

8/23/2017 12:18:01 PM P:\Restaurant\Starbucks\NICH17-0130 - Starbucks - Portland - 1080 Forest Ave - Models\ME - Portland, 1080 Forest Ave_Permit set.rvt

WALL DEMOLITION LEGEND

- MATERIAL / ITEM TO BE DEMOLISHED
- FULL-HEIGHT WALL TO BE DEMOLISHED
- PARTIAL-HEIGHT WALL TO BE DEMOLISHED
- MATERIAL / ITEM TO BE SALVAGED & RELOCATED
- EXISTING TO REMAIN

ITEMS TO PRESERVE

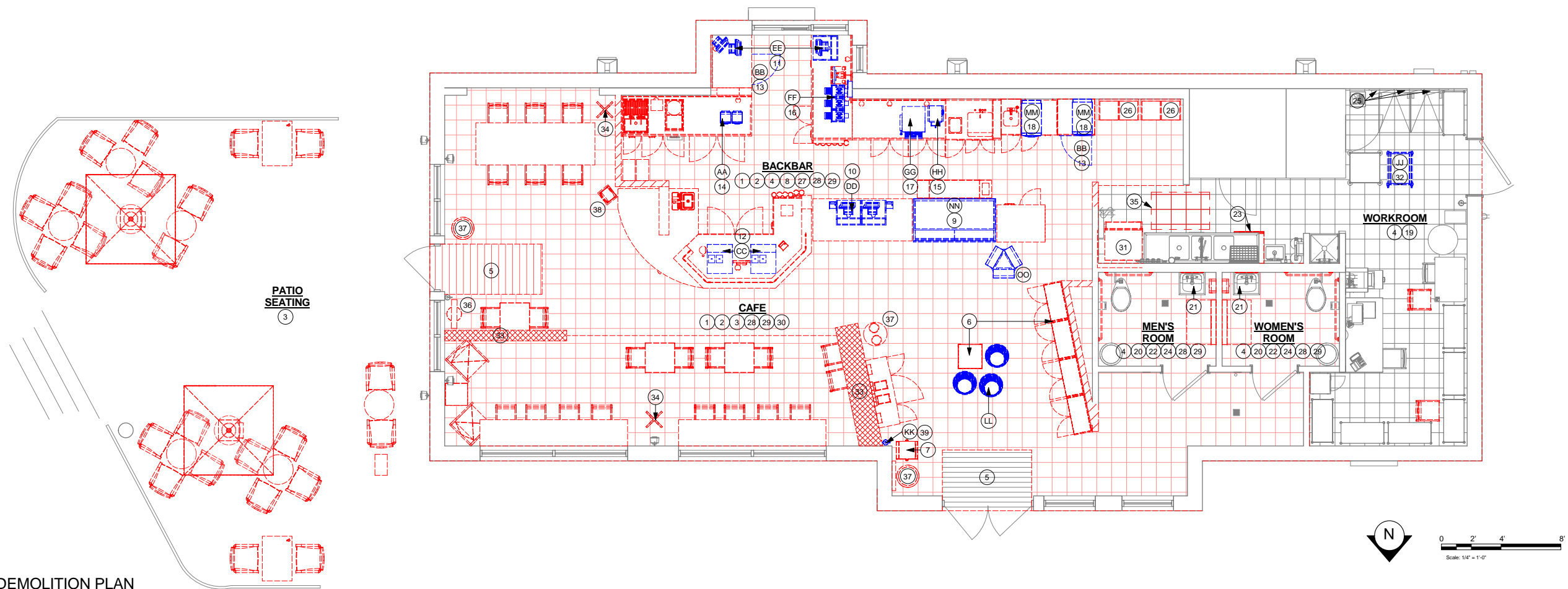
- AA. BLENDER (2)
- BB. 1-DR UIC REFRIGERATOR (2)
- CC. VERISSIMO ESPRESSO MACHINE (2)
- DD. POS EQUIPMENT, SAFE AND BASE
- EE. DT POS EQUIPMENT
- FF. SHUTTLES (3)
- GG. DUAL BREWER
- HH. GRINDER
- JJ. ROLLING PASTRY RACK
- KK. FIRE EXTINGUISHER
- LL. MERCH BASKETS (3)
- MM. NGO OVEN (2)
- NN. PASTRY CASE
- OO. SNACK FIXTURE

SHEET NOTES

1. DEMOLISH EXISTING INTERIOR WALL PARTITIONS AS INDICATED. GC TO VERIFY CONDITIONS & IF UTILITIES EXIST WITHIN WALL PRIOR TO FULL DEMOLITION. GC TO NOTIFY AOR IF ISSUES ARISE.
2. REMOVE ALL CASEWORK & ASSOCIATED ITEMS SHOWN DASHED UNLESS NOTED OTHERWISE.
3. REMOVE & DISPOSE OF ALL FURNITURE AS SHOWN DASHED. INCLUDE EXTERIOR PATIO FURNITURE AND UMBRELLAS.
4. REMOVE & DISPOSE OF EXISTING EQUIPMENT AS SHOWN DASHED UNLESS OTHERWISE NOTED.
5. DEMOLISH EXISTING WALK-OFF MAT AS INDICATED
6. DEMOLISH EXISTING MERCH CUBE AND MERCH BAYS (3) AS INDICATED
7. DEMOLISH EXISTING NEWSPAPER STAND AS INDICATED
8. DEMOLISH EXISTING FRONT AND BACK BAR CASEWORK AS INDICATED
9. EXISTING PASTRY CASE TO REMAIN AND BE RELOCATED
10. EXISTING SAFE, BASE AND POS EQUIPMENT TO REMAIN AND BE RELOCATED
11. EXISTING DT POS EQUIPMENT TO REMAIN AND BE RELOCATED
12. EXISTING ESPRESSO MACHINES (2) TO REMAIN AND BE RELOCATED
13. EXISTING 1-DR UIC FRIDGE (2) TO REMAIN AND BE RELOCATED
14. EXISTING BLENDERS (2) TO REMAIN AND BE RELOCATED
15. EXISTING GRINDER TO REMAIN AND BE RELOCATED
16. EXISTING SHUTTLES & WARMERS (3) TO REMAIN AND BE RELOCATED
17. EXISTING DUAL BREWER TO REMAIN AND BE RELOCATED.
18. EXISTING WARMING OVENS (2) TO REMAIN AND BE RELOCATED
19. EXISTING WORKROOM EQUIPMENT SHOWN HALF-TONED IS TO REMAIN IN PLACE UNLESS SHOWN DASHED OR NOTED OTHERWISE. GC TO REPAIR ANY FLOOR/WALL FINISHES AS NEEDED
20. DEMOLISH EXISTING RESTROOM WALL FINISH, PATCH AND REPAIR WALL SURFACES TO PROVIDE SMOOTH SURFACE FOR NEW FINISHES
21. REMOVE AND PRESERVE RESTROOM HAND SINK, FAUCET SOAP DISPENSER, ROILET & TOILET PAPER DISPENSER
22. DEMOLISH EXISTING RESTROOM MIRROR, SCONCE, BABY CHANGING STATION, HAND DRYER AND GRAB BARS.
23. DEMOLISH EXISTING DISHWASHER
24. EXISTING RESTROOM DOORS AND COAT HOOKS TO REMAIN
25. EXISTING ELECTRICAL PANELS TO REMAIN AS IS
26. DEMOLISH EXISTING FULL-HEIGHT CUBBIES, PATCH & REPAIR WALL
27. DEMOLISH EXISTING BACKBAR TILE AS INDICATED
28. DEMOLISH ALL WALL FINISHES AT CAFE, RESTROOM AND BACKBAR, PATCH & REPAIR WALL SURFACES TO PROVIDE SMOOTH FINISH, READY FOR NEW PAINT/WALLCOVERING/TILE FINISH PER DRAWINGS.
29. DEMOLISH ALL FLOOR FINISHES AT CAFE, RESTROOM AND BACKBAR. PATCH & REPAIR AS NEEDED.
30. DEMOLISH EXISTING ARTWORK AND COMMUNITY BOARD AS INDICATED
31. DEMOLISH EXISTING ICE MACHINE AS INDICATED.
32. EXISTING PASTRY RACK TO REMAIN AND BE RELOCATED
33. DEMOLISH EXISTING PARTIAL HEIGHT WALL AND TOP CAP AS INDICATED
34. DEMOLISH EXISTING COAT RACKS (2)
35. DEMOLISH FLOOR TILE IN WORKROOM AS SHOWN FOR INTERIOR GREASE TRAP PER PLUMBING DRAWINGS
36. DEMOLISH EXISTING PROMOTIONAL BANNER STAND
37. DEMOLISH EXISTING TRASH
38. DEMOLISH PROMOTIONAL ITEMS
39. REMOVE AND RELOCATE EXISTING FIRE EXTINGUISHER


DEMOLITION FLOOR PLAN NOTES

- A. IF DURING DEMOLITION CONDITIONS ARE REVEALED THAT MAY JEOPARDIZE INTEGRITY OF STRUCTURE OR PRECLUDE FOLLOWING DESIGN INTENT, GENERAL CONTRACTOR TO NOTIFY STARBUCKS CONSTRUCTION MANAGER IMMEDIATELY.
- B. GENERAL CONTRACTOR RESPONSIBLE FOR SITE INVESTIGATION PRIOR TO DEMOLITION TO REVEAL FULL SCOPE OF WORK.
- C. EXISTING WALLS TO REMAIN. PATCH AND REPAIR AS REQUIRED TO PROVIDE A SMOOTH, PAINT READY FINISH.
- D. DEMOLISH EXISTING WALLS AND DOORS AS DIRECTED.
- E. DEMOLISH EXISTING FLOOR FINISHES AS DIRECTED. REPAIR OR REPLACE SUB-FLOOR AS REQUIRED TO PROVIDE AN EVEN WALKING SURFACE/FINISH FLOOR CONDITION.
- F. DEMOLISH EXISTING GYPSUM WALL BOARD, CEILING TILE, GRID AND/OR OTHER CEILING FINISH AS DIRECTED TO PROVIDE FOR NEW CEILING READY CONDITION.
- G. DEMOLISH EXISTING WALL FINISHES AS DIRECTED.
- H. REMOVE EXISTING LIGHT FIXTURES, EQUIPMENT AND POWER LINES AS DIRECTED.
- J. REMOVE EXISTING PLUMBING FIXTURES AS DIRECTED. CAP LINES AS DIRECTED FOR THOSE NOT BEING RE-USED.
- K. GENERAL CONTRACTOR TO NOTIFY ARCHITECT OF SIZE OF EXISTING RESTROOM AND LOCATION AND CONDITION OF FIXTURES PRIOR TO DEMOLITION OR CONSTRUCTION. PLUMBING FIXTURES TO BE RE-USED ARE TO BE REMOVED AND PROPERLY STORED FOR RE-INSTALLATION.
- L. LABEL ALL ITEMS TO BE PROPERLY STORED FOR RE-INSTALL.
- M. SPECIAL CARE SHOULD BE TAKEN TO PROTECT EXISTING WORK SCHEDULED TO REMAIN. ANY DAMAGE TO ITEMS REMAINING SHALL BE REPLACED OR REPAIRED TO PREVIOUS CONDITION BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- N. EXISTING CONSTRUCTION WHERE AFFECTED BY DEMOLITION SHALL BE PROPERLY REPAIRED AND ALIGNED SO AS TO LEAVE NO EVIDENCE OF REMODELING WORK.



DEMOLITION PLAN
Scale: 1/4" = 1'-0"

ISSUE FOR CONSTRUCTION 08/23/2017



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PROJECT NAME:
RENOVATION OF STARBUCKS COFFEE PORTLAND, 1080 FOREST AVE.

PROJECT ADDRESS:
1080 FOREST AVENUE
PORTLAND, ME 04103
CUMBERLAND COUNTY

STORE #: 11917
PROJECT #: 37548-037
ISSUE DATE: 08/23/2017
PROGRAM MANAGER: J. BOND
DESIGNER: A. LEE
LEED® AP: N/A
PRODUCTION DESIGNER: E. VEGA
CHECKED BY: P. BENVENUTO

Revision Schedule			
Rev	Date	By	Description

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DEMOLITION FLOOR PLAN
SCALE: AS SHOWN

SHEET NUMBER:
I-1101