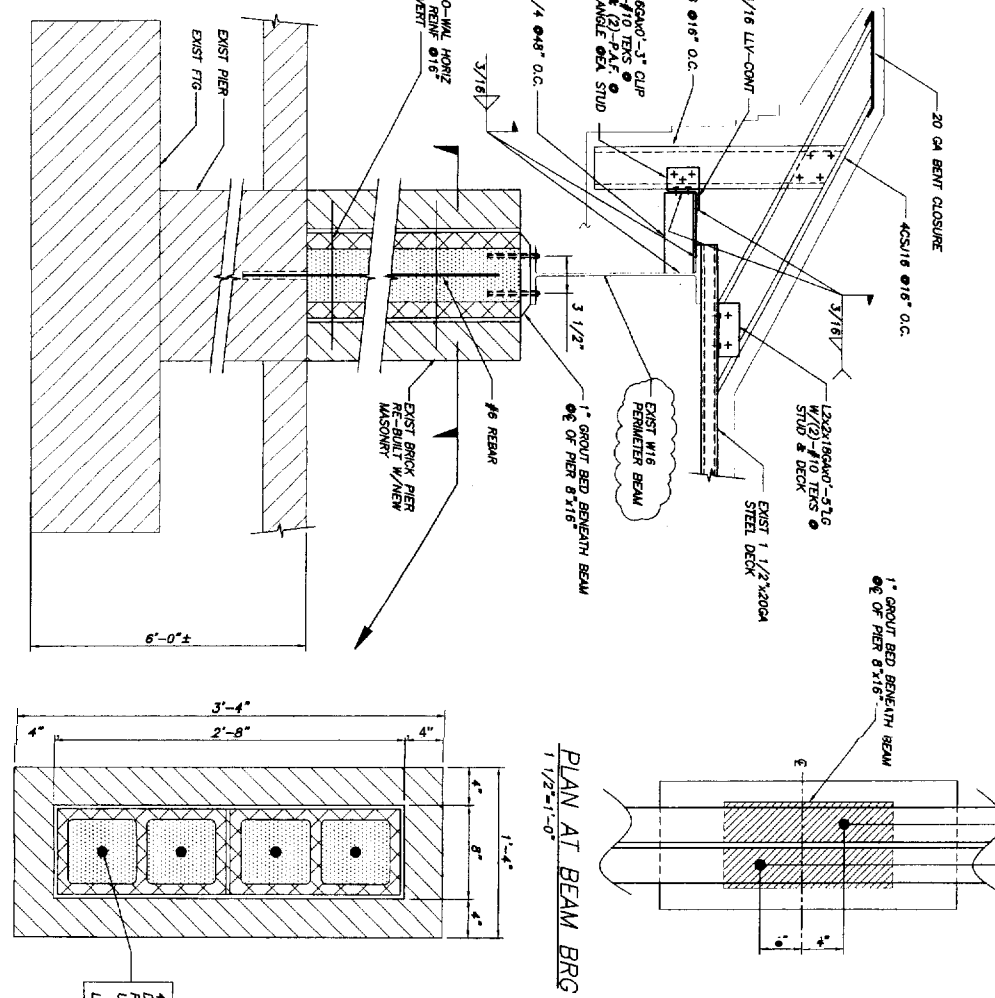
SECTION 1
1/2"=1'-0"



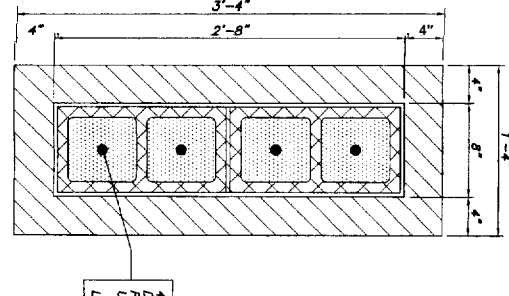
SECTION 2
1/2"=1'-0"



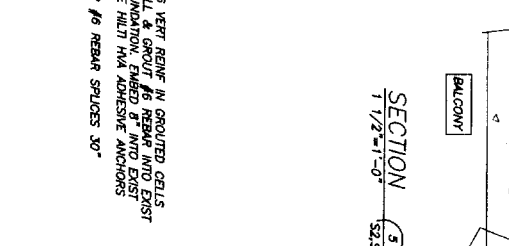
OUTSIDE WALL CORNER PLAN DETAIL
1/2"=1'-0"



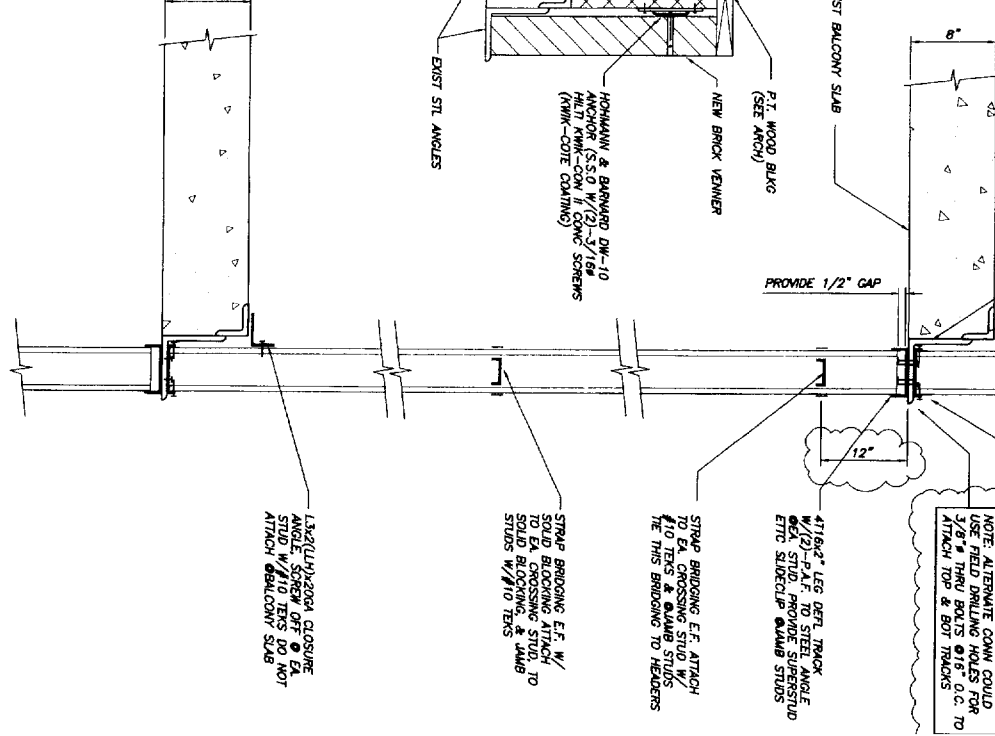
SECTION AT PIER
1/2"=1'-0"



PLAN AT BEAM BRG
1/2"=1'-0"



PLAN AT PIER
1/2"=1'-0"



SECTION 5
1/2"=1'-0"

4x6 VERT REIN IN GROUTED CELLS FOUNDATION. EMBED AT INTO EXIST. USE HILTI HVA ADHESIVE ANCHORS. LAP #6 REBAR SPICES 30"

SECTION 3
1/2"=1'-0"

CWS
Chris Water Street
Architects

BECKER
REGISTERED PROFESSIONAL ENGINEER
No. 25830
Exp. 12/31/11

434 Garberland Avenue
Portland ME 04101
Phone (207) 774-4444
Fax (207) 774-4016
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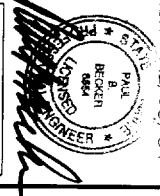
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Construction Inc
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777 Stevens Avenue
Portland ME 04105

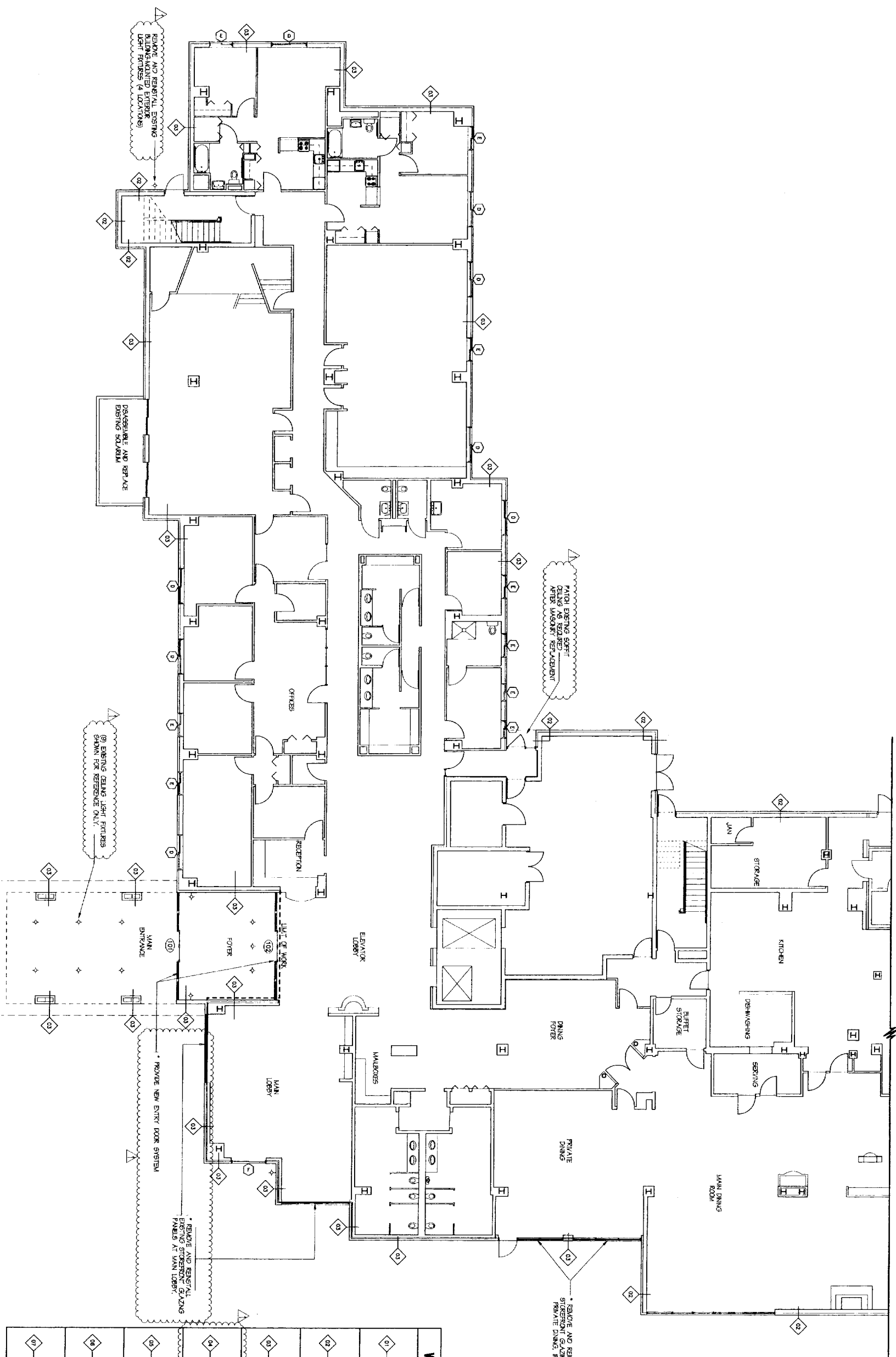
Project No. 99420
Drawing Title:
ELEVATIONS & SECTIONS

Scale: As Noted
Date: 10/01/04
Revision Dates:
Rev. 1 12/30/04



Drawing Number:
S7

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WALL TAGS LEGEND	
01	EXISTING BRICK VENEER SYSTEM: REMOVE BRICK, FLASHING AND TIES. INSTALL NEW FLASHING, TIES AND BRICK.
02	EXISTING LOAD BEARING BRICK ON CMU WALL SYSTEM (VERIFY): INSTALL NEW MASONRY TIES AS SPECIFIED.
03	EXISTING BRICK VENEER SYSTEM: REMOVE BRICK, FLASHING AND TIES. INSTALL NEW FLASHING, TIES AND BRICK WITH HORIZONTAL BRADING AS PER SECTIONS.
04	EXISTING LOAD BEARING BRICK ON CMU WALL SYSTEM: INSTALL NEW MASONRY TIES AS SPECIFIED AND PROVIDE NEW 2" DRAINAGE TYPE CLADDING.
05	EXISTING BRICK BEARING WALL SYSTEM: REMOVE SYSTEM AND REINSTALL WITH RELIEF JOINTS AND PLUSTERS AS DETAILED.
06	EXISTING BRICK AND STEEL PIPE RAIL SYSTEM: REMOVE ALL AND INSTALL NEW STEEL PIPE AND EIFS TRIM SYSTEM.
07	NEW EIFS CLAD LIGHT GUAGE STEEL STUDS WITH 5/8" DENS-GLASS GOLD SHEATHING, R-19 FIBERGLASS INSULATION, BATT, AND 5/8" TYPE "X" GMB INTERIOR SHEATHING.

CWS
Curtis Walker Stewart Architects
 434 Cumberland Avenue
 Portland, ME 04101
 Phone: (207) 744-4441
 Fax: (207) 744-4016
 PO Box 8888
 Lebanon, NH 03247
 Phone: (603) 924-3000

THE PARK DANFORTH
 777 STEVENS AVE.
 PORTLAND, ME 04103
 (207) 701-7711

ALLED/COOK CONSTRUCTION
 P.O. BOX 1396
 PORTLAND, MAINE 04104
 (207) 779-9200

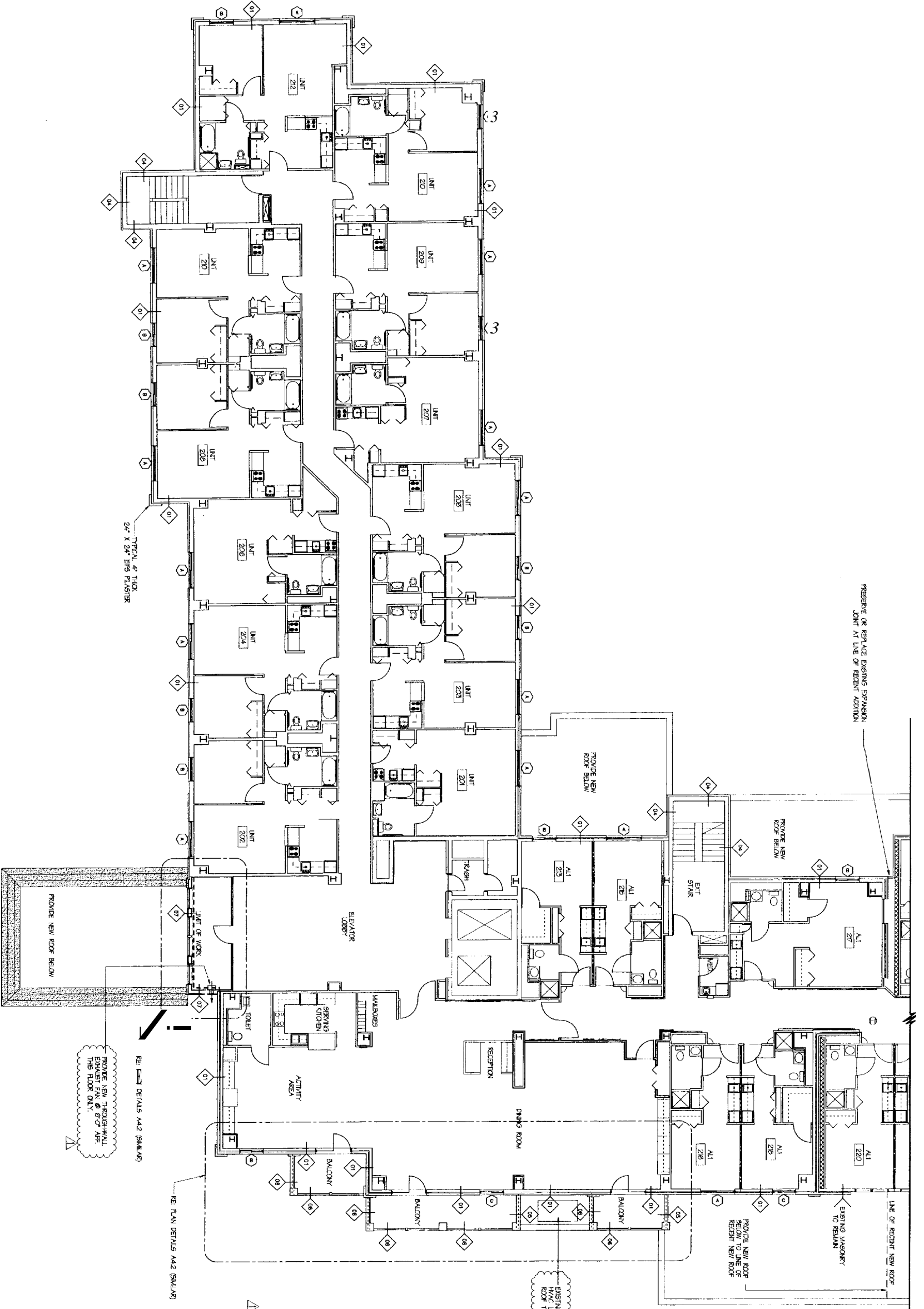
EXTERIOR RENOVATIONS TO THE PARK DANFORTH
 777 STEVENS AVE.
 PORTLAND, MAINE

March 15, 2005

Drawing Title:
FIRST FLOOR PLAN
 Scale: 1/8" = 1' - 0"
 Date: October 01, 2004
 Project No: 99420 PR

Drawing Number:
A1.1

PRESERVE OR REPLACE EXISTING EXPANSION
JOINT AT LINE OF RECENT ADDITION



WALL TAGS LEGEND	
01	EXISTING BRICK VENEER SYSTEM: REMOVE BRICK, FLASHING AND TIES. INSTALL NEW FLASHING, TIES AND BRICK.
02	EXISTING LOAD BEARING BRICK ON CMU WALL SYSTEM (VERIFY): INSTALL NEW MASONRY TIES AS SPECIFIED.
03	EXISTING BRICK VENEER SYSTEM: REMOVE BRICK, FLASHING AND TIES AND BRICK WITH HORIZONTAL BANDING AS PER SECTIONS.
04	EXISTING LOAD BEARING BRICK ON CMU WALL SYSTEM: INSTALL NEW MASONRY TIES AS SPECIFIED AND PROVIDE NEW 2" EPS DRAINAGE TYPE CLADDING.
05	EXISTING BRICK BEARING WALL SYSTEM: REMOVE SYSTEM AND INSTALL NEW SYSTEM WITH RELIEF JOINTS AND PLASTERS AS DETAILED.
06	EXISTING BRICK AND STEEL PIPE RAIL SYSTEM: REMOVE ALL AND INSTALL NEW STEEL PIPE AND EPS TRIM SYSTEM.
07	NEW EPS CLAD LIGHT GUAGE STEEL STUDS WITH 5/8" DENS-GLASS GOLD SHEATHING, R-19 FIBERGLASS INSULATION, BATTS, AND 5/8" TYPE "X" GWB INTERIOR SHEATHING.

TYPICAL 4" THICK
24" X 24" EPS FLASHER

REMOVE NEW PERGOLAH
ELEVATOR FA. @ 8'0" AFF.
THIS FLOOR ONLY.

EXISTING ROOF FOR
HAVE UNIT ON EXISTING
ROOF TO REMAIN

REMOVE NEW ROOF - LINE OF
RECENT NEW ROOF

EXISTING MASONRY
TO REMAIN

REMOVE NEW ROOF BELOW

REMOVE DETAILS AA2 (SMALL)

REMOVE DETAILS AA2 (SMALL)



434 Cumberland Avenue
Portland, ME 04101
Phone: (207) 774-4441
Fax: (207) 774-4016

PO Box 6955
Laconia, NH 03247
Phone: (603) 924-3000
Fax: (603) 927-0700

THE PARK DANFORTH
777 STEVENS AVE
PORTLAND, ME 04103
(207) 791-7710

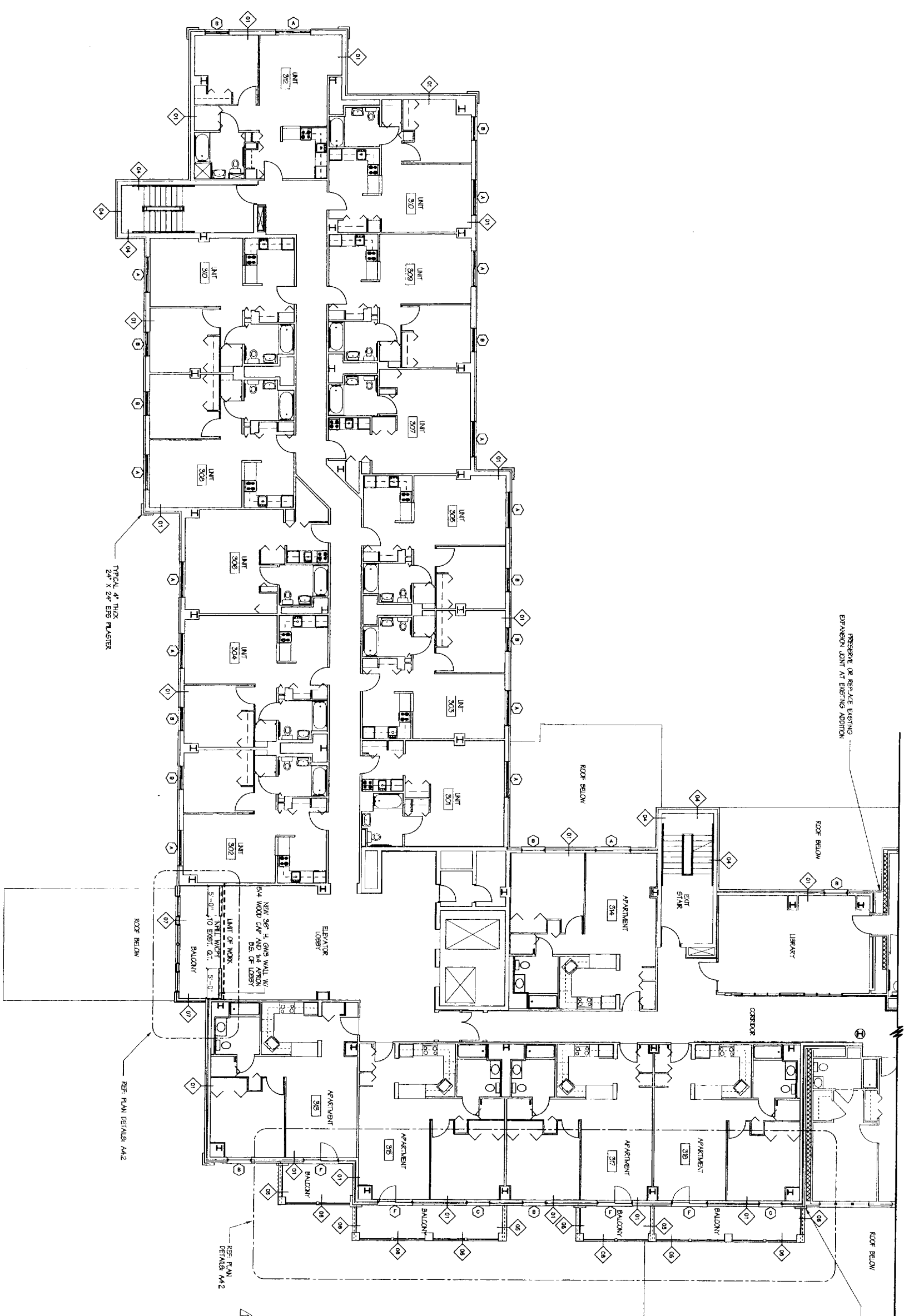
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P.O. BOX 1396
PORTLAND, MAINE 04104
(207) 772-2828

EXTERIOR RENOVATIONS TO THE PARK DANFORTH
777 STEVENS AVE.
PORTLAND, MAINE

March 15, 2005

Drawing Title:
SECOND FLOOR PLAN
Scale: 1/8" = 1' - 0"
Date: October 01, 2004
Project No: 99-420 PR

Drawing Number:
A1.2



PRESERVE OR REPLACE EXISTING EXPANSION JOINT AT EXISTING ADDITION

PRESERVE OR REPLACE EXISTING EXPANSION JOINT AT EXISTING ADDITION

WALL TAGS LEGEND	
01	EXISTING BRICK VENEER SYSTEM: REMOVE BRICK, FLASHING AND TIES. INSTALL NEW FLASHING, TIES AND BRICK.
02	EXISTING LOAD BEARING BRICK ON CMU WALL SYSTEM (VERIFY): INSTALL NEW MASONRY TIES AS SPECIFIED.
03	EXISTING BRICK VENEER SYSTEM: REMOVE BRICK, FLASHING AND TIES. INSTALL NEW FLASHING AND BRICK WITH HORIZONTAL BANDING AS PER SECTIONS.
04	EXISTING LOAD BEARING BRICK ON CMU WALL SYSTEM: INSTALL NEW MASONRY TIES AS SPECIFIED AND PROVIDE NEW 2" EPS DRAINAGE TYPE CLADDING.
05	EXISTING BRICK BEARING WALL SYSTEM: REMOVE SYSTEM AND INSTALL NEW SYSTEM WITH RELIEF JOINTS AND PLASTERS AS DETAILED.
06	EXISTING BRICK AND STEEL PIPE RAIN SYSTEM: REMOVE ALL AND INSTALL NEW STEEL PIPE AND EPS TRIM SYSTEM.
07	NEW EPS CLAD LIGHT GAUGE STEEL STUDS WITH 5/8" DENS-GLOSS GOLD SHEATHING, R-19 FIBERGLASS INSULATION, BATTIS, AND 5/8" TYPE "X" GWB INTERIOR SHEATHING.



CWS
Curtis Walker Stewart
Architects

434 Cumberland Avenue
Portland, ME 04101
Phone: (207) 774-4441
Fax: (207) 774-4076

77 STEVENS AVE.
PORTLAND, ME 04103
(207) 791-7710

P.O. BOX 1396
PORTLAND, MAINE 04104
(207) 772-2888

THE PARK DANFORTH

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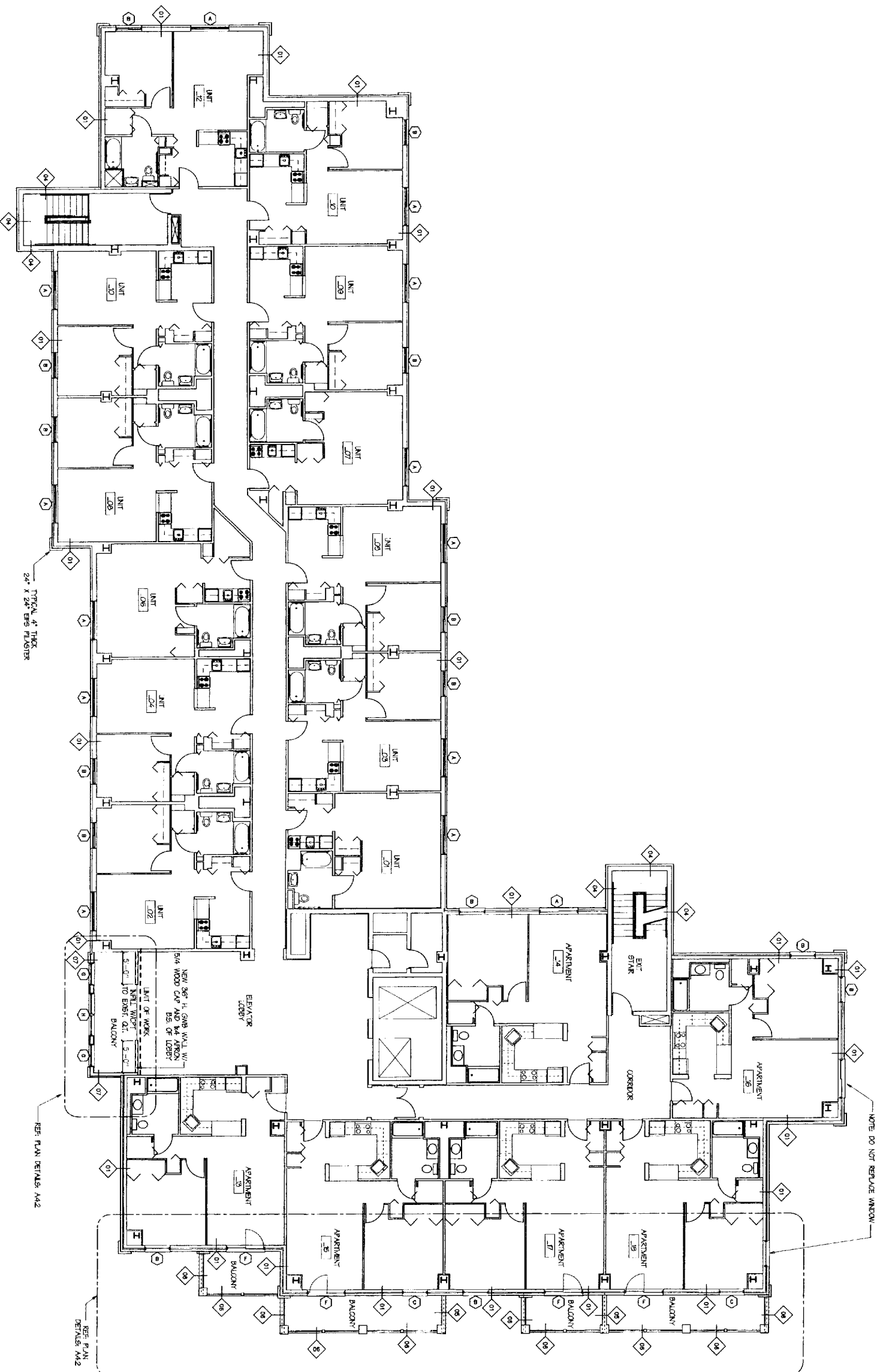
EXTERIOR RENOVATIONS TO THE PARK DANFORTH

March 15, 2005

Drawing Title
THIRD FLOOR PLAN

Scale: 1/8" = 1' - 0"
Date: October 01, 2004
Project No: 99420 PK

Drawing Number:
A1.3



WALL TAGS LEGEND	
01	EXISTING BRICK VENEER SYSTEM: REMOVE BRICK, FLASHING AND TIES. INSTALL NEW FLASHING, TIES AND BRICK.
02	EXISTING LOAD BEARING BRICK ON CMU WALL SYSTEM (VERIFY): INSTALL NEW MASONRY TIES AS SPECIFIED.
03	EXISTING BRICK VENEER SYSTEM: REMOVE BRICK, FLASHING AND TIES. INSTALL NEW FLASHING AND BRICK WITH HORIZONTAL BANDING AS PER SECTIONS.
04	EXISTING LOAD BEARING BRICK ON CMU WALL SYSTEM: INSTALL NEW MASONRY TIES AS SPECIFIED AND REMOVE NEW 2" EIFS DRAINAGE TYPE CLADDING.
05	EXISTING BRICK BEARING WALL SYSTEM: REMOVE SYSTEM AND INSTALL NEW SYSTEM WITH RELIEF JOINTS AND PLASTERS AS DETAILED.
06	EXISTING BRICK AND STEEL PIPE RAIL SYSTEM: REMOVE ALL AND INSTALL NEW STEEL PIPE AND EIFS TRIM SYSTEM.
07	NEW EIFS GLAZ LIGHT GAUGE STEEL STUDS WITH 5/8\"/>



434 Cumberland Avenue
 Portland, ME 04101
 Phone: (207)774-4444
 Fax: (207)774-4406

P.O. Box 6999
 Laconia, NH 03247
 Phone: (603)924-3000

THE PARK DANFORTH

777 STEVENS AVE.
 PORTLAND, ME 04103
 (777) 701-1770

ALLIED/COOK CONSTRUCTION

P.O. BOX 1896
 PORTLAND, MAINE 04104
 (777) 773-9999

EXTERIOR RENOVATIONS TO THE PARK DANFORTH

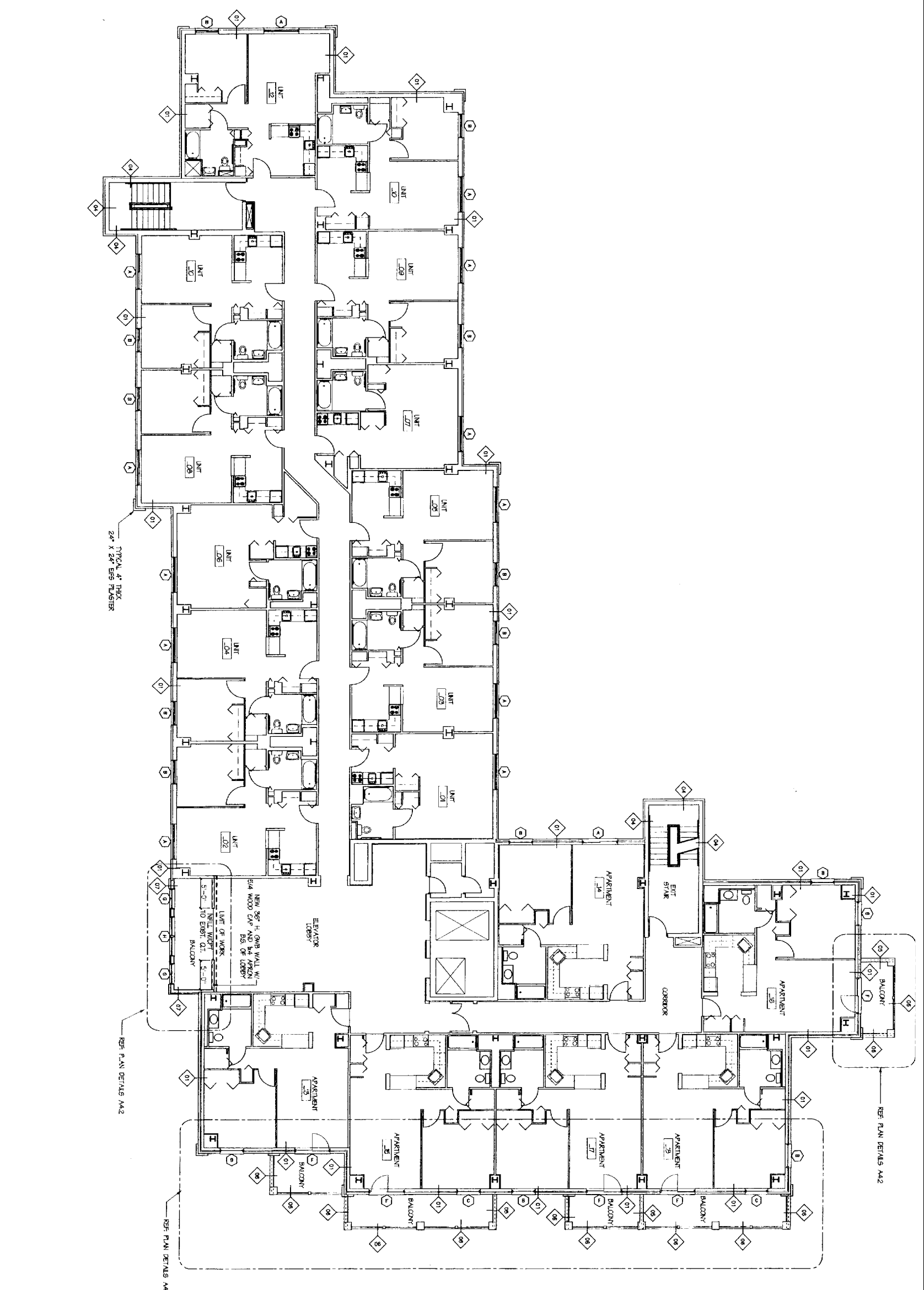
777 STEVENS AVE.
 PORTLAND, MAINE

March 5, 2005

Drawing Title:
4TH FLOOR PLANS

Scale: 1/8" = 1' - 0"
 Date: October 01, 2004
 Project No: 99-220 PPR

Drawing Number:
A1.4



WALL TAGS LEGEND	
◊	EXISTING BRICK VENEER SYSTEM: REMOVE BRICK, FLASHING AND TIES. INSTALL NEW FLASHING, TIES AND BRICK.
◊	EXISTING LOAD BEARING BRICK ON CMU WALL SYSTEM (VERT.): REMOVE BRICK AND FLASHING. TIES AND BRICK WITH HORIZONTAL BRANDING AS PER SECTIONS.
◊	EXISTING BRICK VENEER SYSTEM: REMOVE BRICK, FLASHING AND TIES. INSTALL NEW FLASHING, TIES AND BRICK WITH HORIZONTAL BRANDING AS PER SECTIONS.
◊	EXISTING LOAD BEARING BRICK ON CMU WALL SYSTEM. INSTALL NEW MASONRY TIES AS SPECIFIED AND PROVIDE NEW 2" EPS DRAINAGE TYPE CLADDING.
◊	EXISTING BRICK BEARING WALL SYSTEM. REMOVE SYSTEM AND INSTALL NEW SYSTEM WITH RELIEF JOINTS AND PLUSTERS AS DETAILED.
◊	EXISTING BRICK AND STEEL PIPE RAIL SYSTEM. REMOVE ALL AND INSTALL NEW STEEL PIPE AND EPS TRIM SYSTEM.
◊	NEW EPS CLAD LIGHT GUAGE STEEL STUDS WITH 5/8" CENS-GLOSS GOLD SHEATHING, R-19 FIBERGLASS INSULATION, BATTIS, AND 5/8" TYPE "X" GWB INTERIOR SHEATHING.

CWS
Curtis Walker Stewart
Architects

434 Cumberland Avenue
Portland, ME 04101
Phone: (207) 744-4444
Fax: (207) 744-4016
P.O. Box 6555
Portland, ME 04112

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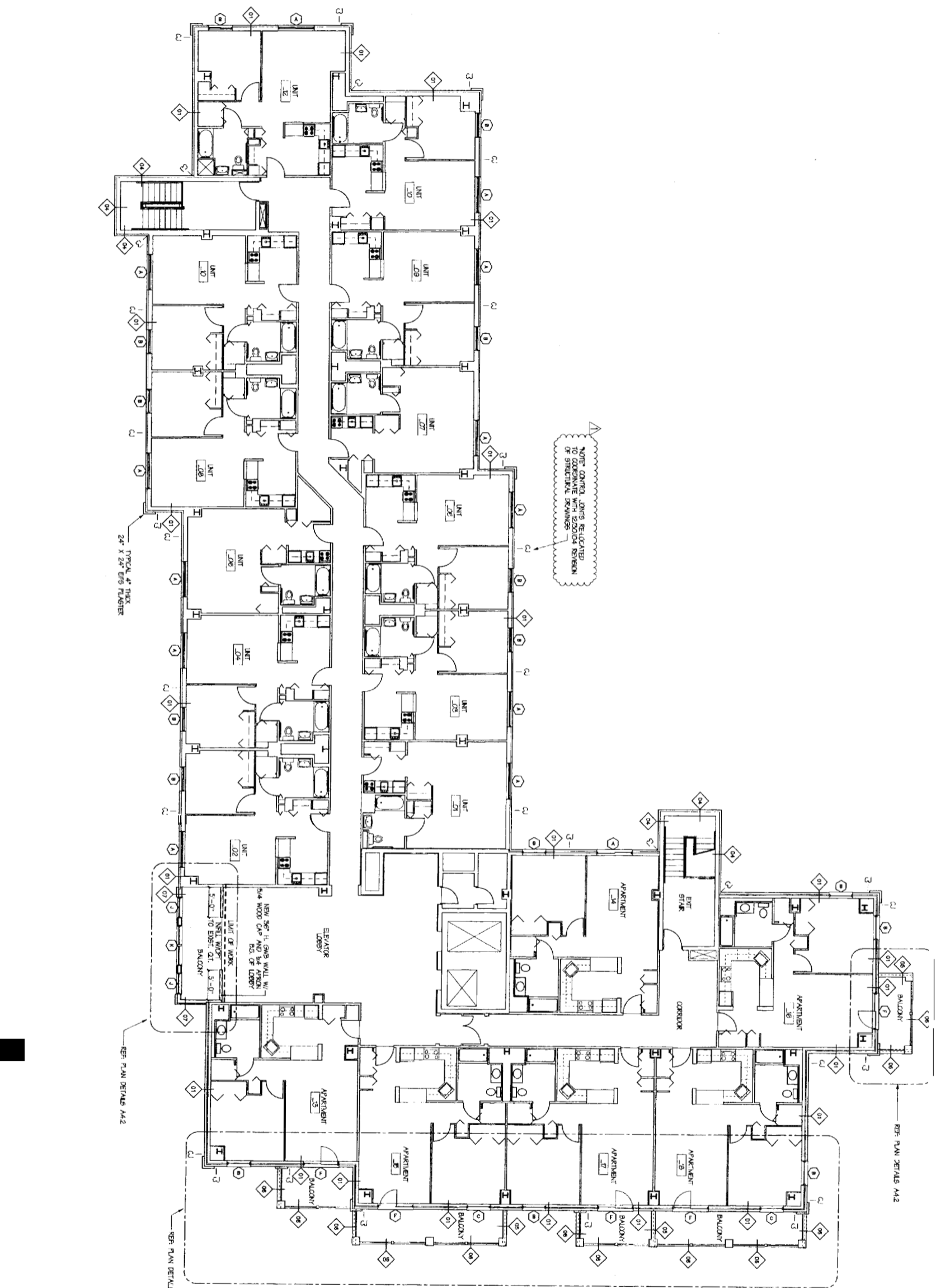
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CONSTRUCTION**

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P.O. BOX 1896

Drawing Title:
**5TH & 6TH
FLOOR PLANS**

Scale: 1/8" = 1' - 0"
Date: October 01, 2004
Project No: 99-420 PR

Drawing Number:
A1.5-6



WALL TAGS LEGEND	
01	EXISTING BRICK VENEER SYSTEM. REMOVE BRICK, FLASHING AND TIES. INSTALL NEW FLASHING, TIES AND BRICK.
02	EXISTING LOAD BEARING BRICK ON CMU WALL SYSTEM (VERY); INSTALL NEW MASONRY TIES AS SPECIFIED.
03	EXISTING BRICK VENEER SYSTEM. REMOVE BRICK, FLASHING AND TIES AND BRICK. FLASHING, TIES AND BRICK TO BE RE-CONTINUED. BANDING AS PER SECTIONS.
04	EXISTING LOAD BEARING BRICK ON CMU WALL SYSTEM. INSTALL NEW MASONRY TIES AS SPECIFIED AND PROVIDE NEW 2\"/>

05	EXISTING BRICK BEARING WALL SYSTEM. REMOVE SYSTEM AND INSTALL NEW SYSTEM WITH RELIEF JOINTS AND PLASTERS AS DETAILED.
06	EXISTING BRICK AND STEEL PIPE RAIL SYSTEM. REMOVE RAIL AND INSTALL NEW STEEL RAIL AND EIFS TRIM SYSTEM.
07	NEW EIFS CLAD LIGHT GLAZE STEEL STUDS WITH 5/8\"/>

CWS
Charles Walter Stewart
Architects

434 Cumberland Avenue
Portland, ME 04101
Phone: (207) 774-4441
Fax: (207) 774-4406

P.O. Box 6885
Laconia, NH 03247
Phone: (603) 824-3000
Fax: (603) 827-0700

**THE PARK
DANFORTH**

777 STEVENS AVE.
PORTLAND, ME 04103
(207) 797-7710

**ALLED/COOK
CONSTRUCTION**

P.O. BOX 1396
PORTLAND, MAINE 04104
(207) 772-2888

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THE PARK DANFORTH**

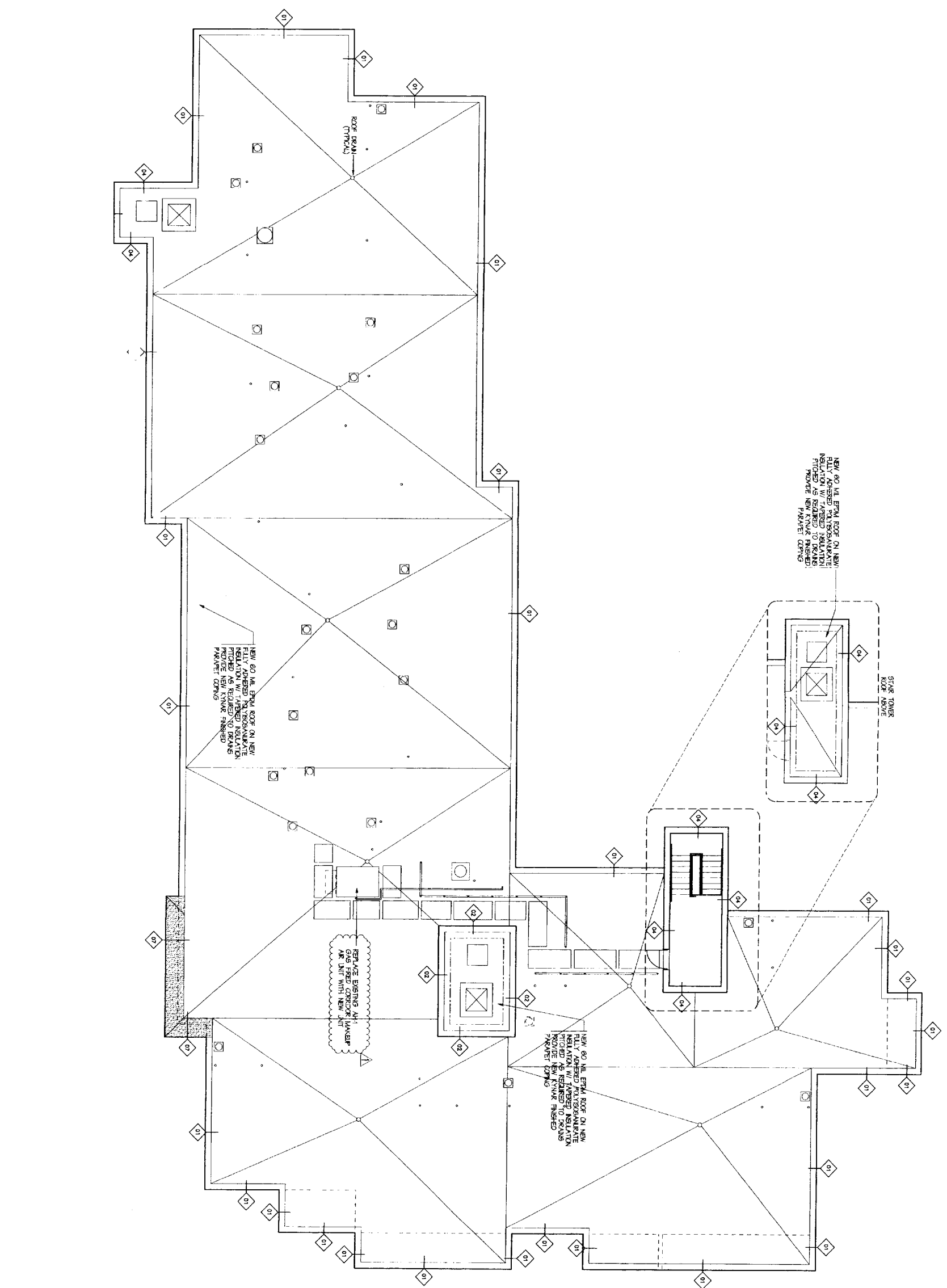
777 STEVENS AVE.
PORTLAND, MAINE

March 15, 2005

Drawing Title:
**7TH FLOOR
FLOOR PLANS**

Scale: 1/8" = 1' - 0"
Date: October 01, 2004
Project No: 98420 PRK

Drawing Number:
A1.7



WALL TAGS LEGEND
<p>EXISTING BRICK VENEER SYSTEM: REMOVE BRICK FLASHING AND TIES. INSTALL NEW FLASHING, TIES AND BRICK.</p>
<p>EXISTING LOAD BEARING BRICK ON CMU WALL SYSTEM (VERT-Y); SPECIAL NEW MASONRY TIES AS SPECIFIED.</p>
<p>EXISTING BRICK VENEER SYSTEM: REMOVE BRICK, FLASHING AND TIES. INSTALL NEW FLASHING, TIES AND BRICK WITH HORIZONTAL BANDING AS PER SECTIONS.</p>
<p>EXISTING LOAD BEARING BRICK ON CMU WALL SYSTEM: INSTALL NEW MASONRY TIES AS SPECIFIED AND PROVIDE NEW 2" EIFS DRAINAGE TYPE CLADDING.</p>
<p>EXISTING BRICK BEARING WALL SYSTEM: REMOVE SYSTEM AND REPAIR JOINTS AND PLASTERS AS DETAILED.</p>
<p>EXISTING BRICK AND STEEL PIPE RAIL SYSTEM: REMOVE ALL AND INSTALL NEW STEEL PIPE AND EIFS TRIM SYSTEM.</p>
<p>NEW EIFS GLAD LIGHT COURSE STEEL STUDS WITH 5/8" DENS-CLASS GOLD SHEATHING, R-19 FIBERGLASS INSULATION BATS, AND 5/8" TYPE "X" GMB INTERIOR SHEATHING.</p>

CWS
Chris Walker Stewart
Architects

424 UMBERTINA AVENUE
PORTLAND, ME 04101
Phone: (207)714-4444
Fax: (207)714-4006

PO Box 6666
Lancaster, NH 03247
Phone: (603)924-3000
Fax: (603)924-0100

THE PARK DANFORTH

777 STEVENS AVE
PORTLAND, ME 04103
(207) 797-7710

ALLED/COOK CONSTRUCTION

P.O. BOX 1306
PORTLAND, MAINE 04104
(207) 712-2888

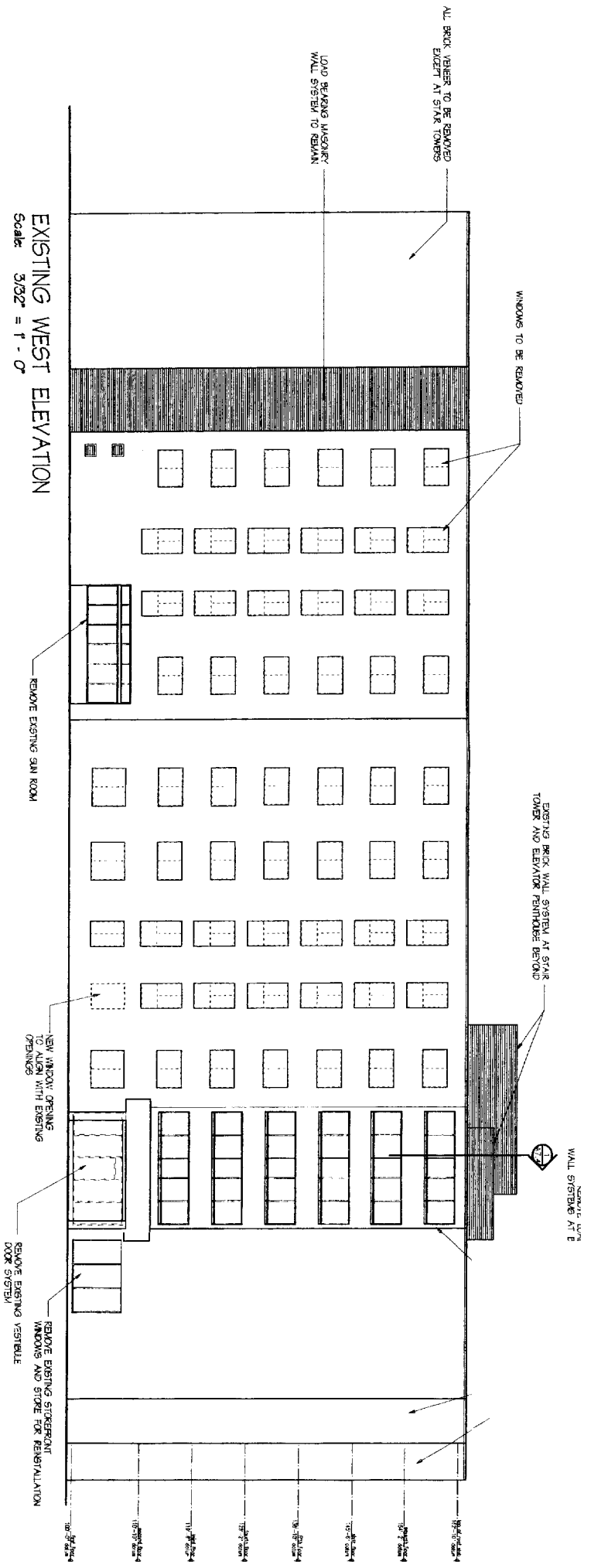
EXTERIOR RENOVATIONS TO THE PARK DANFORTH

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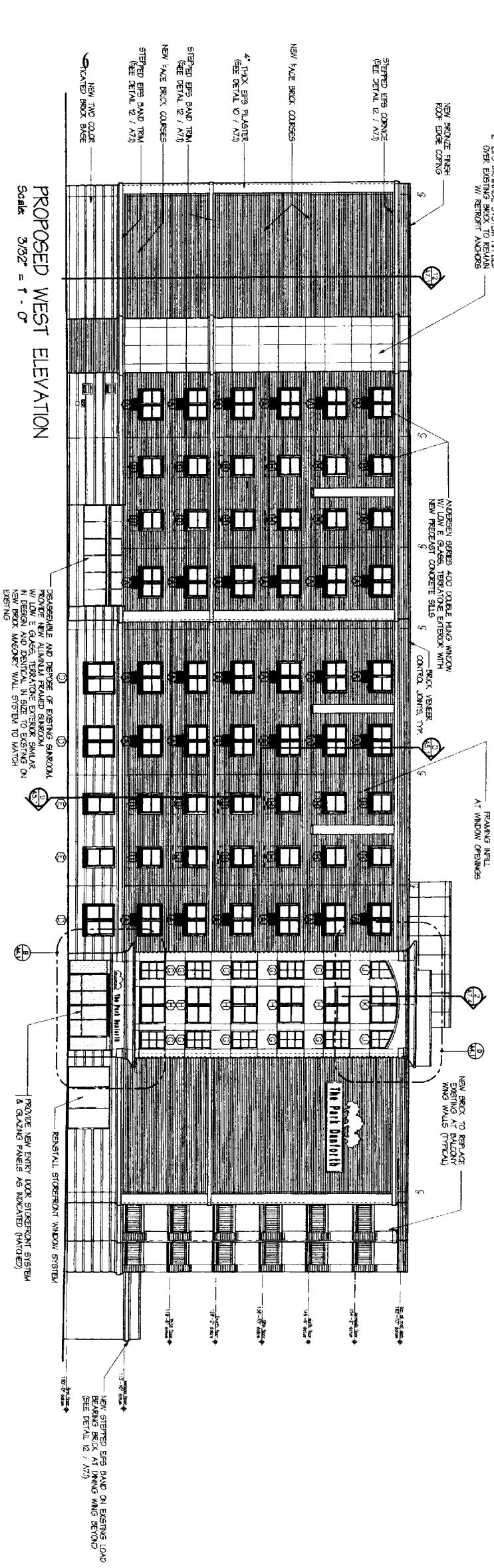
Drawing Title:
ROOF PLAN

Scale: 1/8" = 1' - 0"
Date: October 01, 2004
Project No: 99-420 PTR

Drawing Number:
A1.R



EXISTING WEST ELEVATION
Scale 3/32" = 1' - 0"



PROPOSED WEST ELEVATION
Scale 3/32" = 1' - 0"

CONTROL JOINTS RELATED TO COORDINATE WITH STRUCTURAL DRAWINGS

CWIS
Curtis Walker Stewart
Architects

484 Cathedral Avenue
Portland, ME 04101
Phone: (207)744-4441
Fax: (207)744-0106

PO Box 69566
Laconia, NH 03247
Phone: (603)924-3000
Fax: (603)924-0100

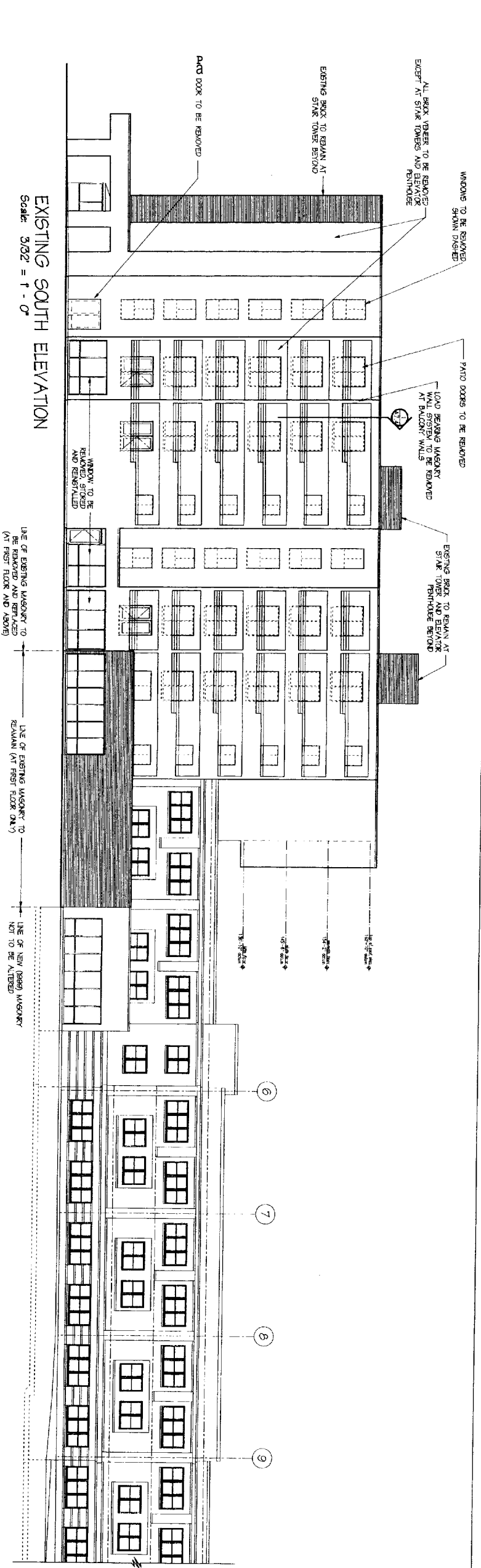
EXTERIOR RENOVATIONS TO THE PARK DANFORTH

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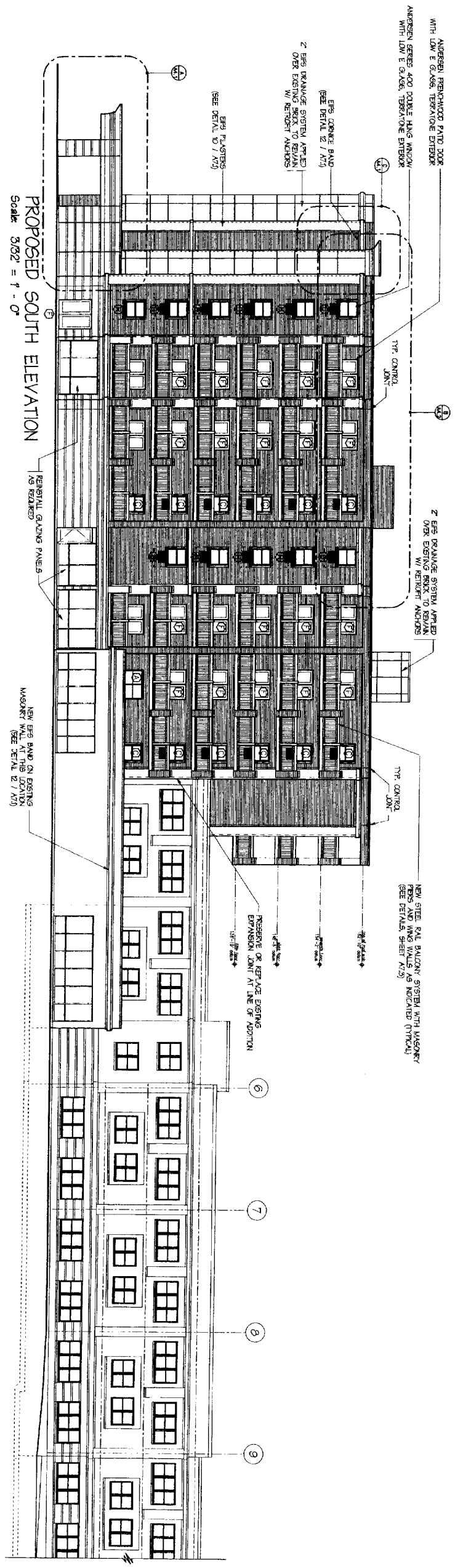
March 15, 2005

Drawing Title:
WEST ELEVATION
Scale: 3/32" = 1' - 0"
Date: October 01, 2004
Project No: 99420 PKR

Drawing Number:
A3.1

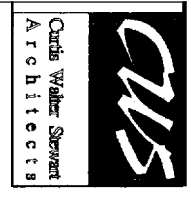


EXISTING SOUTH ELEVATION
Scale: 3/32" = 1' - 0"



PROPOSED SOUTH ELEVATION
Scale: 3/32" = 1' - 0"

CONTROL JOINTS RELOCATED TO COORDINATE WITH STRUCTURAL DRAINAGES



Curtis Walker Stewart
Architects
424 Umstead Avenue
Portland, ME 04101
Phone: (207) 744-4444
Fax: (207) 744-4016

THE PARK
DANFORTH
777 STEVENS AVE.
PORTLAND, ME 04103
(207) 791-7710

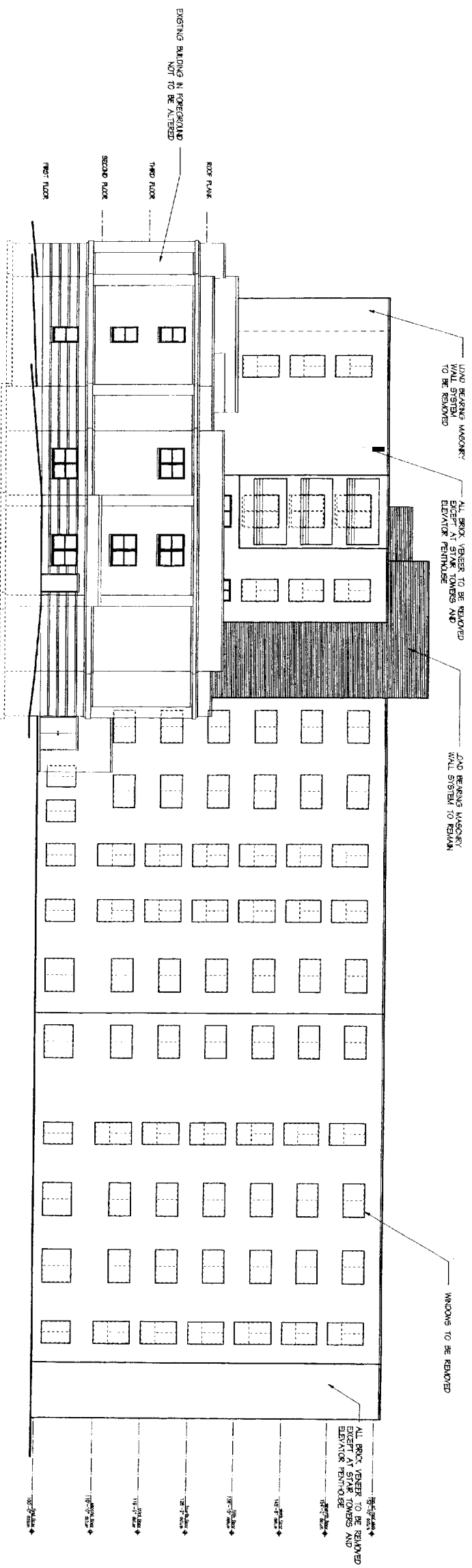
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CONSTRUCTION
P.O. BOX 1396
PORTLAND, MAINE 04104
(207) 712-2888

EXTERIOR RENOVATIONS IN
THE PARK DANFORTH
777 STEVENS AVE.
PORTLAND, MAINE

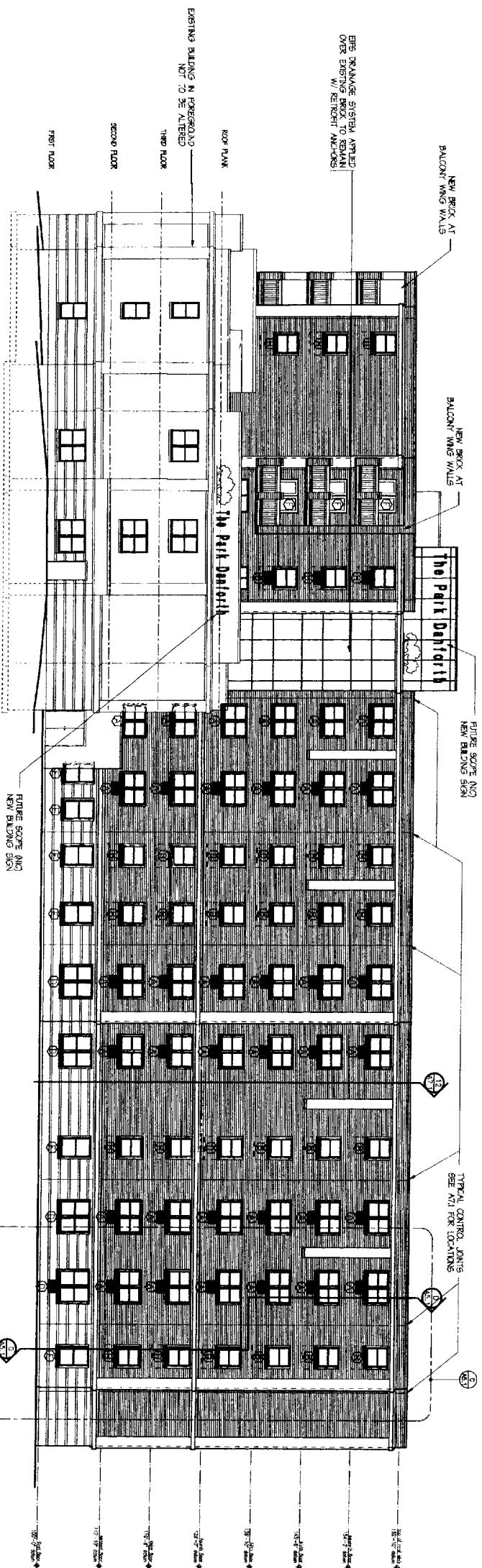
March 15, 2005

Drawing Title:
SOUTH
ELEVATION
Scale: 3/32" = 1' - 0"
Date: October 01, 2004
Project No: 99-480 PRK

Drawing Number:
A3.2



EXISTING EAST ELEVATION (FOREST AVENUE)
Scale: 3/32" = 1'-0"



PROPOSED EAST ELEVATION (FOREST AVENUE)
Scale: 3/32" = 1'-0"



Chris Walker Stewart
Architects

434 Cumberland Avenue
Portland, ME 04101
Phone: (207)74-4441
Fax: (207)74-4016

P.O. Box 6666
Laconia, NH 03247
Phone: (603)824-3000
Fax: (603)827-0700

THE PARK DANFORTH

777 STEVENS AVE
PORTLAND, ME 04103
(207) 791-7710

ALLIED/COOK CONSTRUCTION

P.O. BOX 1396
PORTLAND, MAINE 04104
(207) 772-2888

EXTERIOR RENOVATIONS TO THE PARK DANFORTH

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March 15, 2005

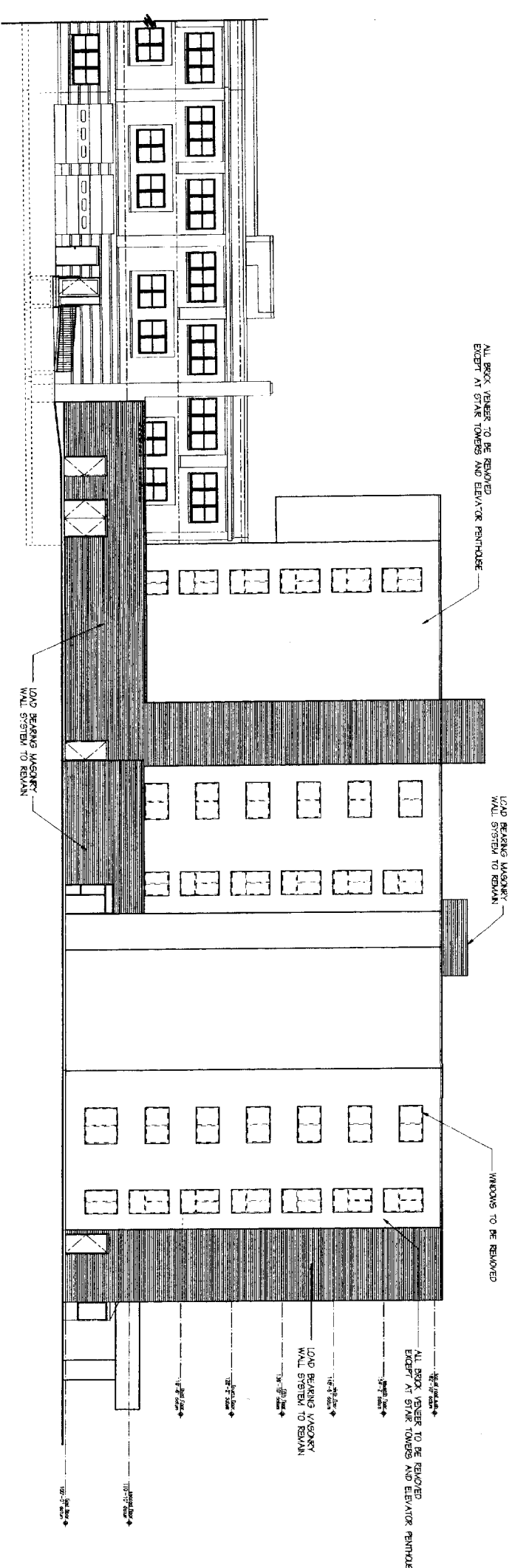
CONTROL JOINTS RELOCATED TO COORDINATE WITH STRUCTURAL DRAWINGS

Drawing Title:
EAST ELEVATION

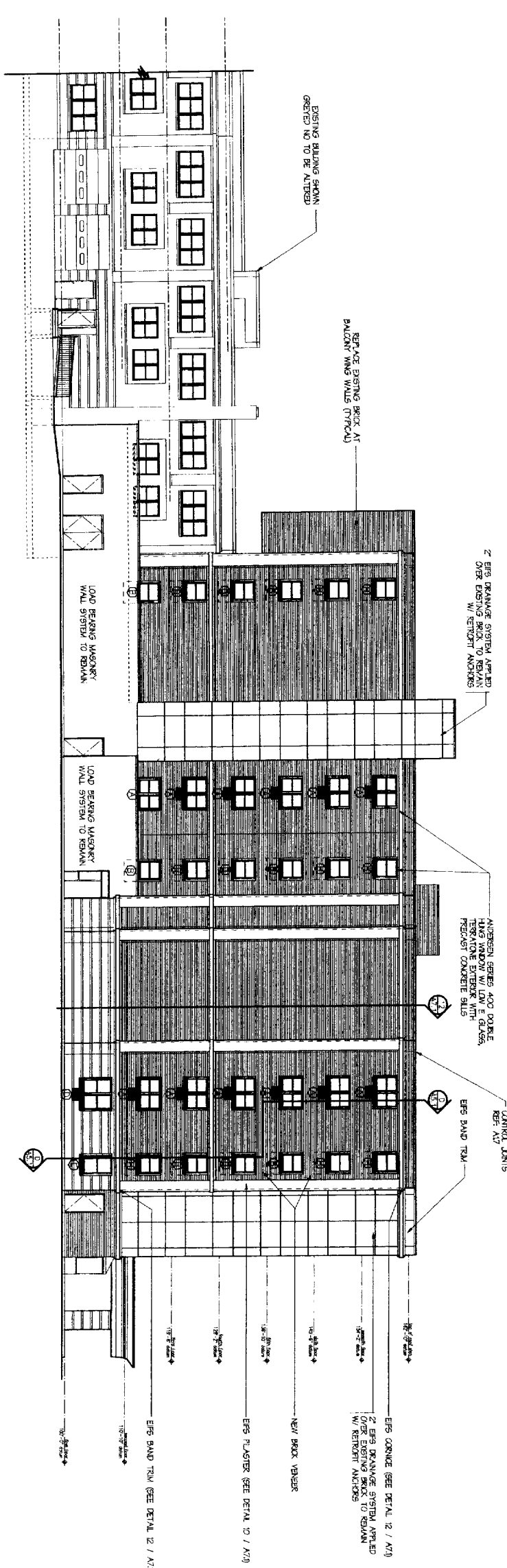
Scale: 3/32" = 1'-0"
Date: October 01, 2004
Project No: 99.420 PRK

Drawing Number:

A3.3



EXISTING NORTH ELEVATION
Scale: 3/32" = 1' - 0"



PROPOSED NORTH ELEVATION
Scale: 3/32" = 1' - 0"

CONTROL JOINTS RELIACATED TO COORDINATE WITH STRUCTURAL SCHEMatics

CWS
Curtis Walker Stewart
Architects
434 Cumberland Avenue
Portland, ME 04101
Phone: (207) 774-4441
Fax: (207) 774-4016
PO Box 6226
Lebanon, NH 03247
Phone: (603) 224-3000

THE PARK DANFORTH
777 STEVENS AVE.
PORTLAND, ME 04103
(207) 797-7710

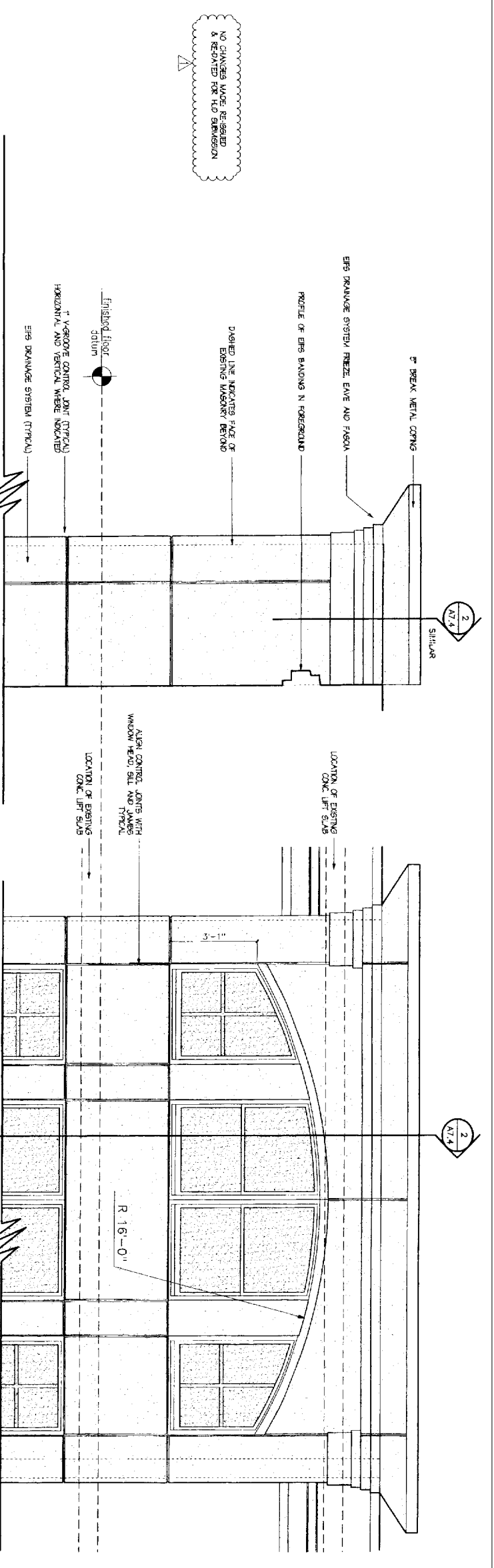
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(207) 772-2888

EXTERIOR RENOVATIONS TO THE PARK DANFORTH
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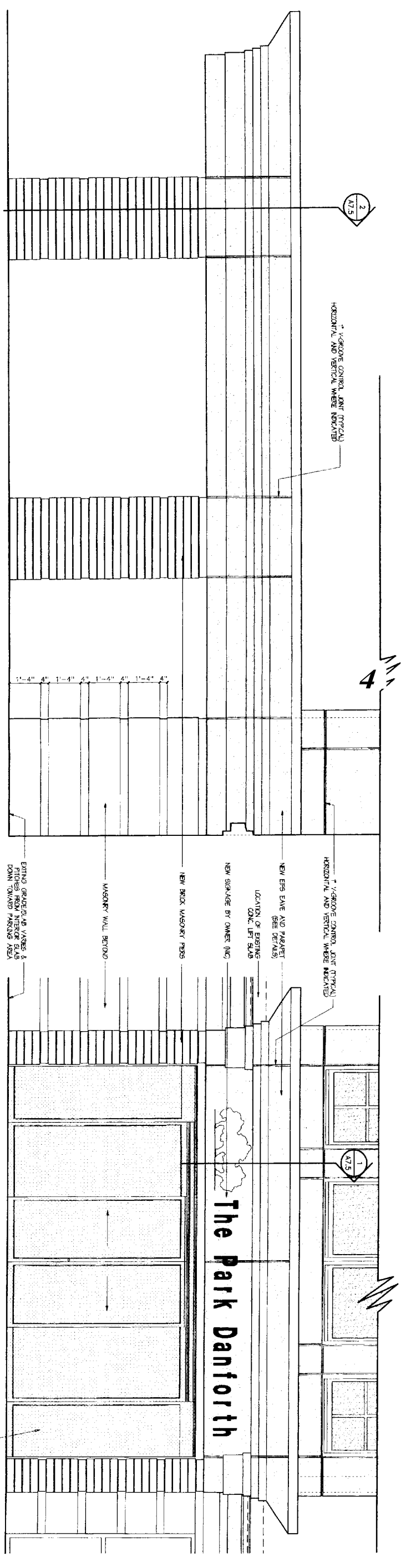
March 15, 2005

Drawing Title:
NORTH ELEVATION
Scale: 3/32" = 1' - 0"
Date: October 01, 2004
Project No: 99.420 FR

Drawing Number:
A3.4



C NEW PARTIAL SOUTH ELEVATION (7TH FLOOR)
Scale: 1/4" = 1' - 0"



A NEW PARTIAL SOUTH ELEVATION (1ST FLOOR)
Scale: 1/4" = 1' - 0"

B NEW PARTIAL WEST ELEVATION (1ST FLOOR)
Scale: 1/4" = 1' - 0"

D NEW PARTIAL WEST ELEVATION (7TH FLOOR)
Scale: 1/4" = 1' - 0"

CWS
Chris Walker Stewart
Architects

434 Cumberland Avenue
Portland, ME 04101
Phone: (207) 774-4441
Fax: (207) 774-4016

P.O. Box 6666
Lacota, NH 03247
Phone: (603) 924-3000
Fax: (603) 927-0700

THE PARK DANFORTH

777 STEVENS AVE.
PORTLAND, ME 04103
(207) 797-7710

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P.O. BOX 1396
PORTLAND, MAINE 04104
(207) 772-2888

EXTERIOR RENOVATIONS TO THE PARK DANFORTH

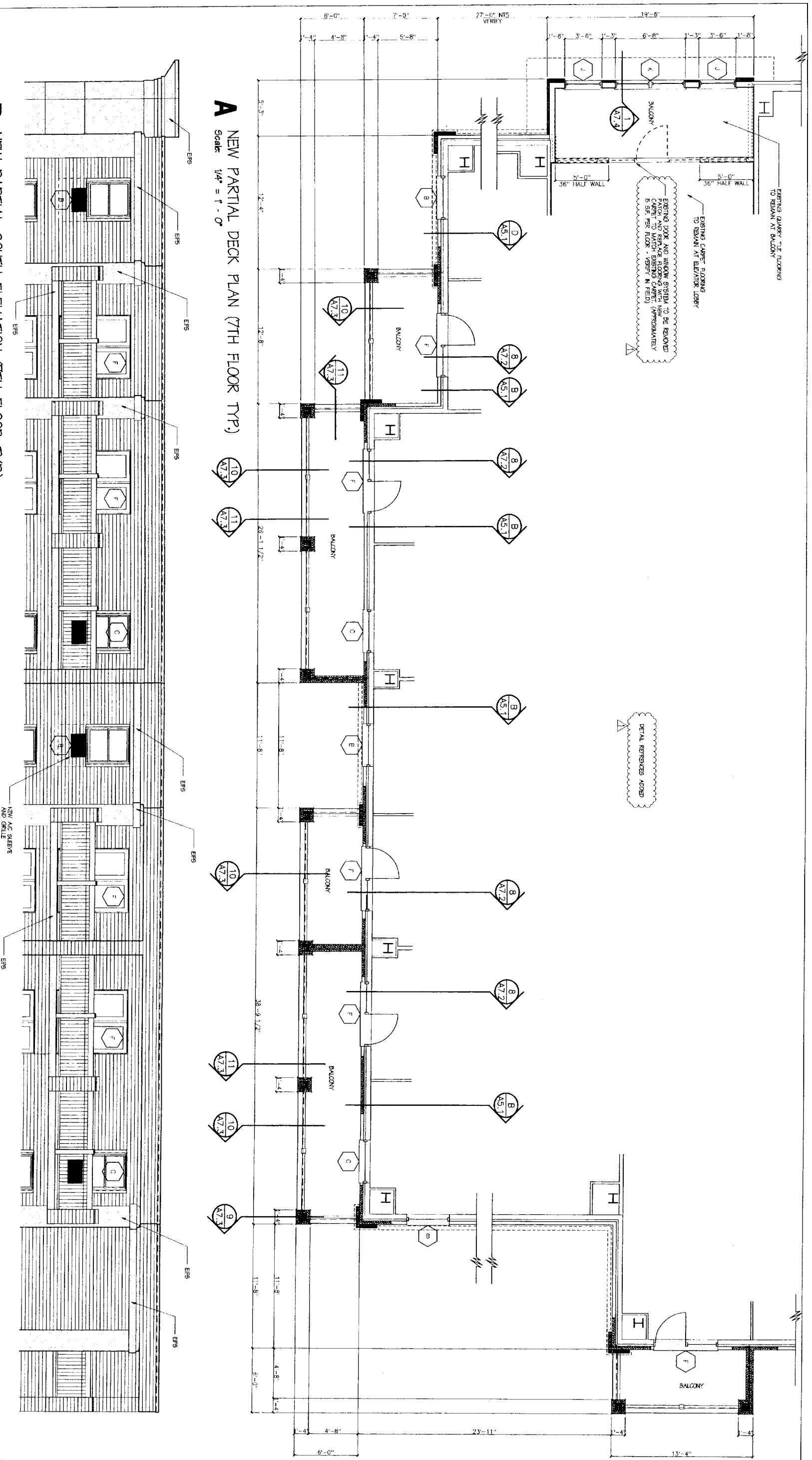
777 STEVENS AVE.
PORTLAND, MAINE

March 15, 2005

Drawing Title
ENTRANCE DETAILS

Scale: 3/32" = 1' - 0"
Date: October 01, 2004
Project No: 99.420 PRX

Drawing Number:
A4.1



Curtis Walker Stewart
Architects
434 Cumberland Avenue
Portland, ME 04101
Phone: (207) 774-4441
Fax: (207) 774-4016

THE PARK
DANFORTH
777 STEVENS AVE.
PORTLAND, ME 04103
(207) 791-7710

ALLED/COOK
CONSTRUCTION
P.O. BOX 1396
PORTLAND, MAINE 04104
(207) 772-2888

EXTERIOR RENOVATIONS TO
THE PARK DANFORTH
777 STEVENS AVE.
PORTLAND, MAINE

March 5, 2005

Drawing Title
BALCONY
DETAILS
Scale: 3/32" = 1' - 0"
Date: October 01, 2004
Project No: 98420 TRK

Drawing Number
A4.2

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Portland, ME 04101
Phone: (207)774-4444
Fax: (207)774-4016
PO Box 6635
Laconia, NH 03247
Phone: (603)824-5000
Fax: (603)827-0700

Owner:
The Park Danforth
777 Stevens Avenue
Portland, ME 04105

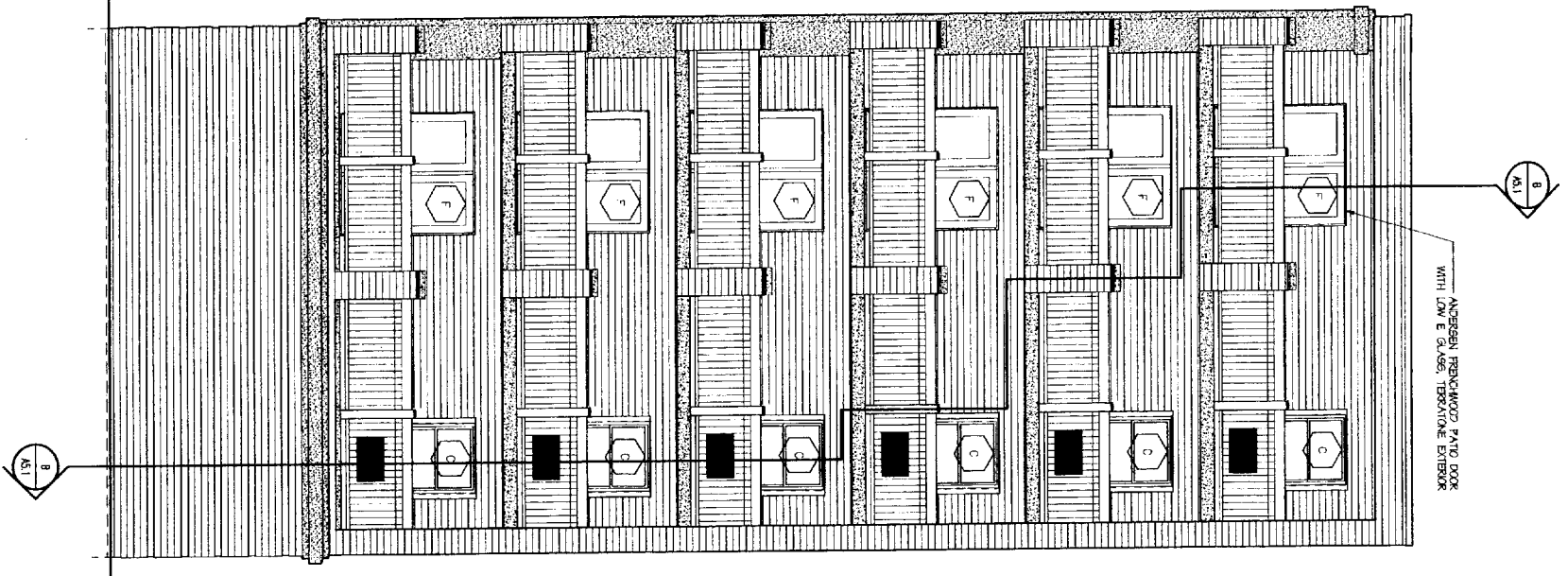
Contractor:
Allied Construction Inc
90 Box 1396
Portland, ME 04104
207-772-2888

Exterior
Renovations to
The Park Danforth
777 Stevens Avenue
Portland, ME

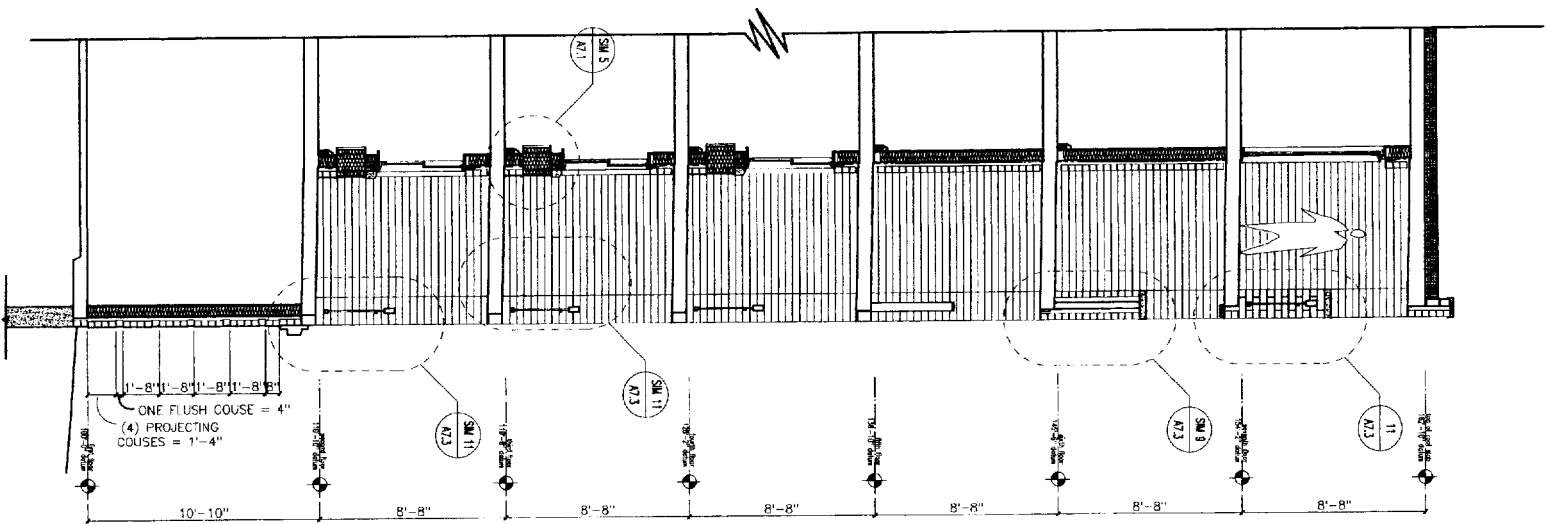
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SECTIONS
Scale: 1/4" = 1'-0"
Date: October 01, 2004
Revision Dates:
March 15, 2005

Drawing Number:

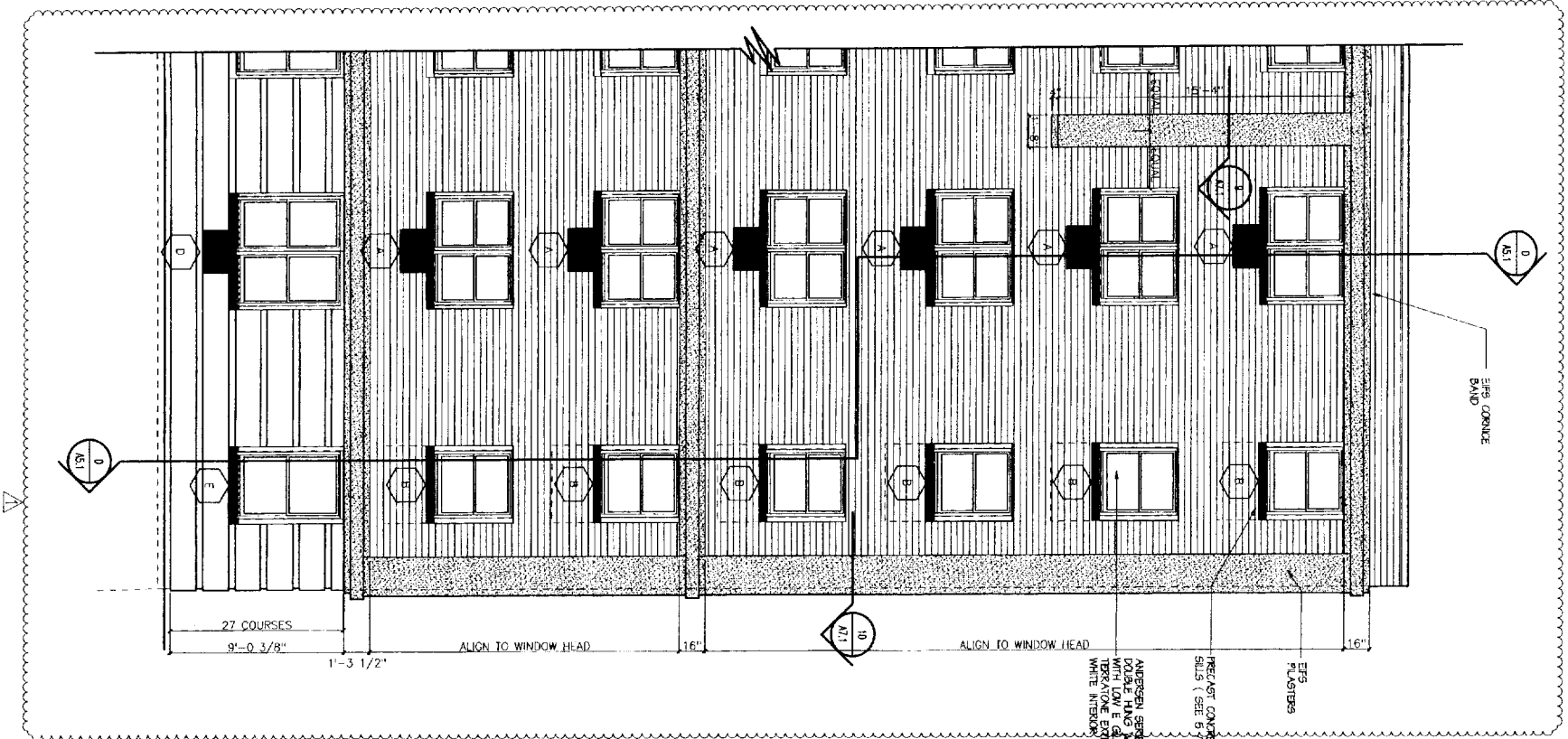
A5.1



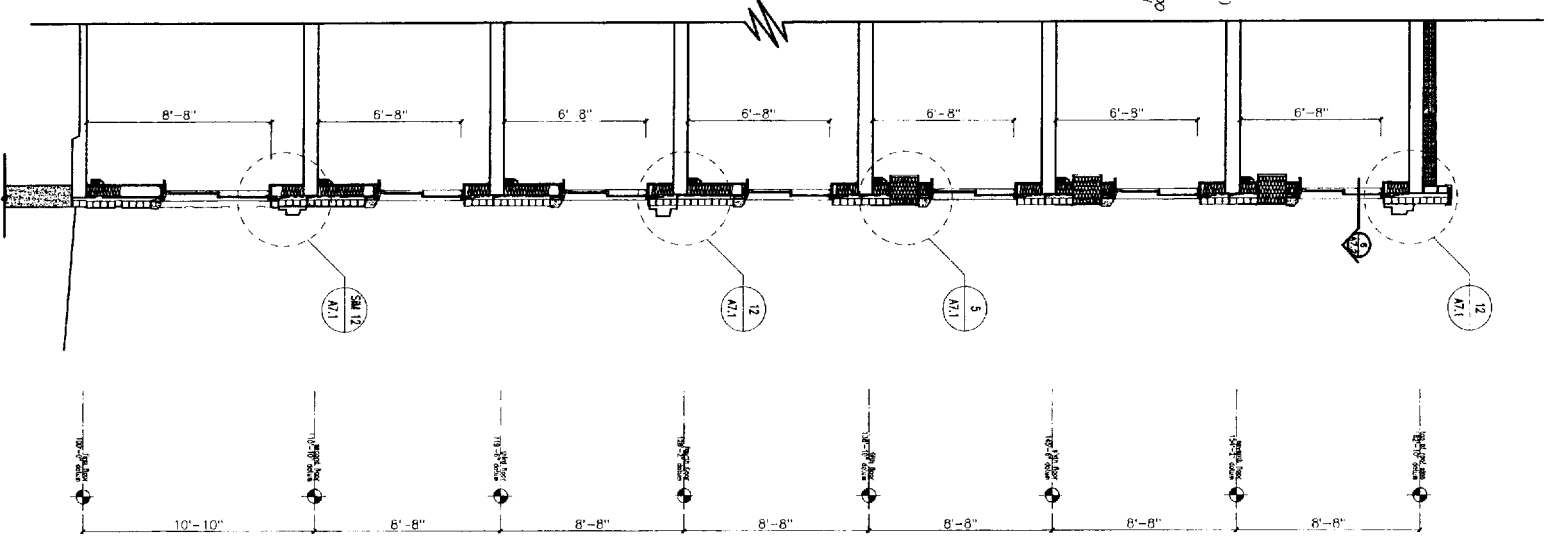
A PARTIAL BALCONIES ELEVATION
SCALE: 1/4"=1'-0"



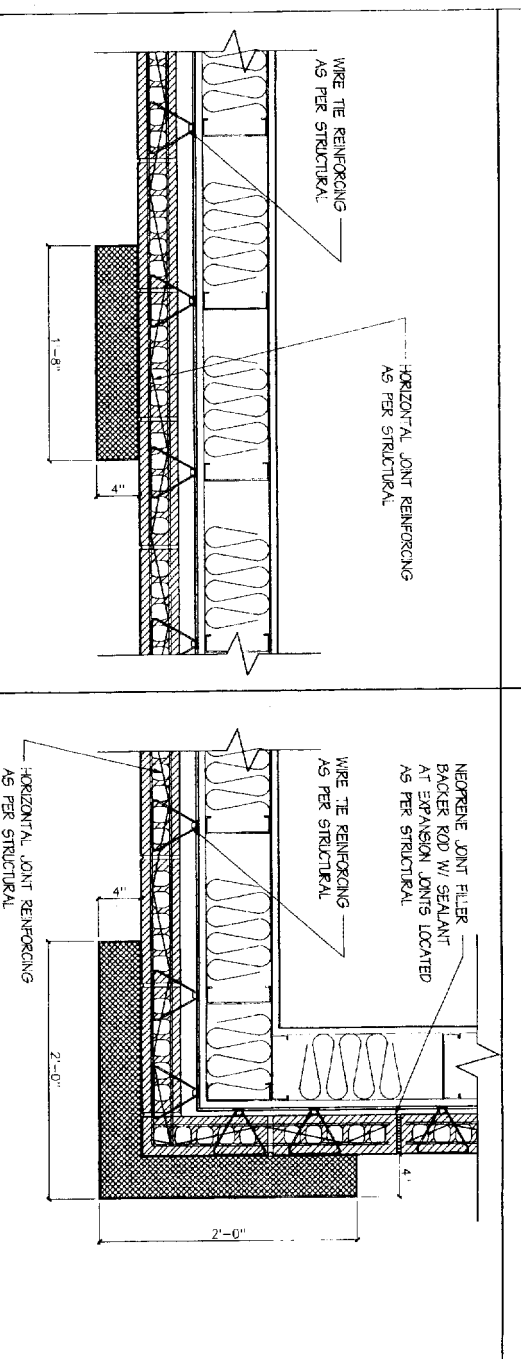
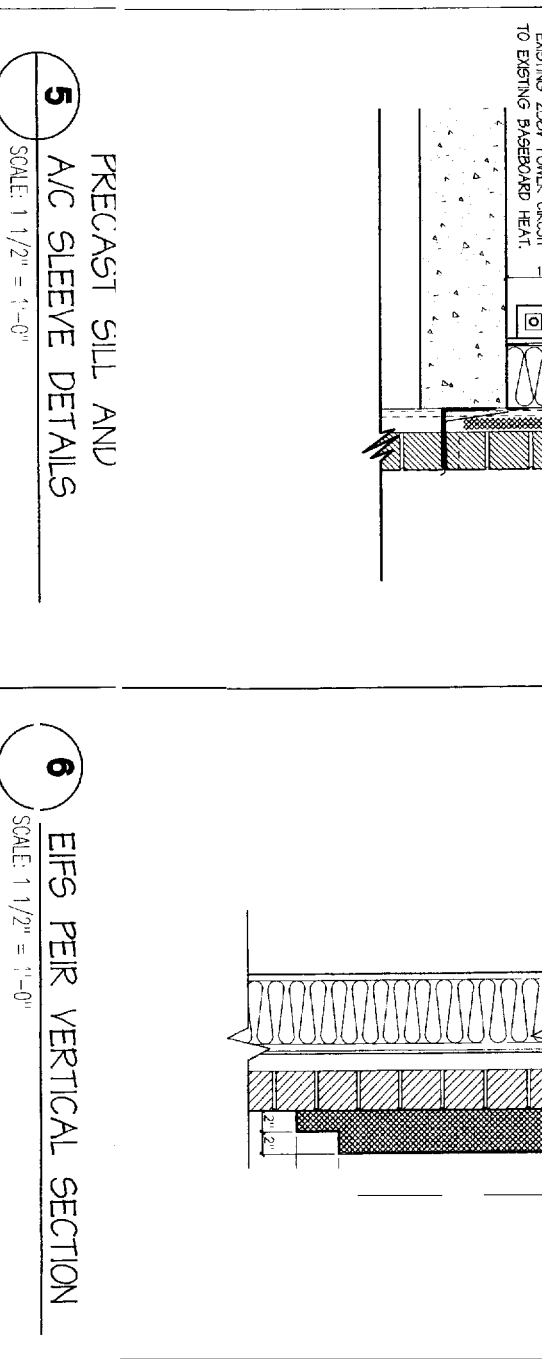
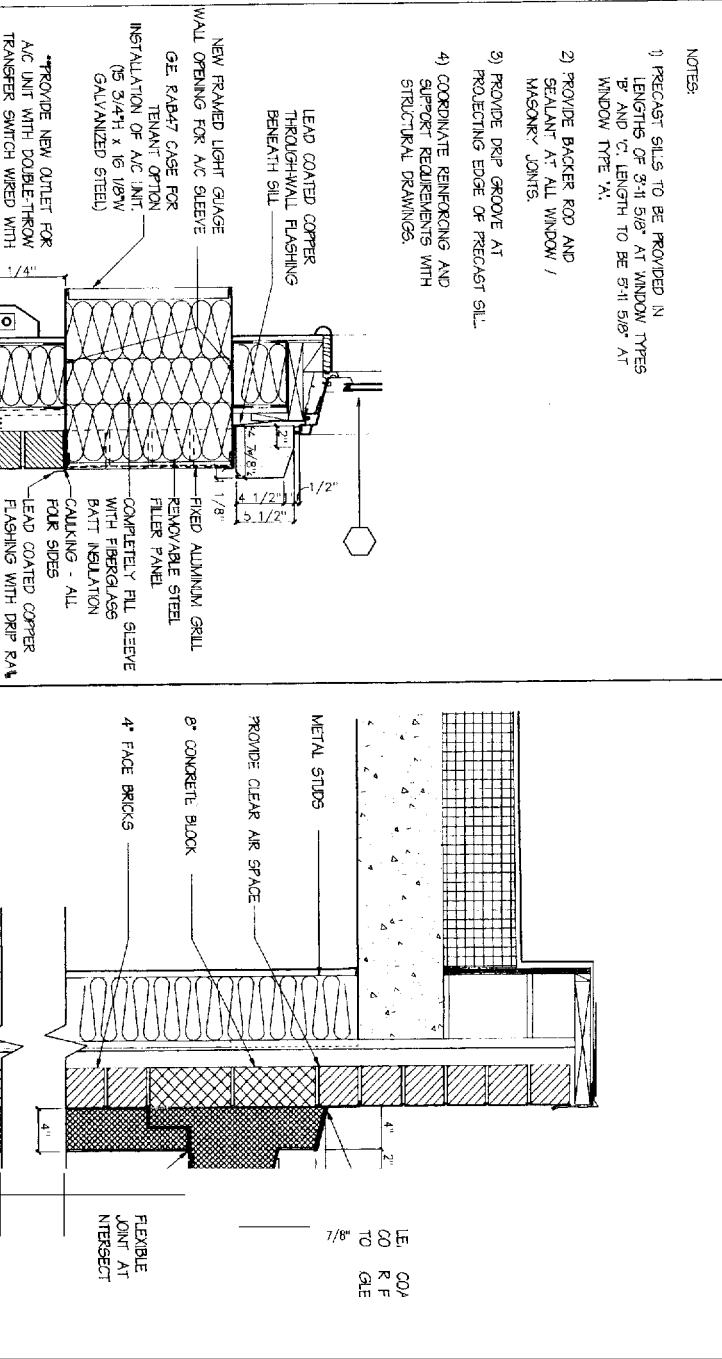
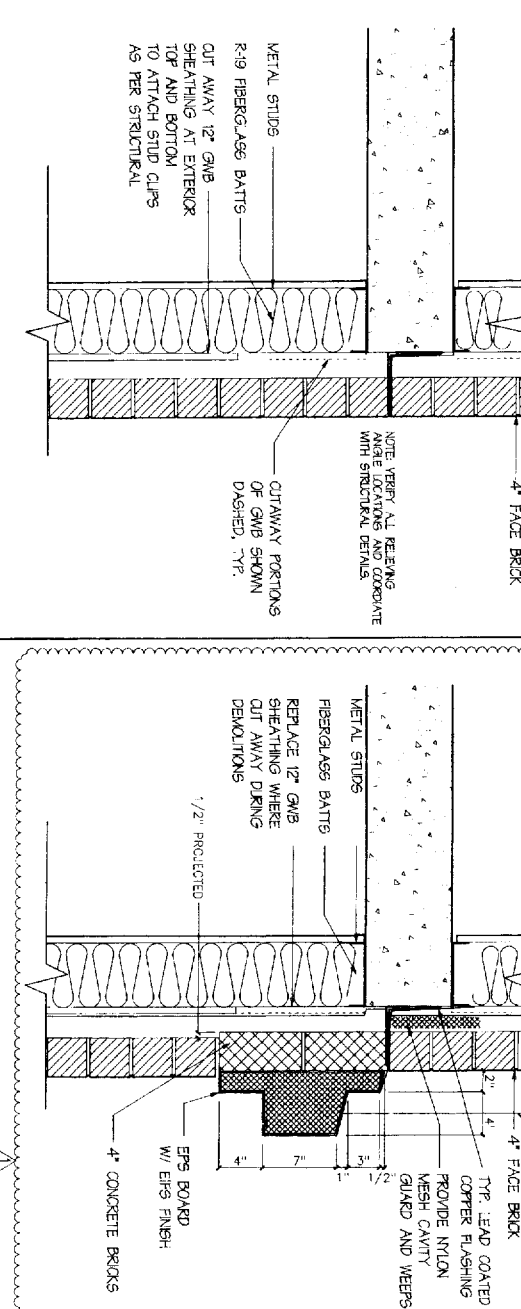
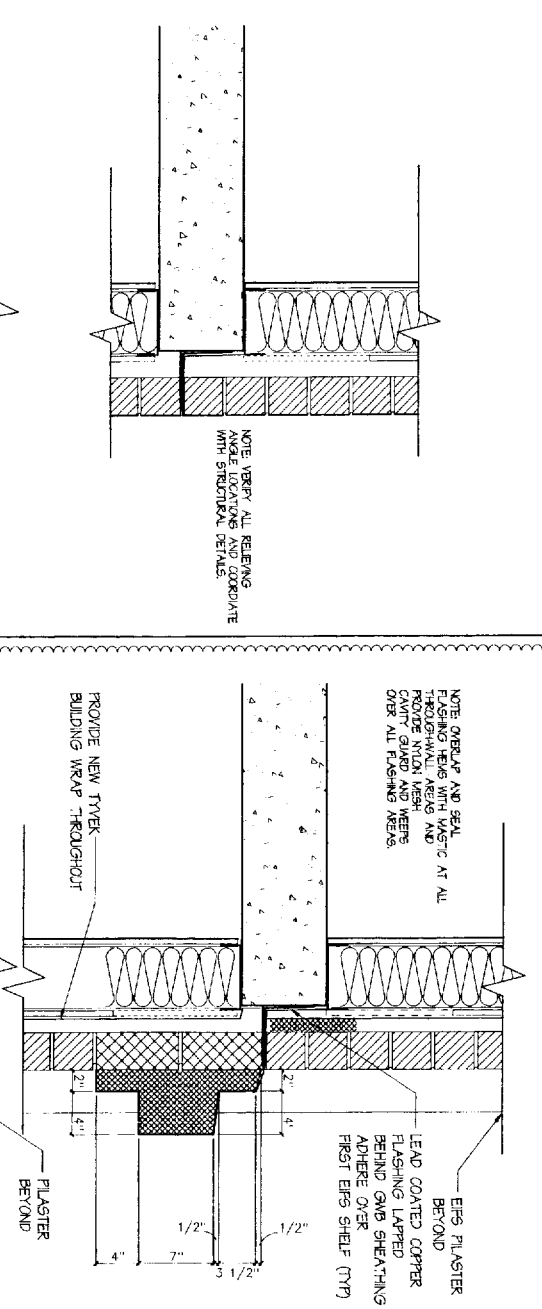
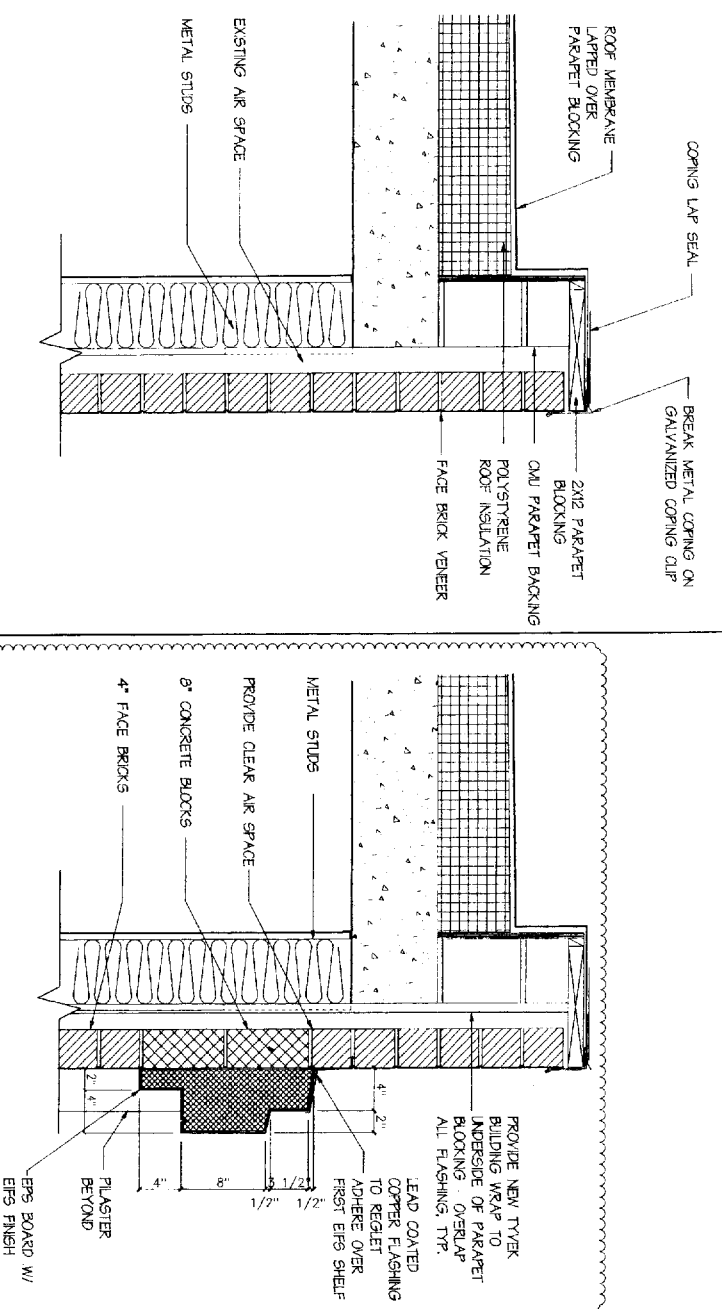
B BALCONIES SECTION
SCALE: 1/4"=1'-0"



C TYPICAL WALL ELEVATION
SCALE: 1/4"=1'-0"



D TYPICAL WALL SECTION
SCALE: 1/4"=1'-0"



- NOTES:
- 1) PRECAST SILLS TO BE PROVIDED IN LENGTHS OF 5'-11 5/8\"/>

9 EIFS PIER PLAN SECTION
SCALE: 1/2" = 1'-0"

10 EIFS PILASTER PLAN SECTION
SCALE: 1/2" = 1'-0"

11 EXISTING WALL CONSTRUCTION
SCALE: 1/2" = 1'-0"

12 NEW EIFS BANDS
SCALE: 1/2" = 1'-0"

Owner:

The Park Danforth
777 Stevens Avenue
Portland ME 04105

Contractor:

Allied Construction Inc
PO Box 1396
Portland ME 04104
207-772-2998

**Exterior
Renovations to
The Park Danforth**
777 Stevens Avenue
Portland ME

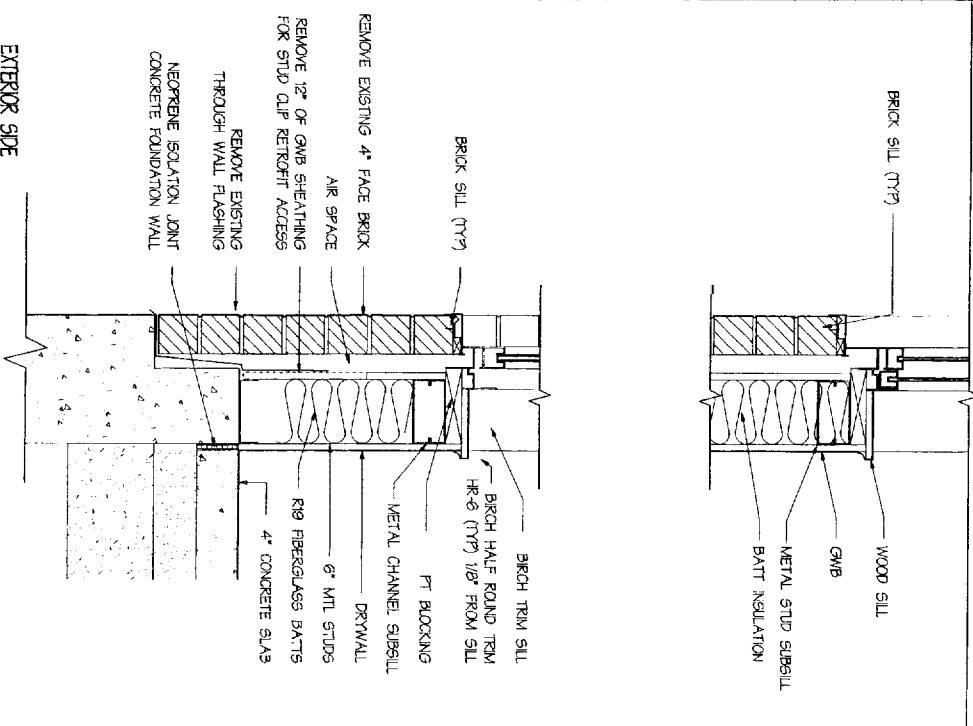
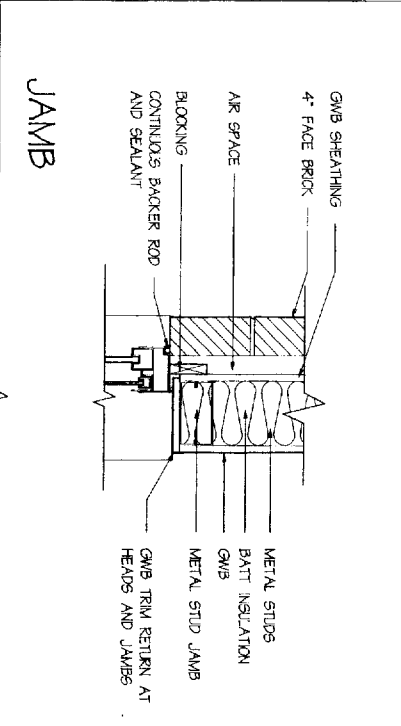
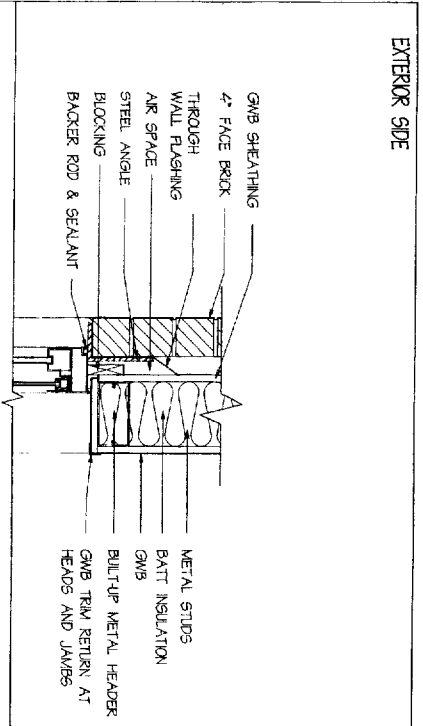
Project No: 99420
Drawing Title:
ENLARGED DETAILS

Scale: As Noted
Date: October 01, 2004
Revision Dates:

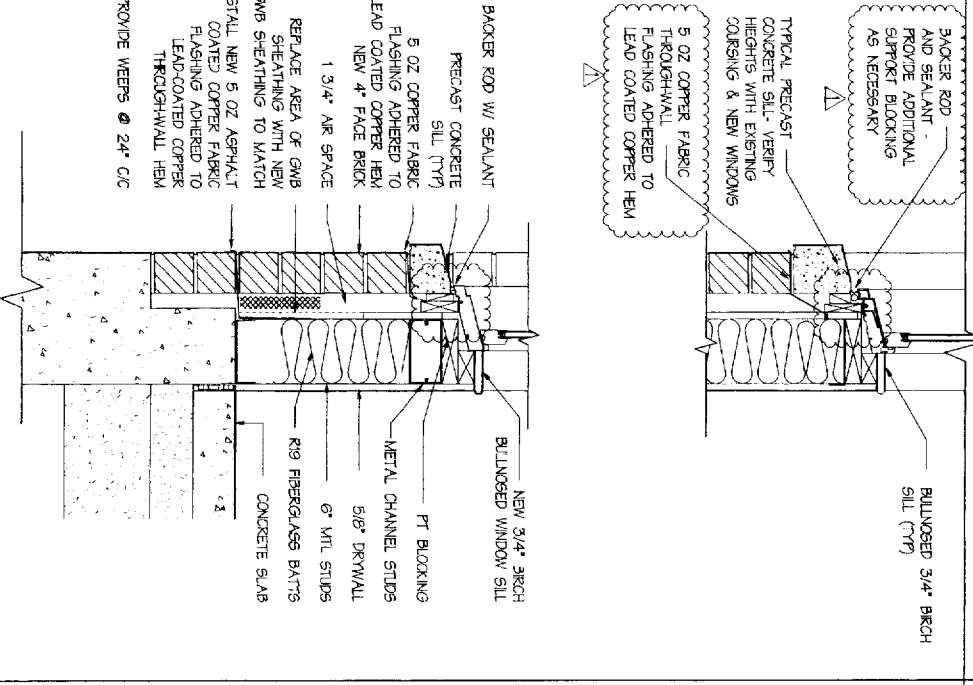
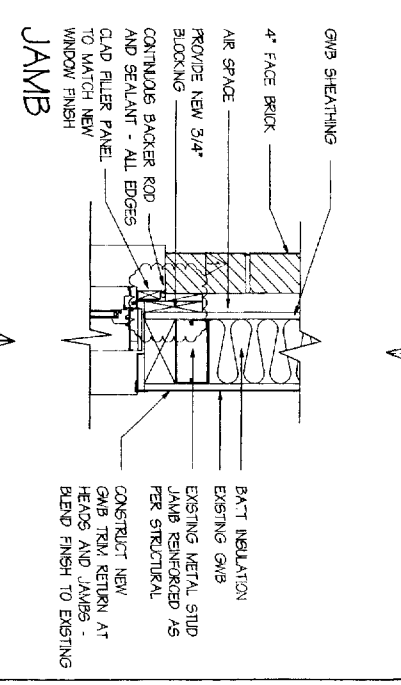
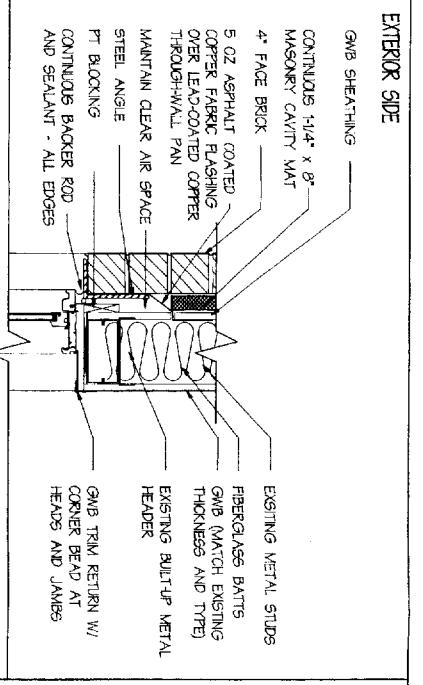
March 15, 2005

Drawing Number:

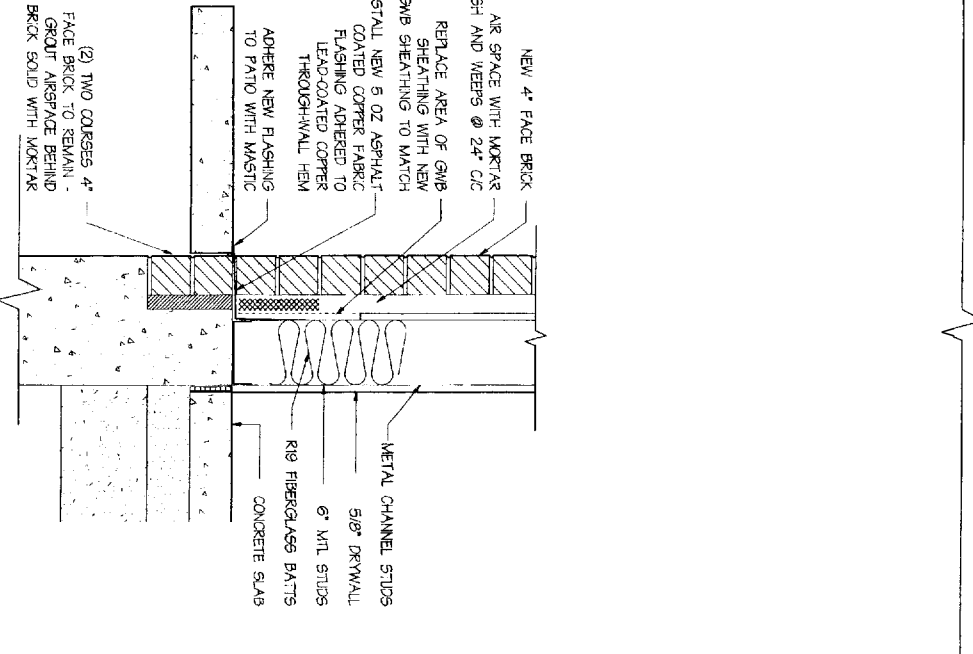
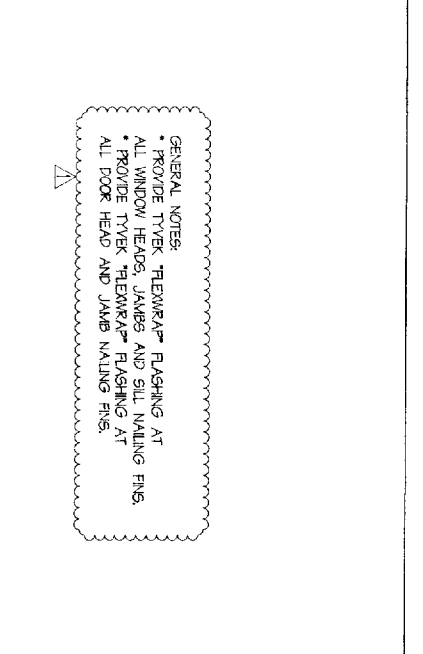
A7.2



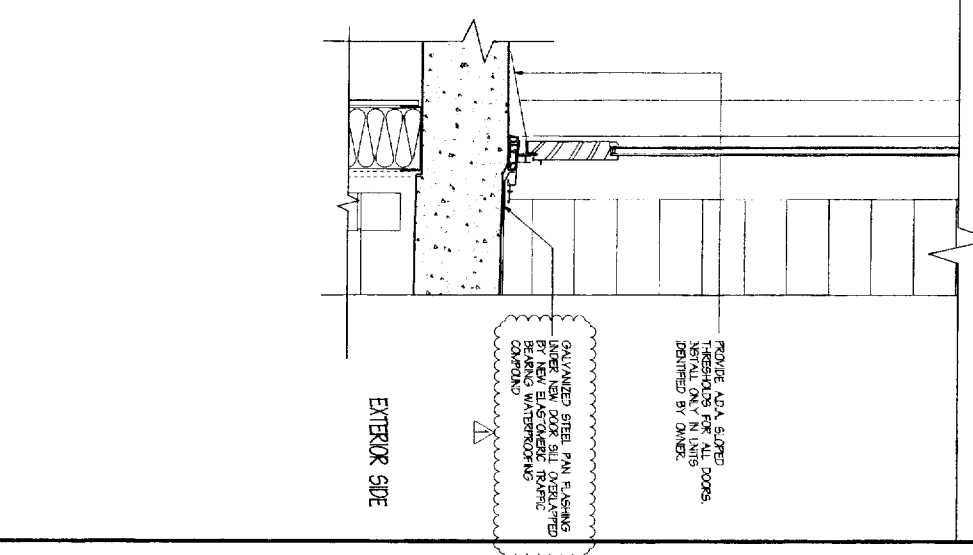
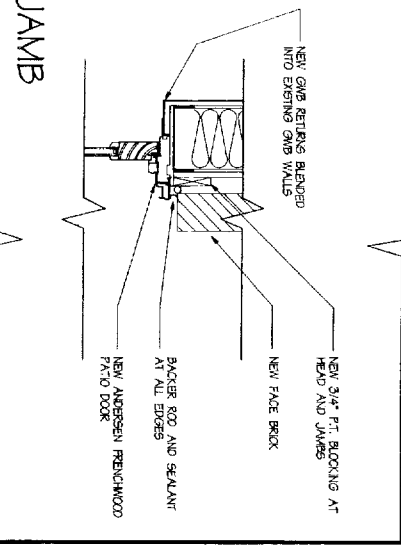
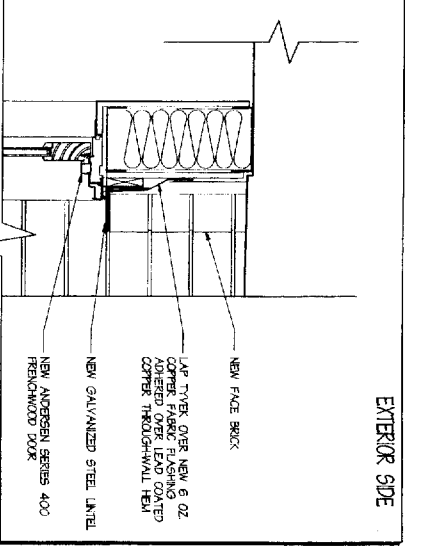
5 EXISTING WINDOW DETAILS



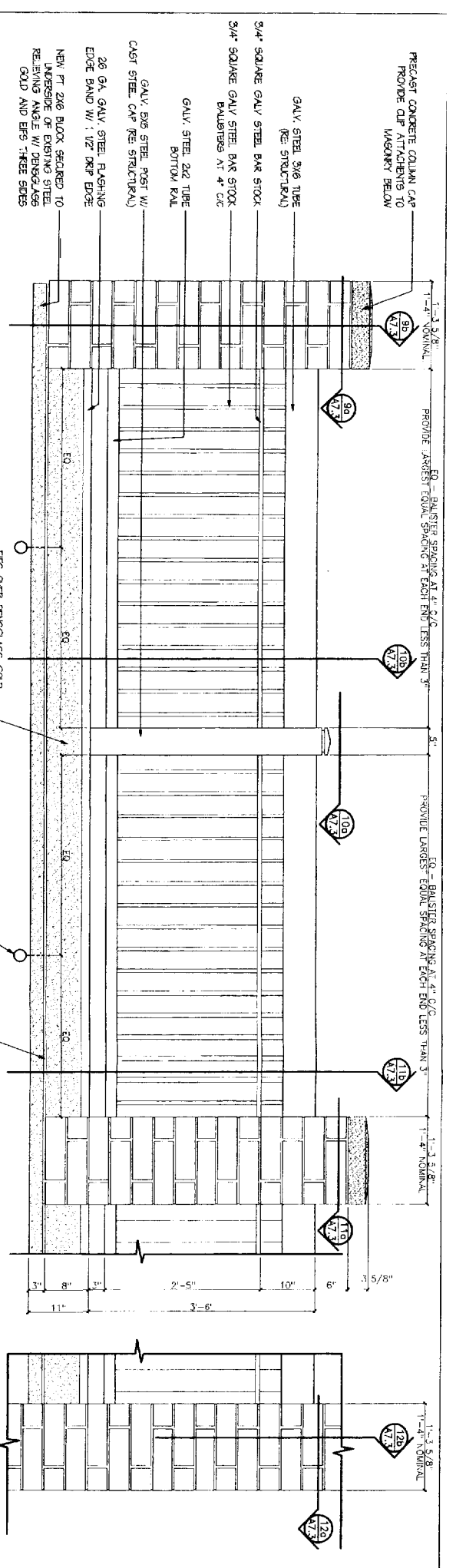
6 NEW WINDOW DETAILS



7 DETAIL AT CONCRETE PATIO

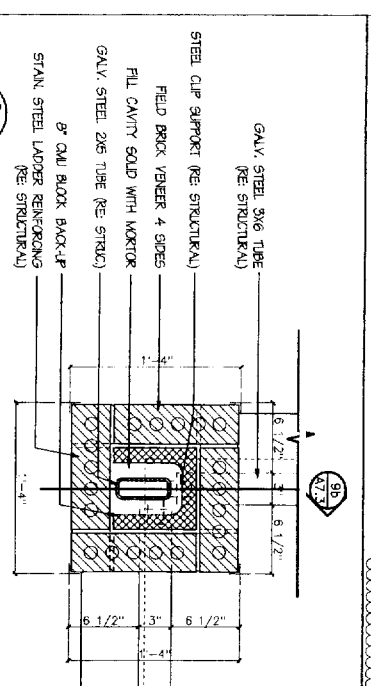


8 TYP. FRENCH DOOR SILL
(APPLIES TO ALL TYPE 'F' DOORS)

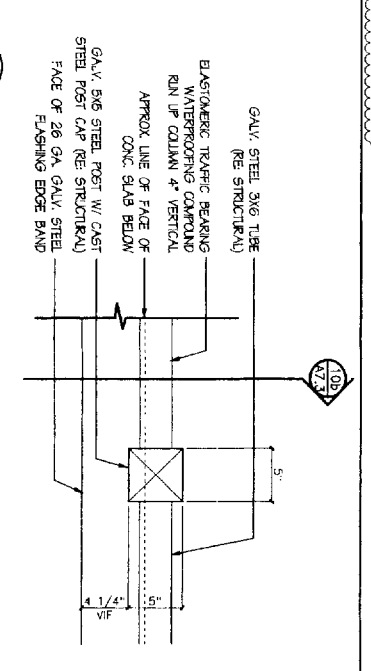


1a REFERENCE DETAIL ELEVATION
SCALE: 1/2" = 1'-0"

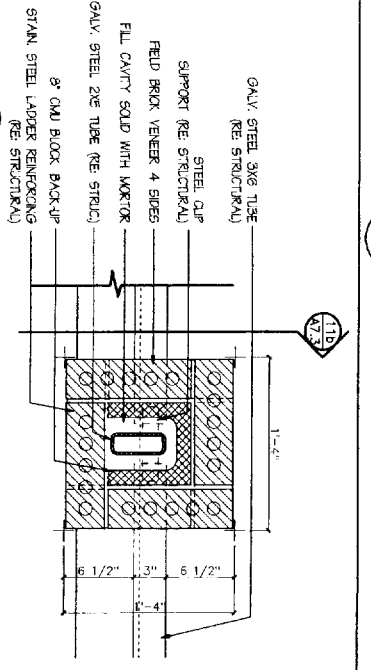
GENERAL NOTE: ALL EXPOSED GALVANIZED STEEL FRAMING COMPONENTS SHALL BE PAINTED AS SPECIFIED IN SECTION 09900.



9a PLAN SECTION

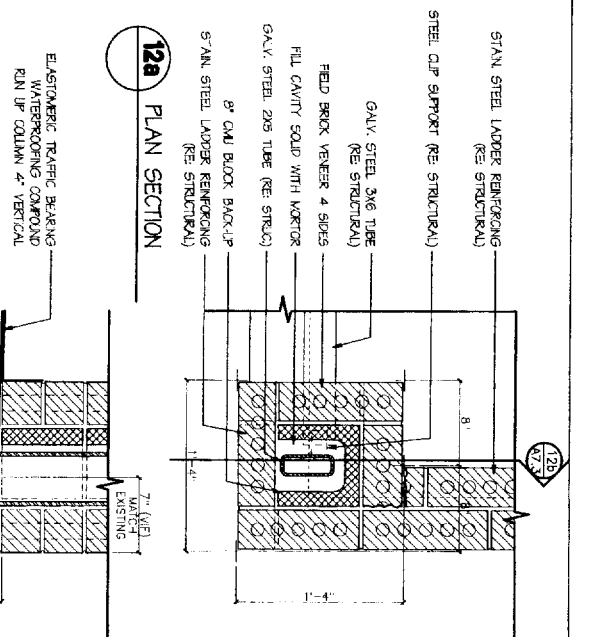


10a PLAN SECTION

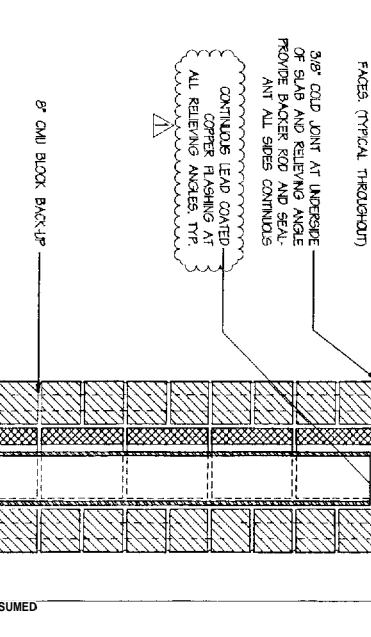


11a PLAN SECTION

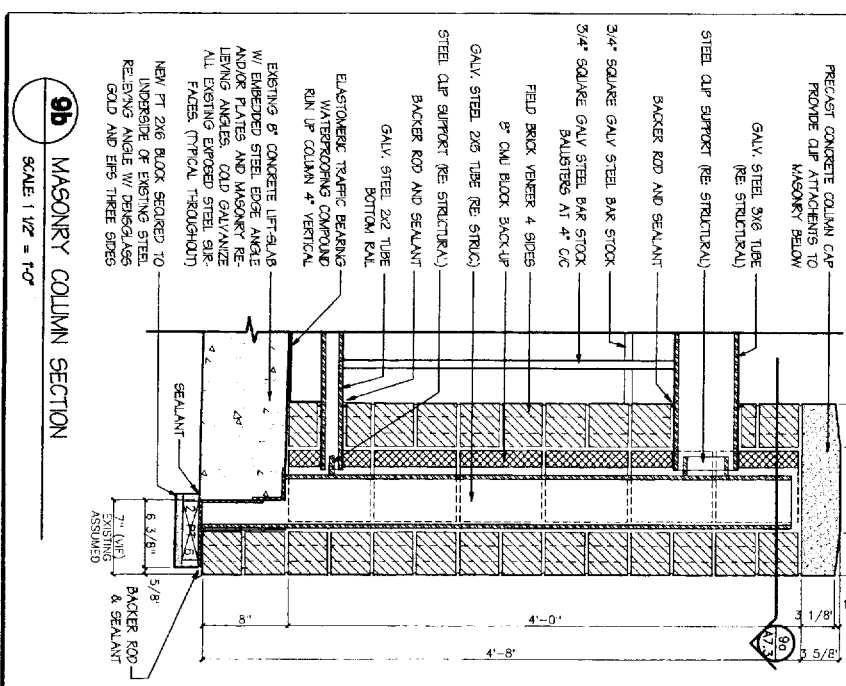
2 REFERENCE DETAIL ELEVATION
SCALE: 1/2" = 1'-0"



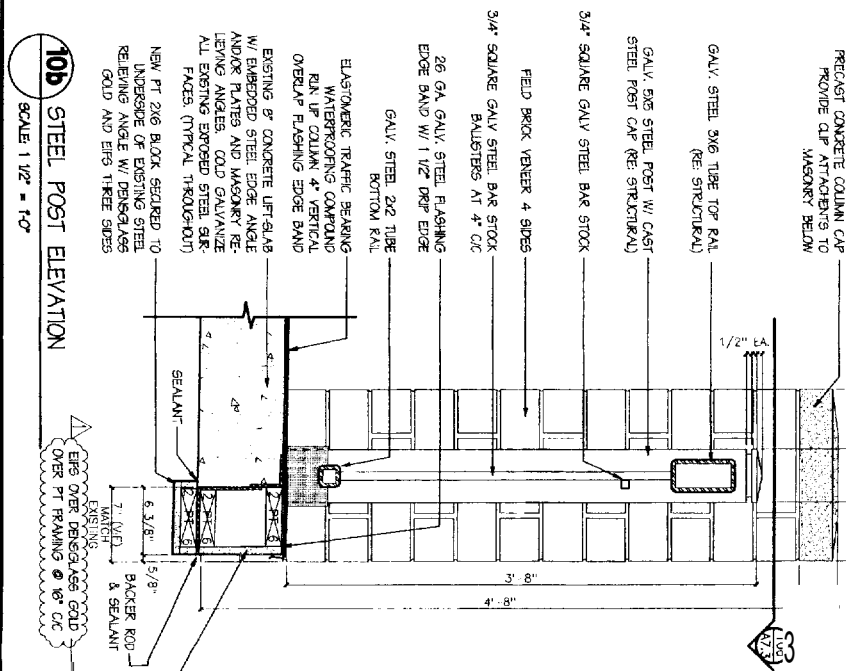
12a PLAN SECTION



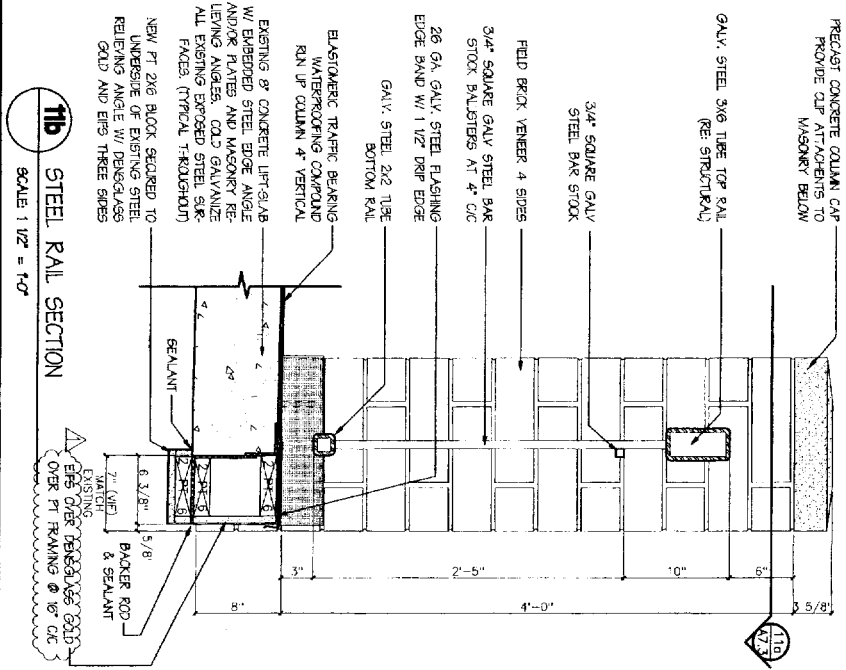
12b MASONRY PLASTER SECTION



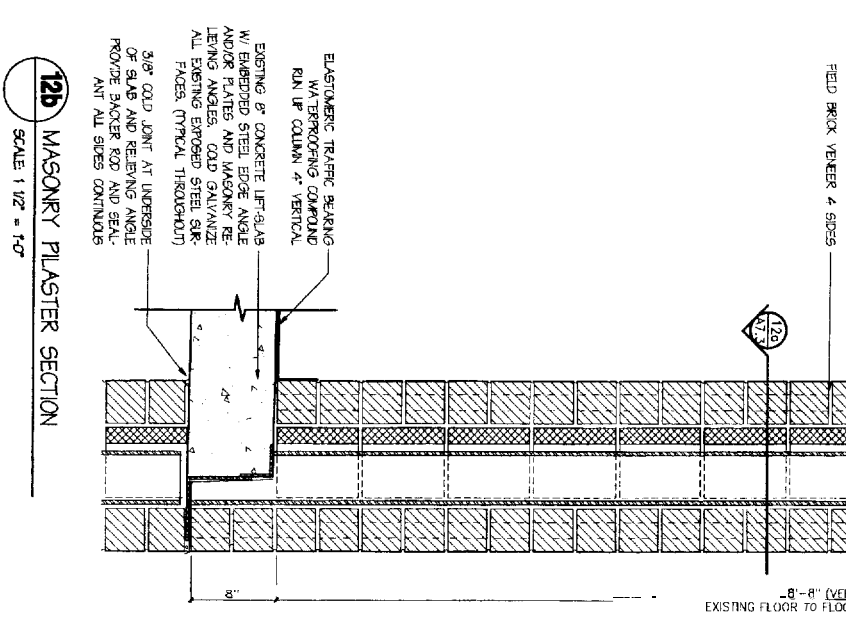
9b MASONRY COLUMN SECTION
SCALE: 1/2" = 1'-0"



10b STEEL POST ELEVATION
SCALE: 1/2" = 1'-0"



11b STEEL RAIL SECTION
SCALE: 1/2" = 1'-0"



12b MASONRY PLASTER SECTION
SCALE: 1/2" = 1'-0"

CWIS
Chris Walker Stewart
Architects

Over:
The Park Danforth
777 Stevens Avenue
Portland ME 04105

Contractor:
Allied Construction Inc
PO Box 1336
Portland ME 04104
207-712-2555

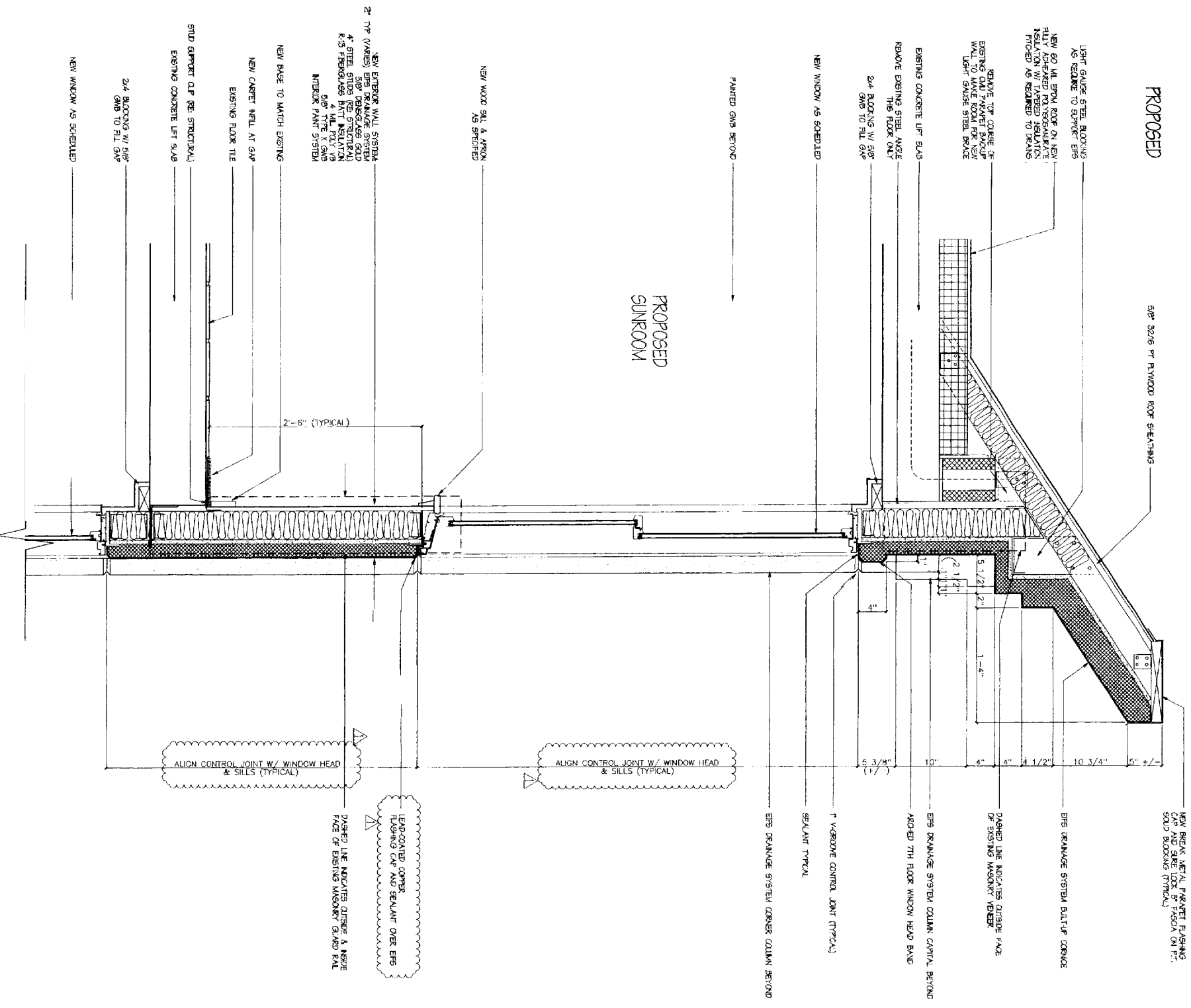
434 Cumberland Avenue
Portland, ME 04101
Phone: (207)714-4441
Fax: (207)714-4016
PO Box 6626
Lancaster, NH 03247
Phone: (603)282-5000
Fax: (603)287-0700

Project No: 99420
Drawing Title: ENLARGED DETAILS
Scale: As Noted
Date: October 01, 2004
Revised Dates:
March 15, 2005

Exterior
Renovations to
The Park Danforth
777 Stevens Avenue
Portland ME

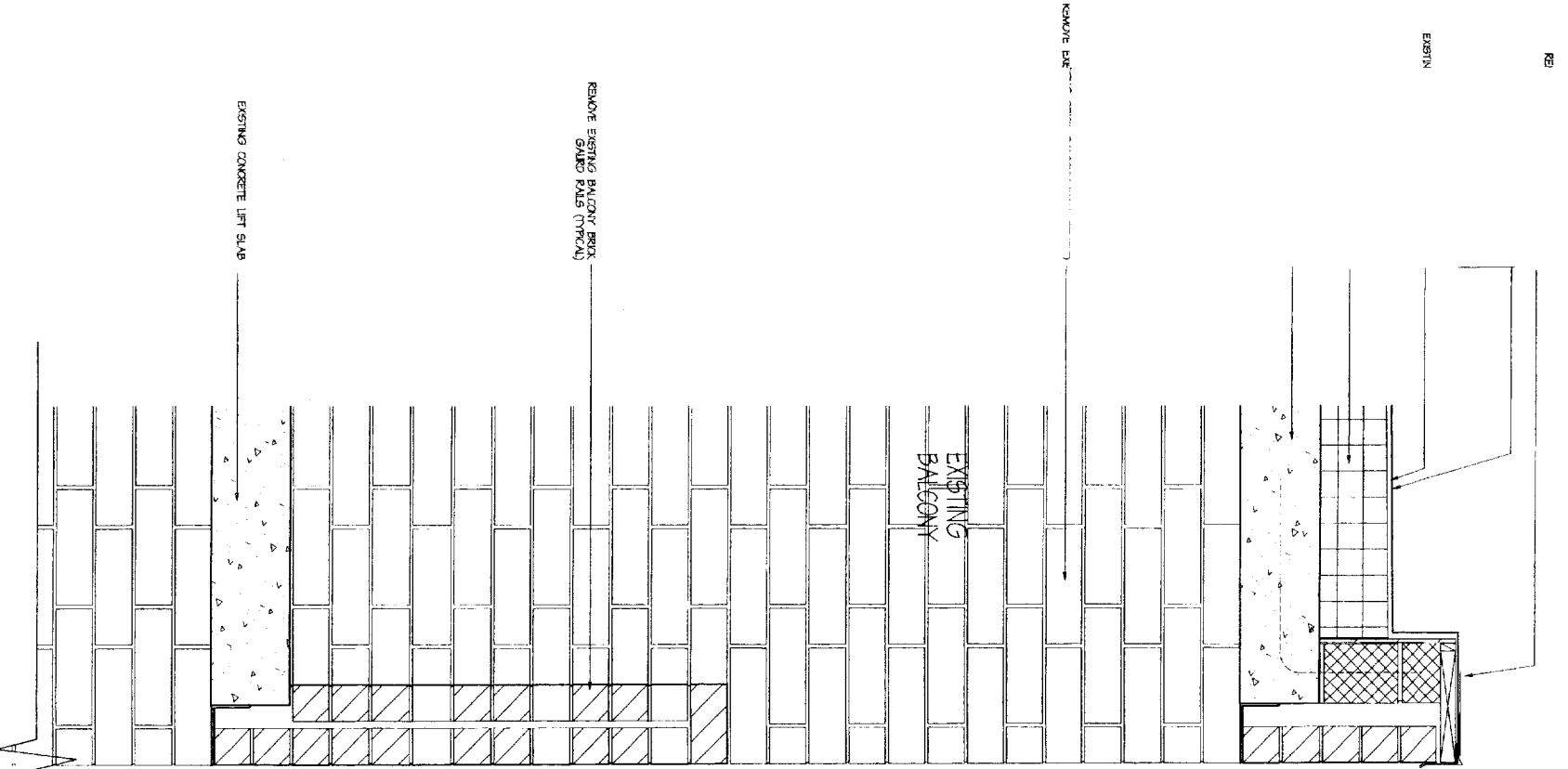
Drawing Number:
A7.3

PROPOSED



1b SECTION THRU NEW 7TH FLOOR SUNROOM @ MAIN ENTRY

SCALE: 1/2" = 1'-0"



1a SECTION THRU EXISTING 7TH FLOOR BALCONY

SCALE: 1/2" = 1'-0"

Owner:

The Park Danforth
777 Stevens Avenue
Portland ME 04103
207-797-7710

Contractor:

Allied Cook Construction
PO Box 1386
Portland ME 04104
207-772-2888

Exterior Renovations to The Park Danforth
777 Stevens Avenue
Portland ME

Project No: 99420

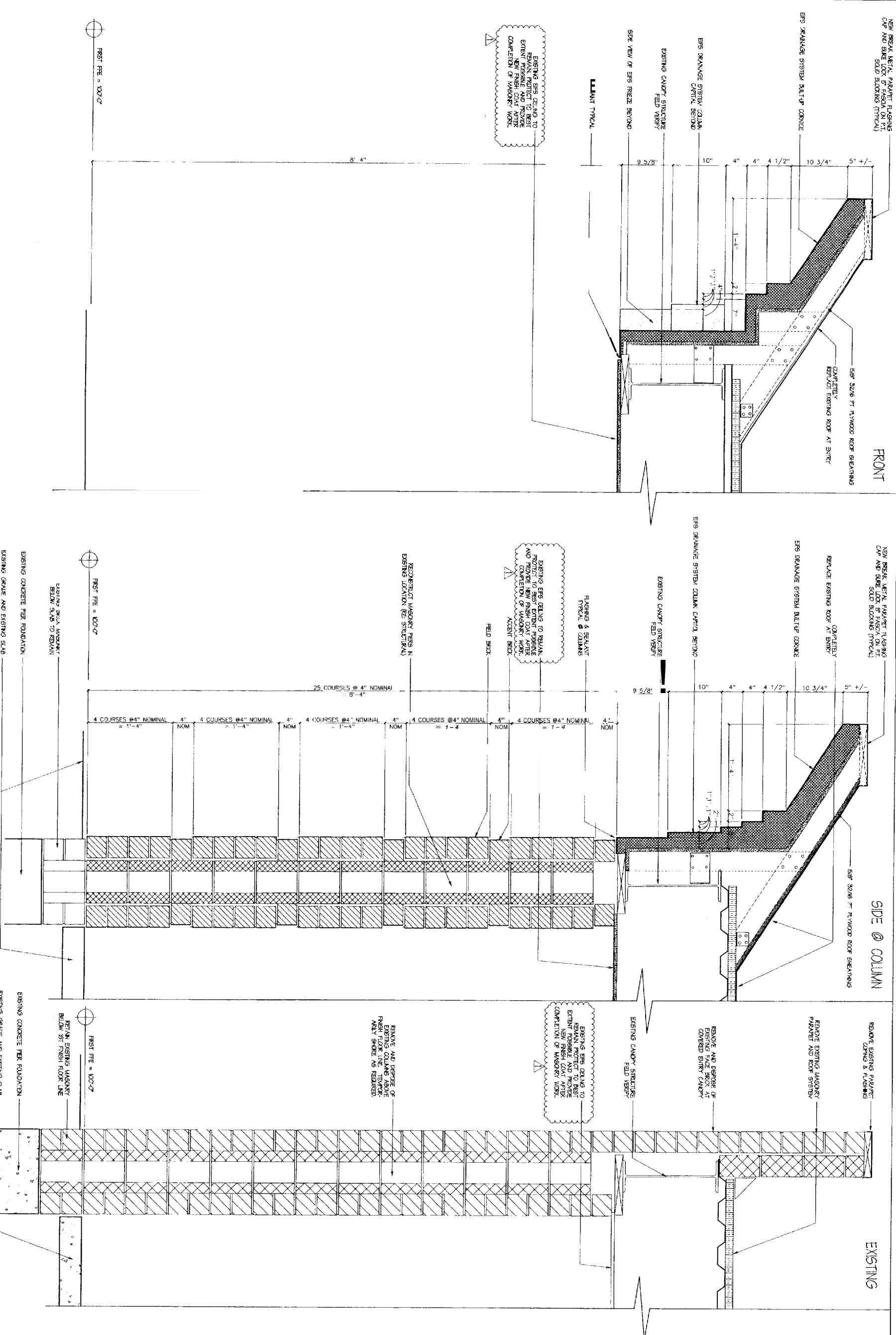
Drawing Title
CANOPY DETAILS

Scale: 1 1/2" = 1'-0"
Date: October 01, 2004
Revision Dates:

March 15, 2005

Drawing Number:

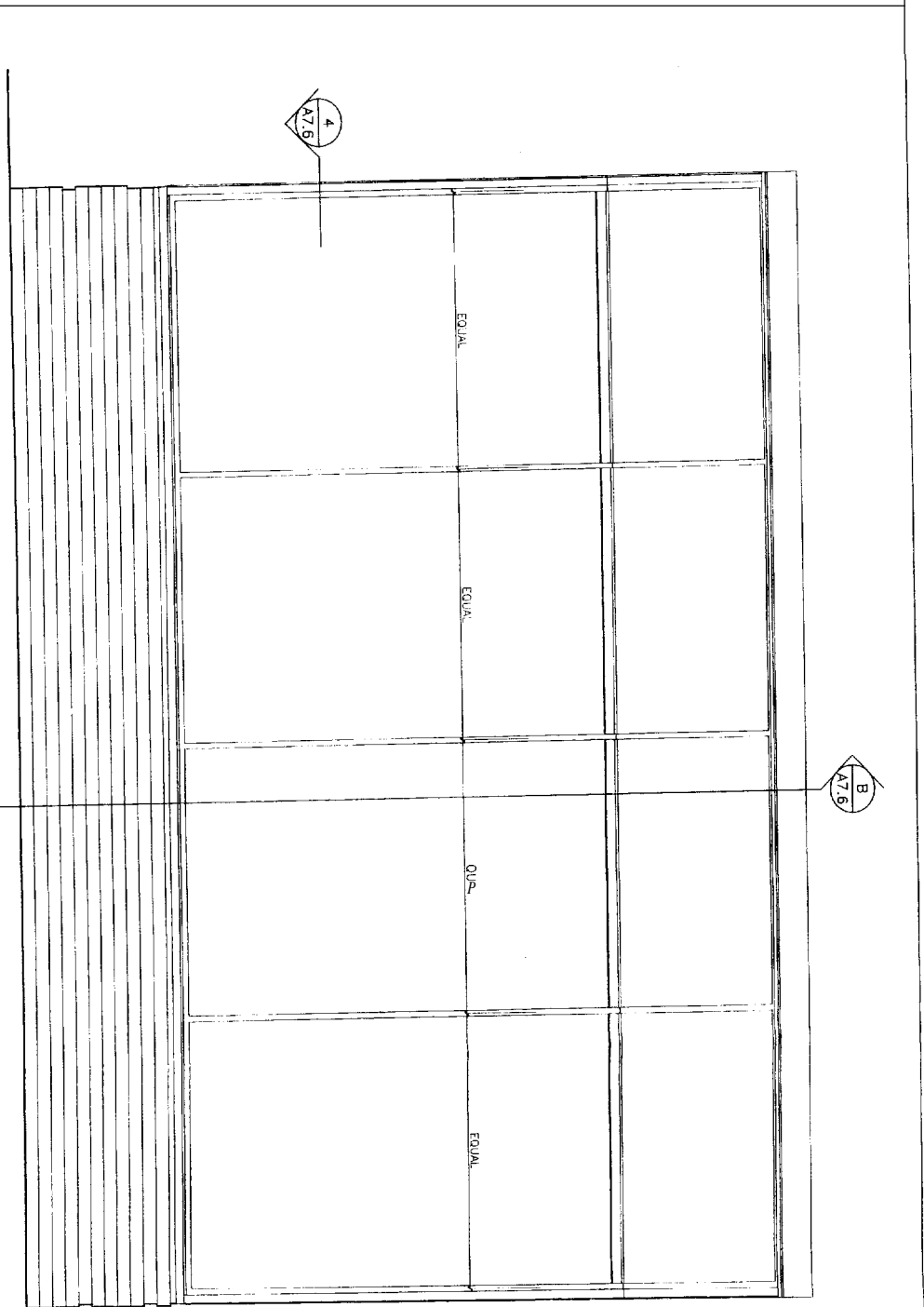
A7.5



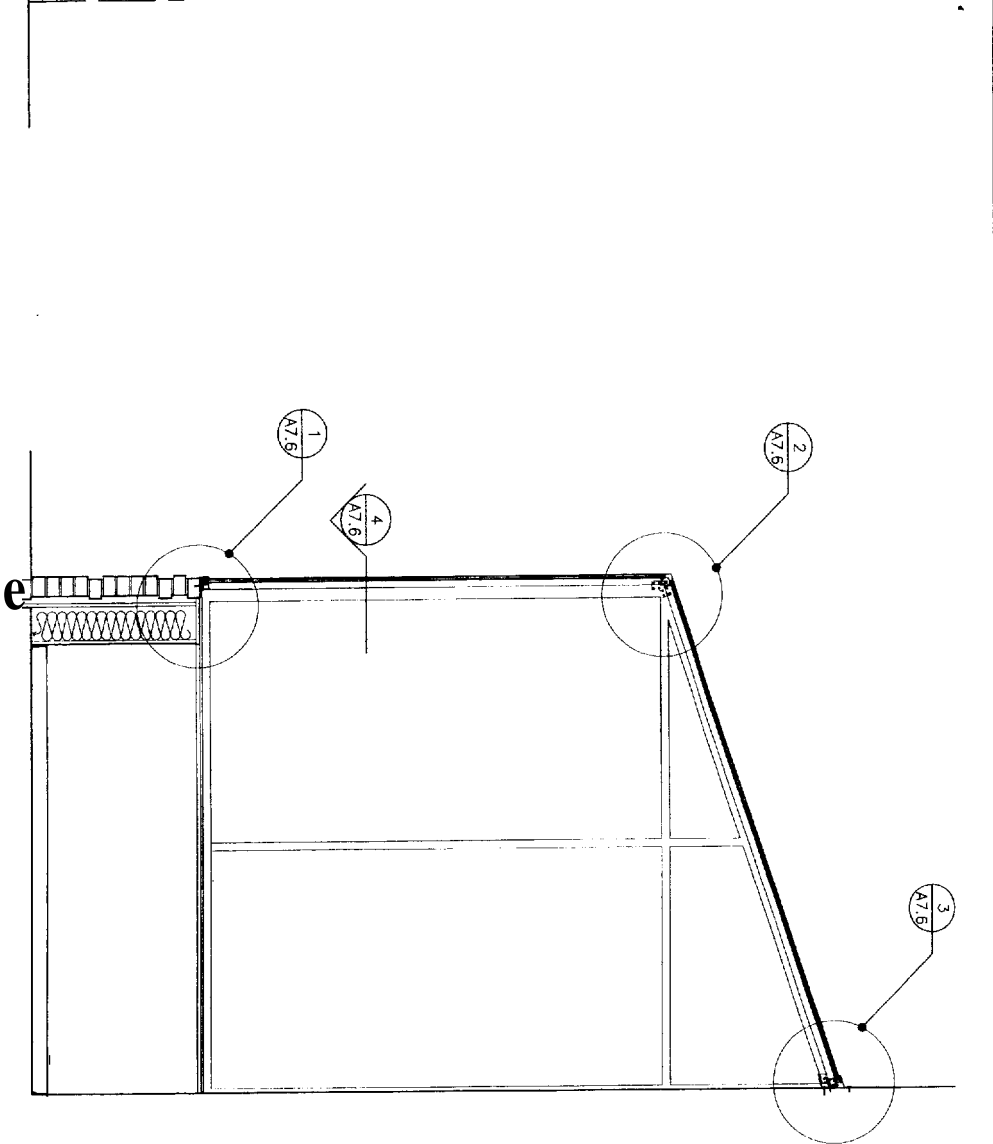
1 FRONT CORNICE @ 1ST FLOOR ENTRY
SCALE: 1 1/2" = 1'-0"

2 SECTION THRU COLUMN @ 1ST FLR. ENTRY
SCALE: 1 1/2" = 1'-0"

3 EXIST. SECTION THRU COLUMN @ 1ST FLR. ENTRY
SCALE: 1 1/2" = 1'-0"

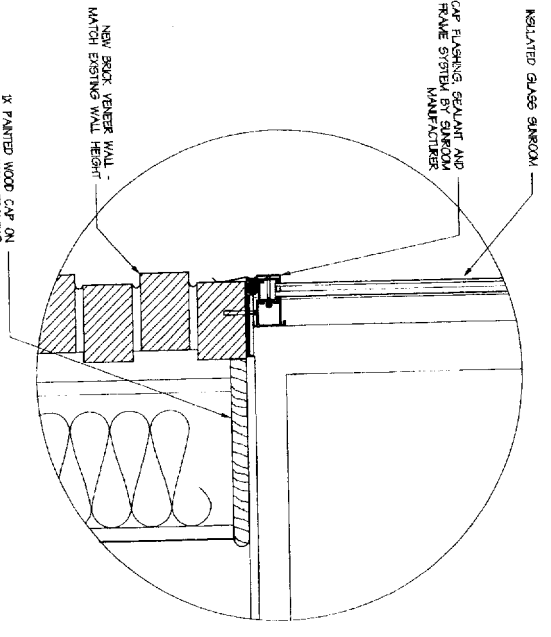


A FRONT SUNROOM ELEVATION
SCALE: 3/4" = 1'-0"

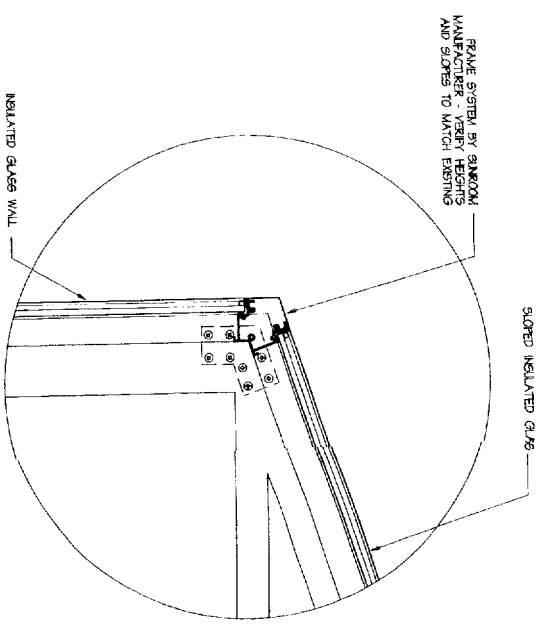


B SUNROOM SECTION
SCALE: 3/4" = 1'-0"

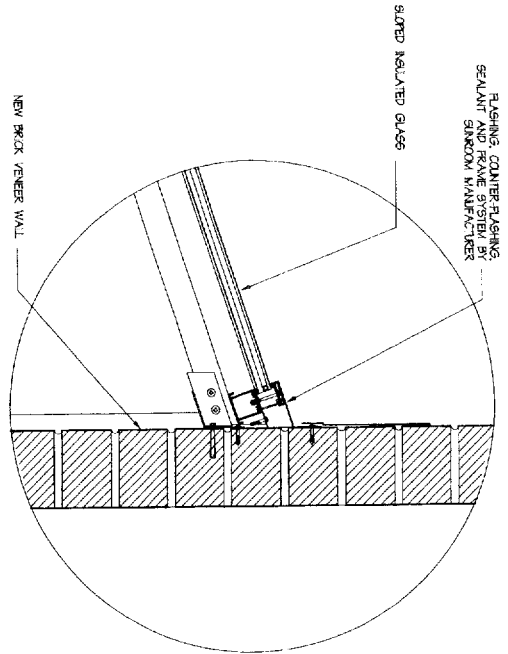
GENERAL NOTE: CONCRETE SIZES, MOUNTING HEIGHTS AND ROOF SLOPE WITH EXISTING SUNROOM AND DUPLICATE EXISTING SIZING AS CLOSELY AS POSSIBLE



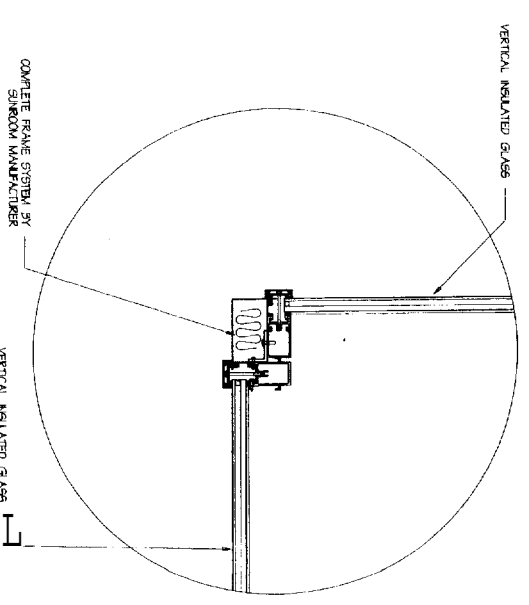
1 SILL DETAIL
SCALE: 3" = 1'-0"



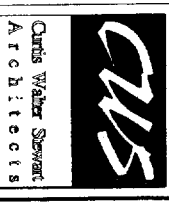
2 EAVE DETAIL
SCALE: 3" = 1'-0"



3 RIDGE DETAIL
SCALE: 3" = 1'-0"



4 CORNER POST DETAIL (PLAN)
SCALE: 3" = 1'-0"



Chris Walter Stewart Architects

434 Cornband Avenue
Portland, ME 04101
Phone: (207)774-4441
Fax: (207)774-4016
PO Box 6555
Laconia, NH 03247
Phone: (603)524-3000
Fax: (603)527-0700

Owner:
The Park Danforth
777 Stevens Avenue
Portland ME 04105

Contractor:
Allied Construction Inc
PO Box 1396
Portland ME 04104
207-772-2888

Editor:
Restorations to
The Park Danforth
777 Stevens Avenue
Portland ME

Project No: 99A20
Drawing Title:
SUNROOM DETAILS
Scale: As Noted
Date: March 15, 2005
Revision Dates:

Drawing Number:
A7.6