




SHEET NOTES

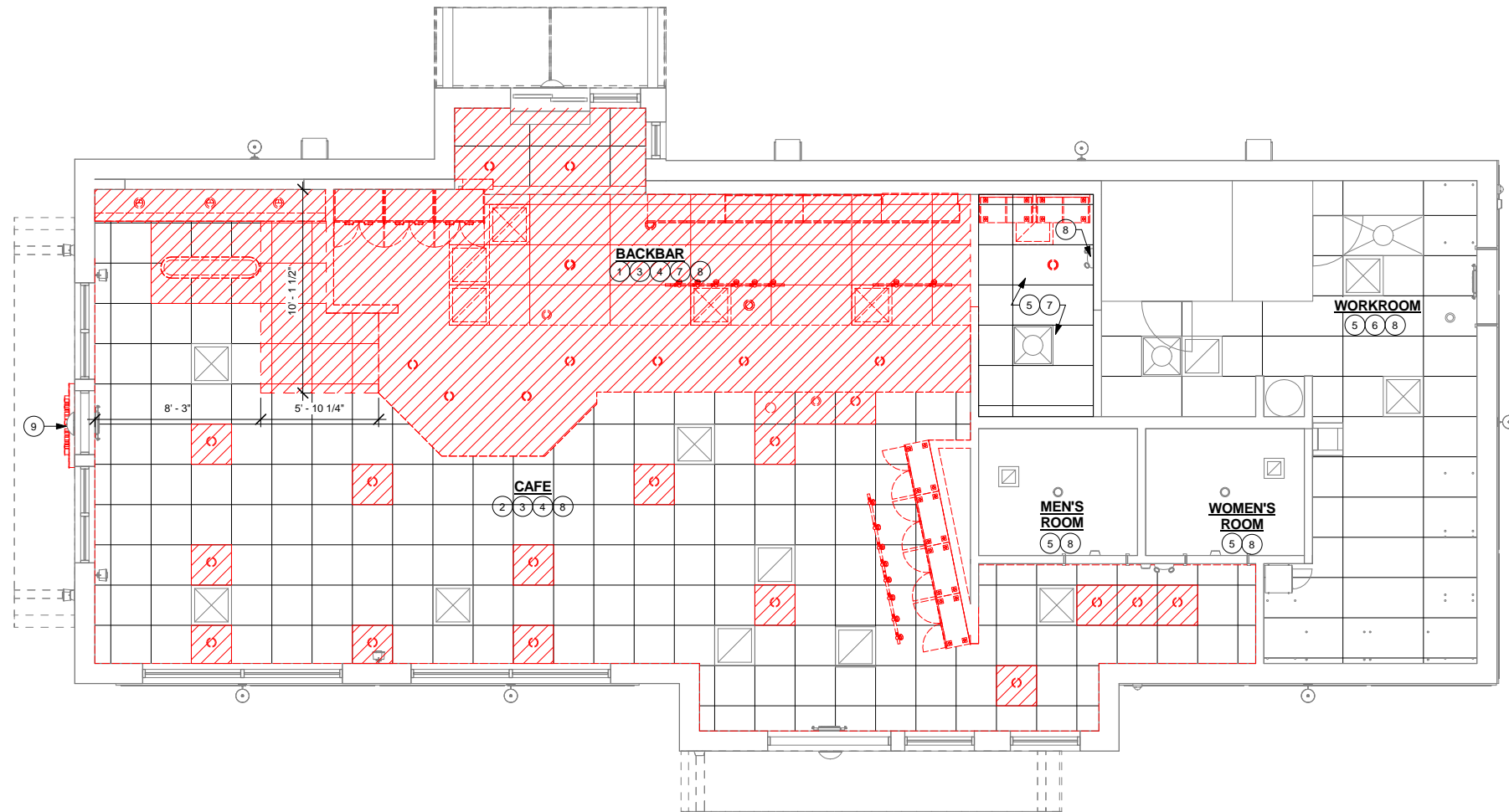
1. DEMOLISH EXISTING SOFFIT AS INDICATED. PATCH AND REPAIR ADJACENT CEILING AS NEEDED.
2. DEMOLISH 2X2 ACT CEILING TILE IN SHADED REGION.
3. DEMOLISH ALL EXISTING RECESSED LIGHTING IN CAFE AND BACKBAR AREA
4. EXISTING HVAC SUPPLIES AND DIFFUSERS TO BE RELOCATED ON A NEW SOFFIT.
5. EXISTING CEILING, LIGHTING AND MECHANICAL EQUIPMENT TO REMAIN IN PLACE
6. DEMOLISH DAMAGED CEILING TILES IN WORKROOM AND REPLACE WITH NEW ONES TO MATCH ADJACENT
7. DEMOLISH EXISTING UPPER CABINETS AS INDICATED
8. EXISTING EMERGENCY LIGHTING TO REMAIN IN PLACE
9. EXISTING SIGNAGE TO BE REMOVED

DEMOLITION REFLECTED CEILING PLAN NOTES

- A. IF DURING DEMOLITION CONDITIONS ARE REVEALED THAT MAY JEOPARDIZE INTEGRITY OF STRUCTURE OR PRECLUDE FOLLOWING DESIGN INTENT, GENERAL CONTRACTOR TO NOTIFY STARBUCKS CONSTRUCTION MANAGER IMMEDIATELY.
- B. GENERAL CONTRACTOR RESPONSIBLE FOR SITE INVESTIGATION PRIOR TO DEMOLITION TO REVEAL FULL SCOPE OF WORK.
- C. EXISTING WALLS TO REMAIN. PATCH AND REPAIR AS REQUIRED TO PROVIDE A SMOOTH, PAINT READY FINISH.
- D. DEMOLISH EXISTING GYPSUM WALL BOARD, CEILING TILE, GRID AND/OR OTHER CEILING FINISH AS NECESSARY TO PROVIDE FOR NEW CEILING READY CONDITION.
- E. DEMOLISH EXISTING WALL FINISHES AS NECESSARY.
- F. REMOVE EXISTING LIGHT FIXTURES, EQUIPMENT AND POWER LINES AS DIRECTED.
- G. REMOVE EXTRANEOUS EQUIPMENT AS NECESSARY.

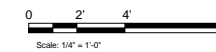
CEILING DEMOLITION LEGEND

-  MATERIAL / ITEM TO BE DEMOLISHED
-  PORTION OF SOFFIT / ACT CEILING TO BE DEMOLISHED
-  EXISTING TO REMAIN



DEMOLITION CEILING PLAN

Scale: 1/4" = 1'-0"



ISSUE FOR CONSTRUCTION 08/23/2017



STARBUCKS COFFEE COMPANY
 2401 UTAH AVENUE SOUTH
 SEATTLE, WASHINGTON 98134
 (206) 319-1575

THESE DRAWINGS AND SPECIFICATIONS ARE CONFIDENTIAL AND SHALL REMAIN THE SOLE PROPERTY OF STARBUCKS CORPORATION, WHICH IS THE OWNER OF THE COPYRIGHT IN THIS WORK. THEY SHALL NOT BE REPRODUCED (IN WHOLE OR IN PART), SHARED WITH THIRD PARTIES OR USED IN ANY MANNER ON OTHER PROJECTS OR EXTENSIONS TO THIS PROJECT WITHOUT THE PRIOR WRITTEN CONSENT OF STARBUCKS CORPORATION. THESE DRAWINGS AND SPECIFICATIONS ARE INTENDED TO EXPRESS DESIGN INTENT FOR A PROTOTYPICAL STARBUCKS STORE (WHICH IS SUBJECT TO CHANGE AT ANYTIME) AND DO NOT REFLECT ACTUAL SITE CONDITIONS. NEITHER PARTY SHALL HAVE ANY OBLIGATION NOR LIABILITY TO THE OTHER (EXCEPT STATED ABOVE) UNTIL A WRITTEN AGREEMENT IS FULLY EXECUTED BY BOTH PARTIES.

STARBUCKS TEMPLATE VERSION i2016.12.23

NORR

ARCHITECTS PLANNERS
 325 N. LaSalle St., Suite 500 | Chicago, IL 60654
 1.312.424.2400 | www.norr.com

ENGINEER OF RECORD

William J. Abmayor, P.E.
 263 Marshall Avenue
 St. Louis, Missouri 63119
 Phone (314) 772-1782
 Fax (314) 772-0908

Engineering Consultant



PROJECT NAME:
RENOVATION OF STARBUCKS COFFEE PORTLAND, 1080 FOREST AVE.
 PROJECT ADDRESS:
 1080 FOREST AVENUE
 PORTLAND, ME 04103
 CUMBERLAND COUNTY

STORE #: 11917
 PROJECT #: 37548-037
 ISSUE DATE: 08/23/2017
 PROGRAM MANAGER: J. BOND
 DESIGNER: A. LEE
 LEED® AP: N/A
 PRODUCTION DESIGNER: E. VEGA
 CHECKED BY: P. BENVENUTO

Revision Schedule			
Rev	Date	By	Description

SHEET TITLE:
DEMOLITION REFLECTED CEILING PLAN
 SCALE: AS SHOWN

SHEET NUMBER:
I-1102