

PROJECT SCOPE: INTERIOR TENANT IMPROVEMENTS TO EXISTING BUILDING

GENERAL NOTES

- GENERAL CONTRACTOR SHALL VISIT THE SITE, BECOME THOROUGHLY FAMILIAR WITH THE SITE CONDITIONS PRIOR TO BIDDING OR CONSTRUCTION.
- GENERAL CONTRACTOR SHALL CONSULT WITH STARBUCKS CONSTRUCTION MANAGER TO RESOLVE ANY CHANGES, OMISSIONS OR PLAN DISCREPANCIES PRIOR TO BIDDING OR CONSTRUCTION.
- ALL WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH LOCAL, COUNTY, STATE AND FEDERAL CODES AND ORDINANCES.
- GENERAL CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES.
- GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS, INCLUDING CLEARANCES REQUIRED BY OTHER TRADES AND NOTIFY STARBUCKS CONSTRUCTION MANAGER OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH THE WORK. ALL DIMENSIONS ARE TO THE FACE OF THE FINISHED SURFACE UNLESS NOTED OTHERWISE. ALL DIMENSIONS TO BE TAKEN FROM DESIGNATED DATUM POINT. DO NOT SCALE DRAWINGS.
- GENERAL CONTRACTOR SHALL PATCH AND REPAIR ALL EXISTING WALLS, FLOORS, CEILINGS, OR OTHER SURFACES IDENTIFIED TO REMAIN THAT MAY BECOME DAMAGED DURING THE COURSE OF THE WORK.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS FOR FIRE PROTECTION, PLUMBING, MECHANICAL, AND ELECTRICAL SYSTEMS PRIOR TO INSTALLATION OF SUCH SYSTEMS.
- GENERAL CONTRACTOR SHALL RETAIN ONE SET OF THE PLANS TO NOTE AND DOCUMENT ALL CHANGES DURING CONSTRUCTION. THIS SET SHALL BE A PART OF THE GENERAL CONTRACTOR'S "STORE CLOSE-OUT PACKAGE" AS DESCRIBED IN THE CONSTRUCTION MANAGEMENT AGREEMENT.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING DELIVERY OF MATERIALS FROM STARBUCKS CONTRACTED THIRD PARTY LOGISTICS DISTRIBUTION SERVICES AND VENDOR DIRECT SHIPMENTS. REFER TO CONSTRUCTION MANAGEMENT AGREEMENT FOR METHODS AND LEAD TIMES.
- RESPONSIBILITY FOR SUPPLY AND DELIVERY OF MATERIALS AND EQUIPMENT IS IDENTIFIED IN THE DRAWING SCHEDULE SHEETS UNDER THE COLUMN LABELED "RESPONSIBILITY".
- FOR THE PURPOSE OF THE DOCUMENTS, TO "INSTALL," SHALL MEAN TO PROVIDE ALL FASTENERS, MISCELLANEOUS HARDWARE, BLOCKING, ELECTRICAL CONNECTIONS, PLUMBING CONNECTIONS, TRIM, AND OTHER ITEMS REQUIRED FOR A COMPLETE AND OPERATION INSTALLATION, UNLESS OTHERWISE NOTED.
- ALL ITEM SUBSTITUTIONS MUST BE APPROVED BY THE STARBUCKS DESIGN MANAGER.
- REFER TO ITEM CUTSHEETS FOR ADDITIONAL INFORMATION.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS FOR ANY MODIFICATION TO EXISTING SPRINKLER SYSTEM IF APPLICABLE.
- A COMPLETE COPY OF THESE CONSTRUCTION DOCUMENTS, UPDATED AS REQUIRED BY SUBSEQUENTLY ISSUED INFORMATION, IS TO BE KEPT ON SITE AT ALL TIMES. ANY WORK REQUIRING CORRECTION AS THE RESULT OF FAILURE TO CONSULT THE MOST RECENT CONSTRUCTION DOCUMENTS SHALL BE COMPLETED AT THE SOLE EXPENSE OF THE GENERAL CONTRACTOR AND WILL NOT BE CONSIDERED AS A BASIS FOR AN EXTENSION OF THE PROJECT SCHEDULE.
- ALL DIMENSIONS OF EXISTING CONSTRUCTION TO BE VERIFIED IN FIELD. THE CONTRACTOR IS TO INFORM THE ARCHITECT OF ANY DISCREPANCIES, OMISSIONS AND/OR CONFLICTS BEFORE PROCEEDING WITH THE WORK.
- IN CASE OF CONFLICT BETWEEN DRAWINGS AND SPECIFICATIONS OR WITHIN EITHER DOCUMENT, THE CONTRACTOR IS TO CONTACT THE ARCHITECT FOR INTERPRETATION. OTHERWISE THE BETTER QUALITY OR GREATER QUANTITY OF WORK SHALL BE PROVIDED.
- DO NOT SCALE DRAWINGS; DIMENSIONS SHALL GOVERN. LARGE SCALE DETAILS SHALL GOVERN OVER SMALL SCALE DETAILS. FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS.
- ALL DIMENSIONS ARE TO BE TAKEN FROM FINISH FACE TO FINISH FACE UNLESS NOTED OTHERWISE.
- THE INTEGRITY OF THE EXISTING BUILDING STRUCTURE IS TO BE MAINTAINED.
- THE CONTRACTORS SHALL MAKE PROVISIONS FOR PROTECTING ALL EXISTING AND NEW WORK DURING CONSTRUCTION.
- THE WORK SITE IS TO BE MAINTAINED IN A BROOM-CLEAN AND ORDERLY CONDITION AT ALL TIMES. WASTE IS TO BE REMOVED FROM THE SITE AND PROPERLY DISPOSED OF AS WORK PROGRESSES.
- ALL FLOORS AND SUBFLOORS SHALL BE MADE FLAT AND LEVEL AS REQUIRED BEFORE INSTALLING NEW FLOORING AND CASEWORK.
- WHERE NEW WORK ADJOINS EXISTING, SUCH WORK WILL BE PROPERLY INTEGRATED WITH THE EXISTING WORK TO INSURE A UNIFORM APPEARANCE. ANY NEW WORK REQUIRED IN EXISTING WORK SHALL BE PATCHED AND FINISHED AS REQUIRED TO MATCH SURROUNDING EXISTING WORK. THE CONTRACTOR SHALL DO ALL NECESSARY CUTTING, FITTING AND PATCHING. THE CONTRACTOR SHALL FURNISH ALL NECESSARY LABOR AND MATERIALS FOR THIS WORK, WHETHER TO NOT SHOWN AND/OR SPECIFIED IN THE CONSTRUCTION DOCUMENTS.
- NEW WALLS SHALL ALIGN AND BE LEVEL AND PLUMB TO EXISTING ADJACENT WALLS AND CONDITIONS UNLESS NOTED OTHERWISE.
- ALL PARTITION PENETRATIONS SHALL BE SEALED TO MAINTAIN FIRE RESISTANCE OF ANY FIRE RATED PARTITIONS.
- CLOSE-UP AND PATCH SOFFITS, WALLS AND CEILING FOR ALL EXISTING ELECTRICAL EQUIPMENT, BOXES OR OUTLETS REMOVED OR ABANDONED. CUT NEW OPENINGS FOR ELECTRICAL EQUIPMENT, BOXES, ETC. AS REQUIRED.
- GC TO INSPECT SEALS AT ALL EXISTING WINDOWS THROUGHOUT. ADVISE THE ARCHITECT ON FINDINGS PRIOR TO BEGINNING ANY REPAIR WORK.
- ANY WORKMAN USING FLAMMABLE MATERIALS SHALL INCLUDE A SMALL FIRE EXTINGUISHER AS PART OF HIS EQUIPMENT.
- ALL NOTES ON ALL SHEETS OF THE DOCUMENT SET SHALL APPLY TO ALL SHEETS IN THE SET.
- ALLOWABLE CONSTRUCTION TOLERANCES ARE AS FOLLOWS:
WALLS: 1/4" IN 10'-0" OUT OF PLANE, NO TOLERANCE FOR OUT OF PLUMB OR LEVEL UNLESS UNAVOIDABLE DUE TO SITE CONDITIONS.
CEILINGS: ± 1/4" IN HEIGHT UNLESS UNAVOIDABLE DUE TO SITE CONDITIONS.
TILE GROUT JOINTS: 1/16" ± 1/64" UNLESS OTHERWISE NOTED
TILE LIPPING: ± 1/32"
STONE SLAB JOINTS: 1/32" MAXIMUM, NO LIPPING PERMITTED.
- THE ARCHITECT AND CONSULTANTS HAVE INVESTIGATED THE EXISTING FACILITY IN THEIR PREPARATION OF THESE DOCUMENTS. THIS INVESTIGATION & VERIFICATION HAS BEEN DONE TO THE BEST OF THE ARCHITECT'S ABILITY AS A PROFESSIONAL. AS THIS PROJECT INCLUDES RENOVATION OF AN EXISTING SITE, UNFORESSEEN CONDITIONS MAY ARISE DURING THE COURSE OF THE PROJECT, WHICH MAY NOT HAVE BEEN DISCOVERED DURING THE INVESTIGATION & VERIFICATION BY THE ARCHITECT. DISCOVERY OF THESE CONDITIONS WILL NOT BE CONSIDERED A FAULT IN THESE DOCUMENTS, HOWEVER, THE ARCHITECT WILL ASSIST IN THE INCORPORATION OF A RESOLUTION OF THESE HIDDEN CONDITIONS.

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ARCHITECTURAL SYMBOL LEGEND

	NORTH ARROW		PAINT TAG
	EXTERIOR ELEVATION		DESIGN ID TAG
	INTERIOR ELEVATION		DOOR/WINDOW TAG
	SECTION CALLOUT		ABOVE FINISHED FLOOR HEIGHT TAG (IMPERIAL)
	DETAIL CALLOUT		ABOVE FINISHED FLOOR HEIGHT TAG (METRIC)
	REVISION TAG		DIMENSION LINE FROM FINISH FACE TO FINISH FACE
	DATUM POINT		REVISION CLOUD

PROJECT CONTACTS

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SITE AND OCCUPANCY

PROJECT DESCRIPTION: RENOVATION: EXISTING STARBUCKS COFFEE SHOP
COMMERCIAL TENANT IMPROVEMENTS. SIGNAGE
UNDER SEPARATE PERMIT

BUILDING HEIGHT: 21'-0"

BUILDING AREA: 1,953 SF

BUILDING USE: COMMERCIAL

CONSTRUCTION TYPE: II-B

FIRE SUPPRESSION SYSTEM: NONE

ZONING: B2 - REGULAR BUSINESS SINGLE TENANT LOT

TYPE OF USE: RETAIL SALES AND SERVICES

TOTAL SQUARE FOOTAGE: 1,953 SF

TYPE OF OCCUPANCY: B - BUSINESS (A-2 UNDER 49 OCC.)

OCCUPANCY LOAD:

RETAIL:	56 SF / 30 =	2
SEATING:	342 SF / 15 =	23
BEVERAGE/PREP:	377 SF / 200 =	2
WORKROOM/STORAGE:	386 SF / 300 =	2
TOTAL OCCUPANCY =		29
		(NO CHANGE TO EXISTING)

TOTAL INTERIOR SEATS: 23 (NO CHANGE TO EXISTING)

EXTERIOR SEASONAL SEATING: 23 (NO CHANGE TO EXISTING)

EXIT CAPACITY: EXIT 1: 72' WIDE
EXIT 2: 36' WIDE
TOTAL EXIT WIDTH PROVIDED: 108in
108in / 0.2in PER OCCUPANT = 540 OCCUPANTS
29 < 540 THEREFORE **COMPLIES**

TRAVEL DISTANCE: ALLOWED TRAVEL DISTANCE: 200'-0"
ACTUAL TRAVEL DISTANCE: 46'-6"

NUMBER OF EXITS: MIN. NUMBER OF EXITS REQUIRED: 1
NUMBER OF EXITS PROVIDED: 2
WORKROOM / BACKBAR EXITS PROVIDED: 1

PLUMBING FIXTURES

- (1) MEN'S RESTROOM
- (1) WOMEN'S RESTROOM

NO CHANGE TO EXISTING

APPLICABLE BUILDING CODES

BUILDING CODE: 2009 INTERNATIONAL BUILDING CODE
PLUMBING CODE: 2015 UNIFORM PLUMBING CODE
MECHANICAL CODE: 2007 ASHRAE 62.1, 62.2 AND 90.1
ENERGY CODE: 2009 INTERNATIONAL ENERGY CONSERVATION CODE
FIRE PROTECTION: 2009 INTERNATIONAL FIRE CODE
ACCESSIBILITY: ANSI A117.1-2009

DEFERRED SUBMITTALS

- SIGNAGE
- FIRE PROTECTION
- FIRE ALARM

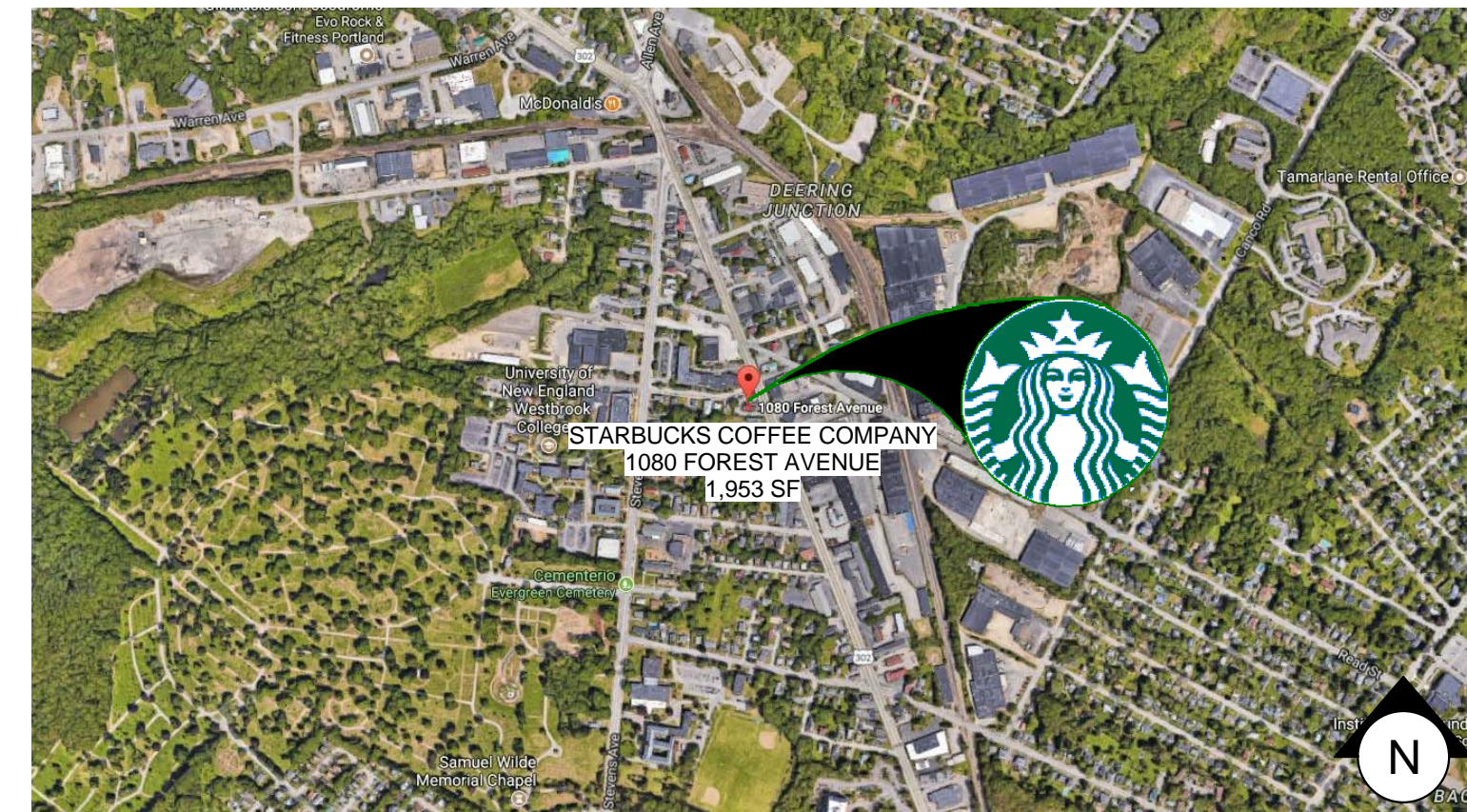
RESPONSIBILITY LEGEND

GC	GENERAL CONTRACTOR
LL	LANDLORD
VD	VENDOR
WH	WAREHOUSE

VICINITY MAP



VICINITY MAP



PERSPECTIVE - INTERIOR



ISSUE FOR CONSTRUCTION 08/23/2017



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STARBUCKS TEMPLATE VERSION i2016.12.23

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PROJECT NAME:
RENOVATION OF STARBUCKS COFFEE PORTLAND, 1080 FOREST AVE.
PROJECT ADDRESS:
1080 FOREST AVENUE PORTLAND, ME 04103 CUMBERLAND COUNTY

STORE #: 11917
PROJECT #: 37548-037
ISSUE DATE: 10/24/2017
PROGRAM MANAGER: J. BOND
DESIGNER: A. LEE
LEED® AP: N/A
PRODUCTION DESIGNER: E. VEGA
CHECKED BY: P. BENVENUTO

Revision Schedule			
Rev	Date	By	Description
1	10/24/14		BUILDING COMMENTS

SHEET TITLE:
GENERAL INFORMATION

SCALE: AS SHOWN

SHEET NUMBER:
G-0001