

146-B-05
777 Stevens Ave
Park Dormforth
Park Dormforth

QUITCLAIM DEED D.
With Covenant
Corporation

7/11/82

KNOW ALL MEN BY THESE PRESENTS That the CITY OF PORTLAND, a body politic and corporate organized and existing under the laws of the State of Maine and located at Portland in the County of Cumberland and State of Maine in consideration of One Hundred Seventy-Eight Thousand Nine Hundred Forty-Four (\$178,944.00) Dollars paid by THE PARK-DANFORTH, a Maine non-profit corporation, and whose mailing address is 125 Danforth Street, Portland, Maine 04101 the receipt whereof it does hereby acknowledge, does hereby remise, release, bargain, sell and convey, and forever quit-claim unto the said THE PARK-DANFORTH, its successors and assigns forever, a certain lot or parcel of land

with the buildings thereon, situated in the City of Portland, Cumberland County, State of Maine, bounded and described as follows:

Beginning at an iron rod (to be set) at the intersection of the easterly right of way line of Stevens Avenue and the northerly right of line of Poland Street; thence S 64° 15' 35" E a distance of 335.06 feet along said northerly right of way line of Poland Street to a point of curvature; thence by said curve to the left, with a radius of 218.29 feet, and an arc distance of 111.12 feet along said right of way line to the point of tangency of said curve; thence N 86° 34' 25" E a distance of 100.19 feet along said northerly right of way line of Poland Street to an iron rod (to be set) at the intersection of said Poland Street and the westerly right of way line of Forest Avenue; thence N 2° 05' 35" W a distance of 132.80 feet along said westerly right of way line of Forest Avenue to an iron rod (to be set); thence N 83° 01' 10" W a distance of 222.23 feet by land now or formerly of Lloyd B. Wolf as described in an instrument recorded in Cumberland County Registry of Deeds in Book 3329, page 17 to an iron rod (to be set); thence N 19° 04' 44" E a distance of 167.10 feet by said land of Wolf to an iron rod (to be set); thence N 62° 59' 10" W a distance of 243.50 feet by land of Wolf to an iron rod (to be set) on the easterly right of way line of said Stevens Avenue; thence S 24° 30' 25" W a distance of 293.92 feet along said easterly right of way line of Stevens Avenue to the point of beginning, containing 2.53 acres.

Bearings are magnetic as of the year 1982. Being shown on a survey entitled Site Plan, Owner: Park Danforth, 125 Danforth Street, Portland, Maine, dated July 10, 1982, prepared by Larry Slaughter, to be recorded in said Registry of Deeds.

Being the same property conveyed to the City of Portland by the following deeds recorded in Cumberland County Registry of Deeds:

1. Westbrook College to City of Portland dated November 8, 1973, recorded in Book 3481, Page 253;
2. George D. Little to City of Portland dated June 3, 1908, recorded in Book 826, Page 132;
3. Hugh Conway to City of Portland dated May 19, 1904, and recorded in Book 752, Page 63 except such portion as described in the deed of City of Portland to George D. Little dated June 3, 1908, and recorded in Book 826, Page 225;
4. Justina B. O'Brien to City of Portland dated May 20, 1904, and recorded in Book 752, Page 62; and
5. Victor Brewster to City of Portland dated March 20, 1904, and recorded in Book 752, Page 64.

This deed is given subject to the following conditions, the breach of which shall entitle Grantor to re-enter and terminate the estate of Grantee for condition broken:

1. Grantee shall commence construction of housing for the elderly in accordance with the Fund Reservation Terms and Conditions imposed by the United States Department of Housing and Urban Development and shall complete such construction within twenty-four (24) months thereafter, unless time for completion shall be extended by said Department of Housing and Urban Development.
2. Grantor shall not exercise such right of re-entry without the prior written consent of the United States Department of Housing and Urban Development and upon tender of the purchase price together with the reasonable value of improvements made to the premises, such tender being made to the grantee, HUD, and any other funding source or mortgagee jointly, in proportion to and insofar as they have a financial investment in the premises. With respect to any mortgagee other than HUD, grantor at its election may exercise such right of re-entry subject to the mortgage of said mortgagee in lieu of tender of said mortgagee's proportionate interest in the value of the purchase price and the reasonable value of improvements made to the premises.
3. Further, upon request of Grantee and issuance of a certificate of occupancy by the Building Inspector of the City of Portland, Grantor shall release any remaining interest to the said property to Grantee, its successors and assigns.
4. In accordance with Section 9 of the Purchase and Sale Agreement dated June 10, 1982, between grantor and grantee, grantor agrees that any of these conditions will be modified to the extent necessary to enable grantee to secure financing for the proposed development.

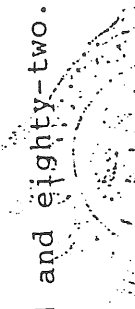
TO HAVE AND TO HOLD the same, together with all the privileges and appurtenances thereunto belonging, to the said **THE PARK-DANFORTH**, its Successors and Assigns, to their own use and behoof forever.

200

D.C.

AND the said Grantor Corporation does covenant with the said THE PARK-DANFORTH its Successors and Assigns, that it will Warrant and Forever Defend the above-described premises to it the said Grantee, its Successors and Assigns forever, against the lawful claims and demands of all persons claiming by, through, or under it.

IN WITNESS WHEREOF, the said CITY OF PORTLAND has caused this instrument to be sealed with its corporate seal and signed in its corporate name by Richard J. Ranaghan, Jr., its Director of Finance thereunto duly authorized, this 29th day of October in the year one thousand nine hundred and eighty-two.



Signed, Sealed and Delivered
in Presence of:

CITY OF PORTLAND

David A. June

By [Signature]
Its Director of Finance

STATE OF MAINE
CUMBERLAND, ss.

October 29, 1982

Personally appeared the above-named Richard J. Ranaghan, Jr., Director of Finance of said Grantor Corporation as aforesaid, and acknowledged the foregoing instrument to be his free act and deed in his said capacity, and the free act and deed of said Grantor Corporation.

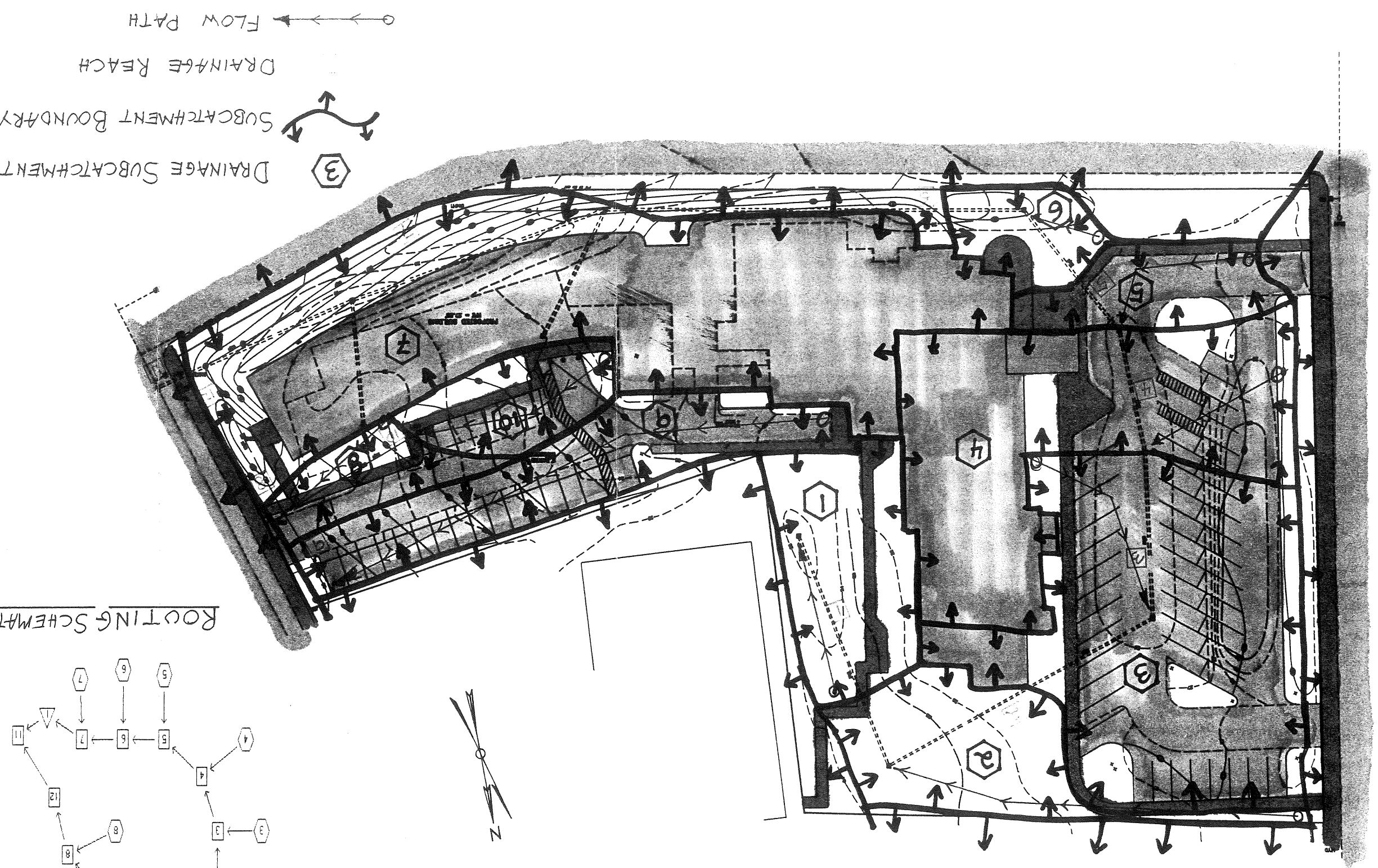
Before me,

[Signature]
Attorney at Law

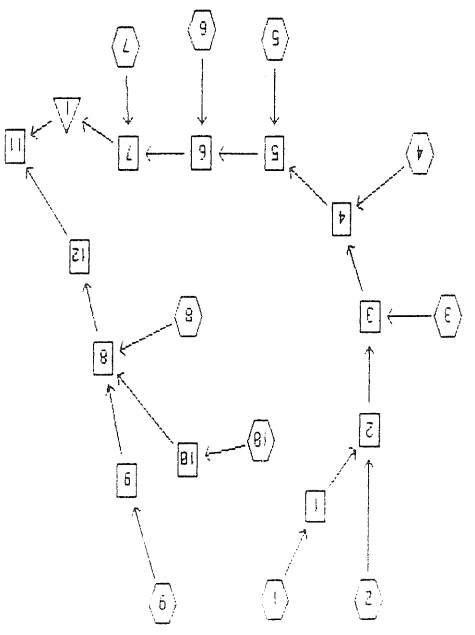
OCT 29 1982

REGISTER OF DEEDS CUMBERLAND COUNTY, MAINE
Received at 1 12:44 P.M. and recorded in

BOOK 5055 PAGE 258 Edward J. Gagnier Registrar



ROUTING SCHEMATIC

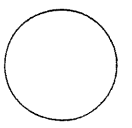
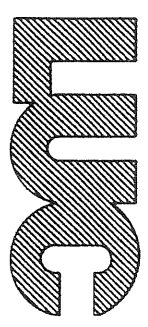


▼ TITLE:

POST DEVELOPMENT
DRAINAGE

▼ PREPARED FOR:

THE PARK DANFORTH
711 STEVENS AVE
PORTLAND, MAINE 04101



Land Planners * Engineers * Surveyors
966 Riverside Street Portland, Maine 04103
207-878-3313

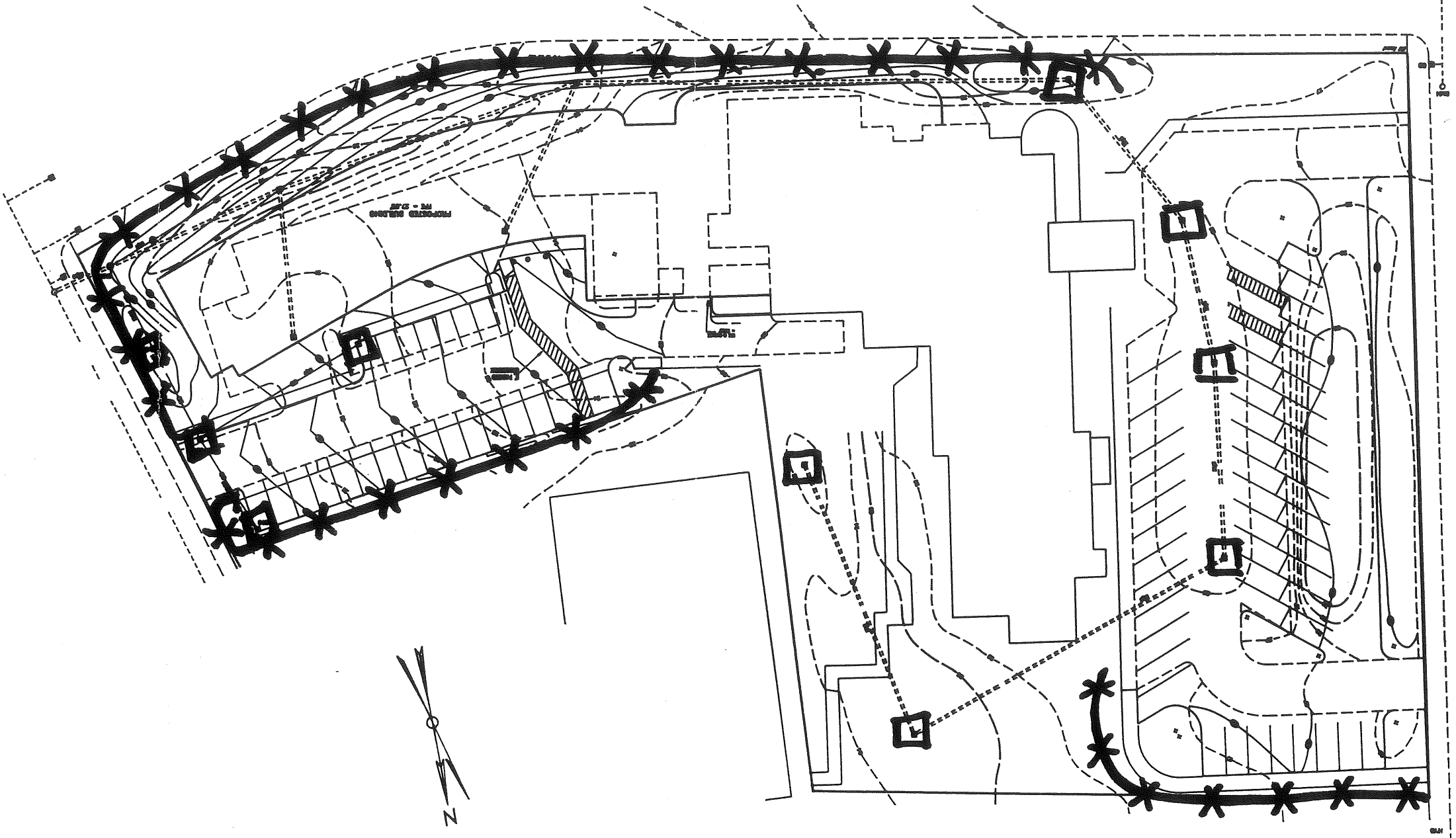
JOB #:

▼ TITLE:



POST DEVELOPMENT
DRAINAGE

▼ SCALE: 1" = 50'
▼ DATE: 05-13-91

REFERENCE:



EROSION CONTROL PLAN

 SILT FENCING
 HAY BALE INLET
 BARRIER (All C.B.'s)

TITLE:

POST DEVELOPMENT DRAINAGE

PREPARED FOR:

THE PARK DANFORTH
 777 STEVENS AVE
 PORTLAND, MAINE 04101



LAND USE CONSULTANTS, INC.
 Land Planners * Engineers * Surveyors
 966 Riverside Street Portland, Maine 04103
 207-878-3313

JOB #

808

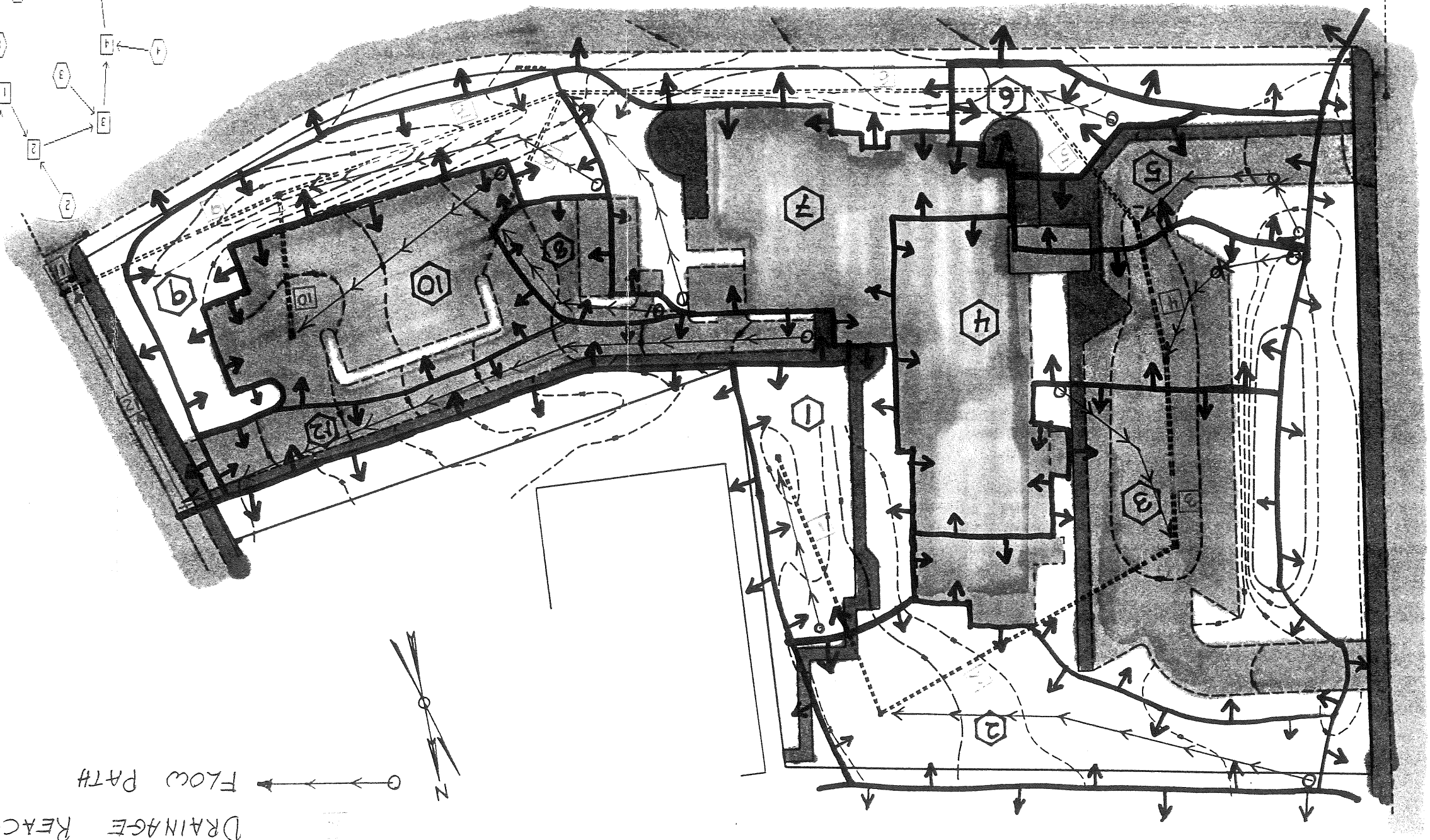
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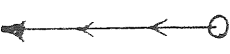
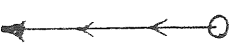
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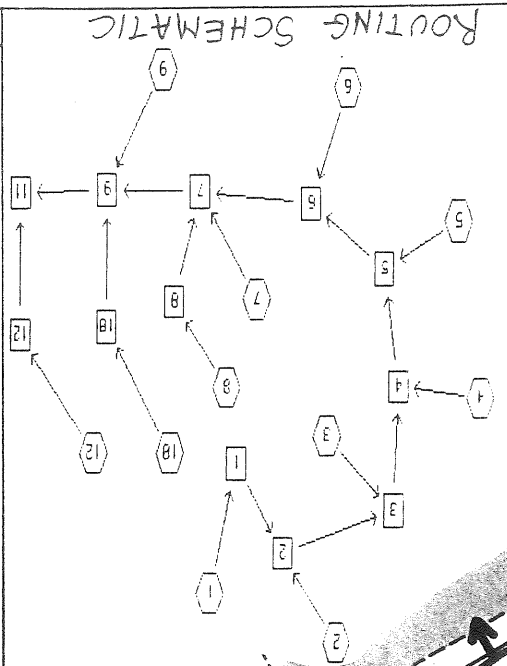
DATE:

05-13-91

REFERENCE.



 DRAINAGE SUBCATCHMENT
 SUBCATCHMENT BOUNDARY
 DRAINAGE REACH
 FLOW PATH

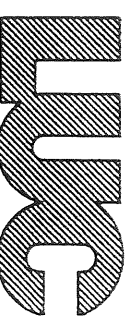


TITLE:

PRE DEVELOPMENT
DRAINAGE

PREPARED FOR:

THE PARK DANFORTH
111 STEVENS AVE
PORTLAND, MAINE 04101



Land Planners * Engineers * Surveyors
 966 Riverside Street Portland, Maine 04103
 207-878-3313

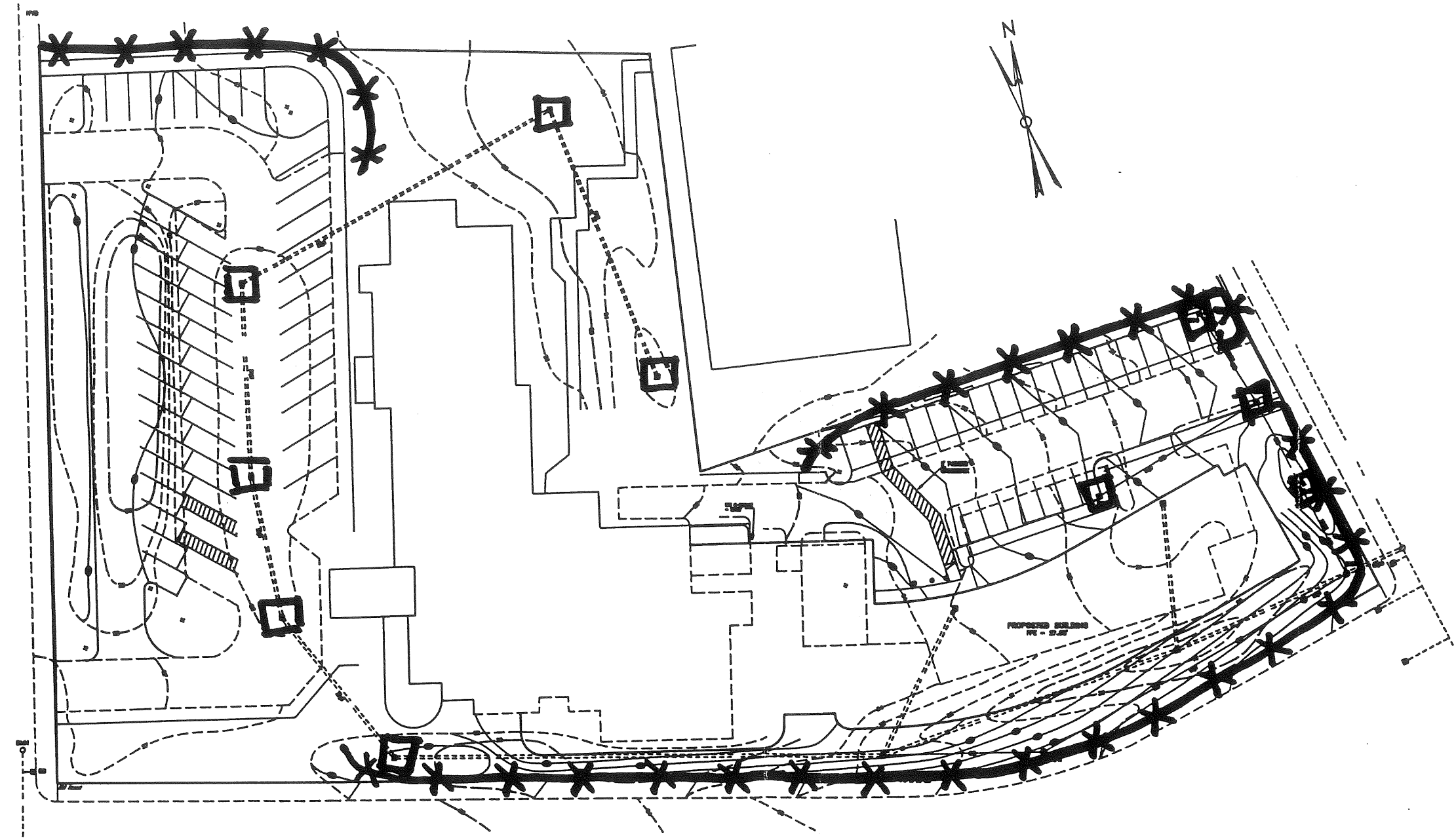
JOB #

SCALE: 1" = 50'


DATE: 05-13-91

REFERENCE:

 SILT FENCING
 HAY BALE INLET BARRIER (All C.B.'s)



EROSION CONTROL PLAN


LAND USE CONSULTANTS, INC.
 Land Planners * Engineers * Surveyors
 966 Riverside Street Portland, Maine 04103
 207-878-3313

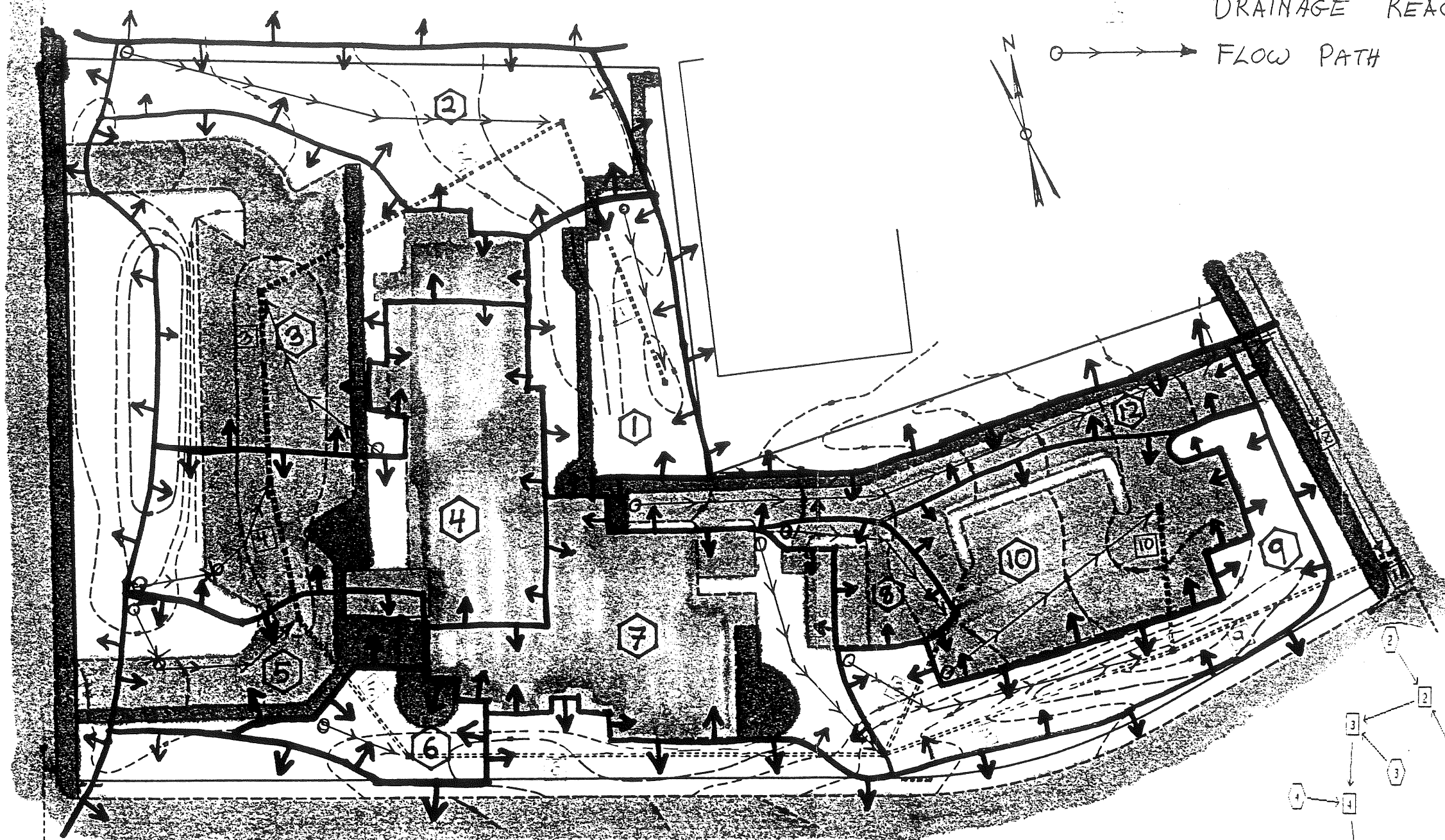
PREPARED FOR:
THE PARK DANFORTH
 111 STEVENS AVE
 PORTLAND, MAINE 04101

TITLE:
 POST DEVELOPMENT DRAINAGE

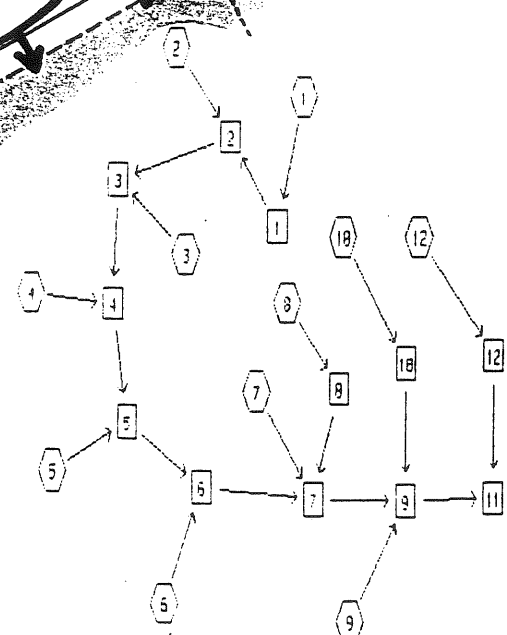
SCALE: 1" = 50'
DATE: 05-13-97

JOB #:

▶ REFERENCE:



③ DRAINAGE SUBCATCHMENT
 ~~~~~ SUBCATCHMENT BOUNDARY  
 ——— DRAINAGE REACH  
 ○————→ FLOW PATH



ROUTING SCHEMATIC

**LUC**  
 LAND USE CONSULTANTS, INC.  
 Land Planners • Engineers • Surveyors  
 966 Riverside Street Portland, Maine 04103  
 207-878-3313

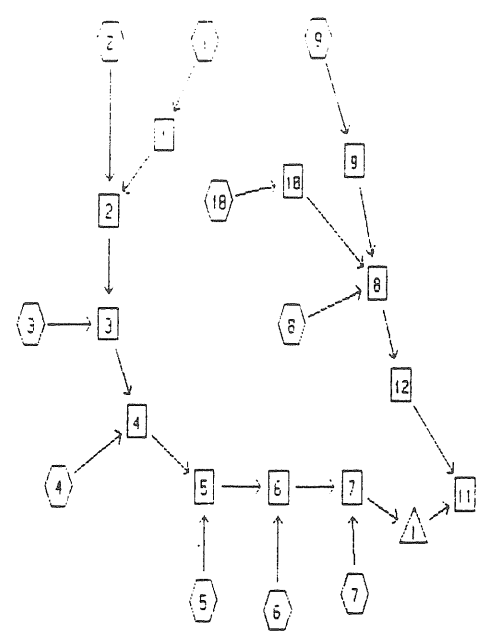
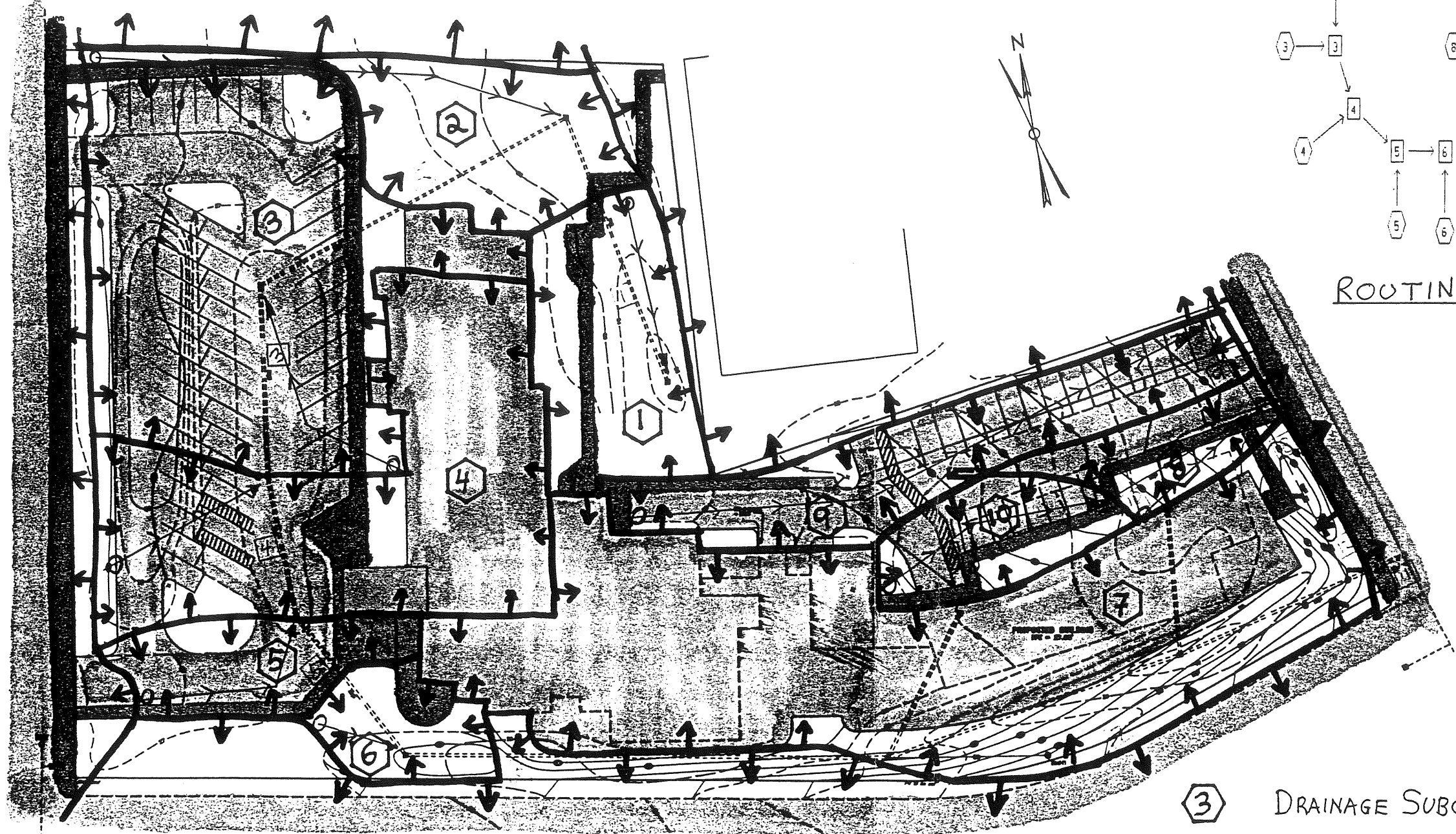
▶ PREPARED FOR:  
 THE PARK DANFORTH  
 111 STEVENS AVE  
 PORTLAND, MAINE 04101

▶ TITLE:  
 PRE DEVELOPMENT  
 DRAINAGE

▶ SCALE: 1" = 50'  
 ▶ DATE: 05-13-97

JOB #:

▶ REFERENCE:



ROUTING SCHEMATIC

- ③ DRAINAGE SUBCATCHMENT
- SUBCATCHMENT BOUNDARY
- DRAINAGE REACH
- FLOW PATH

**LUSC**  
**LAND USE CONSULTANTS, INC.**  
 Land Planners \* Engineers \* Surveyors  
 966 Riverside Street Portland, Maine 04103  
 207-878-3313

PREPARED FOR:  
**THE PARK DANFORTH**  
 111 STEVENS AVE  
 PORTLAND, MAINE 04101

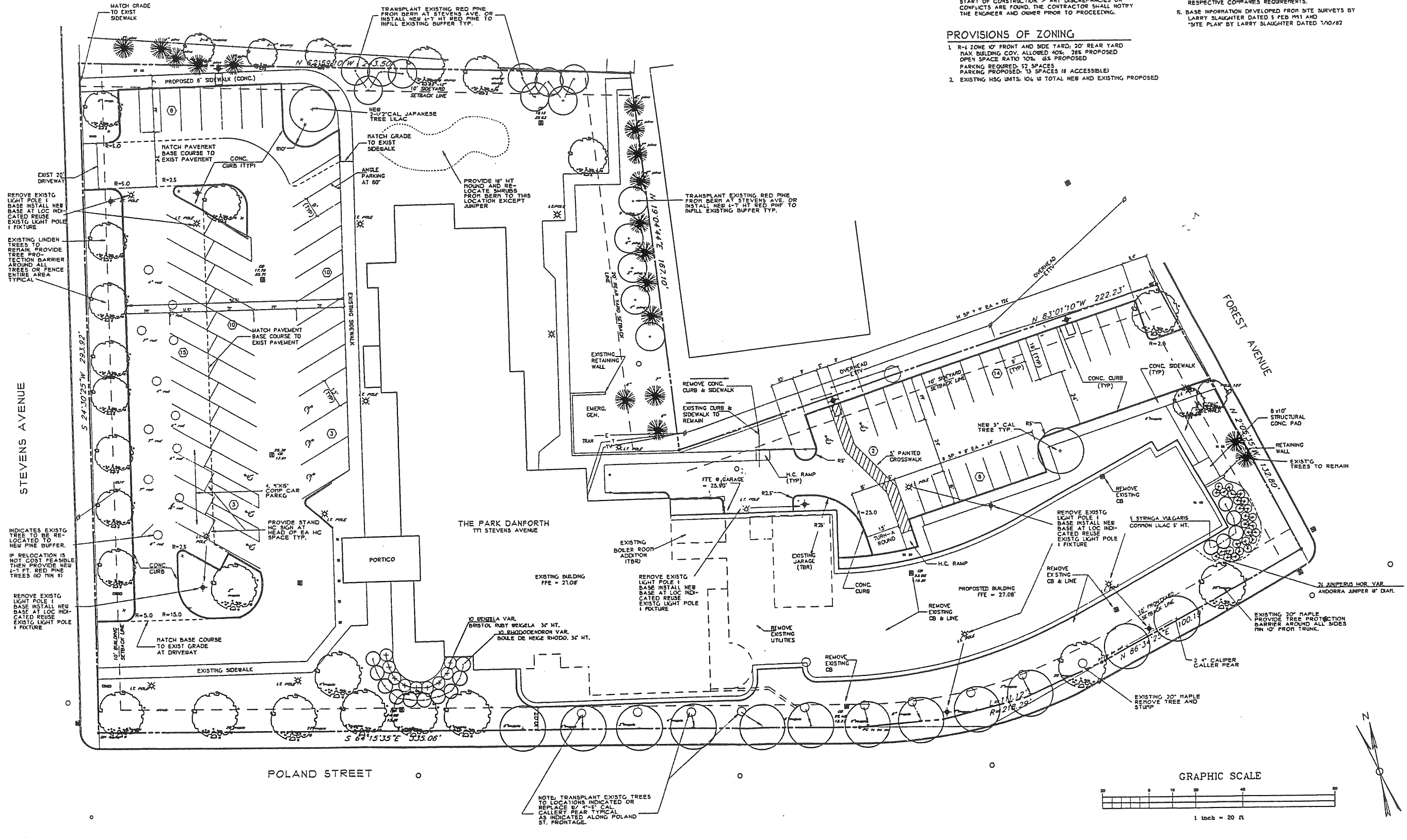
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**POST DEVELOPMENT  
 DRAINAGE**

SCALE: 1" = 50'  
 DATE: 05-13-97

JOB #:

- GENERAL NOTES:**
1. THE WORK SHOWN ON THESE PLANS IS FOR LAYOUT AND LIGHTING, AND PLANTING ONLY. SEE PLAN SET FOR OTHER WORK.
  2. COORDINATE ALL WORK WITH THE OWNER'S REPRESENTATIVE BEFORE COMMENCING NEW WORK.
  3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING "DIG-SAFE" AND LOCAL UTILITY COMPANIES AT LEAST 3 BUSINESS DAYS, BUT NOT MORE THAN 30 CALENDAR DAYS, PRIOR TO THE COMMENCEMENT OF ANY EXCAVATION, AS IN ACCORDANCE WITH MAINE STATE LAW.
  4. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL MEANS, METHODS AND TECHNIQUES EMPLOYED TO PERFORM THE WORK SHOWN ON THESE PLANS.
  5. ALL WORK SHALL COMPLY WITH ALL LOCAL STATE AND FEDERAL SAFETY REGULATIONS.
  6. ALL WORK SHALL BE IN CONFORMANCE WITH CITY OF PORTLAND AND ALL UTILITY COMPANIES STANDARDS.
  7. CONTRACTOR SHALL VERIFY LOCATIONS AND DEPTHS OF ALL UTILITIES WITH THE RESPECTIVE COMPANY PRIOR TO THE START OF CONSTRUCTION. IF ANY DISCREPANCIES OR CONFLICTS ARE FOUND, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND OWNER PRIOR TO PROCEEDING.
  8. THE CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS FOR THE WORK SHOWN ON THESE PLANS PRIOR TO CONSTRUCTION.
  9. ALL PLANTINGS SHALL BE IN CONFORMANCE WITH AMER. ASSOC. NURSERMEN STANDARDS FOR TREES AND SHRUBS. ALL DISTURBED AREAS NOT OTHERWISE PLANTED OR BUILT SHALL RECEIVE 1" LOAM AND TURF SEED.
  10. ALL PAVEMENT CUTS SHALL BE SAW CUT TO RESULT IN CLEAN EDGES. A TACK COAT SHALL BE APPLIED ALONG THE CUT EDGES AND NEW PAVEMENT BITTLED TO IT, UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
  11. THE CONTRACTOR SHALL BE RESPONSIBLE TO RECLAIM OR PROPERLY DISPOSE OF ALL REMOVED BITUMINOUS MATERIALS.
  12. INLETS AND OUTLETS OF ALL CULVERTS SHALL BE RIPPED UNLESS OTHERWISE NOTED ON THE PLANS OR DIRECTED BY THE ENGINEER.
  13. SEE ARCHITECT'S FOUNDATION PLAN FOR BLDG LAYOUT.
  14. CONDUIT SHALL BE USED UNDER ALL PAVED AREAS FOR ELECTRIC, TELEPHONE, AND TV IN ACCORDANCE WITH THE RESPECTIVE COMPANIES REQUIREMENTS.
  15. BASE INFORMATION DEVELOPED FROM SITE SURVEYS BY LARRY SLAUGHTER DATED 5 FEB 91 AND "SITE PLAN" BY LARRY SLAUGHTER DATED 1/20/82

- PROVISIONS OF ZONING**
1. R-1 ZONE 10' FRONT AND SIDE YARD; 20' REAR YARD  
MAX BUILDING COV. ALLOWED 40%; 28% PROPOSED  
OPEN SPACE RATIO 10%; 6% PROPOSED  
PARKING REQUIRED: 32 SPACES  
PARKING PROPOSED: 13 SPACES (8 ACCESSIBLE)
  2. EXISTING HSG UNITS: 104 IN TOTAL NEW AND EXISTING PROPOSED



THE PARK DANFORTH  
111 STEVENS AVE  
PORTLAND, MAINE 04101

| Revision |      | Date |      |
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Designed DAK PLC THE  
Drawn CAM/THE  
Checked DAK U.S.  
Scale 1" = 20'  
Date 05-13-97

SITE LAYOUT, PLANTING  
& LIGHTING

Job No. 3042  
Sheet C-2

### STORM DRAINAGE STRUCTURE SCHEDULE

|                                                        |                                                                       |                                                                  |                                                |
|--------------------------------------------------------|-----------------------------------------------------------------------|------------------------------------------------------------------|------------------------------------------------|
| CB#1<br>EXISTING CATCH BASIN<br>RIM=22.80<br>INV=18.80 | CB#9<br>NEW CATCH BASIN<br>RIM=19.8±<br>INV=15.15                     | SD#1<br>EXISTING 8" PIPE<br>L=115'<br>S=0.0039                   | SD#8<br>NEW 15" PIPE<br>L=20'<br>S=0.0025      |
| CB#2<br>EXISTING CATCH BASIN<br>RIM=22.83<br>INV=18.15 | CB#10<br>NEW CATCH BASIN<br>RIM=19.12<br>INV=15.35                    | SD#2<br>EXISTING 8" PIPE<br>L=140'<br>S=0.0026                   | SD#9<br>NEW 12" PVC<br>L=75'<br>S=0.0100       |
| CB#3<br>EXISTING CATCH BASIN<br>RIM=25.71<br>INV=17.79 | CB#11<br>NEW CATCH BASIN<br>RIM=20.75<br>INV=15.90                    | SD#3<br>EXISTING 10" PIPE<br>L=78'<br>S=0.0023                   | SD#10<br>NEW 12" PVC<br>L=45'<br>S=0.0050      |
| CB#4<br>EXISTING CATCH BASIN<br>RIM=25.36<br>INV=17.81 | DMH#1<br>NEW DRAINAGE MH<br>RIM=21.5±<br>INV=13.10, HY OUT=15.00      | SD#4<br>EXISTING 12" PIPE<br>L=58'<br>S=0.0098                   | SD#11<br>NEW 12" PVC<br>L=40'<br>S=0.0100      |
| CB#5<br>EXISTING CATCH BASIN<br>RIM=25.71<br>INV=17.04 | DMH#2<br>8" DIA MH W/HYDROBRAKE<br>RIM=21.0±<br>INV=14.70, W/ 2' SUMP | SD#5<br>EXISTING 12" PIPE<br>L=72'<br>S=0.0171                   | SD#12<br>NEW 12" PVC<br>L=40'<br>S=0.0025      |
| CB#6<br>EXISTING CATCH BASIN<br>RIM=24.68<br>INV=15.81 | DMH#3<br>NEW DRAINAGE MH<br>RIM=20.0±<br>INV=14.65, HY OUT=14.55      | SD#6<br>EXISTING 15" PIPE,<br>TO BE EXTENDED<br>L=260', S=0.0028 | SD#13<br>EXISTING 15" PVC<br>L=25'<br>S=0.005± |
| CB#8<br>NEW CATCH BASIN<br>RIM=17.80<br>INV=14.75      |                                                                       | SD#7<br>NEW 24" PVC<br>L=125'<br>S=0.0025                        |                                                |

### GENERAL NOTES:

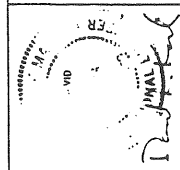
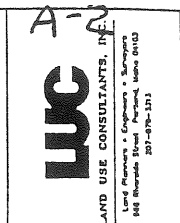
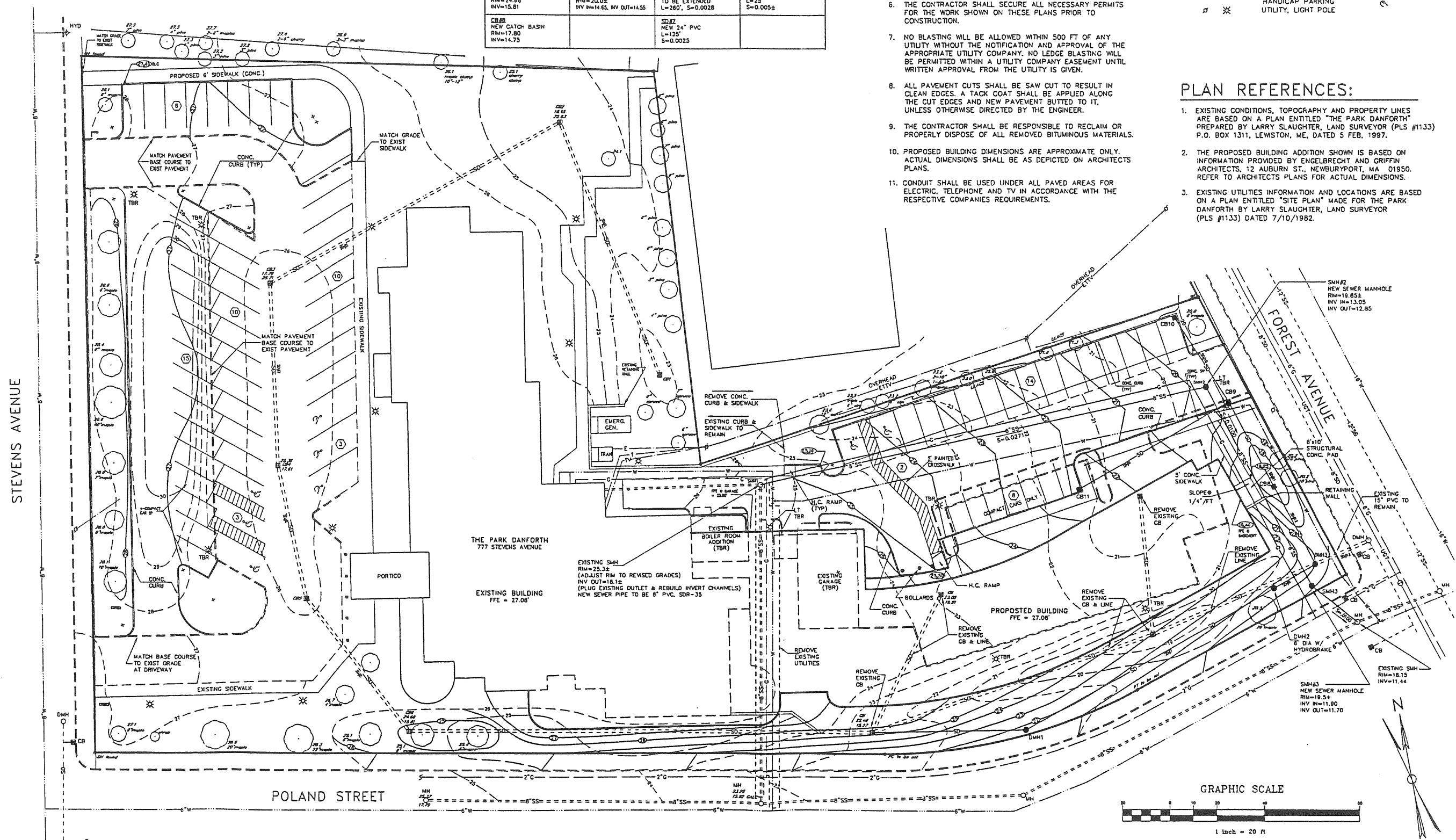
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING "DIG-SAFE" AND LOCAL UTILITY COMPANIES AT LEAST 3 BUSINESS DAYS, BUT NOT MORE THAN 30 CALENDAR DAYS, PRIOR TO THE COMMENCEMENT OF ANY EXCAVATION, AS IN ACCORDANCE WITH MAINE STATE LAW.
2. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL MEANS, METHODS AND TECHNIQUES EMPLOYED TO PERFORM THE WORK SHOWN ON THESE PLANS.
3. ALL WORK SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL SAFETY REGULATIONS.
4. ALL WORK SHALL BE IN CONFORMANCE WITH CITY OF PORTLAND AND ALL UTILITY COMPANIES STANDARDS.
5. CONTRACTOR SHALL VERIFY LOCATIONS AND DEPTHS OF ALL UTILITIES WITH THE RESPECTIVE COMPANY PRIOR TO THE START OF CONSTRUCTION. IF ANY DISCREPANCIES OR CONFLICTS ARE FOUND, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND OWNER PRIOR TO PROCEEDING.
6. THE CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS FOR THE WORK SHOWN ON THESE PLANS PRIOR TO CONSTRUCTION.
7. NO BLASTING WILL BE ALLOWED WITHIN 500 FT OF ANY UTILITY WITHOUT THE NOTIFICATION AND APPROVAL OF THE APPROPRIATE UTILITY COMPANY. NO LEDGE BLASTING WILL BE PERMITTED WITHIN A UTILITY COMPANY EASEMENT UNTIL WRITTEN APPROVAL FROM THE UTILITY IS GIVEN.
8. ALL PAVEMENT CUTS SHALL BE SAW CUT TO RESULT IN CLEAN EDGES. A TACK COAT SHALL BE APPLIED ALONG THE CUT EDGES AND NEW PAVEMENT BUTTED TO IT, UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
9. THE CONTRACTOR SHALL BE RESPONSIBLE TO RECLAIM OR PROPERLY DISPOSE OF ALL REMOVED BITUMINOUS MATERIALS.
10. PROPOSED BUILDING DIMENSIONS ARE APPROXIMATE ONLY. ACTUAL DIMENSIONS SHALL BE AS DEPICTED ON ARCHITECTS PLANS.
11. CONDUIT SHALL BE USED UNDER ALL PAVED AREAS FOR ELECTRIC, TELEPHONE AND TV IN ACCORDANCE WITH THE RESPECTIVE COMPANIES REQUIREMENTS.

### LEGEND

|  |                  |  |                     |
|--|------------------|--|---------------------|
|  | EXISTING         |  | PROPOSED            |
|  | CONTOUR          |  | SPOT GRADE          |
|  | ROW              |  | PROPERTY LINE       |
|  | EDGE OF PAVEMENT |  | BIT CURB            |
|  | BUILDING         |  | SS                  |
|  | SANITARY SEWER   |  | SD                  |
|  | STORM DRAIN      |  | W                   |
|  | WATER MAIN       |  | C                   |
|  | GAS SERVICE      |  | ETTV                |
|  | OVERHEAD ETTV    |  | UGT                 |
|  | UNDERGRND TELE   |  | TELE MANHOLE        |
|  | MANHOLE          |  | CATCH BASIN         |
|  | HYDRANT          |  | GATE VALVE          |
|  | GATE VALVE       |  | UTILITY, LIGHT POLE |
|  | HANDICAP PARKING |  |                     |

### PLAN REFERENCES:

1. EXISTING CONDITIONS, TOPOGRAPHY AND PROPERTY LINES ARE BASED ON A PLAN ENTITLED "THE PARK DANFORTH" PREPARED BY LARRY SLAUGHTER, LAND SURVEYOR (PLS #1133) P.O. BOX 1311, LEWISTON, ME, DATED 5 FEB, 1997.
2. THE PROPOSED BUILDING ADDITION SHOWN IS BASED ON INFORMATION PROVIDED BY ENGELBRECHT AND GRIFFIN ARCHITECTS, 12 AUBURN ST., NEWBURYPORT, MA 01950. REFER TO ARCHITECTS PLANS FOR ACTUAL DIMENSIONS.
3. EXISTING UTILITIES INFORMATION AND LOCATIONS ARE BASED ON A PLAN ENTITLED "SITE PLAN" MADE FOR THE PARK DANFORTH BY LARRY SLAUGHTER, LAND SURVEYOR (PLS #1133) DATED 7/10/1982.



THE PARK DANFORTH  
777 STEVENS AVE  
PORTLAND, MAINE 04101

| Revision | Date |
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| Drawn    | CAT      | L.S. |
| Checked  | CAT      | L.S. |
| Scale    | 1" = 20' |      |
| Date     | 05-13-97 |      |

GRADING, DRAINAGE  
& UTILITIES PLAN

Job No. 3042  
Sheet

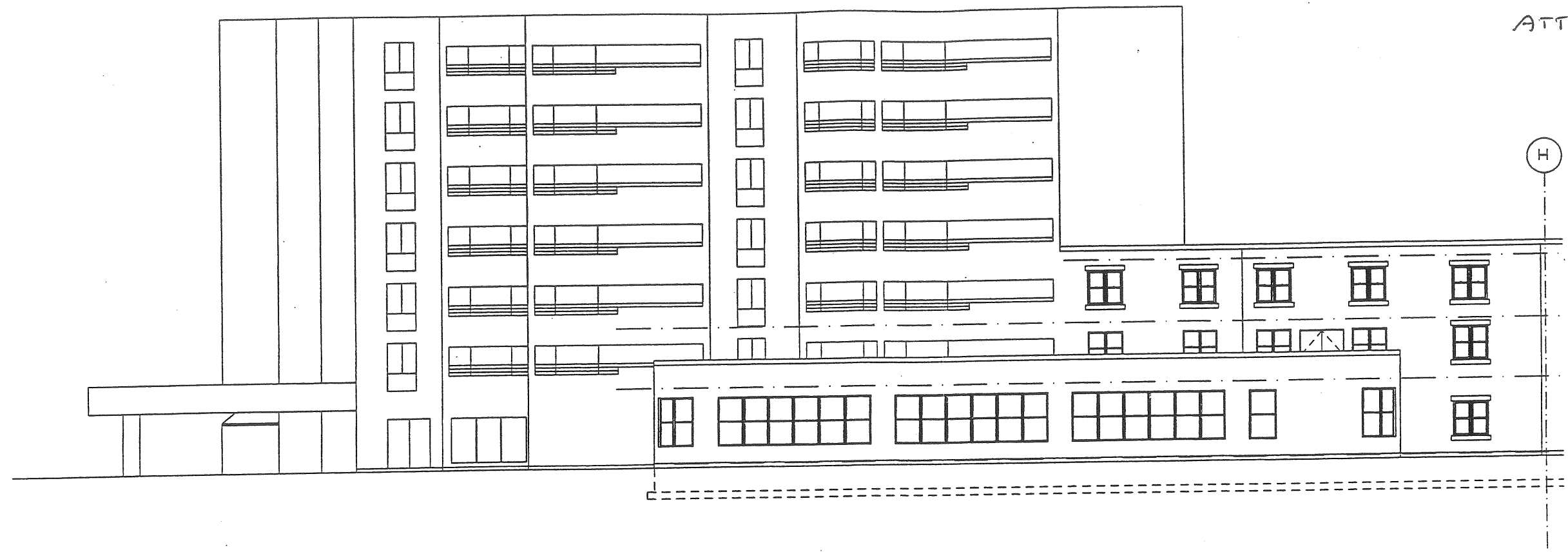
C-1

ATTACHMENT B-1

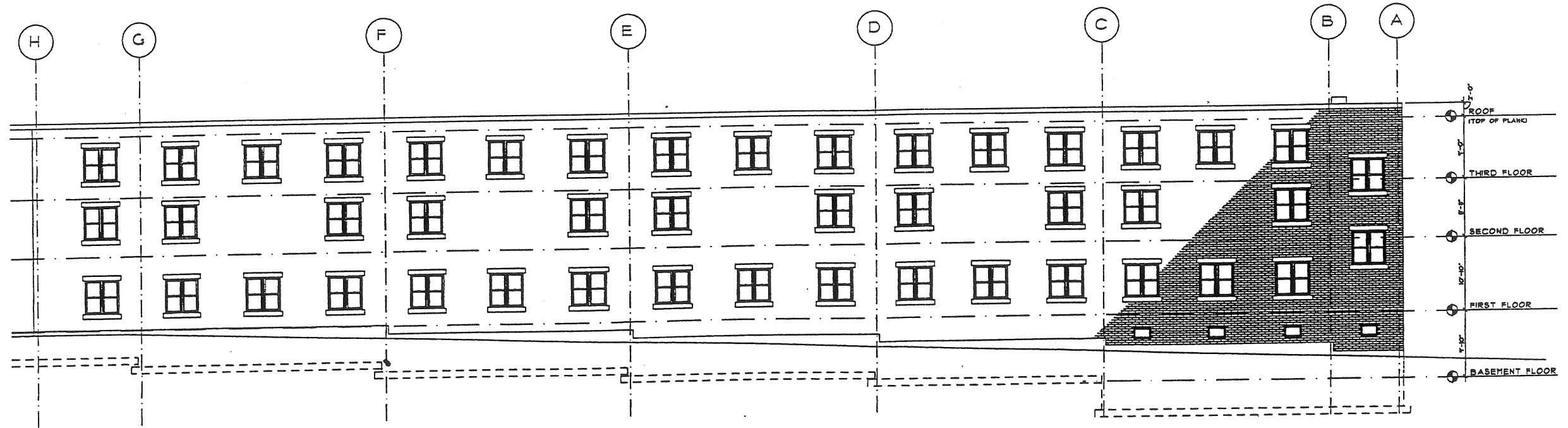
PROCESS DRAWING  
NOT FOR CONSTRUCTION  
PLOTTED  
5-1-97

EGA  
Engelbrecht & Griffin  
Architects, P.C.

STRUCTURAL ENGINEER  
M.E.P. ENGINEER  
CIVIL ENGINEER



I SOUTH ELEVATION



Park Danforth  
Portland, Maine  
Housing For The Elderly

| Issued For: | Date: |
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Building Key:

Sheet Title:  
ELEVATIONS

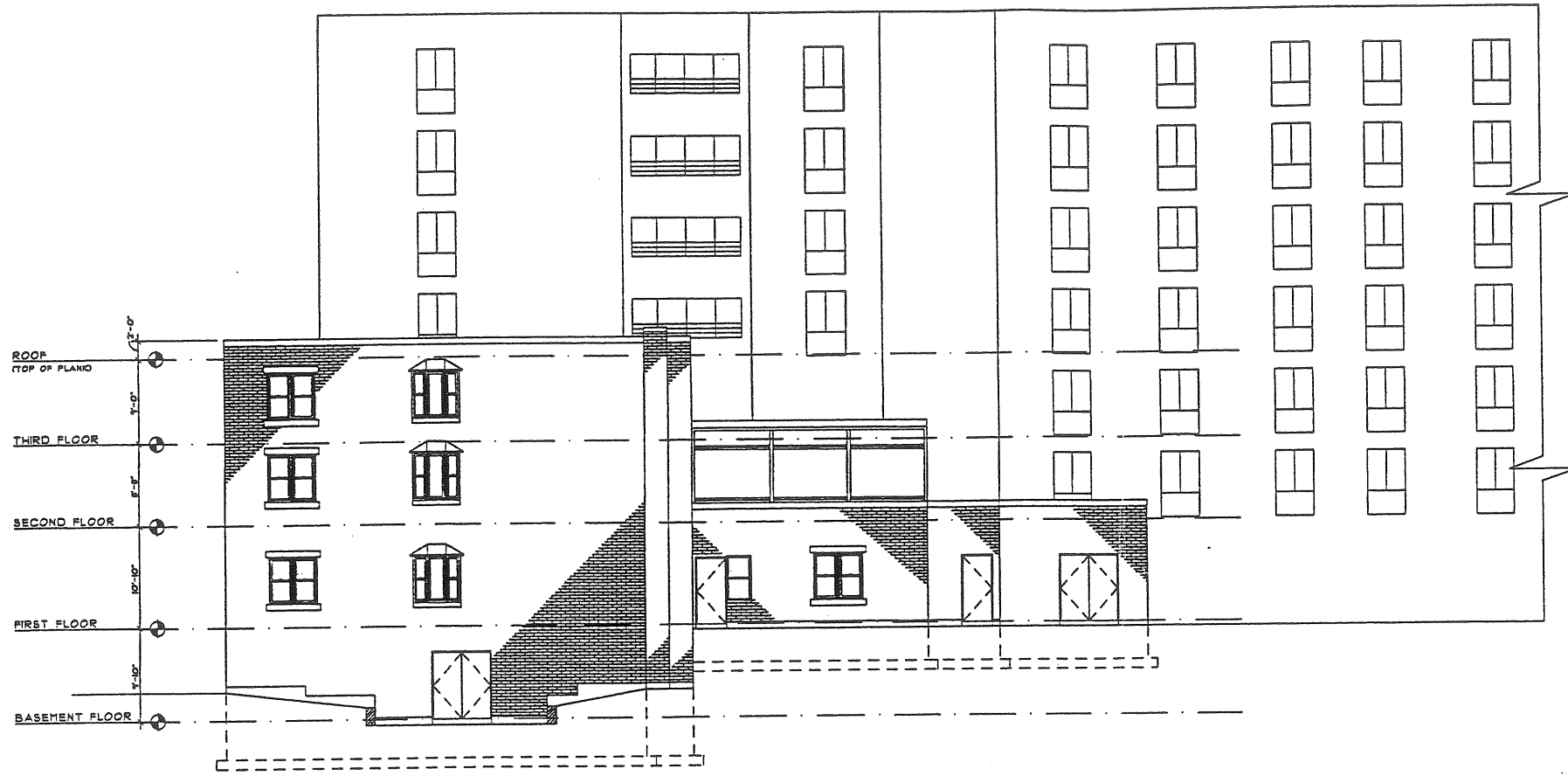
Sheet Number:  
A-4.1

B-2

PROGRESS  
DRAWING  
NOT FOR  
CONSTRUCTION  
PLOTTED  
5-1-97

**EGA**  
Engelbrecht & Griffin  
Architects, P.C.  
17 Adams St.  
Portland, ME 04103  
Tel: 603-833-1100 Fax: 603-833-1101  
E-mail: [info@egaarch.com](mailto:info@egaarch.com)  
Web: [www.egaarch.com](http://www.egaarch.com)

STRUCTURAL ENGINEER  
MEP ENGINEER  
CIVIL ENGINEER



2 EAST ELEVATION

Park Ddnforth  
Portland, Maine  
Housing For The Elderly

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Building Name

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Sheet Number  
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B-3

PROGRESS  
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PLOTTED  
5-1-87

**EGA**  
Engelbrecht & Griffin  
Architects, P.C.

STRUCTURAL ENGINEER  
M.P. ENGINEER  
D.W. ENGINEER

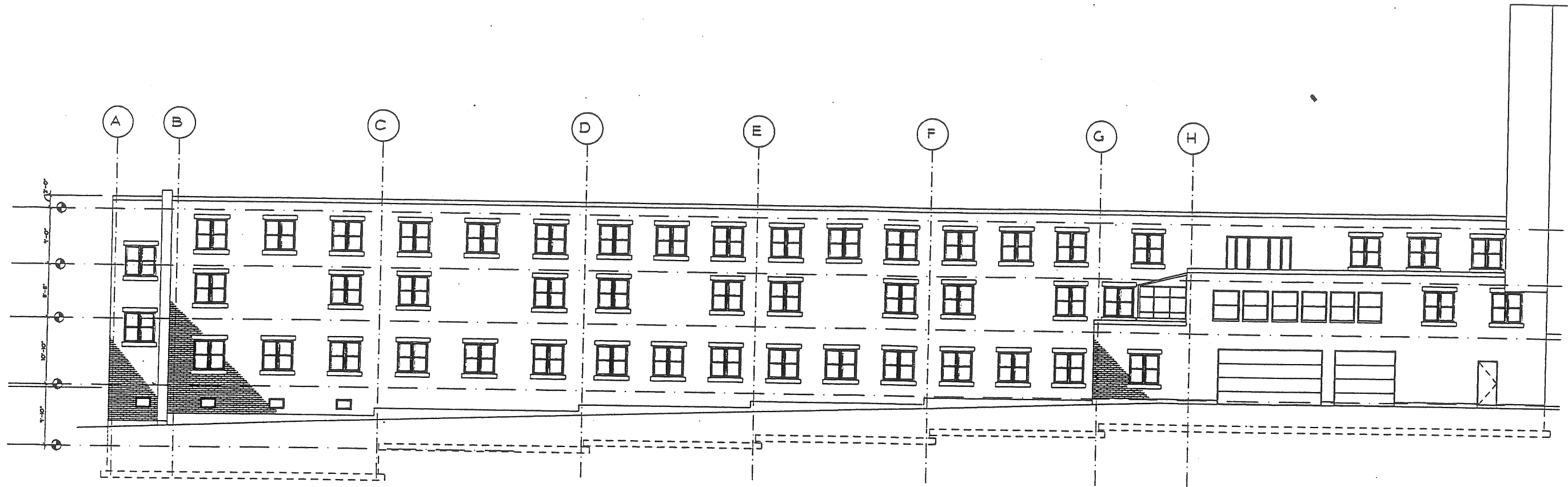
Park Danforth  
Portland, Maine  
Housing For The Elderly

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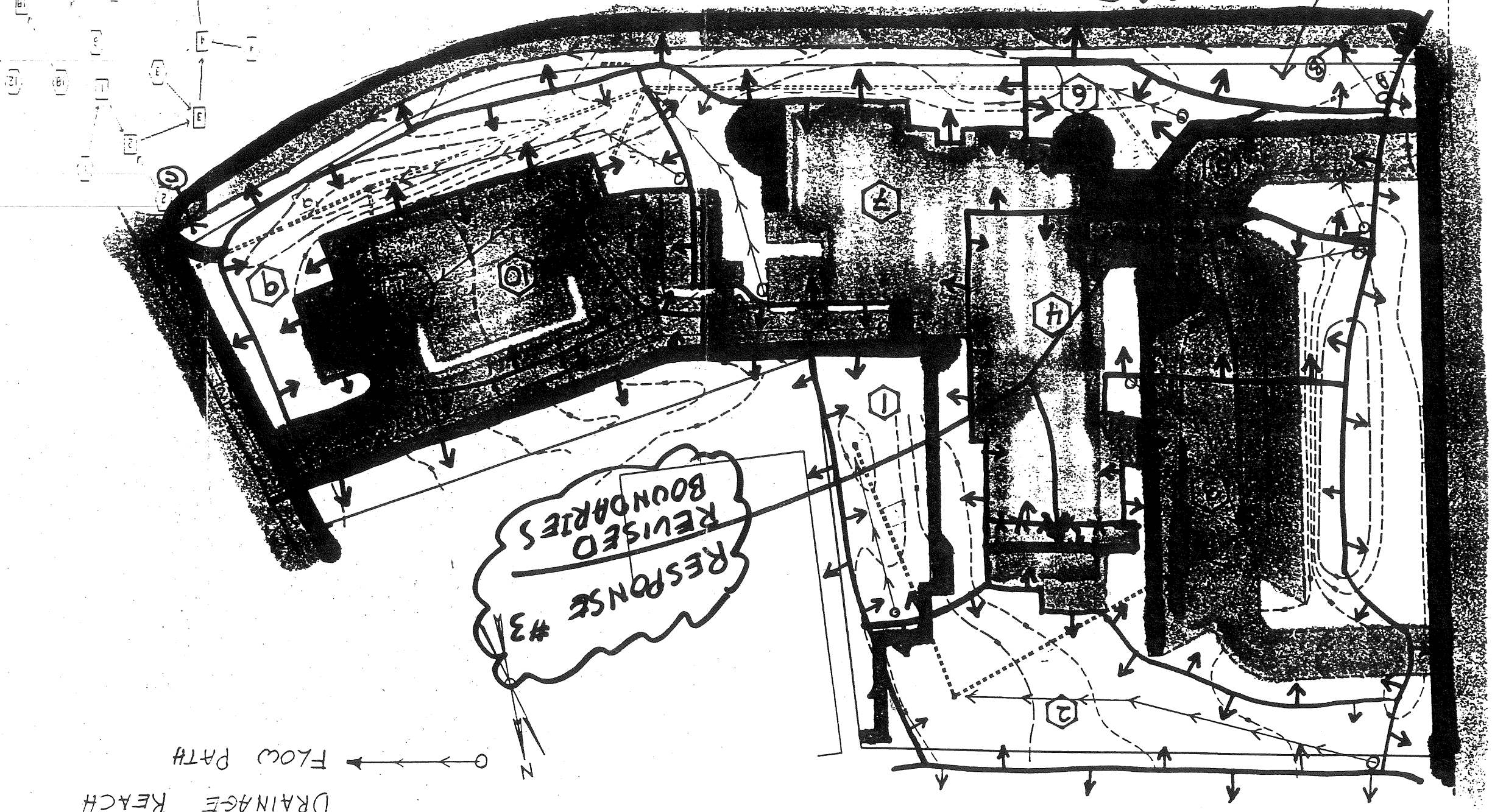
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A-4.3



3 NORTH ELEVATION

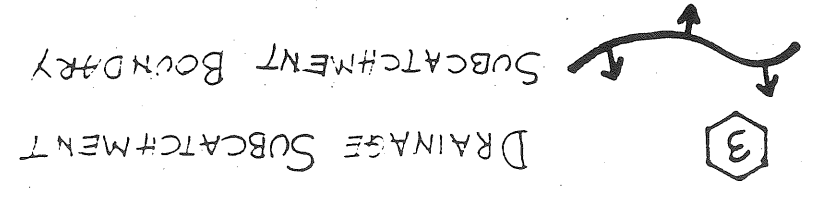


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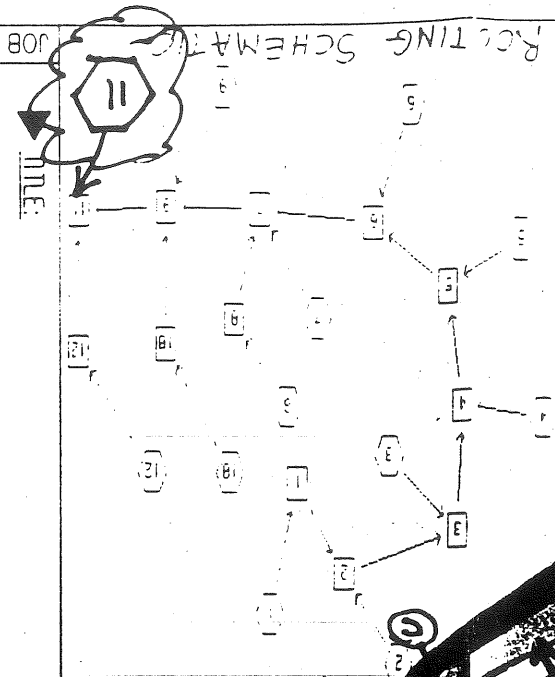


RESPONSE #2  
SUBCATCHMENT #11  
(off-site)

RESPONSE #3  
REVISED  
BOUNDARIES



DRAINAGE REACH  
FLOW PATH



TITLE:   
JOB #

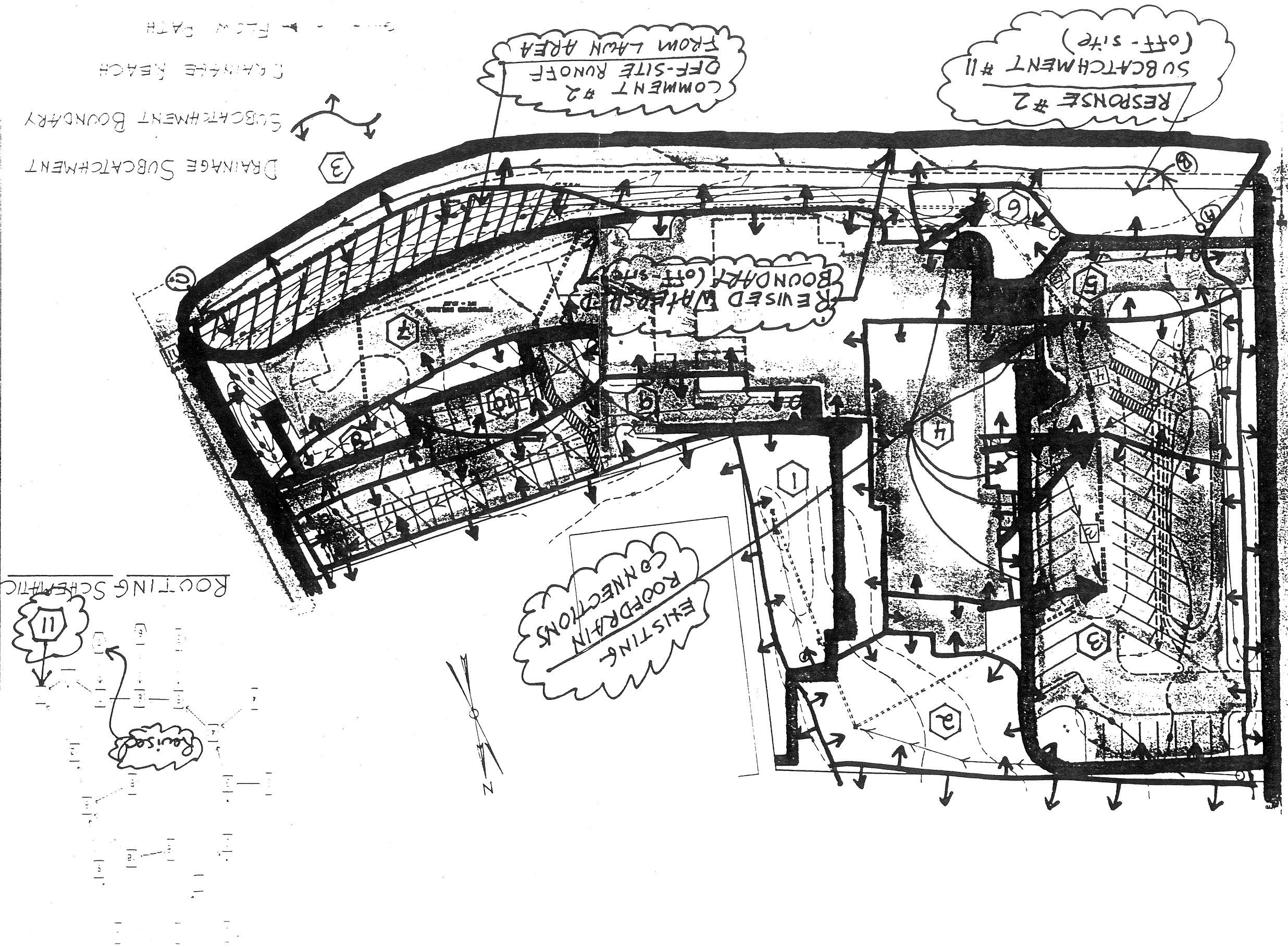
PRE DEVELOPMENT  
DRAINAGE

PREPARED FOR:  
THE PARK DANFORTH  
777 STEVENS AVE  
PORTLAND, MAINE 04101

SCALE: 1" = 50'  
DATE: 05-13-97

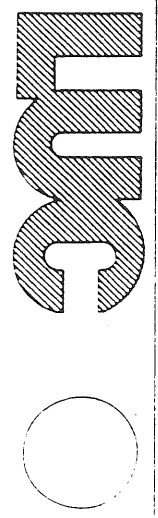
**LUC**  
LAND USE CONSULTANTS, INC.  
Land Planners • Engineers • Surveyors  
966 Riverside Street Portland, Maine 04103  
207-878-3313





PREPARED FOR:

THE PARK DANFORTH  
111 STEVENS AVE  
PORTLAND, MAINE 04101



Land Planners • Engineers • Surveyors  
966 Riverside Street Portland, Maine 04103  
207-878-3313

SCALE:

1" = 50'

DATE:

05-13-91

POST DEVELOPMENT  
DRAINAGE

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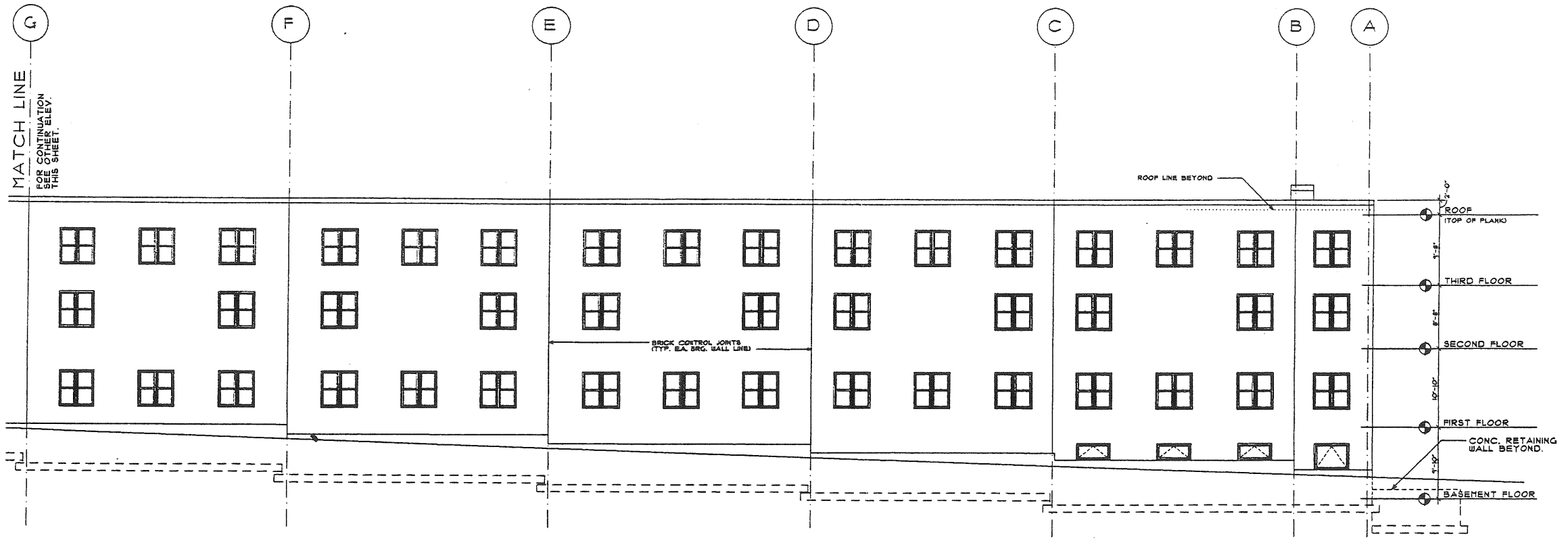
**EGA**  
Engelbrecht & Griffin  
Architects, P.C.  
12 Adams St.  
Portland, ME 04101  
Tel: 781-876-3333 Fax: 781-876-3334  
225 Main Ave.  
Tel: 781-876-3333 Fax: 781-876-3334

STRUCTURAL ENGINEER  
M.E.P. ENGINEER  
CIVIL ENGINEER

**Park Danforth**  
Portland, Maine  
Housing For The Elderly



1 SOUTH ELEVATION



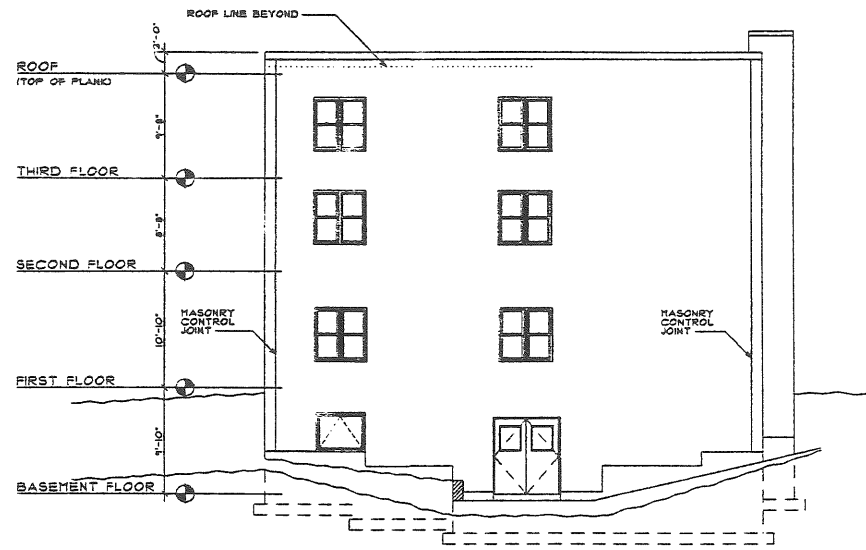
2 SOUTH ELEVATION

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Building Key

Sheet Title  
**ELEVATIONS**

Sheet Number  
**A-4.1**



3 EAST ELEVATION



4 EAST ELEVATION

| DATE    | ISSUED TO/FOR:                         | PROGRESS DRAWING |
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| 1/24/07 | PER. BSA, LLC, BSA, PERI, LLP, LLP, AC |                  |
| 1/24/07 | DESIGN DEVELOPMENT SET                 |                  |
| 1/24/07 | PER. BSA, LLC, BSA, PERI, LLP, LLP, AC |                  |
| 1/24/07 | PER. BSA, LLC, BSA, PERI, LLP, LLP, AC |                  |
| 1/24/07 | ELEVATIONS FOR PUBLIC BOARD            |                  |
| 1/24/07 | BSA, LLC                               |                  |

B-2  
NOT FOR CONSTRUCTION

**EGA**  
Engelbrecht & Griffin Architects, P.C.  
17 Adams St.  
Portland, Maine 04108  
Tel: 553-42-0204 Fax: 553-42-1225  
225 Oak St.  
Portland, ME 04103  
Tel: 553-42-0204 Fax: 553-42-1225

STRUCTURAL ENGINEER  
M.E.P. ENGINEER  
CIVIL ENGINEER

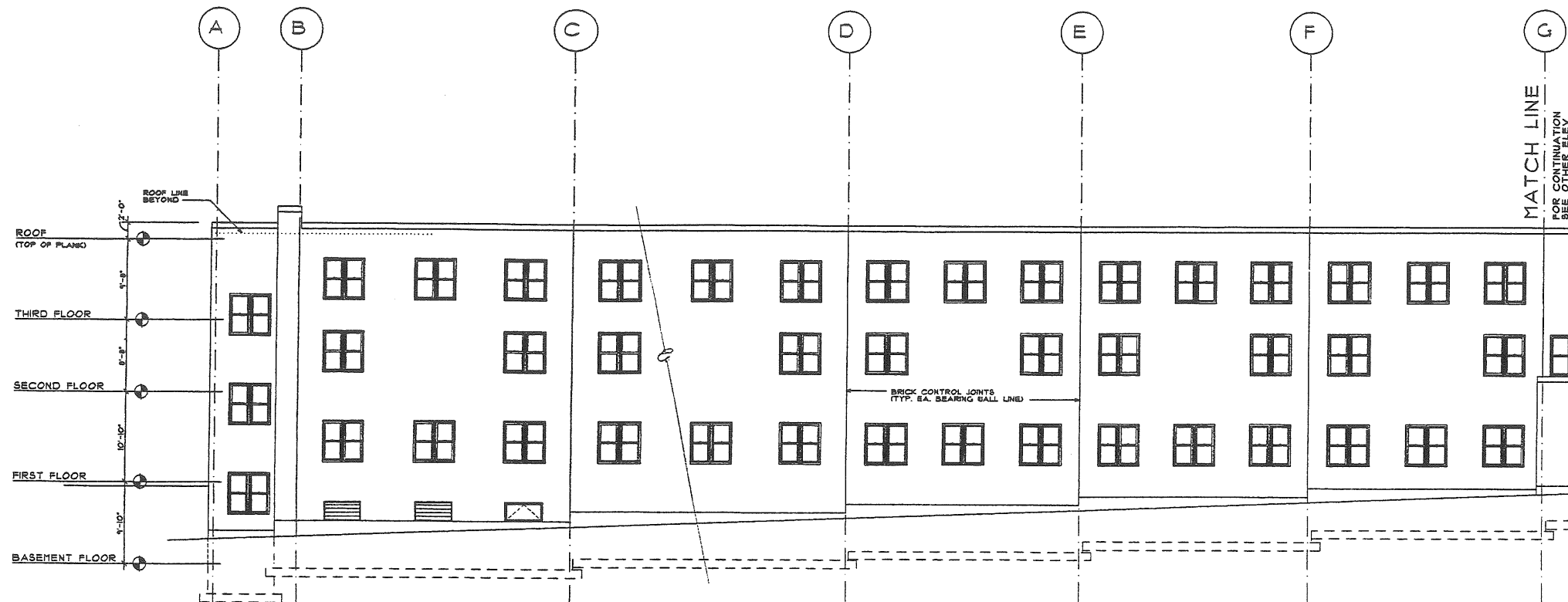
Park Danforth  
Portland, Maine  
Housing For The Elderly

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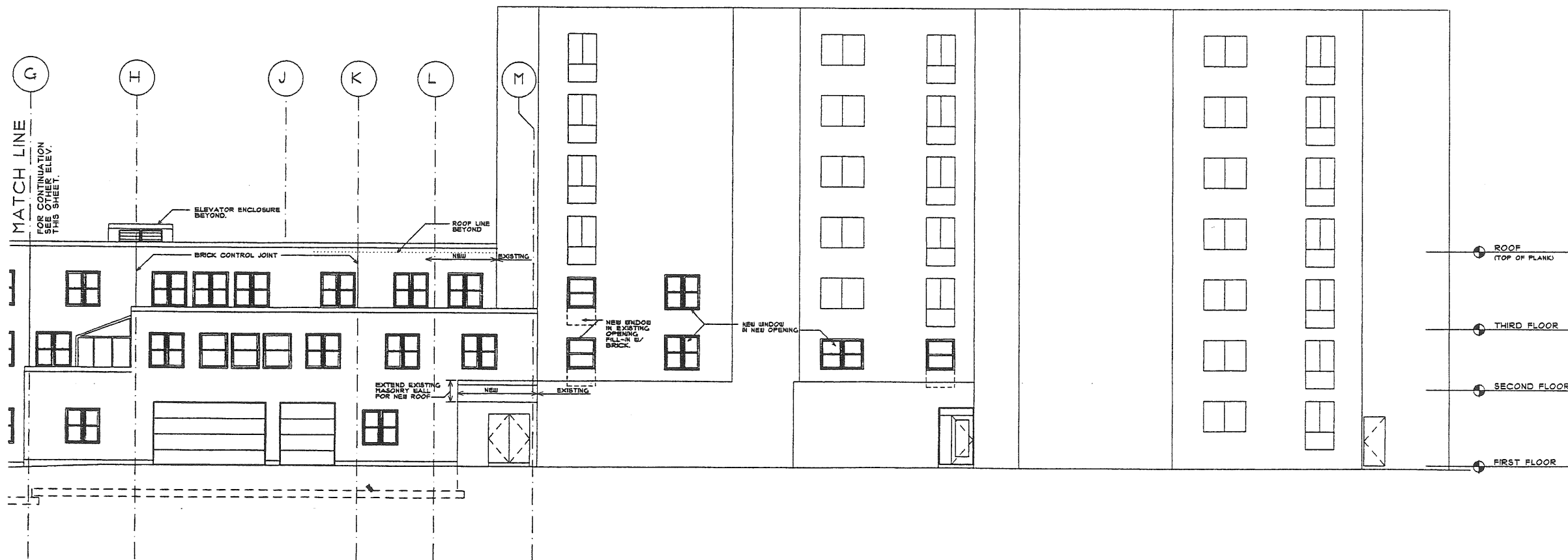
Building Key

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ELEVATIONS

Sheet Number  
A-4.2



5 NORTH ELEVATION



6 NORTH ELEVATION

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PROCESS DRAWING B-3  
 NOT FOR CONSTRUCTION

**EGA**  
 Engelbrecht & Griffin Architects, P.C.

100 Middle Street  
 Portland, Maine 04102  
 Tel: 603-876-1111 Fax: 603-876-1112

STRUCTURAL ENGINEER: [Signature]  
 M.P.E. ENGINEER: [Signature]  
 CIVIL ENGINEER: [Signature]

**Park Danforth**  
 Portland, Maine  
 Housing For The Elderly

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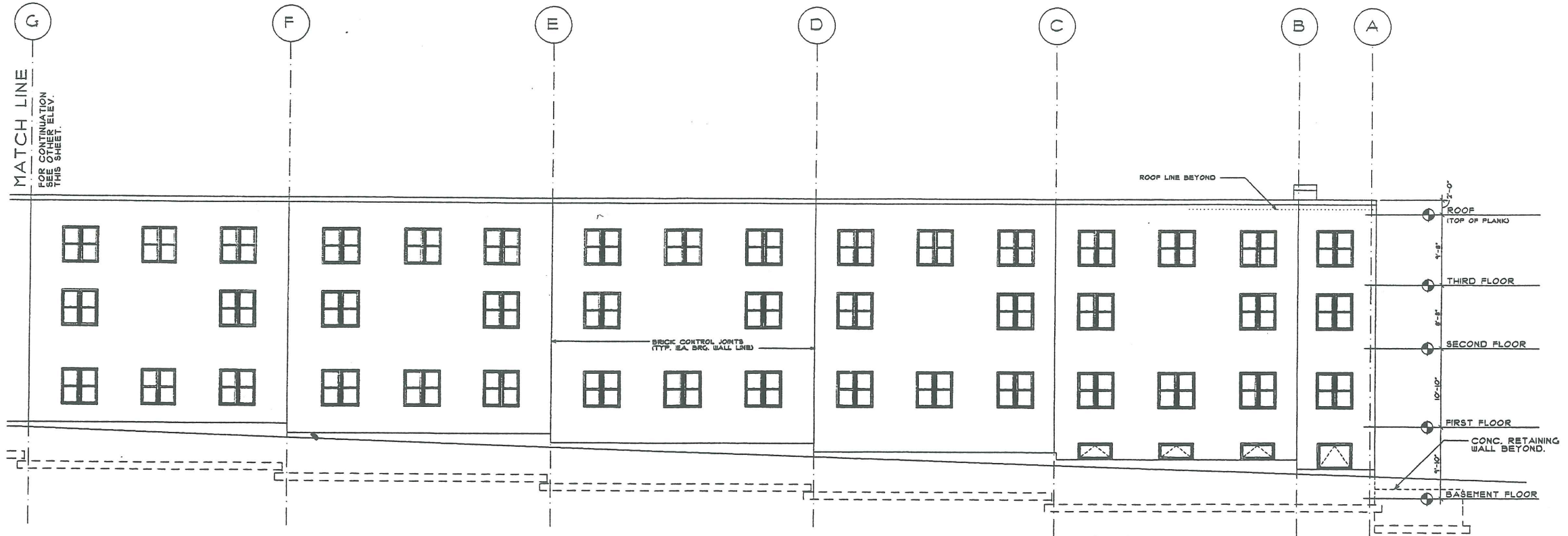
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**ELEVATIONS**

Sheet Number:  
**A-4.3**



1 SOUTH ELEVATION



2 SOUTH ELEVATION

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| 1/1/11 | PL. NGA, INC. 800. 874. 1281, LBB. AC |
| 1/1/11 | SCHEMATIC DEVELOPMENT SET             |
| 1/1/11 | FOR PERMITS SEE NGA AND LBB. AC       |
| 1/1/11 | FLOOR PLANS FOR PERMITS               |
| 1/1/11 | ELEVATIONS FOR PERMITS                |
| 1/1/11 | SEALED                                |
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PROGRESS DRAWING B-4

**NOT FOR CONSTRUCTION**

**EGA**  
Engelbrecht & Griffin  
Architects, P.C.

17 Adams St.  
Bangor, ME 04401  
Tel: 207-945-8545 Fax: 207-945-5435

225 South Ave.  
Bangor, ME 04401  
Tel: 207-945-1909 Fax: 207-945-1300

STRUCTURAL ENGINEER

M.E.P. ENGINEER

CIVIL ENGINEER

**Park Danforth**  
Portland, Maine  
Housing For The Elderly

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Building Key:

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**A-4.1**

LLOYD R. WOLF, D.M.D., P.A.  
WILLIAM SNYDER, D.D.S.  
VICTORIE D. SIKSIS  
ALAN J. CHERSKE, D.M.D.  
TAMUO D. SIKSIS  
1004 FOREST AVE.

**RITE**  
**AID** PHARMACY

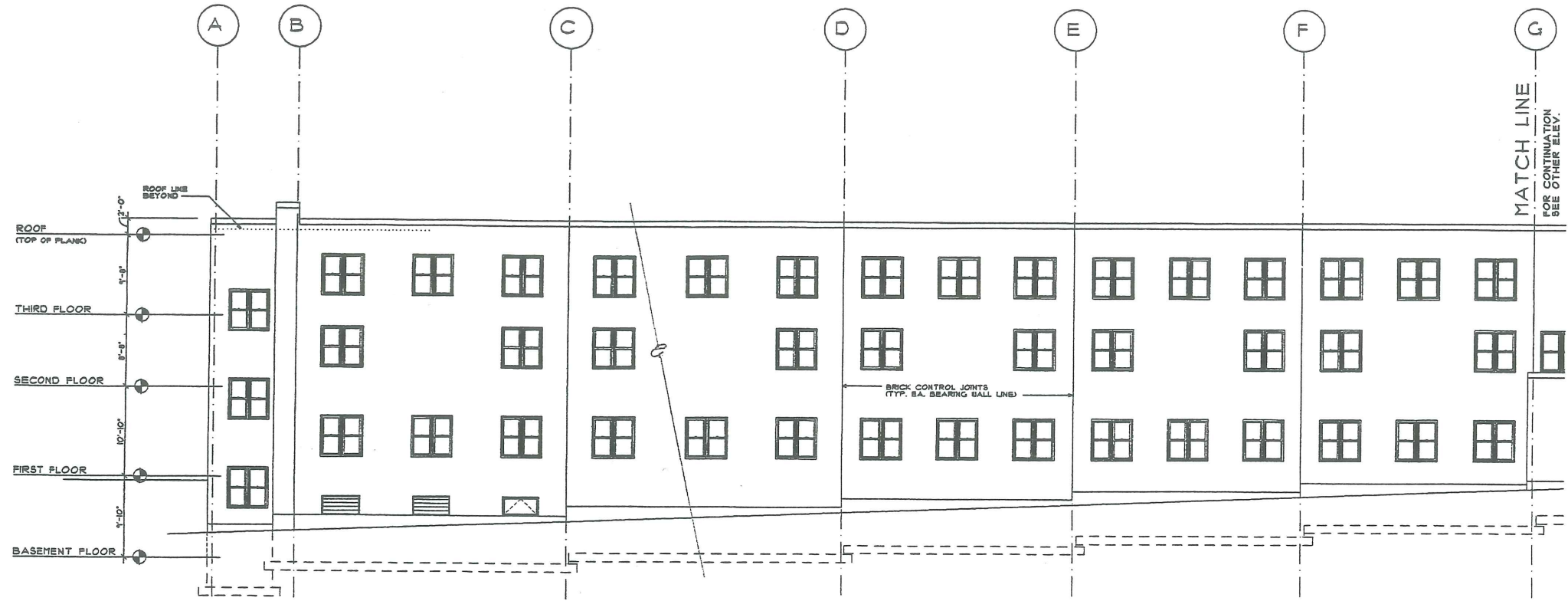
1100-1108  
Forest Avenue



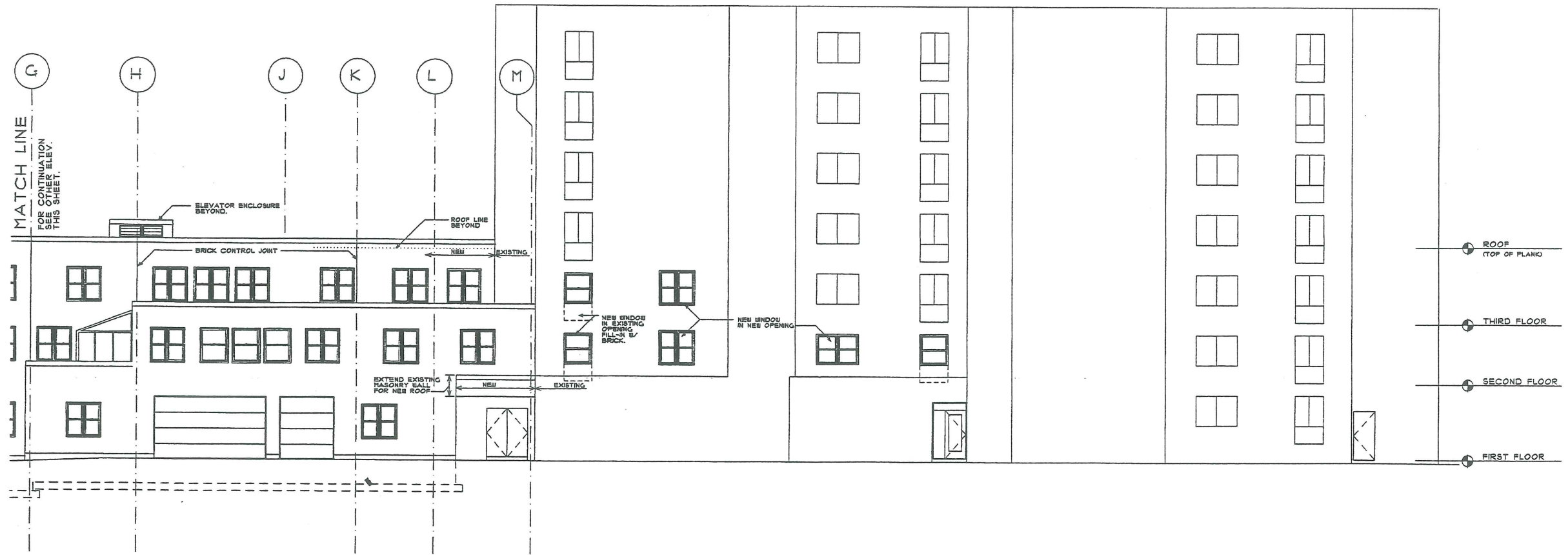


OUR BIGGEST SALE EVER  
20-50% OFF  
SHOCKS STRUTS  
BRAKES WHEELERS

POLAND ST



5 NORTH ELEVATION



6 NORTH ELEVATION

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| DATE  | ISSUED TO/FOR:                        |
| 12/21 | FOR SEA, LLC, 888, 878, 819, 118, 412 |
| 12/21 | DESIGN DEVELOPMENT SET                |
| 12/21 | FOR SEA, LLC, 888, 878, 819, 118, 412 |
| 12/21 | ROOF PLANS FOR THE PROJECT            |
| 12/21 | ELEVATIONS FOR PLUMBING BOARD         |
| 12/21 | SEA, LLC                              |
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**EGA**  
 Engelbrecht & Griffin  
 Architects P.C.

STRUCTURAL ENGINEER  
 M.P.E. ENGINEER  
 CIVIL ENGINEER

**Park Danforth**  
 Portland, Maine  
 Housing For The Elderly

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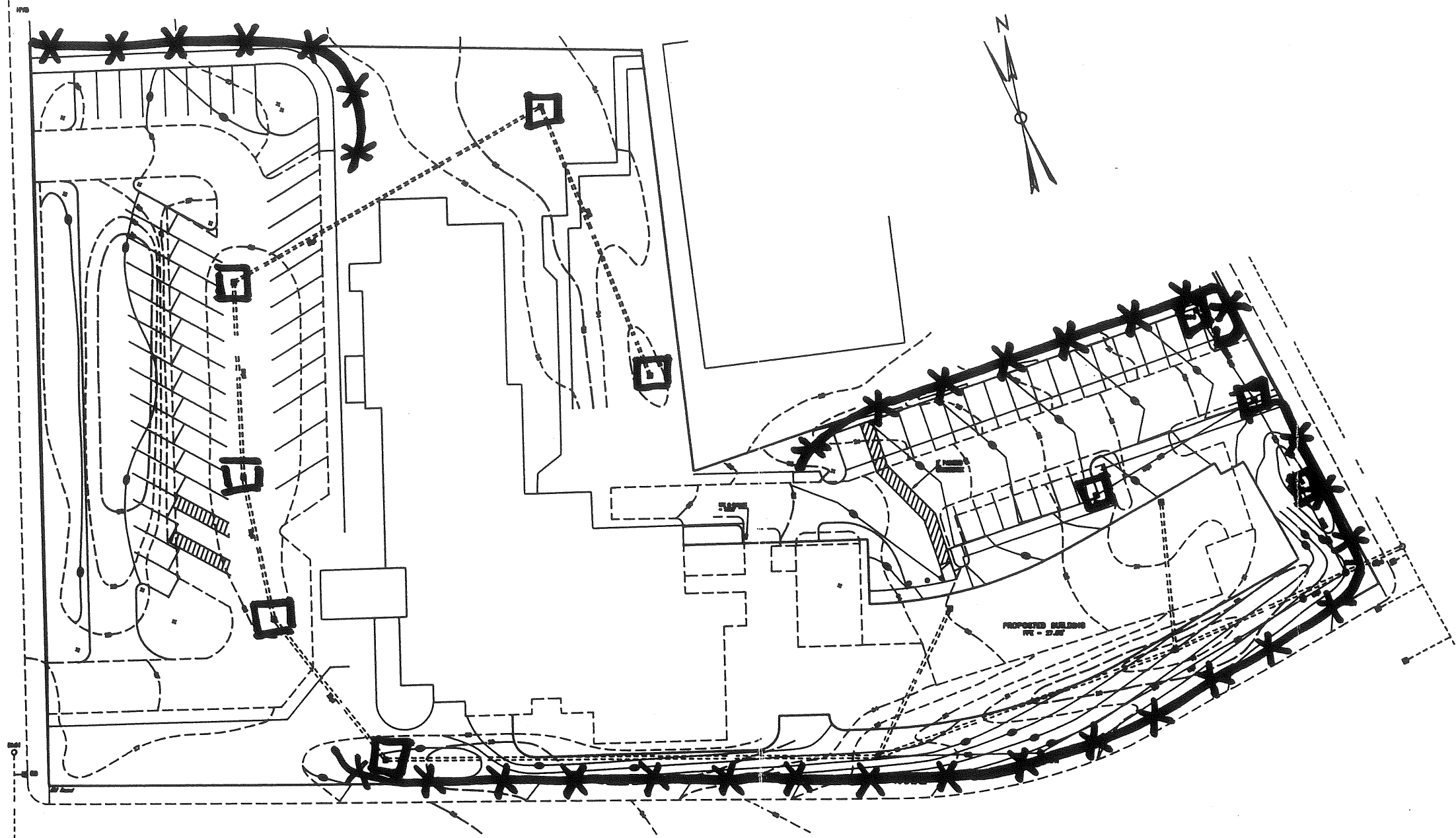
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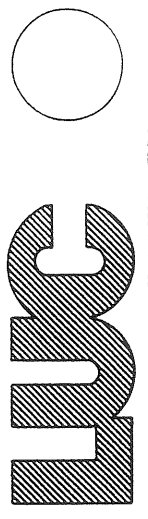
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☐ HAY BALE INLET BARRIER (All C.B.'s)



# EROSION CONTROL PLAN



**LAND USE CONSULTANTS, INC.**  
 Land Planners \* Engineers \* Surveyors  
 966 Riverside Street Portland, Maine 04103  
 207-878-3313

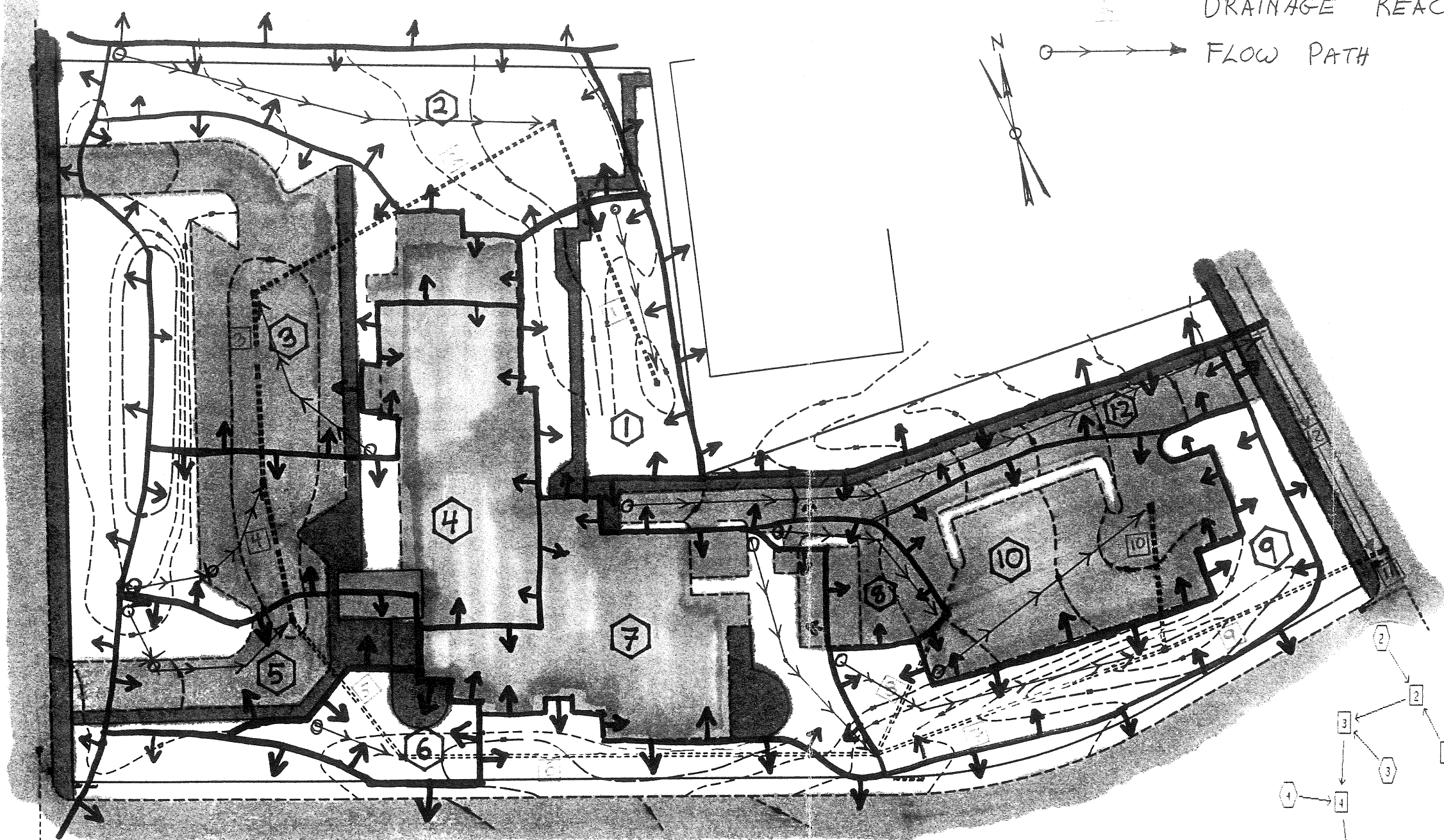
▶ PREPARED FOR:  
**THE PARK DANFORTH**  
 111 STEVENS AVE  
 PORTLAND, MAINE 04101

▶ TITLE:  
**POST DEVELOPMENT DRAINAGE**

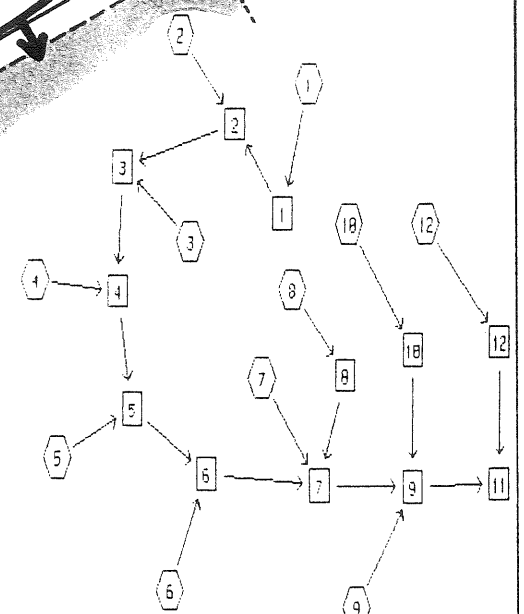
▶ SCALE: 1" = 50'      ▶ DATE: 05-13-91

JOB #:

▶ REFERENCE:



③ DRAINAGE SUBCATCHMENT  
 SUBCATCHMENT BOUNDARY  
 DRAINAGE REACH  
 FLOW PATH



ROUTING SCHEMATIC

**LUS**  
 LAND USE CONSULTANTS, INC.  
 Land Planners \* Engineers \* Surveyors  
 966 Riverside Street Portland, Maine 04103  
 207-878-3313

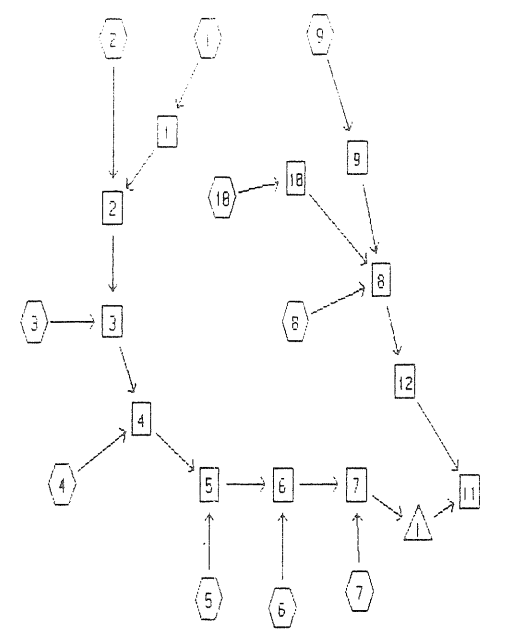
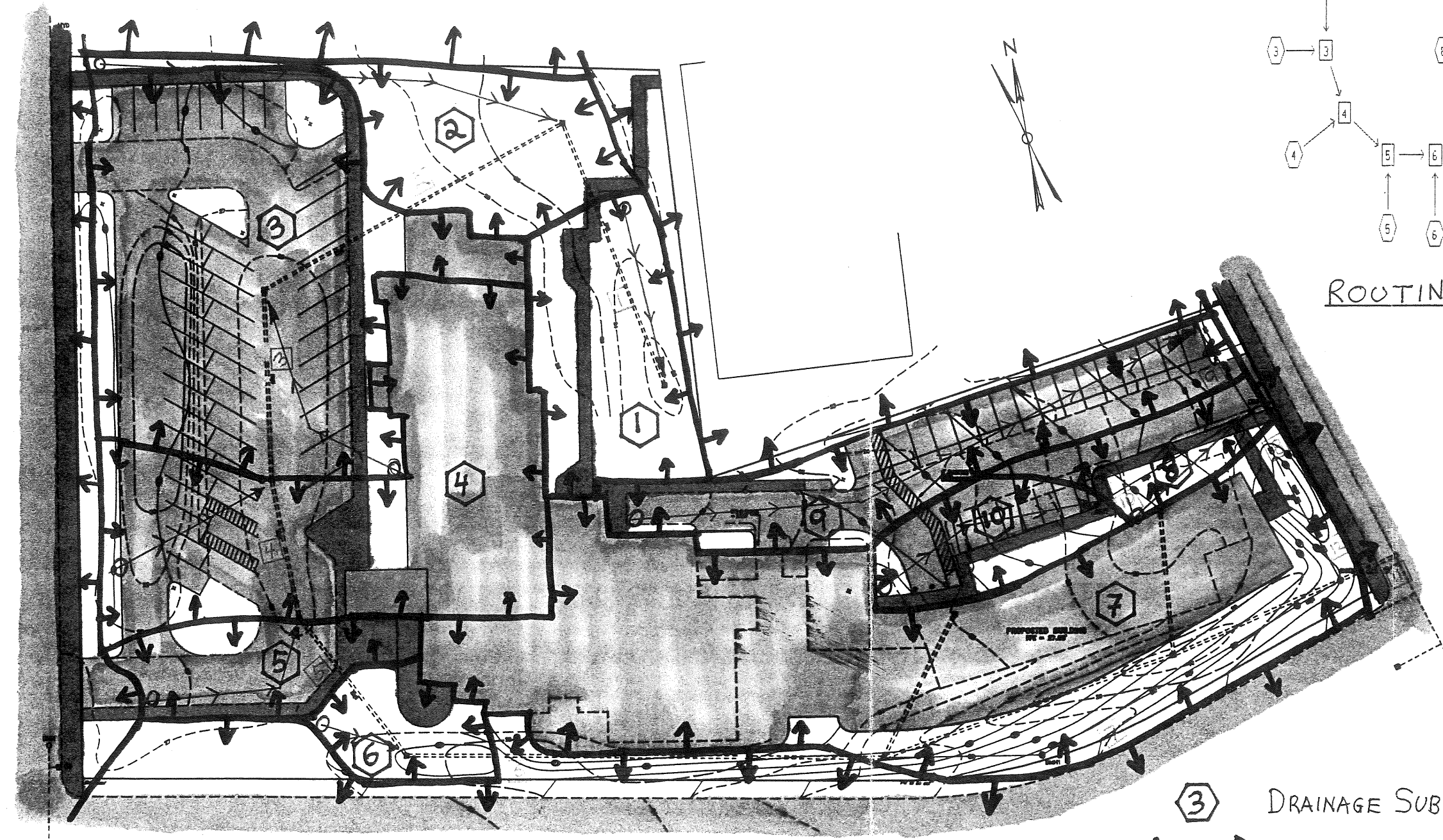
▶ PREPARED FOR:  
 THE PARK DANFORTH  
 111 STEVENS AVE  
 PORTLAND, MAINE 04101

▶ TITLE:  
 PRE DEVELOPMENT  
 DRAINAGE

▶ SCALE: 1" = 50'  
 ▶ DATE: 05-13-97

JOB #:

REFERENCE:



ROUTING SCHEMATIC

- DRAINAGE SUBCATCHMENT
- SUBCATCHMENT BOUNDARY
- DRAINAGE REACH
- FLOW PATH

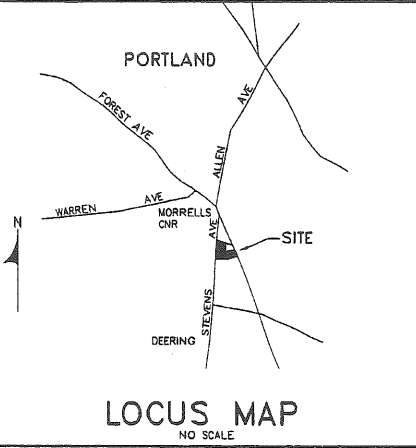
**LUS**  
**LAND USE CONSULTANTS, INC.**  
 Land Planners \* Engineers \* Surveyors  
 966 Riverside Street Portland, Maine 04103  
 207-878-3313

PREPARED FOR:  
**THE PARK DANFORTH**  
 111 STEVENS AVE  
 PORTLAND, MAINE 04101

TITLE:  
**POST DEVELOPMENT DRAINAGE**

SCALE: 1" = 50'  
 DATE: 05-13-97

JOB #:



NOW OR FORMERLY  
LLOYD B.  
WOLF (LESSOR)  
CCRD 3329/17

APPROVED BY:  
CITY OF PORTLAND PLANNING BOARD  
CHAIR: \_\_\_\_\_  
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\_\_\_\_\_  
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DATE: \_\_\_\_\_

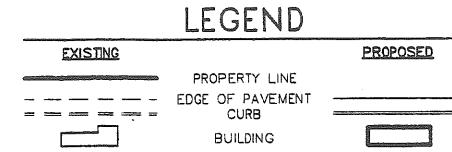
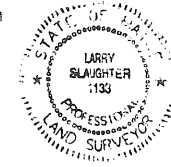
### GENERAL NOTES:

- RECORDED OWNERS OF THE PROPERTY ARE THE PARK-DANFORTH AND HOME FOR THE AGED AS A CONDOMINIUM ASSOCIATION. BOTH ARE NOT-FOR-PROFIT CORPORATIONS. REFER TO DEED DATED OCT 29, 1982 AND RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS BOOK 5055 PAGE 258.
- THE TOTAL LOT AREA IS 2.53 ACRES AND 110,089 S.F.
- THE ZONING OF THE PARCEL IS R-6 RESIDENTIAL.
- BEARINGS ARE MAGNETIC 1982. TRUE NORTH IS SHOWN FOR INFORMATION ONLY.

### SURVEYORS STATEMENT

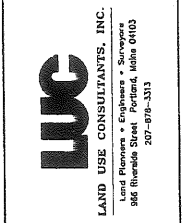
THIS PLAN CONFORMS TO THE STANDARDS OF THE MAINE BOARD OF REGISTRATION FOR LAND SURVEYORS CATEGORY III, CONDITION II.

Larry Slaughter 9/29/97  
LARRY SLAUGHTER DATE  
PROFESSIONAL LAND SURVEYOR #1133  
PO BOX 1311  
LEWISTON, ME 04243-1311

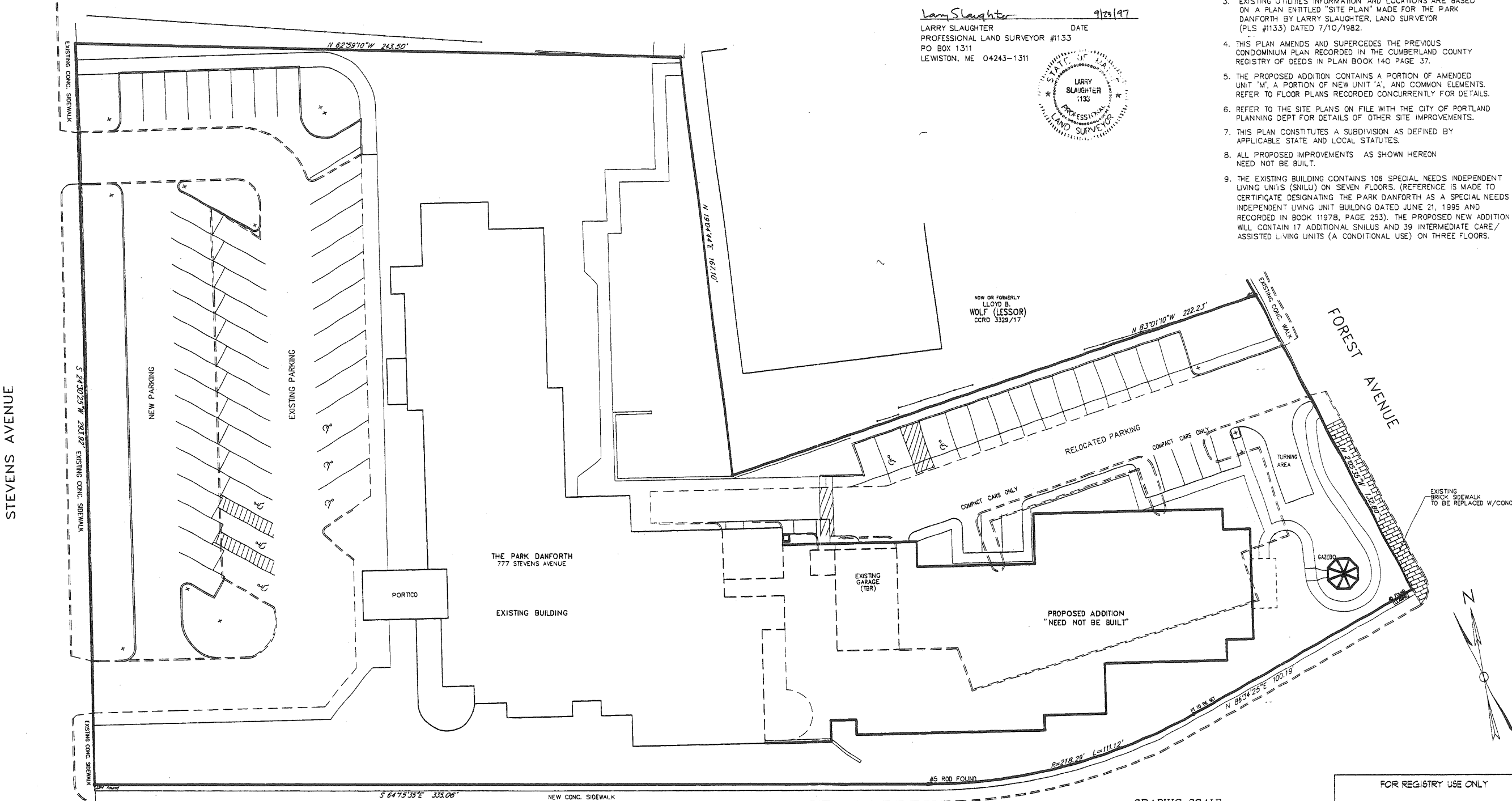


### PLAN REFERENCES:

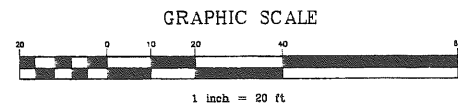
- EXISTING CONDITIONS, TOPOGRAPHY AND PROPERTY LINES ARE BASED ON A PLAN ENTITLED "THE PARK DANFORTH" PREPARED BY LARRY SLAUGHTER, LAND SURVEYOR (PLS #1133) P.O. BOX 1311, LEWISTON, ME, DATED 5 FEB, 1997.
- THE PROPOSED BUILDING ADDITION SHOWN IS BASED ON INFORMATION PROVIDED BY ENGELBRECHT AND GRIFFIN ARCHITECTS, 12 AUBURN ST., NEWBURYPORT, MA 01950. REFER TO ARCHITECTS PLANS FOR ACTUAL DIMENSIONS.
- EXISTING UTILITIES INFORMATION AND LOCATIONS ARE BASED ON A PLAN ENTITLED "SITE PLAN" MADE FOR THE PARK DANFORTH BY LARRY SLAUGHTER, LAND SURVEYOR (PLS #1133) DATED 7/10/1982.
- THIS PLAN AMENDS AND SUPERCEDES THE PREVIOUS CONDOMINIUM PLAN RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 140 PAGE 37.
- THE PROPOSED ADDITION CONTAINS A PORTION OF AMENDED UNIT 'M', A PORTION OF NEW UNIT 'A', AND COMMON ELEMENTS. REFER TO FLOOR PLANS RECORDED CONCURRENTLY FOR DETAILS.
- REFER TO THE SITE PLANS ON FILE WITH THE CITY OF PORTLAND PLANNING DEPT FOR DETAILS OF OTHER SITE IMPROVEMENTS.
- THIS PLAN CONSTITUTES A SUBDIVISION AS DEFINED BY APPLICABLE STATE AND LOCAL STATUTES.
- ALL PROPOSED IMPROVEMENTS AS SHOWN HEREON NEED NOT BE BUILT.
- THE EXISTING BUILDING CONTAINS 106 SPECIAL NEEDS INDEPENDENT LIVING UNITS (SNILU) ON SEVEN FLOORS. (REFERENCE IS MADE TO CERTIFICATE DESIGNATING THE PARK DANFORTH AS A SPECIAL NEEDS INDEPENDENT LIVING UNIT BUILDING DATED JUNE 21, 1995 AND RECORDED IN BOOK 11978, PAGE 253). THE PROPOSED NEW ADDITION WILL CONTAIN 17 ADDITIONAL SNILUS AND 39 INTERMEDIATE CARE/ ASSISTED LIVING UNITS (A CONDITIONAL USE) ON THREE FLOORS.



THE PARK-DANFORTH  
CONDOMINIUM  
111 STEVENS AVE  
PORTLAND, MAINE 04101



NOW OR FORMERLY  
LLOYD B.  
WOLF (LESSOR)  
CCRD 3329/17



| I.S. Date |  |
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| Revision | Date |
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| Designed DAK | I.S.           |
| Drawn CAM    | Scale 1" = 20' |
| Checked      | Date 09-23-97  |

RECORDING PLAT

FOR REGISTRY USE ONLY

Job No. 3042  
Sheet

09/23/97 09:23:06 AM 31 1997 Copyright (c) Lucius Engineering, Inc.

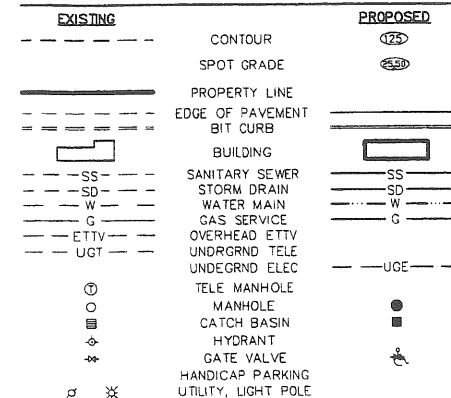
### STORM DRAINAGE STRUCTURE SCHEDULE

|                                                                  |                                                                                                                                 |                                                                  |                                                |
|------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------|------------------------------------------------|
| CB#1<br>EXISTING CATCH BASIN<br>RIM=22.60<br>INV=18.60           | CB#9<br>NEW CATCH BASIN<br>RIM=19.0<br>INV=14.80, INV OUT=14.75                                                                 | SD#1<br>EXISTING 6" PIPE<br>L=115'<br>S=0.0039                   | SD#8<br>NEW 24" PIPE<br>L=40'<br>S=0.0025      |
| CB#2<br>EXISTING CATCH BASIN<br>RIM=22.63<br>INV=18.15           | CB#3<br>NEW CATCH BASIN<br>RIM=19.24<br>INV=15.10, INV OUT=15.00                                                                | SD#2<br>EXISTING 8" PIPE<br>L=140'<br>S=0.0028                   | SD#9<br>NEW 15" PVC<br>L=25'<br>S=0.0025       |
| CB#3<br>EXISTING CATCH BASIN<br>RIM=25.71<br>INV=17.79           | CB#10<br>NEW CATCH BASIN<br>RIM=20.64<br>INV OUT=15.65                                                                          | SD#3<br>EXISTING 10" PIPE<br>L=78'<br>S=0.0023                   | SD#10<br>NEW 12" PVC<br>L=75'<br>S=0.0050      |
| CB#4<br>EXISTING CATCH BASIN<br>RIM=25.36<br>INV=17.61           | CB#11<br>NEW CATCH BASIN<br>RIM=23.02<br>INV OUT=18.10                                                                          | SD#4<br>EXISTING 12" PIPE<br>L=58'<br>S=0.0098                   | SD#11<br>NEW 12" PVC<br>L=55'<br>S=0.0100      |
| CB#5<br>EXISTING CATCH BASIN<br>RIM=25.71<br>INV=17.04           | DMH#1<br>6" DIA MH W/ORIFACE PLATE<br>RIM=24.62 (MATCH PAVE)<br>INV=14.65, W/ 2" SUMP<br>LOCATE IN CL OF WALK                   | SD#5<br>EXISTING 12" PIPE<br>L=72'<br>S=0.0171                   | SD#12<br>NEW 12" PVC<br>L=75'<br>S=0.0400      |
| CB#6<br>EXISTING CATCH BASIN<br>RIM=24.88<br>INV=15.81           | DMH#2<br>NEW DRAINAGE MH<br>RIM=23.12 (MATCH PAVE)<br>INV=14.60, INV OUT=14.55<br>LOCATE IN CL OF WALK<br>CONNECT TO EXST. PIPE | SD#6<br>EXISTING 15" PIPE,<br>TO BE EXTENDED<br>L=260', S=0.0028 | SD#13<br>EXISTING 15" PVC<br>L=25'<br>S=0.0052 |
| CB#7<br>NEW CATCH BASIN<br>RIM=20.50<br>INV=15.07, INV OUT=15.02 |                                                                                                                                 | SD#7<br>NEW 24" PVC<br>L=90'<br>S=0.0025                         |                                                |

### GENERAL NOTES:

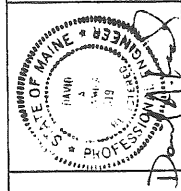
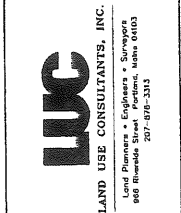
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING "DIG-SAFE" AND LOCAL UTILITY COMPANIES AT LEAST 3 BUSINESS DAYS, BUT NOT MORE THAN 30 CALENDAR DAYS, PRIOR TO THE COMMENCEMENT OF ANY EXCAVATION, AS IN ACCORDANCE WITH MAINE STATE LAW.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL MEANS, METHODS AND TECHNIQUES EMPLOYED TO PERFORM THE WORK SHOWN ON THESE PLANS.
- ALL WORK SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL SAFETY REGULATIONS.
- ALL WORK SHALL BE IN CONFORMANCE WITH CITY OF PORTLAND AND ALL UTILITY COMPANIES STANDARDS.
- CONTRACTOR SHALL VERIFY LOCATIONS AND DEPTHS OF ALL UTILITIES WITH THE RESPECTIVE COMPANY PRIOR TO THE START OF CONSTRUCTION. IF ANY DISCREPANCIES OR CONFLICTS ARE FOUND, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND OWNER PRIOR TO PROCEEDING.
- THE CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS FOR THE WORK SHOWN ON THESE PLANS PRIOR TO CONSTRUCTION.
- NO BLASTING WILL BE ALLOWED WITHIN 500 FT OF ANY UTILITY WITHOUT THE NOTIFICATION AND APPROVAL OF THE APPROPRIATE UTILITY COMPANY. NO LEDGE BLASTING WILL BE PERMITTED WITHIN A UTILITY COMPANY EASEMENT UNTIL WRITTEN APPROVAL FROM THE UTILITY IS GIVEN.
- ALL PAVEMENT CUTS SHALL BE SAW CUT TO RESULT IN CLEAN EDGES. A TACK COAT SHALL BE APPLIED ALONG THE CUT EDGES AND NEW PAVEMENT BUTTED TO IT, UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO RECLAIM OR PROPERLY DISPOSE OF ALL REMOVED BITUMINOUS MATERIALS.
- PROPOSED BUILDING DIMENSIONS ARE APPROXIMATE ONLY. ACTUAL DIMENSIONS SHALL BE AS DEPICTED ON ARCHITECTS PLANS.
- CONDUIT SHALL BE USED UNDER ALL PAVED AREAS FOR ELECTRIC, TELEPHONE AND TV IN ACCORDANCE WITH THE RESPECTIVE COMPANIES REQUIREMENTS.

### LEGEND

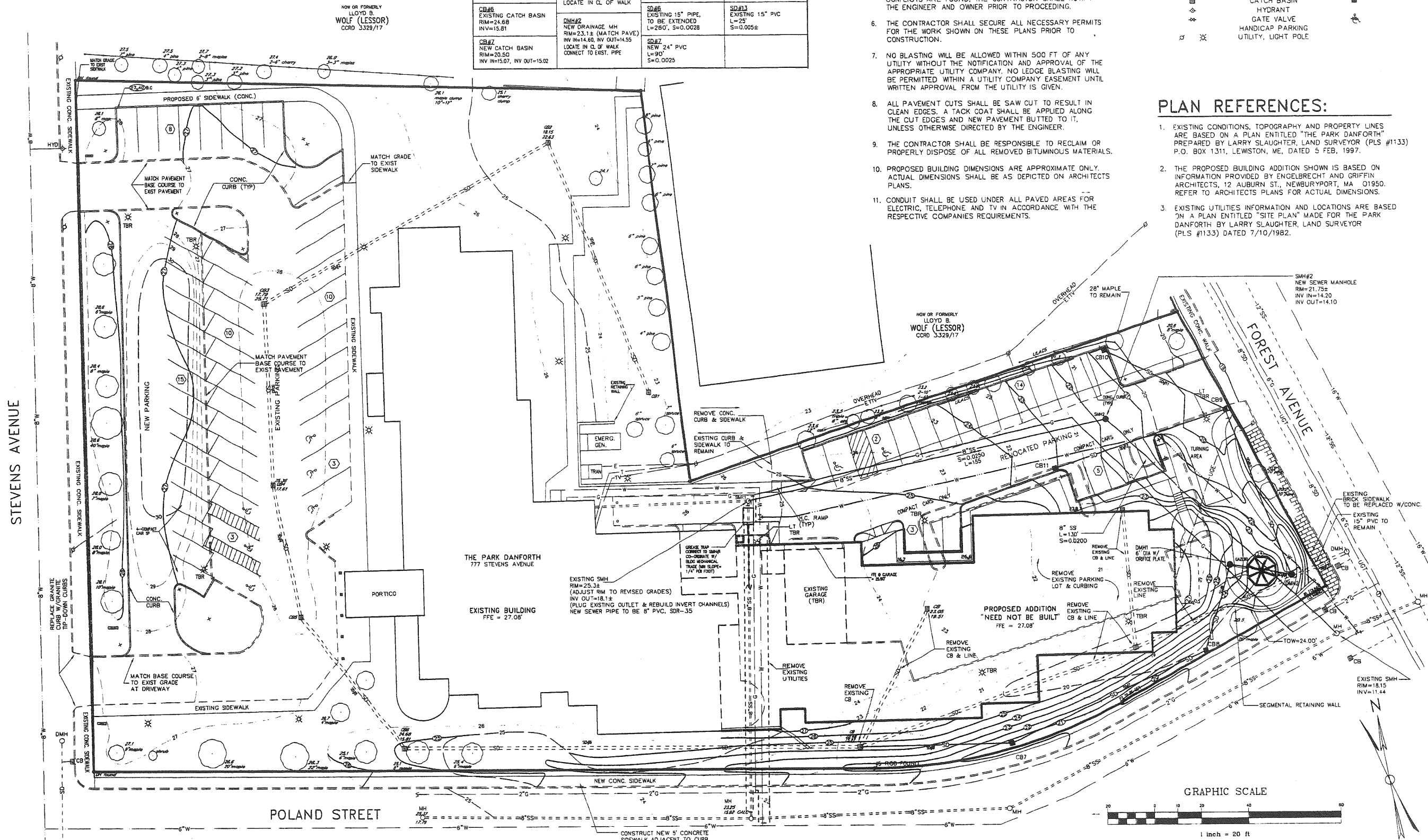


### PLAN REFERENCES:

- EXISTING CONDITIONS, TOPOGRAPHY AND PROPERTY LINES ARE BASED ON A PLAN ENTITLED "THE PARK DANFORTH" PREPARED BY LARRY SLAUGHTER, LAND SURVEYOR (PLS #1133) P.O. BOX 1311, LEWISTON, ME, DATED 5 FEB, 1997.
- THE PROPOSED BUILDING ADDITION SHOWN IS BASED ON INFORMATION PROVIDED BY ENGELBRECHT AND GRIFFIN ARCHITECTS, 12 AUBURN ST., NEWBURYPORT, MA 01950. REFER TO ARCHITECTS PLANS FOR ACTUAL DIMENSIONS.
- EXISTING UTILITIES INFORMATION AND LOCATIONS ARE BASED ON A PLAN ENTITLED "SITE PLAN" MADE FOR THE PARK DANFORTH BY LARRY SLAUGHTER, LAND SURVEYOR (PLS #1133) DATED 7/10/1982.



**THE PARK DANFORTH**  
177 STEVENS AVE  
PORTLAND, MAINE 04101



|                           |                           |               |           |
|---------------------------|---------------------------|---------------|-----------|
| Designed PLC<br>Drawn CAM | Checked<br>Scale 1" = 20' | I.S.          | I.S. Date |
|                           |                           | Date 09-29-91 |           |
| Revision                  |                           |               |           |
| Job No. 3042              |                           | Sheet         |           |

SEE SHEET C-5 FOR EROSION CONTROL PLAN DETAIL

### LEGEND

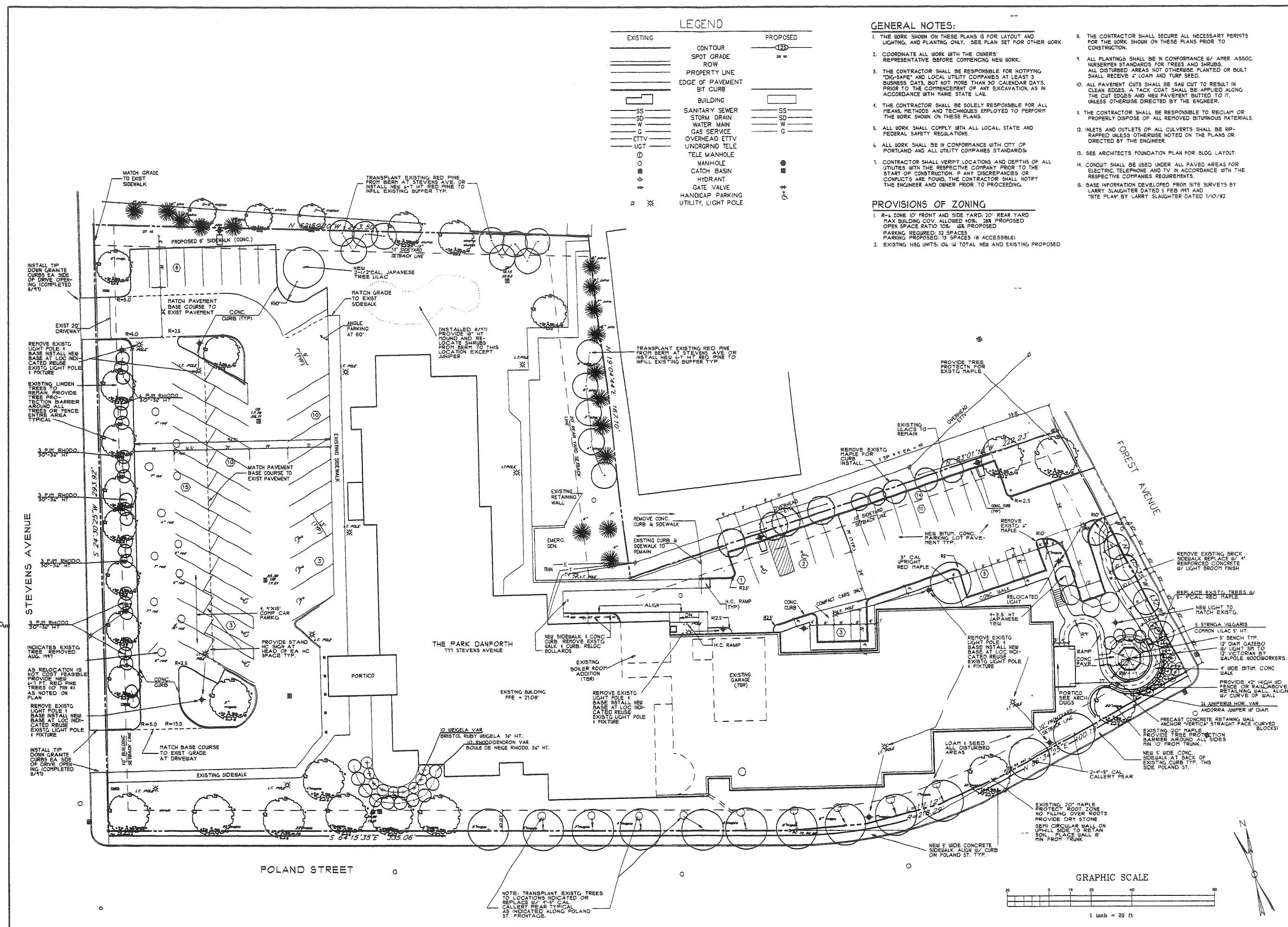
| EXISTING |                     | PROPOSED |
|----------|---------------------|----------|
| ---      | CONTOUR             | -125-    |
| ---      | SPOT GRADE          | 28 11    |
| ---      | ROW                 |          |
| ---      | PROPERTY LINE       |          |
| ---      | EDGE OF PAVEMENT    |          |
| ---      | BIT CURB            |          |
| ---      | BUILDING            |          |
| SS       | SANITARY SEWER      | SS       |
| SD       | STORM DRAIN         | SD       |
| W        | WATER MAIN          | W        |
| G        | GAS SERVICE         | G        |
| ETTV     | OVERHEAD ETTV       |          |
| UGT      | UNDERGRND TELE      |          |
| ○        | MANHOLE             | ●        |
| □        | CATCH BASIN         | ■        |
| ◇        | HYDRANT             | ◆        |
| ⊕        | GATE VALVE          | ⊕        |
| ⊗        | HANDICAP PARKING    | ⊗        |
| ⊙        | UTILITY, LIGHT POLE | ⊙        |

### GENERAL NOTES:

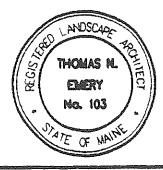
- THE WORK SHOWN ON THESE PLANS IS FOR LAYOUT AND LIGHTING, AND PLANTING ONLY. SEE PLAN SET FOR OTHER WORK.
- COORDINATE ALL WORK WITH THE OWNER'S REPRESENTATIVE BEFORE COMMENCING NEW WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING "DIG-SAFE" AND LOCAL UTILITY COMPANIES AT LEAST 3 BUSINESS DAYS, BUT NOT MORE THAN 30 CALENDAR DAYS, PRIOR TO THE COMMENCEMENT OF ANY EXCAVATION, AS IN ACCORDANCE WITH MAINE STATE LAW.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL MEANS, METHODS AND TECHNIQUES EMPLOYED TO PERFORM THE WORK SHOWN ON THESE PLANS.
- ALL WORK SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL SAFETY REGULATIONS.
- ALL WORK SHALL BE IN CONFORMANCE WITH CITY OF PORTLAND AND ALL UTILITY COMPANIES STANDARDS.
- CONTRACTOR SHALL VERIFY LOCATIONS AND DEPTHS OF ALL UTILITIES WITH THE RESPECTIVE COMPANY PRIOR TO THE START OF CONSTRUCTION. IF ANY DISCREPANCIES OR CONFLICTS ARE FOUND, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND OWNER PRIOR TO PROCEEDING.
- THE CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS FOR THE WORK SHOWN ON THESE PLANS PRIOR TO CONSTRUCTION.
- ALL PLANTINGS SHALL BE IN CONFORMANCE W/ AMER. ASSOC. NURSERMEN STANDARDS FOR TREES AND SHRUBS. ALL DISTURBED AREAS NOT OTHERWISE PLANTED OR BUILT SHALL RECEIVE 4" LOAM AND TURF SEED.
- ALL PAVEMENT CUTS SHALL BE SAID CUT TO RESULT IN CLEAN EDGES. A TACK COAT SHALL BE APPLIED ALONG THE CUT EDGES AND NEW PAVEMENT BUTTED TO IT, UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO RECLAIM OR PROPERLY DISPOSE OF ALL REMOVED BITUMINOUS MATERIALS.
- INLETS AND OUTLETS OF ALL CULVERTS SHALL BE RIPP-RAPPED UNLESS OTHERWISE NOTED ON THE PLANS OR DIRECTED BY THE ENGINEER.
- SEE ARCHITECT'S FOUNDATION PLAN FOR BLDG LAYOUT.
- CONDUIT SHALL BE USED UNDER ALL PAVED AREAS FOR ELECTRIC, TELEPHONE AND TV IN ACCORDANCE WITH THE RESPECTIVE COMPANIES REQUIREMENTS.
- BASE INFORMATION DEVELOPED FROM SITE SURVEYS BY LARRY SLAUGHTER DATED 5 FEB 1991 AND 'SITE PLAN' BY LARRY SLAUGHTER DATED 1/10/82

### PROVISIONS OF ZONING

- R-4 ZONE 10' FRONT AND SIDE YARD, 20' REAR YARD MAX BUILDING COV. ALLOWED 40%; 28% PROPOSED OPEN SPACE RATIO 10%; 65% PROPOSED PARKING REQUIRED: 13 SPACES (8 ACCESSIBLE) PARKING PROPOSED: 13 SPACES (8 ACCESSIBLE)
- EXISTING HSG UNITS: 04 1/4 TOTAL NEW AND EXISTING PROPOSED



**LUC**  
LAND USE CONSULTANTS, INC.  
Land Planners • Engineers • Surveyors  
966 Riverside Street Portland, Maine 04103  
207-776-0375



**THE PARK DANFORTH**  
111 STEVENS AVE  
PORTLAND, MAINE 04101

| Revision | Date              |
|----------|-------------------|
| 9-23-97  | REVISED SITE PLAN |

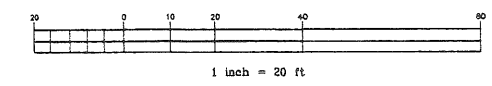
Designed DAK, TNE  
Drawn TNE, CAM  
Checked DAK  
Scale 1" = 20'  
Date 06-02-97  
6-7-97 R COMM.

**SITE LAYOUT, PLANTING & LIGHTING**

Job No. 3042  
Sheet

C-2

### GRAPHIC SCALE



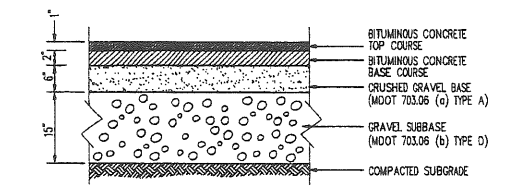
I.S. Date

Revision

Designed  
Drawn CAM  
Checked I.S.  
Scale NO SCALE  
Date 05-13-91

DETAILS

Job No. 3042  
Sheet

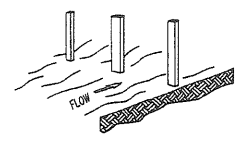


**BITUMINOUS CONCRETE DRIVE & PARKING**  
NOT TO SCALE  
250(A)-808/04-93

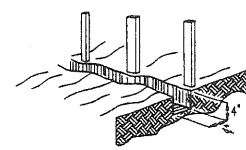
**NOTES:**

- 1) USE 4" TO 4'-6" STAKES EMBEDDED TO A MINIMUM OF 1 FOOT.
- 2) EXTRA-STRENGTH FILTER FABRIC REQUIRED.
- 3) PREFABRICATED SILTATION FENCING MAY BE SUBSTITUTED WHERE APPROVED AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND INSTALLATION INSTRUCTIONS.

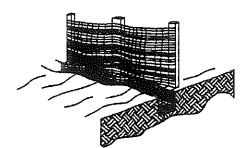
**1. SET THE STAKES**



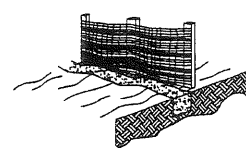
**2. EXCAVATE A 4" x 4" TRENCH, UPSLOPE ALONG THE LINE OF STAKES.**



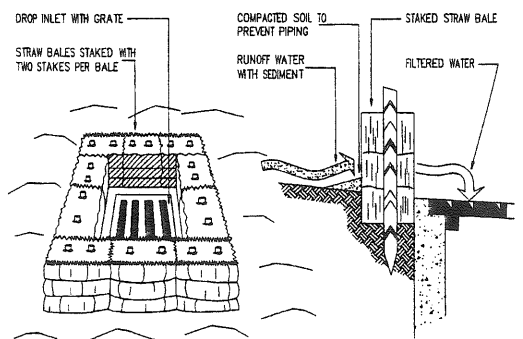
**3. STAPLE FILTER MATERIAL TO STAKES AND EXTEND IT INTO THE TRENCH.**



**4. BACKFILL AND COMPACT THE EXCAVATED SOIL.**



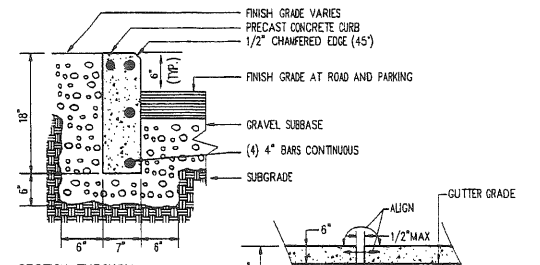
**CONSTRUCTION OF A GEOTEXTILE SEDIMENT FILTER BARRIER**  
NOT TO SCALE  
227(A)-053/10-94



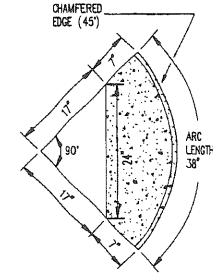
**SPECIFIC APPLICATION:**

THIS METHOD OF INLET PROTECTION IS APPLICABLE WHERE THE INLET DRAINS A RELATIVELY FLAT AREA (SLOPES NO GREATER THAN 5 PERCENT) WHERE SHEET OR OVERLAND FLOWS (NOT EXCEEDING 0.5 CFS) ARE TYPICAL. THE METHOD SHALL NOT APPLY TO INLETS RECEIVING CONCENTRATED FLOWS, SUCH AS IN STREETS OR HIGHWAY MEDIANS.

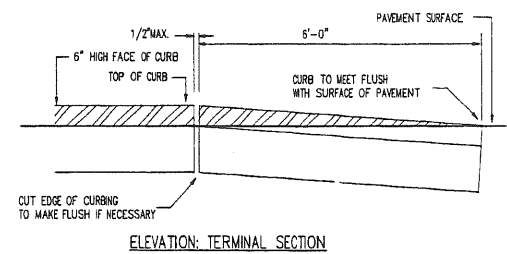
**STRAW BALE DROP INLET SEDIMENT FILTER**  
NOT TO SCALE  
227(A)-053/10-94



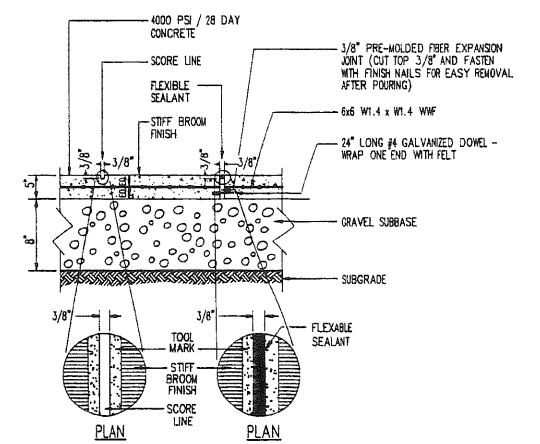
**SECTION THROUGH STRAIGHT CURB**



**PLAN VIEW OF RADIUS CURB PRECAST CONCRETE CURB**  
NOT TO SCALE



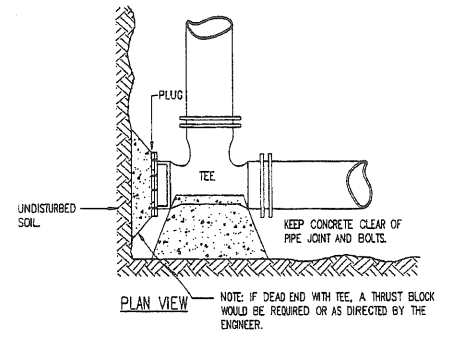
**ELEVATION: TERMINAL SECTION CONCRETE TERMINAL CURB SECTION**  
NOT TO SCALE  
L-CURB99/1-95



**NOTES:**

- SAMPLE OF CONCRETE WALK PAVEMENT MAY REQUIRE ARCHITECT'S APPROVAL PRIOR TO FINAL ACCEPTANCE.
- DO NOT PLACE CONCRETE DURING COLD OR RAINY WEATHER CONDITIONS (SEE SPECS).

**CONCRETE WALK**  
NOT TO SCALE  
1020(A)-1042/05-95



**STANDARD TEE BLOCKING**  
NOT TO SCALE

**THRUST/RETAINER GLAND SCHEDULE**

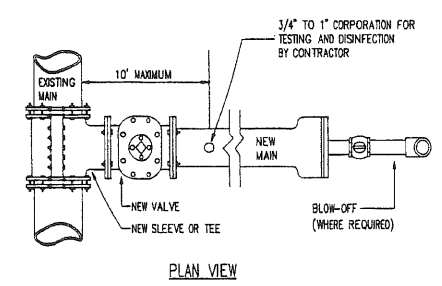
- 1/4 BEND (90°) USE POURED-IN-PLACE THRUST BLOCK WITH RETAINERS.
- 1/8 BEND (45°) THRUST BLOCK WITH RETAINERS.
- 1/16 BEND (22.5°) THRUST BLOCK.
- 1/32 BEND (11.25°) THRUST BLOCK.

THE ABOVE SCHEDULE IS SUBJECT TO THE APPROVAL OF THE ON-SITE INSPECTOR DUE TO SOILS AND WORKING PRESSURES IN THE AREA.

| PIPE DIA | BEARING AREA (SQ. FT.) |          |            |             |      |
|----------|------------------------|----------|------------|-------------|------|
|          | 90° BEND               | 45° BEND | 22.5° BEND | 11.25° BEND | TEE  |
| 2"       | 2.0                    | 2.0      | 2.0        | 2.0         | 2.0  |
| 3"       | 2.0                    | 2.0      | 2.0        | 2.0         | 2.0  |
| 4"       | 2.0                    | 2.0      | 2.0        | 2.0         | 2.0  |
| 6"       | 2.8                    | 2.0      | 2.0        | 2.0         | 2.5  |
| 8"       | 4.6                    | 3.3      | 2.0        | 2.0         | 4.4  |
| 10"      | 7.2                    | 5.0      | 2.6        | 2.0         | 6.5  |
| 12"      | 10.4                   | 6.8      | 3.4        | 2.0         | 8.9  |
| 14"      | 14.2                   | 9.2      | 4.6        | 2.3         | 12.0 |
| 16"      | 18.5                   | 11.4     | 5.8        | 2.9         | 14.8 |
| 18"      | 23.4                   | 12.8     | 7.3        | 3.2         | 20.0 |

**NOTE:** THIS TABLE IS BASED ON ALLOWABLE SOIL BEARING PRESSURE NO LESS THAN 1800 LB./S.F. (I.E. SILTY SOILS). IN SOFT CLAYS, THE ABOVE BEARING AREAS MAY NEED TO BE INCREASED. CONSULT WITH UTILITY COMPANY OR ARCHITECT/ENGINEER.

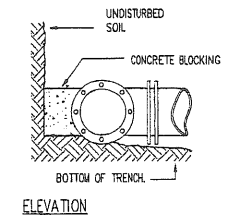
**THRUST BLOCK SCHEDULE**  
NOT TO SCALE  
L-PIPE/04-95



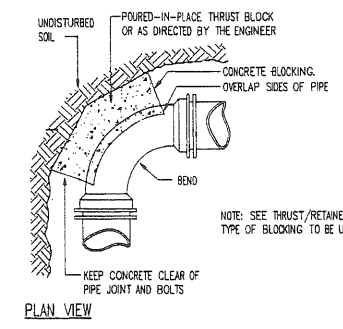
**PROCEDURES:**

1. NEW VALVE TO REMAIN SHUT AND ONLY OPERATED BY DISTRICT FOR FLUSHING, TESTING, DISINFECTING, ETC.
2. THE TESTING CORPORATION LOCATION MUST BE ACCESSIBLE BY:
  - A. LEAVING THE EXCAVATION OPEN DURING TESTING - DISINFECTING PERIOD, OR BY;
  - B. INSTALLING A "JUMPER LINE" TO THE GROUND SURFACE WITH THE CORPORATION BEING AN ANGLE VALVE IN A VALVE BOX OR BY USING A SERVICE BOX AND ROD. AFTER COMPLETION OF THE HYDROSTATIC TEST AND THE DISINFECTING PROCEDURE:
    - (1) THE ANGLE VALVE IS SHUT.
    - (2) THE "JUMPER LINE" IS CUT OFF BELOW THE GROUND, AND
    - (3) THE BOX IS PULLED.

**NEW WATER MAIN CONNECTION TO EXISTING MAIN**  
NOT TO SCALE

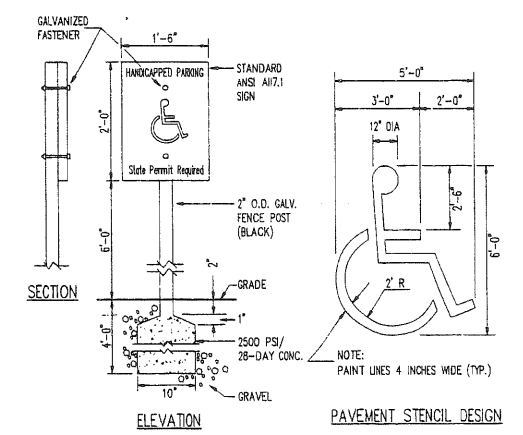


**ELEVATION**

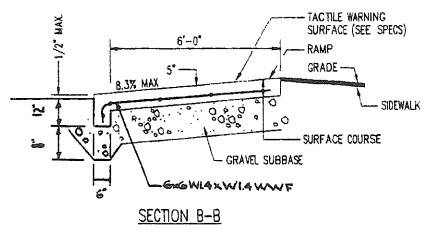
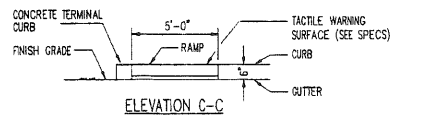
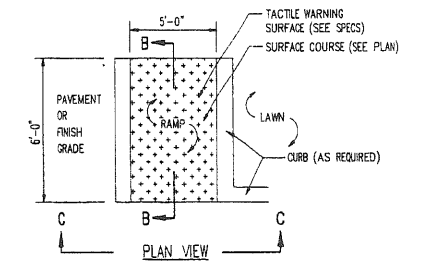


**PLAN VIEW**

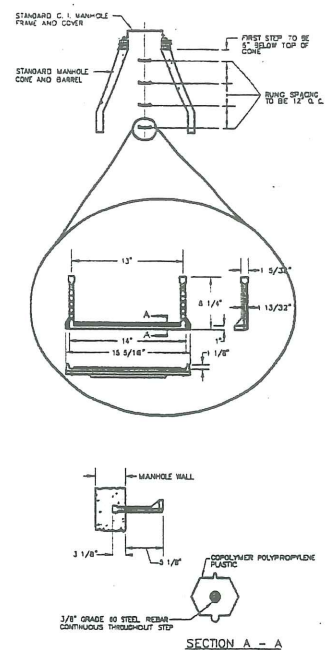
**STANDARD BEND BLOCKING**  
NOT TO SCALE



**HANDICAP SIGN DETAIL**  
NOT TO SCALE  
L-107/7-95



**HANDICAP CURB CUT DETAIL**  
NOT TO SCALE  
L-102/1-95



STANDARD MANHOLE

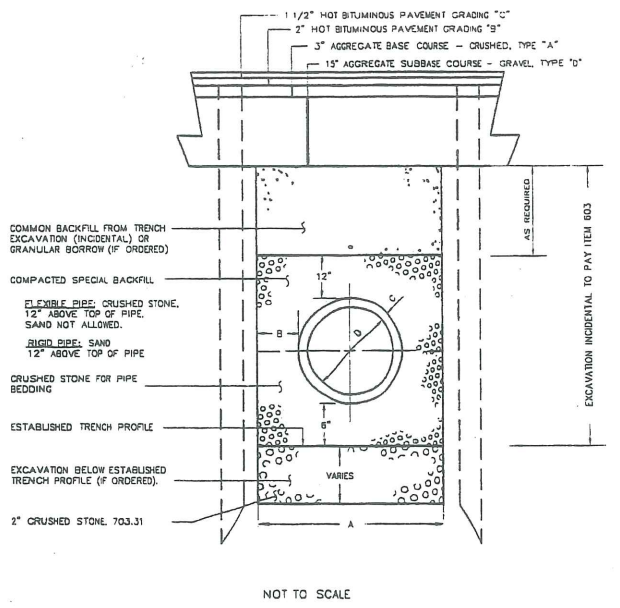
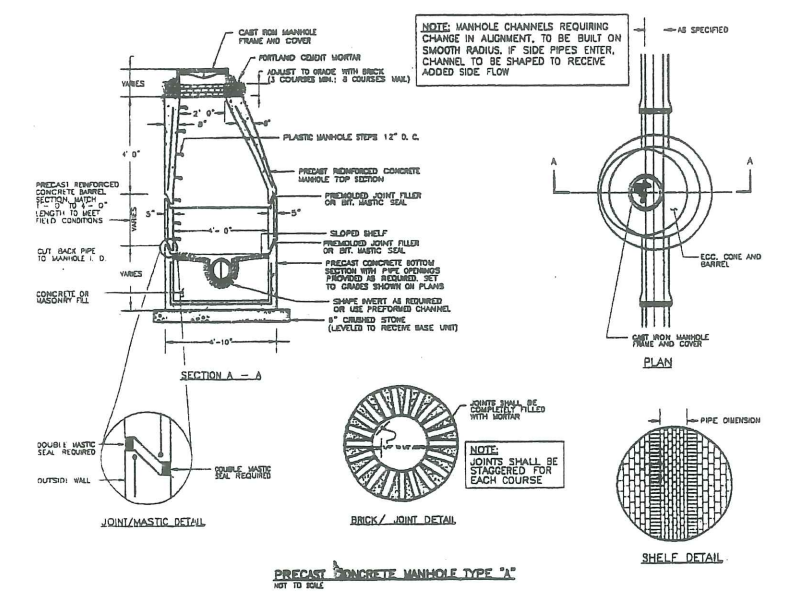
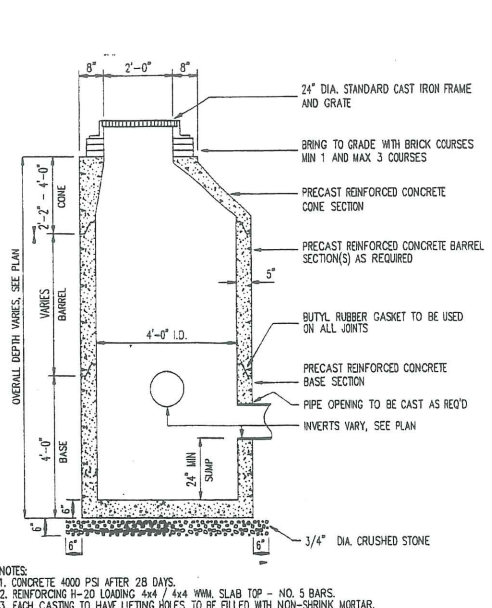


FIGURE II - 12  
TYPICAL PIPE INSTALLATION DETAIL

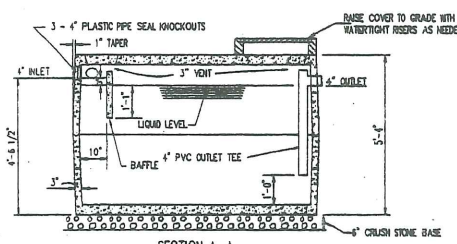
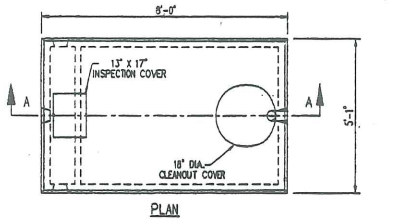


PRECAST CONCRETE MANHOLE TYPE "A"



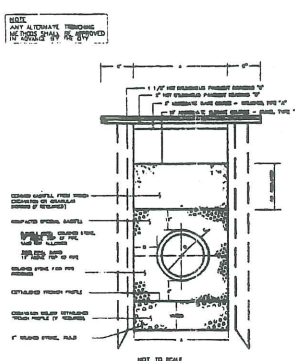
PRECAST CONCRETE CATCH BASIN - CONE TOP

FIGURE II - 4  
PLASTIC MANHOLE STEPS



PRECAST CONCRETE GREASE TRAP - 1,000 GAL.

- NOTES:
1. CONCRETE: 4,000 P.S.I. AFTER 28 DAYS.
  2. TOP REINFORCED WITH #5'S @ 12" O.C. E.E.
  3. TONGUE AND GROOVE JOINTS ARE SEALED WITH A 6" STRIP OF ASPHALTIC BUTYL RUBBER.
  4. EXCAVATION MUST BE AT LEAST 12" WIDER AND LONGER THAN TANK SIZE.



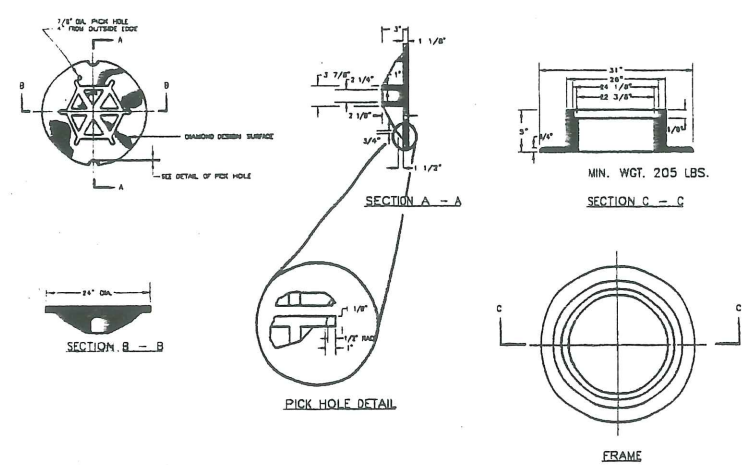
TYPICAL TRENCH DETAIL

TABLE OF DIMENSIONS OF PIPE REINFORCED CONCRETE

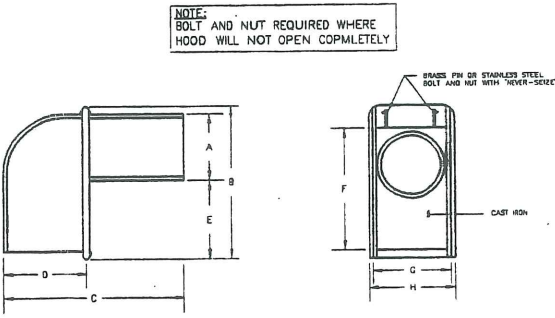
| SIZE   | A       | B       | C       | D      | E      | F       | G       | H       |
|--------|---------|---------|---------|--------|--------|---------|---------|---------|
| 6 in.  | 5 1/2"  | 13 3/8" | 13 3/4" | 5 3/8" | 5 7/8" | 11 5/8" | 6 1/2"  | 7 1/4"  |
| 8 in.  | 7 1/2"  | 15"     | 16 3/8" | 5 1/2" | 5 3/8" | 13 3/4" | 8 3/4"  | 9 3/8"  |
| 10 in. | 9 1/2"  | 17"     | 18 3/8" | 5 1/2" | 5 3/8" | 15 1/2" | 10 3/4" | 11 3/8" |
| 12 in. | 11 1/2" | 19"     | 20 3/8" | 5 1/2" | 5 3/8" | 17 1/2" | 12 3/4" | 13 3/8" |

TABLE OF DIMENSIONS OF PIPE

| SIZE   | A       | B       | C       | D      | E      | F       | G       | H       |
|--------|---------|---------|---------|--------|--------|---------|---------|---------|
| 6 in.  | 5 1/2"  | 13 3/8" | 13 3/4" | 5 3/8" | 5 7/8" | 11 5/8" | 6 1/2"  | 7 1/4"  |
| 8 in.  | 7 1/2"  | 15"     | 16 3/8" | 5 1/2" | 5 3/8" | 13 3/4" | 8 3/4"  | 9 3/8"  |
| 10 in. | 9 1/2"  | 17"     | 18 3/8" | 5 1/2" | 5 3/8" | 15 1/2" | 10 3/4" | 11 3/8" |
| 12 in. | 11 1/2" | 19"     | 20 3/8" | 5 1/2" | 5 3/8" | 17 1/2" | 12 3/4" | 13 3/8" |

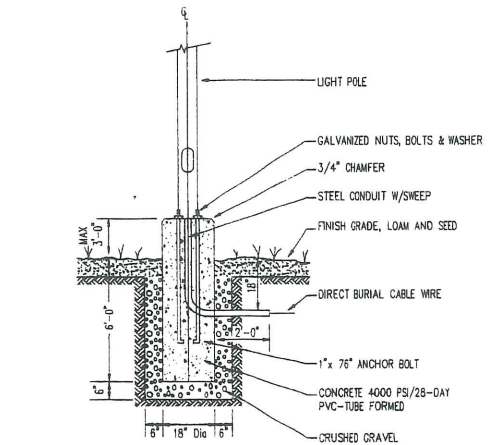


TYPE "A" MANHOLE COVER AND FRAME



CASCO TRAP DETAIL

| SIZE   | A       | B       | C       | D      | E      | F       | G       | H       |
|--------|---------|---------|---------|--------|--------|---------|---------|---------|
| 6 in.  | 5 1/2"  | 13 3/8" | 13 3/4" | 5 3/8" | 5 7/8" | 11 5/8" | 6 1/2"  | 7 1/4"  |
| 8 in.  | 7 1/2"  | 15"     | 16 3/8" | 5 1/2" | 5 3/8" | 13 3/4" | 8 3/4"  | 9 3/8"  |
| 10 in. | 9 1/2"  | 17"     | 18 3/8" | 5 1/2" | 5 3/8" | 15 1/2" | 10 3/4" | 11 3/8" |
| 12 in. | 11 1/2" | 19"     | 20 3/8" | 5 1/2" | 5 3/8" | 17 1/2" | 12 3/4" | 13 3/8" |



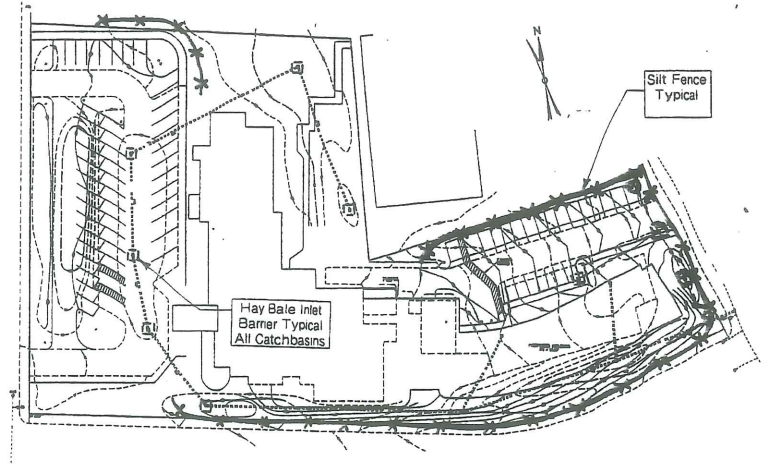
- NOTES:
1. SUBMIT SHOP DRAWING FOR APPROVAL PRIOR TO INSTALLATION.
  2. COORDINATE WITH ELECTRICAL SPECIFICATIONS.
  3. COLD-GALVANIZE ALL CUTS.
  4. FORM WITH FIBERGLASS OR PVC SMOOTH-FACED FORMS.
  5. ANCHOR BOLT PATTERN SHALL MATCH LIGHT POLE HOLE PATTERN.

CONCRETE LIGHT POLE BASE

| Revision | Date    | I.S. |
|----------|---------|------|
| 1        | 9-13-97 |      |

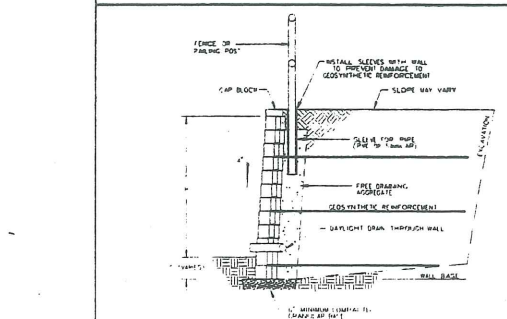
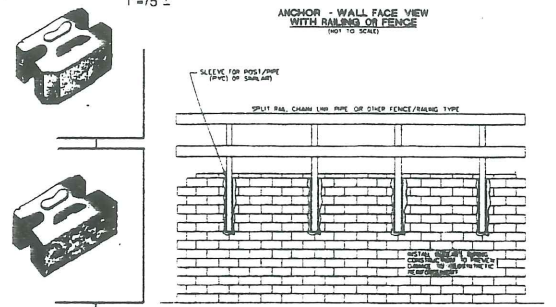
| Designed | Drawn | Checked | Scale    | Date     |
|----------|-------|---------|----------|----------|
|          | CAM   |         | NO SCALE | 05-13-97 |



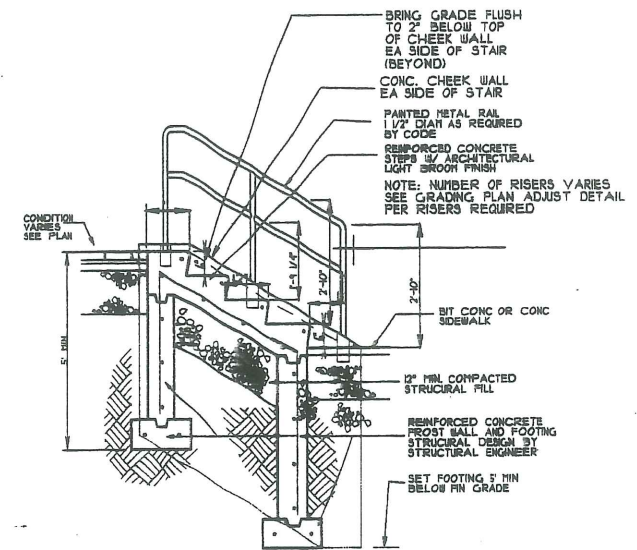
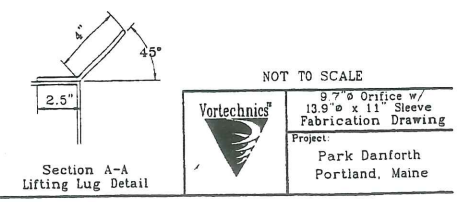
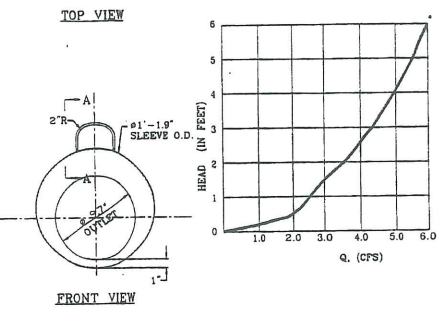
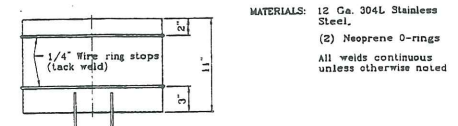


**EROSION CONTROL PLAN**

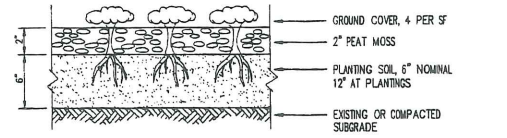
1"=75'



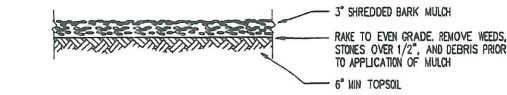
WALL SECTION WITH RAILING OR FENCE  
Not To Scale



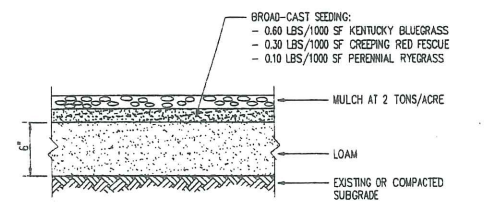
STAND ALONE CONCSITE STAIR DETAIL SECTION  
SCALE: NOT TO SCALE



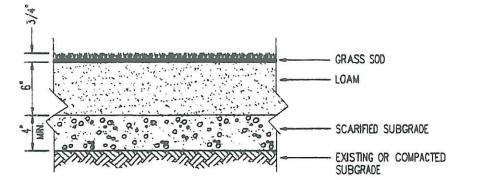
GROUND COVER PLANTING  
NOT TO SCALE



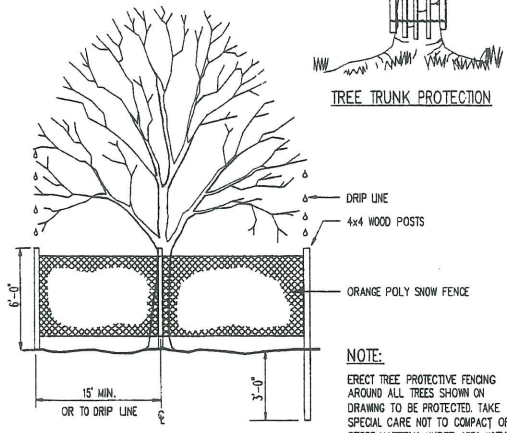
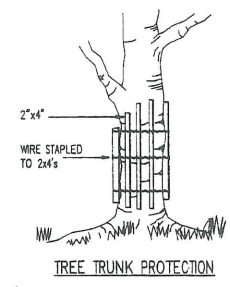
BARK MULCH  
NOT TO SCALE



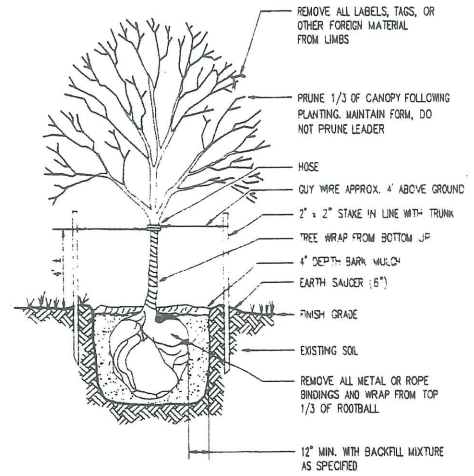
LOAM & SEED  
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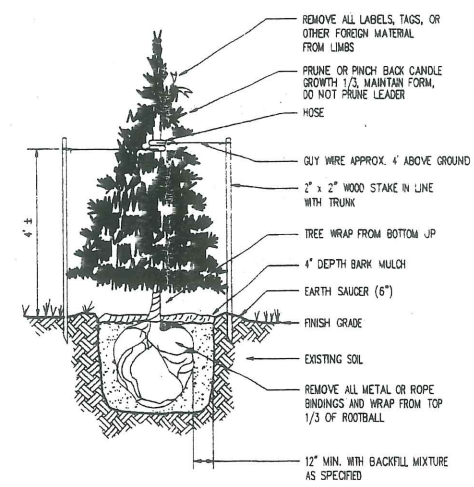
GRASS SOD  
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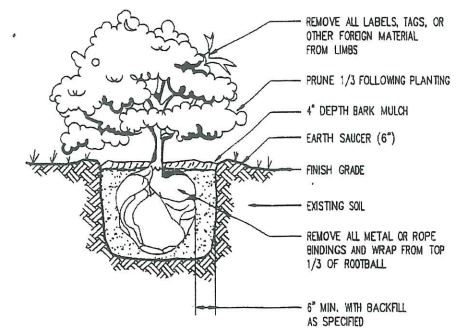
EXISTING TREE TEMPORARY PROTECTIVE FENCING  
NOT TO SCALE



DECIDUOUS TREE PLANTING DETAIL  
NOT TO SCALE



EVERGREEN TREE PLANTING DETAIL  
NOT TO SCALE

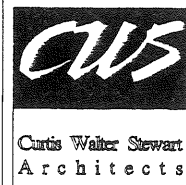


SHRUB PLANTING DETAIL  
NOT TO SCALE

| Revision                                       | I.S. Date |
|------------------------------------------------|-----------|
| ADD EROSION CONTROL PLAN                       | 6-5-97    |
| ADD STILES, GRASS STAIRS, DRIP LINE, BIK. WALL | 9-28-97   |

|          |           |      |
|----------|-----------|------|
| Designed | C-AM      | I.S. |
| Drawn    |           |      |
| Checked  |           |      |
| Scale    | NO. SCALE |      |
| Date     | 05-13-97  |      |

| DETAILS |      |
|---------|------|
| Job No. | 3042 |
| Sheet   |      |



434 Cumberland Avenue  
 Portland, ME 04101  
 Phone: (207) 774-4441  
 Fax: (207) 774-4016  
 PO Box 6555  
 Laconia, NH 03247  
 Phone: (603) 524-3000  
 Fax: (603) 521-0700



**The PARK DANFORTH**

777 STEVENS AVE.  
 PORTLAND, ME 04103  
 (207) 797-7710



**ALLIED CONSTRUCTION COMPANY INC.**

P.O. BOX 1396  
 PORTLAND, MAINE 04104  
 (207) 772-2888



**ADDITION To The PARK DANFORTH**

777 STEVENS AVE.  
 PORTLAND, MAINE



**FLEET BANK of MAINE**

TWO PORTLAND SQUARE  
 PORTLAND MAINE 04104-5006  
 (207) 874-5376

Drawing Title:  
**SOUTH ELEVATION**  
 Scale: 3/32" = 1' - 0"  
 Date: Progress 9/11/97  
 Project No: 97431 PDA

Drawing Number:

**A4b**



434 Cumberland Avenue  
Portland, ME 04101  
Phone: (207)774-4441  
Fax: (207)774-4016

PO Box 6555  
Laconia, NH 03247  
Phone: (603)524-3000  
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**The PARK DANFORTH**

777 STEVENS AVE.  
PORTLAND, ME 04103  
(207) 797-7710

**ALLIED CONSTRUCTION COMPANY INC.**

P.O. BOX 1396  
PORTLAND, MAINE 04104  
(207) 772-2888

**ADDITION To The PARK DANFORTH**

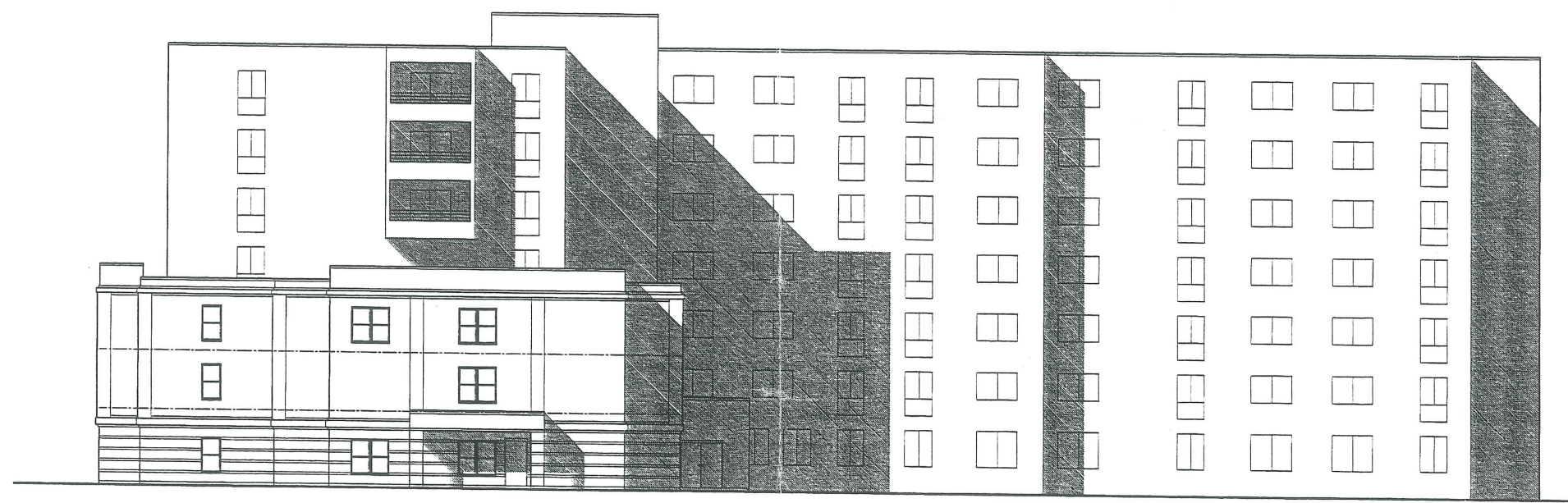
777 STEVENS AVE.  
PORTLAND, MAINE

**FLEET BANK of MAINE**

TWO PORTLAND SQUARE  
PORTLAND MAINE 04104-5006  
(207) 874-5376

Drawing Title:  
**PARTIAL SOUTH ELEVATION**  
Scale: 1/4" = 1' - 0"  
Date: PROGRESS 9/15/97  
Project No: 97431 PDA

Drawing Number:  
**A4c**



434 Cumberland Avenue  
 Portland, ME 04101  
 Phone: (207)774-4441  
 Fax: (207)774-4016  
  
 PO Box 6555  
 Laconia, NH 03247  
 Phone: (603)524-3000  
 Fax: (603)527-0700

**The PARK DANFORTH**  
 777 STEVENS AVE.  
 PORTLAND, ME 04103  
 (207) 797-7710

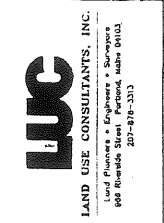
**ALLIED CONSTRUCTION COMPANY INC.**  
 P.O. BOX 1396  
 PORTLAND, MAINE 04104  
 (207) 772-2888

**ADDITION To The PARK DANFORTH**  
 777 STEVENS AVE.  
 PORTLAND, MAINE

**FLEET BANK of MAINE**  
 TWO PORTLAND SQUARE  
 PORTLAND MAINE 04104-5006  
 (207) 874-5376

Drawing Title:  
**EAST ELEVATION**  
 Scale: 3/32" = 1' - 0"  
 Date: Progress 9/15/97  
 Project No: 97431 PDA

Drawing Number:  
**A5**



THE PARK-DANFORTH  
CONDOMINIUM  
111 STEVENS AVE  
PORTLAND, MAINE 04101

| Revision | I.S. Date |
|----------|-----------|
|          |           |
|          |           |
|          |           |

|          |          |
|----------|----------|
| Designed |          |
| Drawn    | CAM      |
| Checked  |          |
| Scale    | 1" = 20' |
| Date     | 06-02-97 |

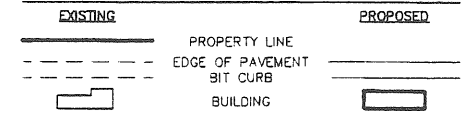
RECORDING PLAT

Job No. 3042  
Sheet  
1 of 1

**GENERAL NOTES:**

- RECORDED OWNERS OF THE PROPERTY ARE THE PARK-DANFORTH AND HOME FOR THE AGED AS A CONDOMINIUM ASSOCIATION. BOTH ARE NOT-FOR-PROFIT CORPORATIONS. REFER TO DEED DATED OCT 29, 1982 AND RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS BOOK 5055 PAGE 258.
- THE TOTAL LOT AREA IS 2.53 ACRES AND 110,089 S.F.
- THE ZONING OF THE PARCEL IS R-6 RESIDENTIAL.
- BEARINGS ARE MAGNETIC 1982. TRUE NORTH IS SHOWN FOR INFORMATION ONLY.

**LEGEND**



**PLAN REFERENCES:**

- EXISTING CONDITIONS, TOPOGRAPHY AND PROPERTY LINES ARE BASED ON A PLAN ENTITLED "THE PARK DANFORTH" PREPARED BY LARRY SLAUGHTER, LAND SURVEYOR (PLS #1133) P.O. BOX 1311, LEWISTON, ME, DATED 5 FEB, 1997.
- THE PROPOSED BUILDING ADDITION SHOWN IS BASED ON INFORMATION PROVIDED BY ENGELBRECHT AND GRIFFIN ARCHITECTS, 12 AUBURN ST., NEWBURYPORT, MA 01950. REFER TO ARCHITECTS PLANS FOR ACTUAL DIMENSIONS.
- EXISTING UTILITIES INFORMATION AND LOCATIONS ARE BASED ON A PLAN ENTITLED "SITE PLAN" MADE FOR THE PARK DANFORTH BY LARRY SLAUGHTER, LAND SURVEYOR (PLS #1133) DATED 7/10/1982.
- THIS PLAN AMENDS AND SUPERCEDES THE PREVIOUS CONDOMINIUM PLAN RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 140 PAGE 37.
- THE PROPOSED ADDITION CONTAINS A PORTION OF AMENDED UNIT 'M', A PORTION OF NEW UNIT 'A', AND COMMON ELEMENTS. REFER TO FLOOR PLANS RECORDED CONCURRENTLY FOR DETAILS.
- REFER TO THE SITE PLANS ON FILE WITH THE CITY OF PORTLAND PLANNING DEPT FOR DETAILS OF OTHER SITE IMPROVEMENTS.
- THIS PLAN CONSTITUTES A SUBDIVISION AS DEFINED BY APPLICABLE STATE AND LOCAL STATUTES.
- ALL PROPOSED IMPROVEMENTS AS SHOWN HEREON NEED NOT BE BUILT.

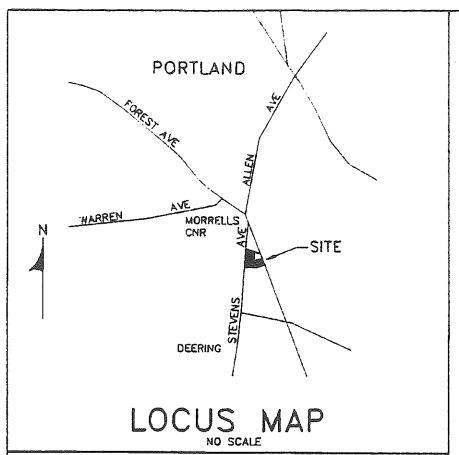
**SURVEYORS STATEMENT**

THIS PLAN CONFORMS TO THE STANDARDS OF THE MAINE BOARD OF REGISTRATION FOR LAND SURVEYORS CATEGORY III, CONDITION II.

*Larry Slaughter* 6/9/97  
LARRY SLAUGHTER DATE  
PROFESSIONAL LAND SURVEYOR #1133  
PO BOX 1311  
LEWISTON, ME 04243-1311

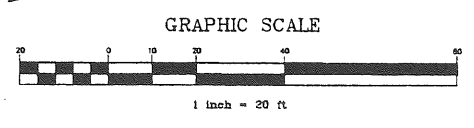
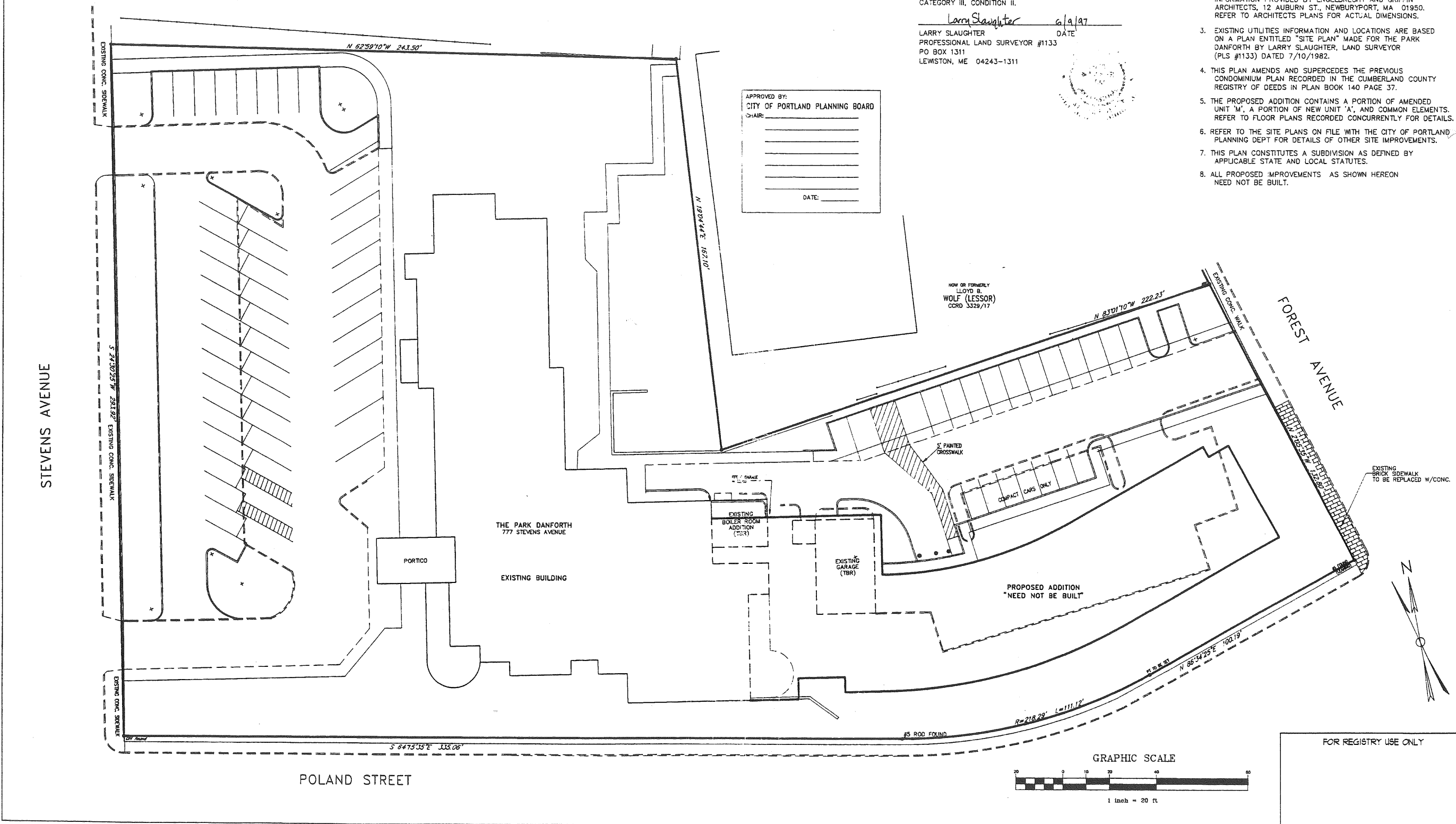


APPROVED BY:  
CITY OF PORTLAND PLANNING BOARD  
CHAIR: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
DATE: \_\_\_\_\_



NOW OR FORMERLY  
LLOYD B.  
WOLF (LESSOR)  
CCRD 3329/17

NOW OR FORMERLY  
LLOYD B.  
WOLF (LESSOR)  
CCRD 3329/17



FOR REGISTRY USE ONLY

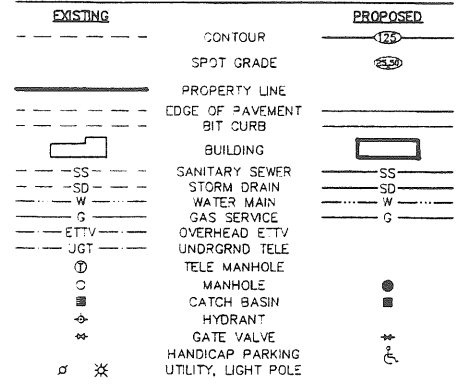
### STORM DRAINAGE STRUCTURE SCHEDULE

|                                                        |                                                                       |                                                                  |                                                |
|--------------------------------------------------------|-----------------------------------------------------------------------|------------------------------------------------------------------|------------------------------------------------|
| CB#1<br>EXISTING CATCH BASIN<br>RIM=22.60<br>INV=18.80 | CB#2<br>NEW CATCH BASIN<br>RIM=19.6±<br>INV=15.15                     | SD#1<br>EXISTING 6" PIPE<br>L=115'<br>S=0.0039                   | SD#8<br>NEW 15" PIPE<br>L=20'<br>S=0.0025      |
| CB#2<br>EXISTING CATCH BASIN<br>RIM=22.63<br>INV=18.15 | CB#10<br>NEW CATCH BASIN<br>RIM=19.1±<br>INV=15.35                    | SD#2<br>EXISTING 8" PIPE<br>L=140'<br>S=0.0026                   | SD#9<br>NEW 12" PVC<br>L=75'<br>S=0.0100       |
| CB#3<br>EXISTING CATCH BASIN<br>RIM=25.71<br>INV=17.79 | CB#11<br>NEW CATCH BASIN<br>RIM=20.75<br>INV=15.90                    | SD#3<br>EXISTING 10" PIPE<br>L=78'<br>S=0.0023                   | SD#10<br>NEW 12" PVC<br>L=45'<br>S=0.0050      |
| CB#4<br>EXISTING CATCH BASIN<br>RIM=25.36<br>INV=17.61 | DMH#1<br>NEW DRAINAGE MH<br>RIM=21.5±<br>INV IN=15.10, INV OUT=15.00  | SD#4<br>EXISTING 12" PIPE<br>L=58'<br>S=0.0088                   | SD#11<br>NEW 12" PVC<br>L=40'<br>S=0.0100      |
| CB#5<br>EXISTING CATCH BASIN<br>RIM=25.71<br>INV=17.04 | DMH#2<br>8" DIA MH W/HYDROBRAKE<br>RIM=21.0±<br>INV=14.70, W/ 2' SUMP | SD#5<br>EXISTING 12" PIPE<br>L=72'<br>S=0.0171                   | SD#12<br>NEW 12" PVC<br>L=40'<br>S=0.0025      |
| CB#6<br>EXISTING CATCH BASIN<br>RIM=24.68<br>INV=15.81 | DMH#3<br>NEW DRAINAGE MH<br>RIM=20.0±<br>INV IN=14.65, INV OUT=14.55  | SD#6<br>EXISTING 15" PIPE,<br>TO BE EXTENDED<br>L=260', S=0.0028 | SD#13<br>EXISTING 15" PVC<br>L=25'<br>S=0.005± |
| CB#8<br>NEW CATCH BASIN<br>RIM=17.80<br>INV=14.75      |                                                                       | SD#7<br>NEW 24" PVC<br>L=125'<br>S=0.0025                        |                                                |

### GENERAL NOTES:

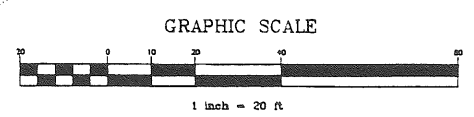
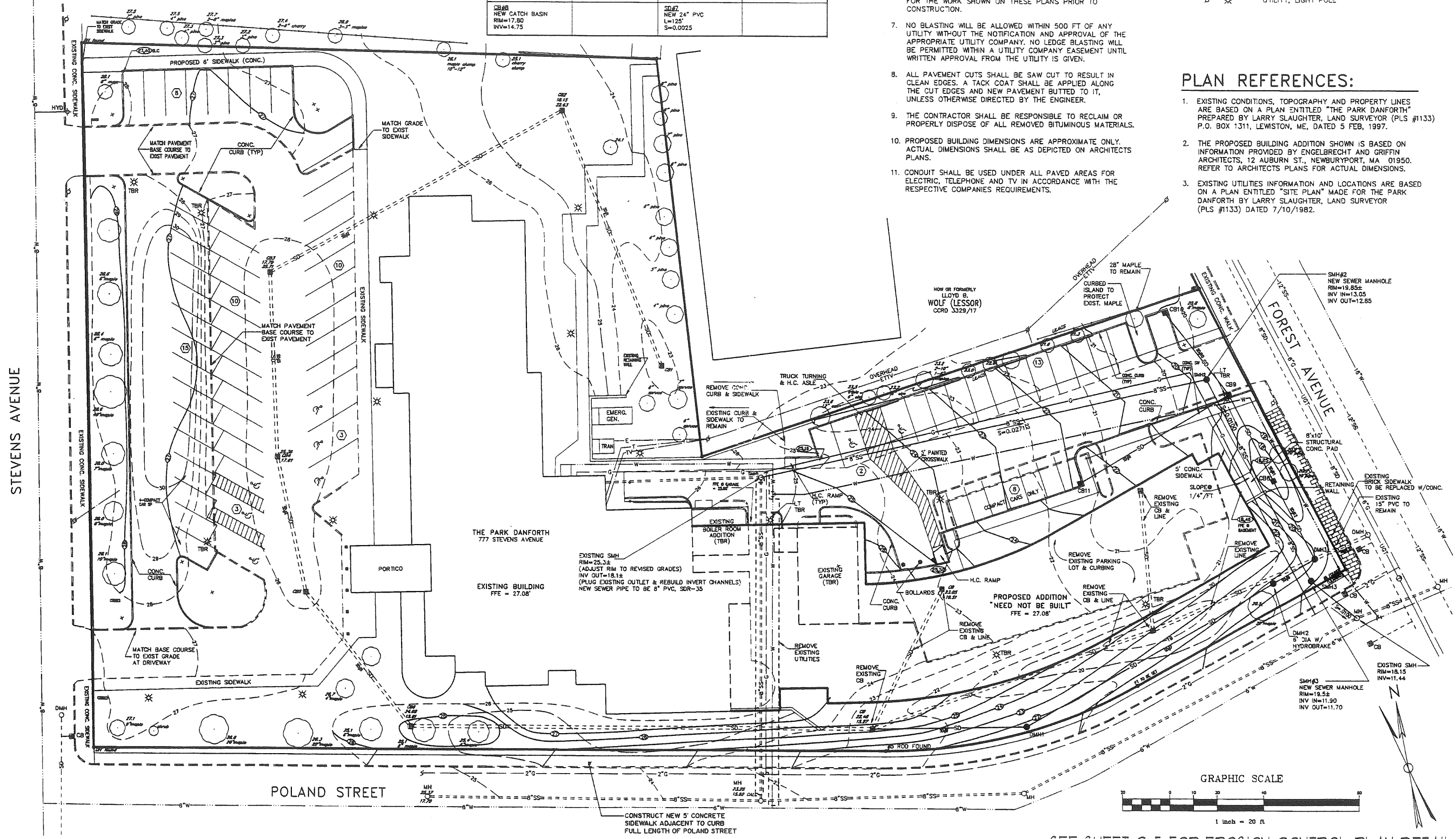
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING "DIG-SAFE" AND LOCAL UTILITY COMPANIES AT LEAST 3 BUSINESS DAYS, BUT NOT MORE THAN 30 CALENDAR DAYS, PRIOR TO THE COMMENCEMENT OF ANY EXCAVATION, AS IN ACCORDANCE WITH MAINE STATE LAW.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL MEANS, METHODS AND TECHNIQUES EMPLOYED TO PERFORM THE WORK SHOWN ON THESE PLANS.
- ALL WORK SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL SAFETY REGULATIONS.
- ALL WORK SHALL BE IN CONFORMANCE WITH CITY OF PORTLAND AND ALL UTILITY COMPANIES STANDARDS.
- CONTRACTOR SHALL VERIFY LOCATIONS AND DEPTHS OF ALL UTILITIES WITH THE RESPECTIVE COMPANY PRIOR TO THE START OF CONSTRUCTION. IF ANY DISCREPANCIES OR CONFLICTS ARE FOUND, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND OWNER PRIOR TO PROCEEDING.
- THE CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS FOR THE WORK SHOWN ON THESE PLANS PRIOR TO CONSTRUCTION.
- NO BLASTING WILL BE ALLOWED WITHIN 500 FT OF ANY UTILITY WITHOUT THE NOTIFICATION AND APPROVAL OF THE APPROPRIATE UTILITY COMPANY. NO LEDGE BLASTING WILL BE PERMITTED WITHIN A UTILITY COMPANY EASEMENT UNTIL WRITTEN APPROVAL FROM THE UTILITY IS GIVEN.
- ALL PAVEMENT CUTS SHALL BE SAW CUT TO RESULT IN CLEAN EDGES. A TACK COAT SHALL BE APPLIED ALONG THE CUT EDGES AND NEW PAVEMENT BUTTED TO IT, UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO RECLAIM OR PROPERLY DISPOSE OF ALL REMOVED BITUMINOUS MATERIALS.
- PROPOSED BUILDING DIMENSIONS ARE APPROXIMATE ONLY. ACTUAL DIMENSIONS SHALL BE AS DEPICTED ON ARCHITECTS PLANS.
- CONDUIT SHALL BE USED UNDER ALL PAVED AREAS FOR ELECTRIC, TELEPHONE AND TV IN ACCORDANCE WITH THE RESPECTIVE COMPANIES REQUIREMENTS.

### LEGEND

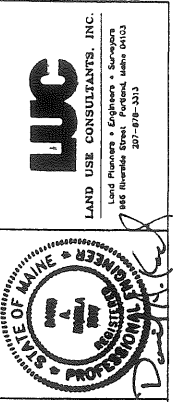


### PLAN REFERENCES:

- EXISTING CONDITIONS, TOPOGRAPHY AND PROPERTY LINES ARE BASED ON A PLAN ENTITLED "THE PARK DANFORTH" PREPARED BY LARRY SLAUGHTER, LAND SURVEYOR (PLS #1133) P.O. BOX 1311, LEWISTON, ME, DATED 5 FEB, 1997.
- THE PROPOSED BUILDING ADDITION SHOWN IS BASED ON INFORMATION PROVIDED BY ENGELBRECHT AND GRIFFIN ARCHITECTS, 12 AUBURN ST., NEWBURYPORT, MA 01950. REFER TO ARCHITECTS PLANS FOR ACTUAL DIMENSIONS.
- EXISTING UTILITIES INFORMATION AND LOCATIONS ARE BASED ON A PLAN ENTITLED "SITE PLAN" MADE FOR THE PARK DANFORTH BY LARRY SLAUGHTER, LAND SURVEYOR (PLS #1133) DATED 7/10/1982.



SEE SHEET C-5 FOR EROSION CONTROL PLAN DETAIL



THE PARK DANFORTH  
111 STEVENS AVE  
PORTLAND, MAINE 04101

| Revision                         | Date    |
|----------------------------------|---------|
| ADD SIDEWALK ON POLAND ST        | 6-10-21 |
| REPLACE SIDEWALK ON FOREST AVE   |         |
| REVISE PARKING, ADJUBI DRIVEWAYS |         |

|          |          |
|----------|----------|
| Designed | CAM      |
| Drawn    | CAM      |
| Checked  | J.S.     |
| Scale    | 1" = 20' |
| Date     | 05-19-21 |

GRADING, DRAINAGE  
& UTILITIES PLAN

Job No. 3042  
Sheet



THE PARK DANFORTH  
111 STEVENS AVE  
PORTLAND, MAINE 04101

| Revision | I.S. Date |
|----------|-----------|
|          |           |
|          |           |
|          |           |
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|                  |                 |             |          |
|------------------|-----------------|-------------|----------|
| Designed DAK THE | Drawn THE / CAM | Checked DAK | S.       |
| Scale            | 1" = 20'        | Date        | 06-02-97 |

SITE LAYOUT, PLANTING & LIGHTING

Job No. 3042

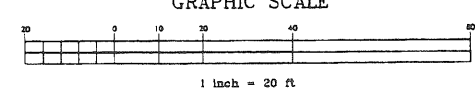
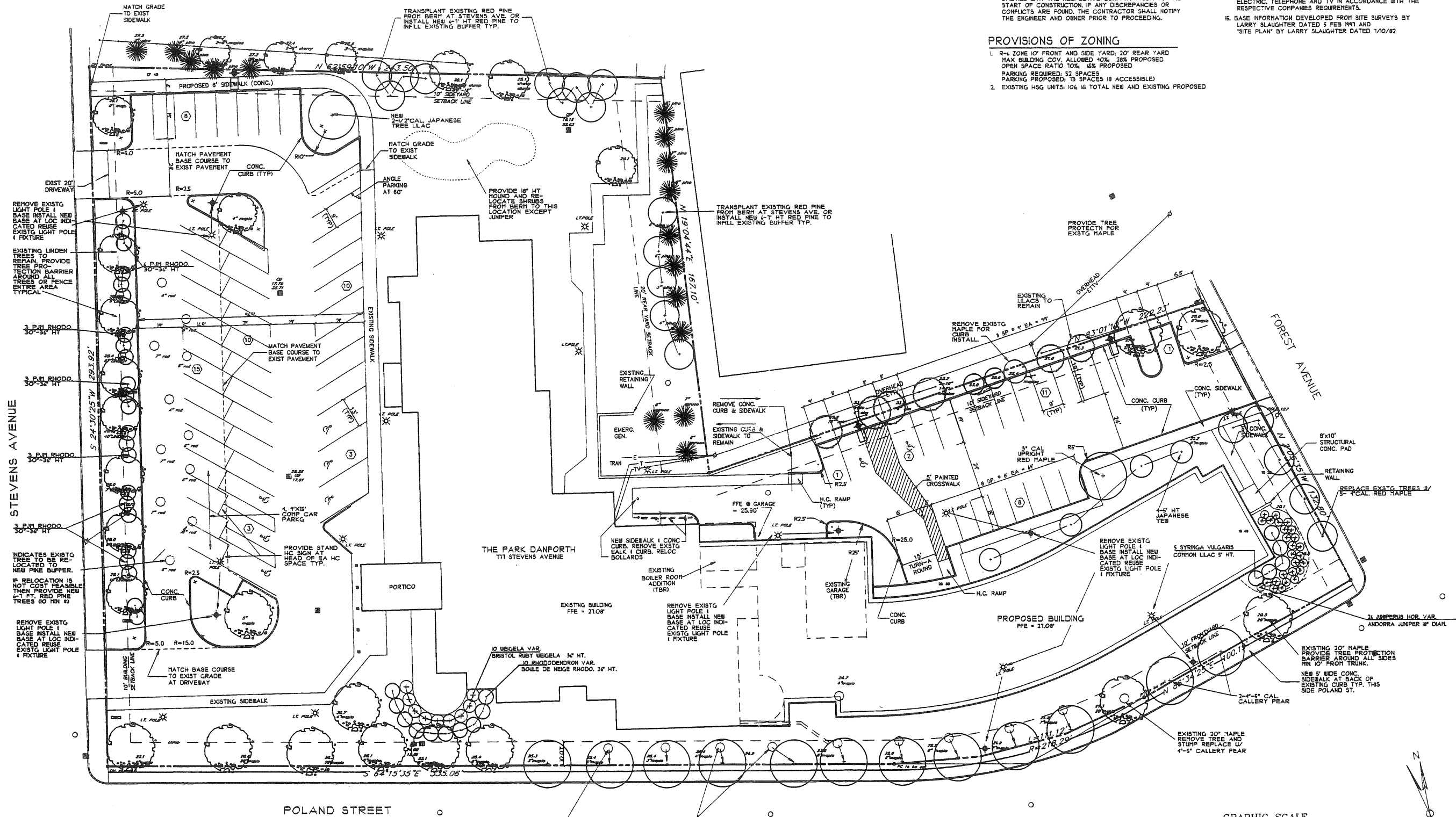
Sheet C-2

GENERAL NOTES:

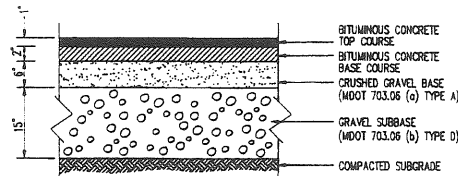
1. THE WORK SHOWN ON THESE PLANS IS FOR LAYOUT AND LIGHTING, AND PLANTING ONLY. SEE PLAN SET FOR OTHER WORK.
2. COORDINATE ALL WORK WITH THE OWNERS' REPRESENTATIVE BEFORE COMMENCING NEW WORK.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING 'DIG-SAFE' AND LOCAL UTILITY COMPANIES AT LEAST 3 BUSINESS DAYS, BUT NOT MORE THAN 30 CALENDAR DAYS, PRIOR TO THE COMMENCEMENT OF ANY EXCAVATION, AS IN ACCORDANCE WITH MAINE STATE LAW.
4. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL MEANS, METHODS AND TECHNIQUES EMPLOYED TO PERFORM THE WORK SHOWN ON THESE PLANS.
5. ALL WORK SHALL COMPLY WITH ALL LOCAL STATE AND FEDERAL SAFETY REGULATIONS.
6. ALL WORK SHALL BE IN CONFORMANCE WITH CITY OF PORTLAND AND ALL UTILITY COMPANIES STANDARDS.
7. CONTRACTOR SHALL VERIFY LOCATIONS AND DEPTHS OF ALL UTILITIES WITH THE RESPECTIVE COMPANY PRIOR TO THE START OF CONSTRUCTION. IF ANY DISCREPANCIES OR CONFLICTS ARE FOUND, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND OWNER PRIOR TO PROCEEDING.
8. THE CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS FOR THE WORK SHOWN ON THESE PLANS PRIOR TO CONSTRUCTION.
9. ALL PLANTINGS SHALL BE IN CONFORMANCE W/ AMER. ASSOC. NURSERYMAN STANDARDS FOR TREES AND SHRUBS. ALL DISTURBED AREAS NOT OTHERWISE PLANTED OR BUILT SHALL RECEIVE A LOAM AND TURF SEED.
10. ALL PAVEMENT CUTS SHALL BE SAW CUT TO RESULT IN CLEAN EDGES. A TACK COAT SHALL BE APPLIED ALONG THE CUT EDGES AND NEW PAVEMENT BUTTED TO IT, UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
11. THE CONTRACTOR SHALL BE RESPONSIBLE TO RECLAIM OR PROPERLY DISPOSE OF ALL REMOVED DITCHING MATERIALS.
12. INLETS AND OUTLETS OF ALL CULVERTS SHALL BE RIP-RAPPED UNLESS OTHERWISE NOTED ON THE PLANS OR DIRECTED BY THE ENGINEER.
13. SEE ARCHITECTS FOUNDATION PLAN FOR BLDG LAYOUT.
14. CONDUIT SHALL BE USED UNDER ALL PAVED AREAS FOR ELECTRIC, TELEPHONE AND TV IN ACCORDANCE WITH THE RESPECTIVE COMPANIES REQUIREMENTS.
15. BASE INFORMATION DEVELOPED FROM SITE SURVEYS BY LARRY SLAUGHTER DATED 5 FEB 97 AND 'SITE PLAN' BY LARRY SLAUGHTER DATED 7/10/92

PROVISIONS OF ZONING

1. R-4 ZONE 10' FRONT AND SIDE YARD, 20' REAR YARD MAX BUILDING COV. ALLOWED 40%, 28% PROPOSED OPEN SPACE RATIO 10%, 6% PROPOSED PARKING REQUIRED: 52 SPACES PARKING PROPOSED: 13 SPACES (8 ACCESSIBLE)
2. EXISTING HSG UNITS: 104 (4 TOTAL NEW AND EXISTING PROPOSED)



NOTE: TRANSPLANT EXISTG TREES TO LOCATIONS INDICATED OR REPLACE W/ 4"-5" CAL. CALLERY PEAR TYPIC AS INDICATED ALONG POLAND ST. FRONTAGE.



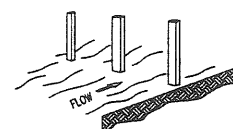
**BITUMINOUS CONCRETE DRIVE & PARKING**

NOT TO SCALE 230/A-028/04-05

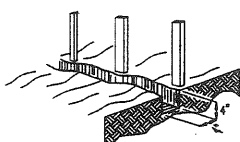
**NOTES:**

- 1) USE 4" TO 4'-6" STAKES EMBEDDED TO A MINIMUM OF 1 FOOT.
- 2) EXTRA-STRENGTH FILTER FABRIC REQUIRED.
- 3) PREFABRICATED SILTATION FENCING MAY BE SUBSTITUTED WHERE APPROVED AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND INSTALLATION INSTRUCTIONS.

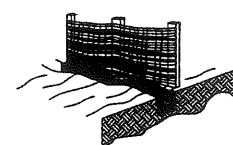
**1. SET THE STAKES**



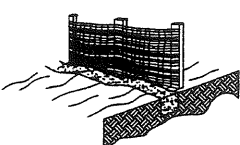
**2. EXCAVATE A 4" x 4" TRENCH, UPSLOPE ALONG THE LINE OF STAKES.**



**3. STAPLE FILTER MATERIAL TO STAKES AND EXTEND IT INTO THE TRENCH.**

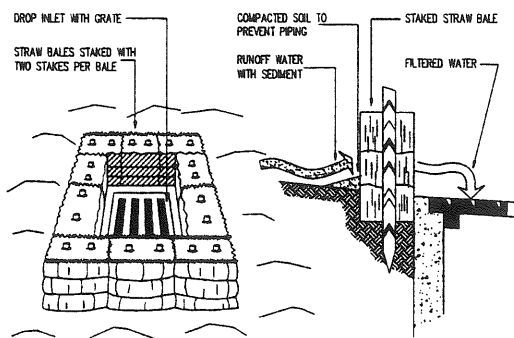


**4. BACKFILL AND COMPACT THE EXCAVATED SOIL.**



**CONSTRUCTION OF A GEOTEXTILE SEDIMENT FILTER BARRIER**

NOT TO SCALE 227/A-028/04-04

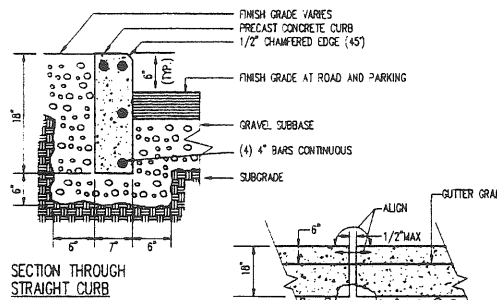


**SPECIFIC APPLICATION:**

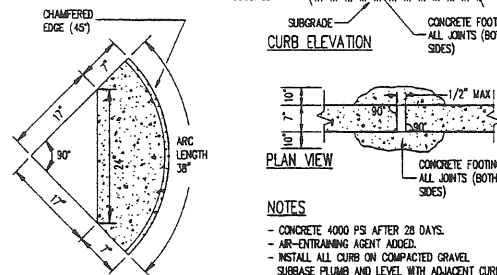
THIS METHOD OF INLET PROTECTION IS APPLICABLE WHERE THE INLET DRAINS A RELATIVELY FLAT AREA (SLOPES NO GREATER THAN 5 PERCENT) WHERE SHEET OR OVERLAND FLOWS (NOT EXCEEDING 0.5 CFS) ARE TYPICAL. THE METHOD SHALL NOT APPLY TO INLETS RECEIVING CONCENTRATED FLOWS, SUCH AS IN STREETS OR HIGHWAY MEDIANS.

**STRAW BALE DROP INLET SEDIMENT FILTER**

NOT TO SCALE 227/A-028/04-04

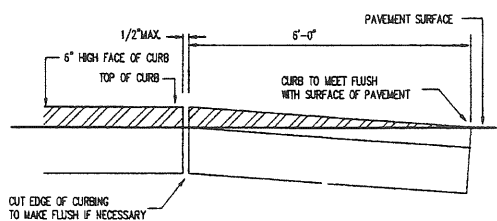


**SECTION THROUGH STRAIGHT CURB**



**PLAN VIEW OF RADIUS CURB PRECAST CONCRETE CURB**

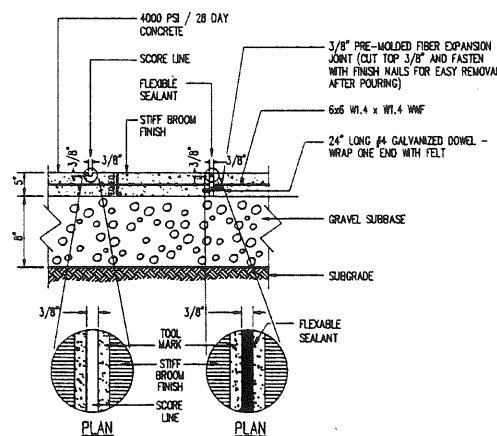
NOT TO SCALE



**ELEVATION: TERMINAL SECTION**

**CONCRETE TERMINAL CURB SECTION**

NOT TO SCALE L-02800/04-06

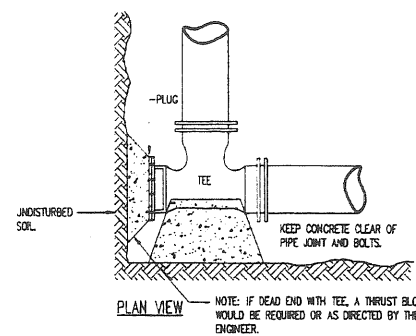


**NOTES:**

- SAMPLE OF CONCRETE WALK PAVEMENT MAY REQUIRE ARCHITECT'S APPROVAL PRIOR TO FINAL ACCEPTANCE.
- DO NOT PLACE CONCRETE DURING COLD OR RAINY WEATHER CONDITIONS (SEE SPECS).

**CONCRETE WALK**

NOT TO SCALE 230/A-028/04-05



**STANDARD TEE BLOCKING**

NOT TO SCALE

**THRUST/RETAINER GLAND SCHEDULE**

- 1/4 BEND (90°) USE POURED-IN-PLACE THRUST BLOCK WITH RETAINERS.
- 1/8 BEND (45°) THRUST BLOCK WITH RETAINERS.
- 1/16 BEND (22.5°) THRUST BLOCK.
- 1/32 BEND (11.25°) THRUST BLOCK.

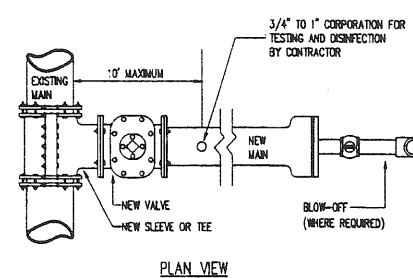
THE ABOVE SCHEDULE IS SUBJECT TO THE APPROVAL OF THE ON-SITE INSPECTOR DUE TO SOILS AND WORKING PRESSURES IN THE AREA.

| PIPE DIA | BEARING AREA (SQ. FT.) |          |            |             |      |
|----------|------------------------|----------|------------|-------------|------|
|          | 90° BEND               | 45° BEND | 22.5° BEND | 11.25° BEND | TEE  |
| 2"       | 2.0                    | 2.0      | 2.0        | 2.0         | 2.0  |
| 3"       | 2.0                    | 2.0      | 2.0        | 2.0         | 2.0  |
| 4"       | 2.0                    | 2.0      | 2.0        | 2.0         | 2.0  |
| 6"       | 2.6                    | 2.0      | 2.0        | 2.0         | 2.5  |
| 8"       | 4.6                    | 3.3      | 2.0        | 2.0         | 4.4  |
| 10"      | 7.2                    | 5.0      | 2.6        | 2.0         | 6.5  |
| 12"      | 10.4                   | 6.8      | 3.4        | 2.0         | 8.9  |
| 14"      | 14.2                   | 9.2      | 4.6        | 2.3         | 12.0 |
| 16"      | 18.5                   | 11.4     | 5.8        | 2.9         | 14.8 |
| 18"      | 23.4                   | 12.8     | 7.3        | 3.2         | 20.0 |

NOTE: THIS TABLE IS BASED ON ALLOWABLE SOIL BEARING PRESSURE NO LESS THAN 1800 LB./S.F. (I.E. SILTY SOILS). IN SOFT CLAYS, THE ABOVE BEARING AREAS MAY NEED TO BE INCREASED. CONSULT WITH UTILITY COMPANY OR ARCHITECT/ENGINEER.

**THRUST BLOCK SCHEDULE**

NOT TO SCALE L-0402/04-06

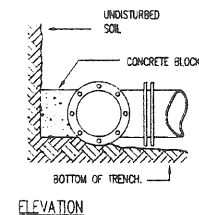


**PROCEDURES:**

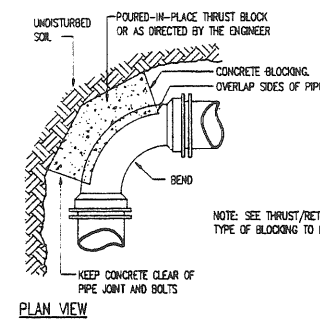
1. NEW VALVE TO REMAIN SHUT AND ONLY OPERATED BY DISTRICT FOR FLUSHING, TESTING, DISINFECTING, ETC.
2. THE TESTING CORPORATION LOCATION MUST BE ACCESSIBLE BY:
  - A. LEAVING THE EXCAVATION OPEN DURING TESTING - DISINFECTING PERIOD, OR BY
  - B. INSTALLING A "JUMPER LINE" TO THE GROUND SURFACE WITH THE CORPORATION BEING AN ANGLE VALVE IN A VALVE BOX, OR BY USING A SERVICE BOX AND ROD. AFTER COMPLETION OF THE HYDROSTATIC TEST AND THE DISINFECTING PROCEDURE:
    - (1) THE ANGLE VALVE IS SHUT.
    - (2) THE "JUMPER LINE" IS CUT OFF BELOW THE GROUND, AND
    - (3) THE BOX IS PULLED.

**NEW WATER MAIN CONNECTION TO EXISTING MAIN**

NOT TO SCALE



**ELEVATION**

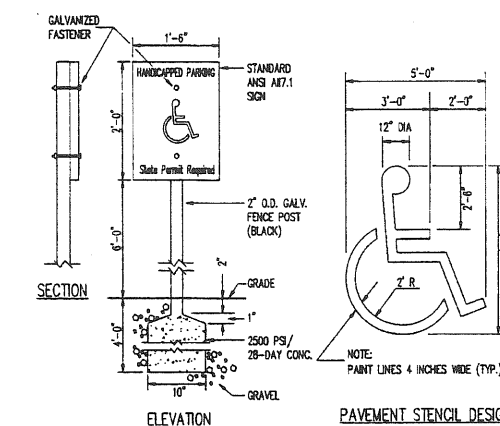


**PLAN VIEW**

NOTE: SEE THRUST/RETAINER GLAND SCHEDULE FOR TYPE OF BLOCKING TO BE USED ON BENDS.

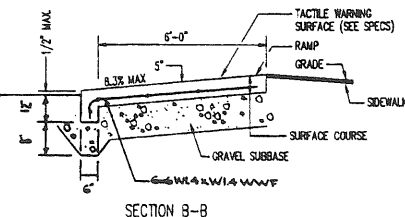
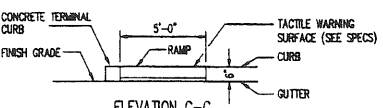
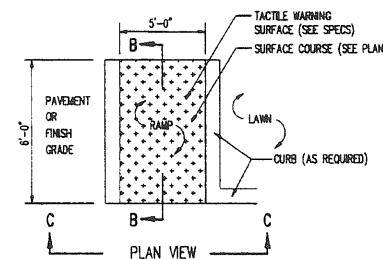
**STANDARD BEND BLOCKING**

NOT TO SCALE



**HANDICAP SIGN DETAIL**

NOT TO SCALE L-0407/04-06



**HANDICAP CURB CUT DETAIL**

NOT TO SCALE L-0407/04-06

I.S. Date

Revision

Designed CAM  
Checked J.S.  
Scale 1/10 SCALE  
Date 05-13-01

DETAILS

Job No. 3042

Sheet

C-3



| Revision | I.S. Date |
|----------|-----------|
|          |           |
|          |           |
|          |           |
|          |           |
|          |           |
|          |           |
|          |           |
|          |           |
|          |           |
|          |           |

|          |          |          |
|----------|----------|----------|
| Designed | CAM      | I.S.     |
| Drawn    | CAM      | NO SCALE |
| Checked  | JLS      | 05-13-91 |
| Scale    | NO SCALE |          |
| Date     | 05-13-91 |          |

**DETAILS**

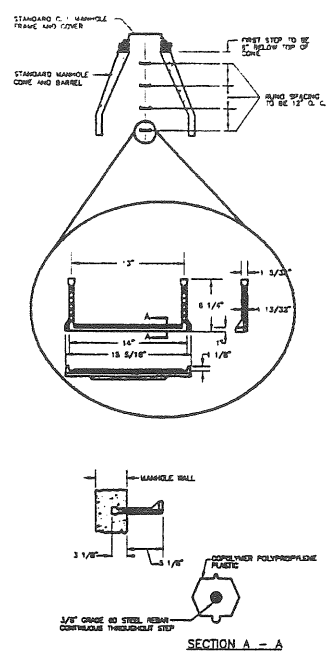


FIGURE II - 4  
PLASTIC MANHOLE STEPS

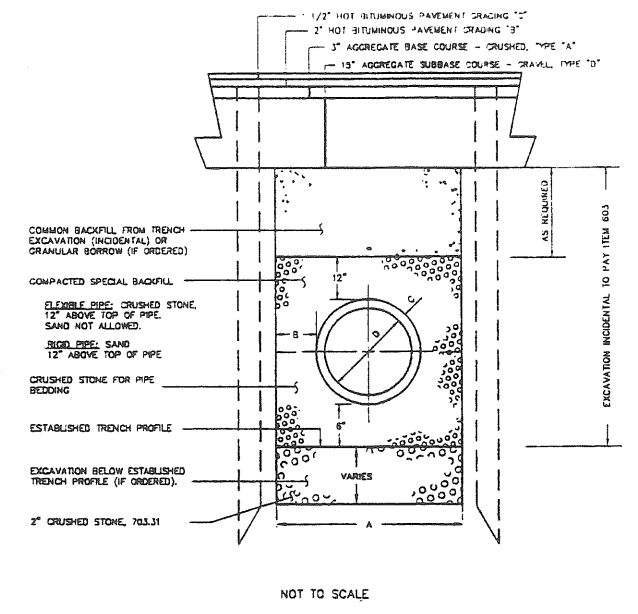
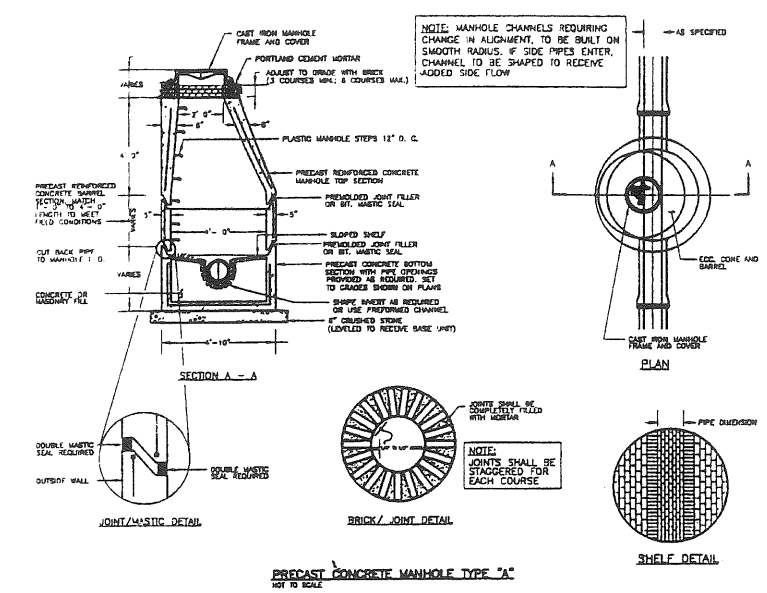
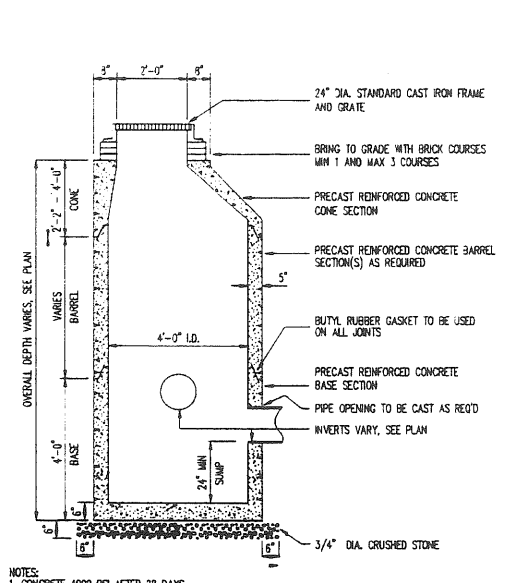


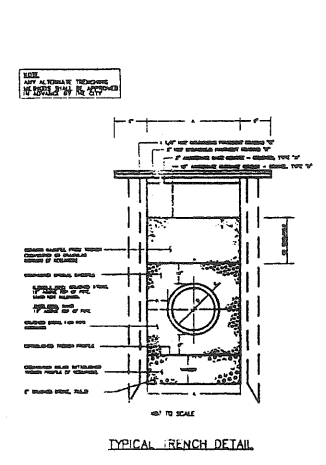
FIGURE II - 12  
TYPICAL PIPE INSTALLATION DETAIL



PRECAST CONCRETE MANHOLE TYPE "A"



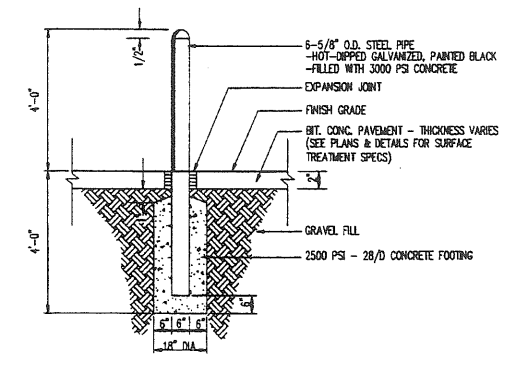
PRECAST CONCRETE CATCH BASIN - CONE TOP



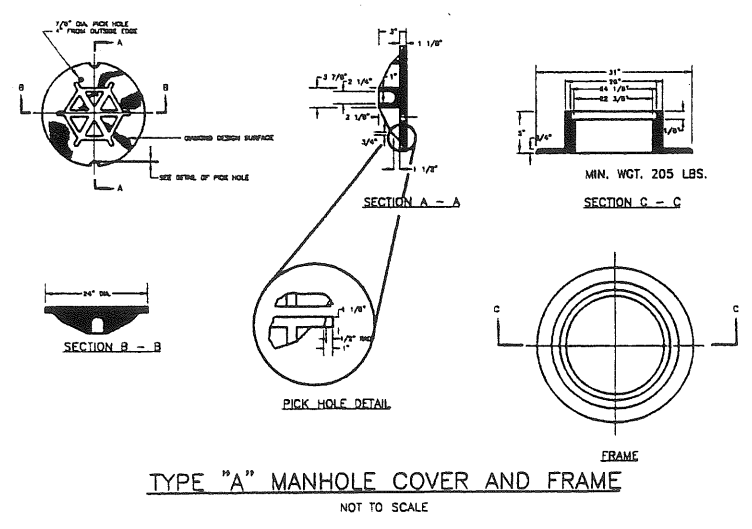
TYPICAL TRENCH DETAIL

| SIZE   | A       | B       | C       | D       | E       | F       | G       | H       |
|--------|---------|---------|---------|---------|---------|---------|---------|---------|
| 6 in.  | 3 1/2"  | 13 3/8" | 13 3/4" | 5 3/8"  | 5 7/8"  | 11 3/8" | 5 1/2"  | 7 1/4"  |
| 8 in.  | 4 1/2"  | 15 1/2" | 15 1/2" | 6 1/2"  | 6 7/8"  | 13 1/4" | 6 3/4"  | 8 1/2"  |
| 10 in. | 5 1/2"  | 17 1/2" | 17 1/2" | 7 1/2"  | 7 7/8"  | 15 1/4" | 7 3/4"  | 9 1/2"  |
| 12 in. | 6 1/2"  | 19 1/2" | 19 1/2" | 8 1/2"  | 8 7/8"  | 17 1/4" | 8 3/4"  | 10 1/2" |
| 14 in. | 7 1/2"  | 21 1/2" | 21 1/2" | 9 1/2"  | 9 7/8"  | 19 1/4" | 9 3/4"  | 11 1/2" |
| 16 in. | 8 1/2"  | 23 1/2" | 23 1/2" | 10 1/2" | 10 7/8" | 21 1/4" | 10 3/4" | 12 1/2" |
| 18 in. | 9 1/2"  | 25 1/2" | 25 1/2" | 11 1/2" | 11 7/8" | 23 1/4" | 11 3/4" | 13 1/2" |
| 20 in. | 10 1/2" | 27 1/2" | 27 1/2" | 12 1/2" | 12 7/8" | 25 1/4" | 12 3/4" | 14 1/2" |
| 22 in. | 11 1/2" | 29 1/2" | 29 1/2" | 13 1/2" | 13 7/8" | 27 1/4" | 13 3/4" | 15 1/2" |
| 24 in. | 12 1/2" | 31 1/2" | 31 1/2" | 14 1/2" | 14 7/8" | 29 1/4" | 14 3/4" | 16 1/2" |

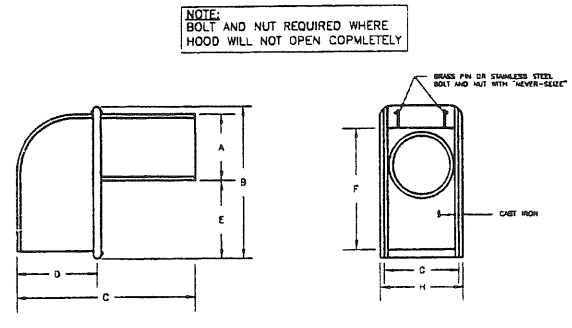
| SIZE   | A       | B       | C       | D       | E       | F       | G       | H       |
|--------|---------|---------|---------|---------|---------|---------|---------|---------|
| 6 in.  | 3 1/2"  | 13 3/8" | 13 3/4" | 5 3/8"  | 5 7/8"  | 11 3/8" | 5 1/2"  | 7 1/4"  |
| 8 in.  | 4 1/2"  | 15 1/2" | 15 1/2" | 6 1/2"  | 6 7/8"  | 13 1/4" | 6 3/4"  | 8 1/2"  |
| 10 in. | 5 1/2"  | 17 1/2" | 17 1/2" | 7 1/2"  | 7 7/8"  | 15 1/4" | 7 3/4"  | 9 1/2"  |
| 12 in. | 6 1/2"  | 19 1/2" | 19 1/2" | 8 1/2"  | 8 7/8"  | 17 1/4" | 8 3/4"  | 10 1/2" |
| 14 in. | 7 1/2"  | 21 1/2" | 21 1/2" | 9 1/2"  | 9 7/8"  | 19 1/4" | 9 3/4"  | 11 1/2" |
| 16 in. | 8 1/2"  | 23 1/2" | 23 1/2" | 10 1/2" | 10 7/8" | 21 1/4" | 10 3/4" | 12 1/2" |
| 18 in. | 9 1/2"  | 25 1/2" | 25 1/2" | 11 1/2" | 11 7/8" | 23 1/4" | 11 3/4" | 13 1/2" |
| 20 in. | 10 1/2" | 27 1/2" | 27 1/2" | 12 1/2" | 12 7/8" | 25 1/4" | 12 3/4" | 14 1/2" |
| 22 in. | 11 1/2" | 29 1/2" | 29 1/2" | 13 1/2" | 13 7/8" | 27 1/4" | 13 3/4" | 15 1/2" |
| 24 in. | 12 1/2" | 31 1/2" | 31 1/2" | 14 1/2" | 14 7/8" | 29 1/4" | 14 3/4" | 16 1/2" |



STEEL BOLLARD



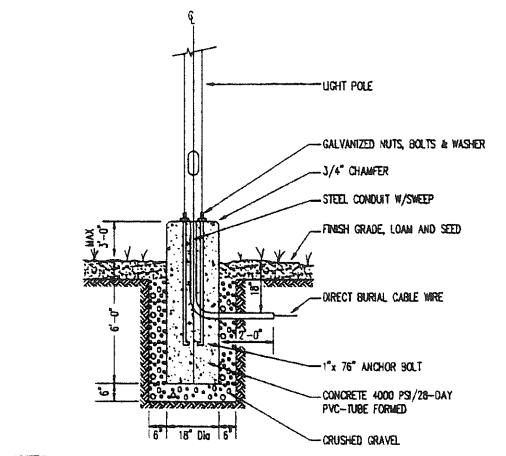
TYPE "A" MANHOLE COVER AND FRAME



CASCO TRAP DETAIL

| SIZE   | A       | B       | C       | D       | E       | F       | G       | H       |
|--------|---------|---------|---------|---------|---------|---------|---------|---------|
| 6 in.  | 3 1/2"  | 13 3/8" | 13 3/4" | 5 3/8"  | 5 7/8"  | 11 3/8" | 5 1/2"  | 7 1/4"  |
| 8 in.  | 4 1/2"  | 15 1/2" | 15 1/2" | 6 1/2"  | 6 7/8"  | 13 1/4" | 6 3/4"  | 8 1/2"  |
| 10 in. | 5 1/2"  | 17 1/2" | 17 1/2" | 7 1/2"  | 7 7/8"  | 15 1/4" | 7 3/4"  | 9 1/2"  |
| 12 in. | 6 1/2"  | 19 1/2" | 19 1/2" | 8 1/2"  | 8 7/8"  | 17 1/4" | 8 3/4"  | 10 1/2" |
| 14 in. | 7 1/2"  | 21 1/2" | 21 1/2" | 9 1/2"  | 9 7/8"  | 19 1/4" | 9 3/4"  | 11 1/2" |
| 16 in. | 8 1/2"  | 23 1/2" | 23 1/2" | 10 1/2" | 10 7/8" | 21 1/4" | 10 3/4" | 12 1/2" |
| 18 in. | 9 1/2"  | 25 1/2" | 25 1/2" | 11 1/2" | 11 7/8" | 23 1/4" | 11 3/4" | 13 1/2" |
| 20 in. | 10 1/2" | 27 1/2" | 27 1/2" | 12 1/2" | 12 7/8" | 25 1/4" | 12 3/4" | 14 1/2" |
| 22 in. | 11 1/2" | 29 1/2" | 29 1/2" | 13 1/2" | 13 7/8" | 27 1/4" | 13 3/4" | 15 1/2" |
| 24 in. | 12 1/2" | 31 1/2" | 31 1/2" | 14 1/2" | 14 7/8" | 29 1/4" | 14 3/4" | 16 1/2" |

CASCO TRAP DETAIL



CONCRETE LIGHT POLE BASE

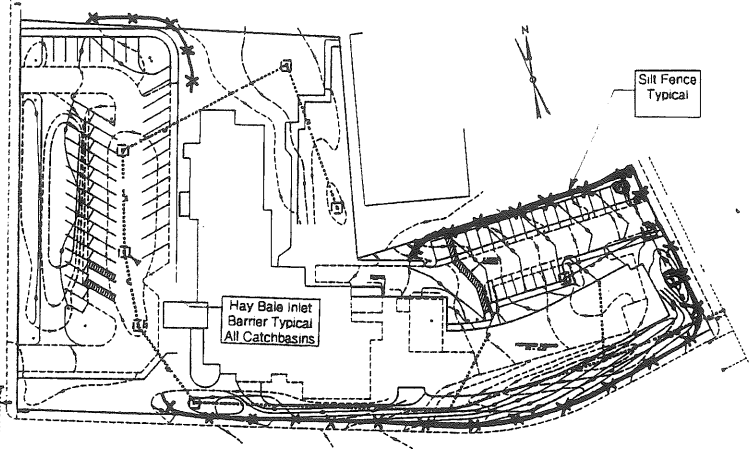
| Revision                 | Date   |
|--------------------------|--------|
| ADD EROSION CONTROL PLAN | 6-5-97 |

|          |          |      |
|----------|----------|------|
| Designed | CAM      | I.S. |
| Drawn    |          |      |
| Checked  |          |      |
| Scale    | NO SCALE |      |
| Date     | 05-13-97 |      |

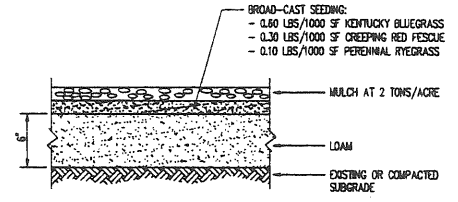
DETAILS

Job No. 3042  
Sheet

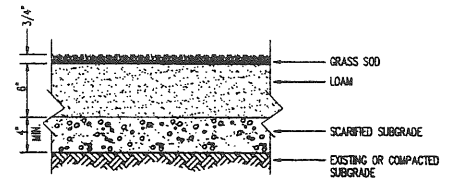
C-5



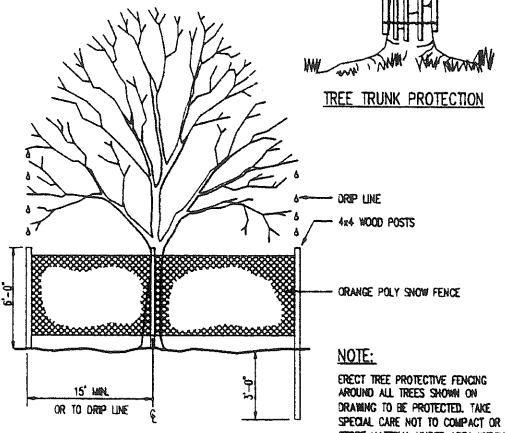
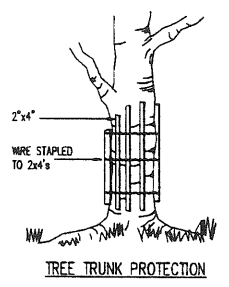
**EROSION CONTROL PLAN**  
1"=75'



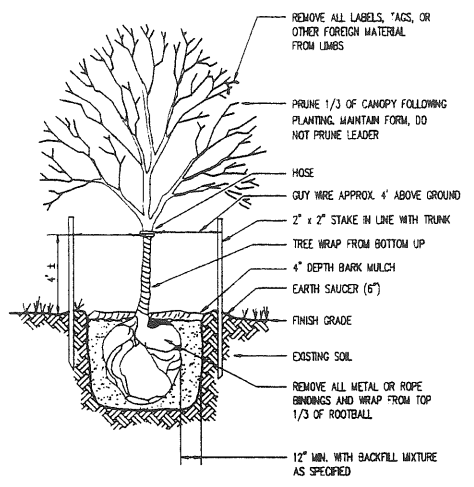
**LOAM & SEED**  
NOT TO SCALE



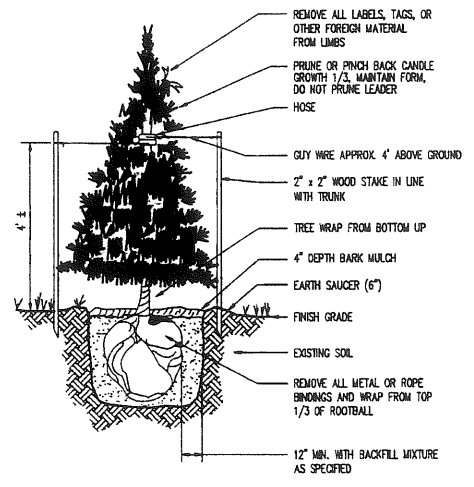
**GRASS SOD**  
NOT TO SCALE



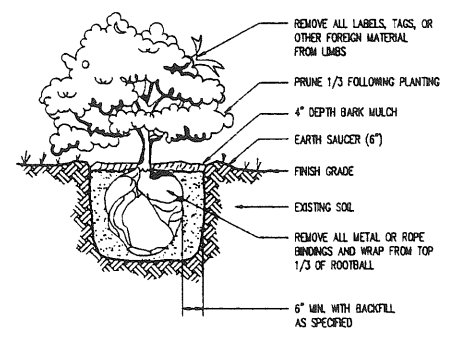
**EXISTING TREE TEMPORARY PROTECTIVE FENCING**  
NOT TO SCALE



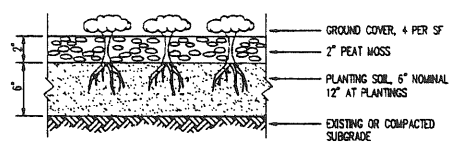
**DECIDUOUS TREE PLANTING DETAIL**  
NOT TO SCALE



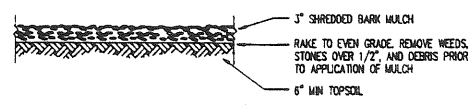
**EVERGREEN TREE PLANTING DETAIL**  
NOT TO SCALE



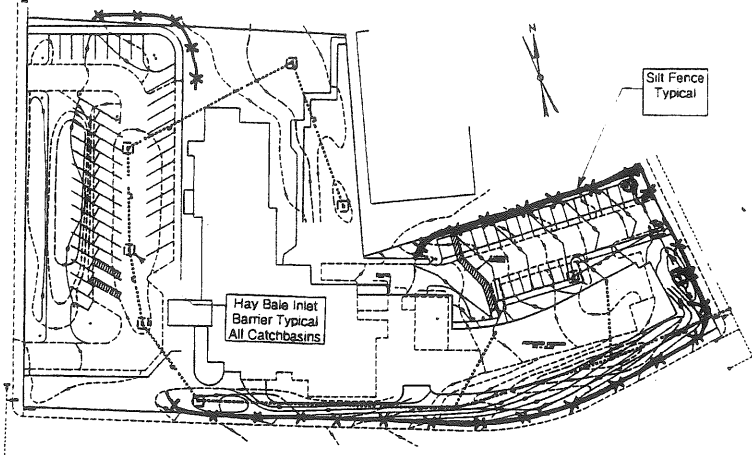
**SHRUB PLANTING DETAIL**  
NOT TO SCALE



**GROUNDCOVER PLANTING**  
NOT TO SCALE

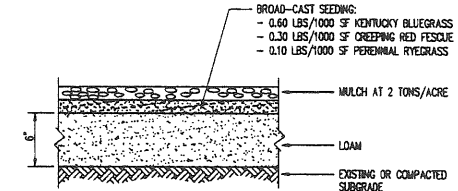


**BARK MULCH**  
NOT TO SCALE



**EROSION CONTROL PLAN**

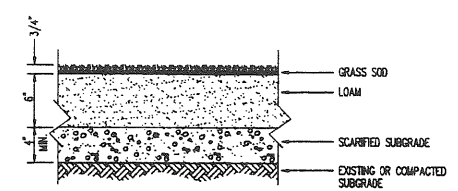
1"=75'



**LOAM & SEED**

NOT TO SCALE

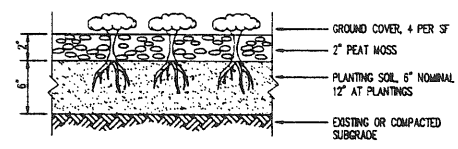
L-LSJ/05-05



**GRASS SOD**

NOT TO SCALE

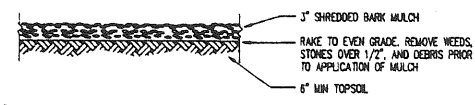
L-LSJ/05-07



**GROUNDCOVER PLANTING**

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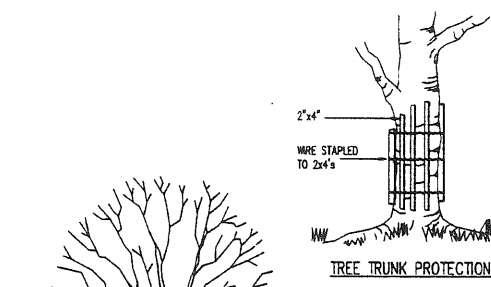
L-LSJ/05-07



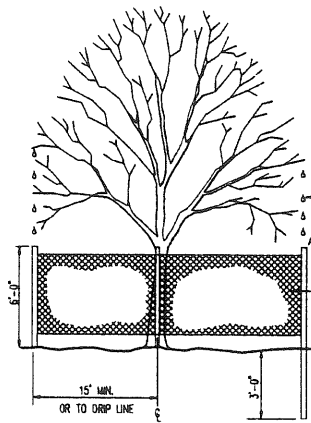
**BARK MULCH**

NOT TO SCALE

L-LSJ/05-07



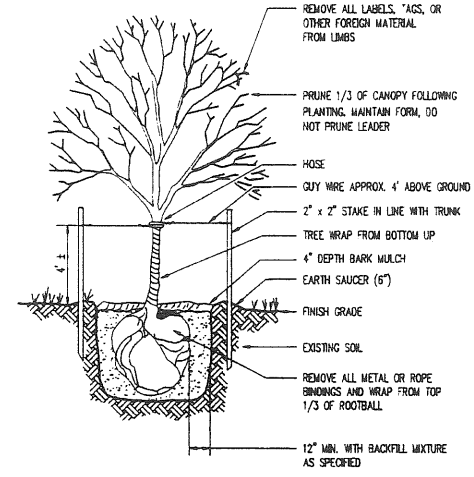
**TREE TRUNK PROTECTION**



**EXISTING TREE TEMPORARY PROTECTIVE FENCING**

NOT TO SCALE

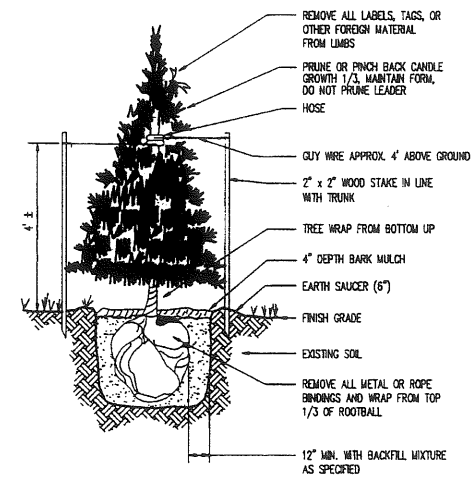
L-LSJ/05-07



**DECIDUOUS TREE PLANTING DETAIL**

NOT TO SCALE

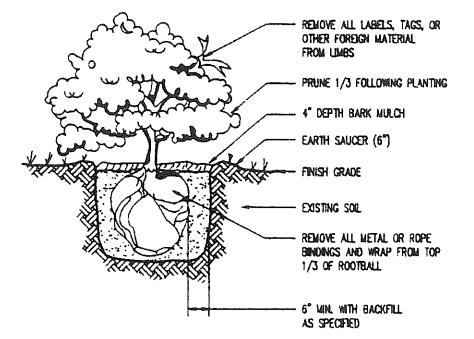
L-LSJ/05-05



**EVERGREEN TREE PLANTING DETAIL**

NOT TO SCALE

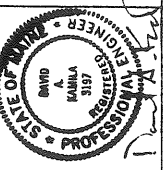
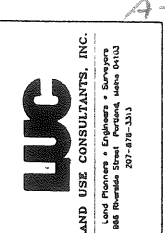
L-LSJ/05-07



**SHRUB PLANTING DETAIL**

NOT TO SCALE

L-LSJ/05-05



**THE PARK DANFORTH**  
**111 STEVENS AVE**  
**PORTLAND, MAINE 04101**

| Revision                 | Date   |
|--------------------------|--------|
| ADD EROSION CONTROL PLAN | 6-5-07 |

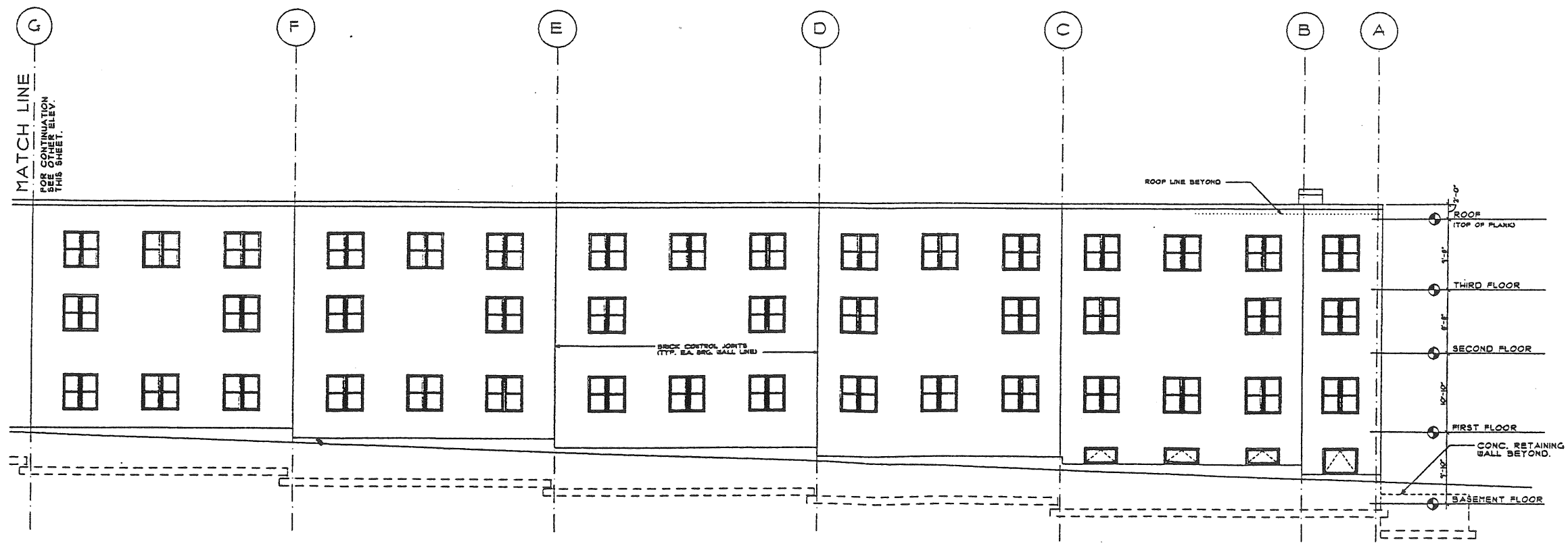
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| Checked  | NO SCALE |      |
| Scale    | 05-13-07 |      |
| Date     |          |      |

Job No. 3042  
 Sheet

C-5



1 SOUTH ELEVATION



2 SOUTH ELEVATION

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PROGRESS DRAWING  
**NOT FOR CONSTRUCTION**

**EGA**  
Engelbrecht & Griffin  
Architects, P.C.  
1215 State St.  
Portland, ME 04102  
Tel: 603.761.1131 Fax: 603.761.1132

STRUCTURAL ARCHITECT  
M.P. DESIGNER  
D.H. DESIGNER

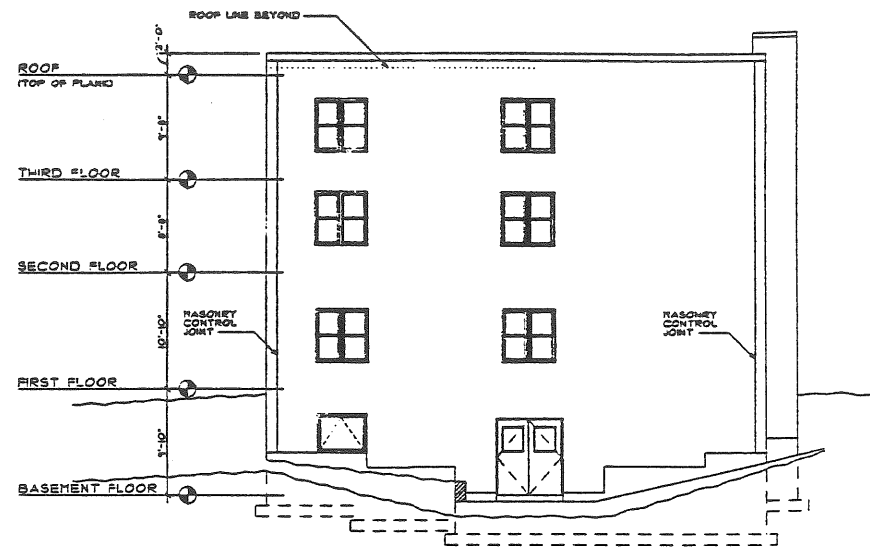
**Park Danforth**  
Portland, Maine  
Housing For The Elderly

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Building Key

Sheet Title:  
**ELEVATIONS**

Sheet Number:  
**A-4.1**



3 EAST ELEVATION



4 EAST ELEVATION

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PROJECT B-2  
NOT FOR CONSTRUCTION

**EGA**  
Engbrecht & Griffin  
Architects, P.C.  
17 Adams St.  
Portland, Maine 04101  
Tel: 781-443-4300  
Fax: 781-443-4301

STRUCTURAL ENGINEER  
M.P. ENGBRECHT  
ONE DESIGNER

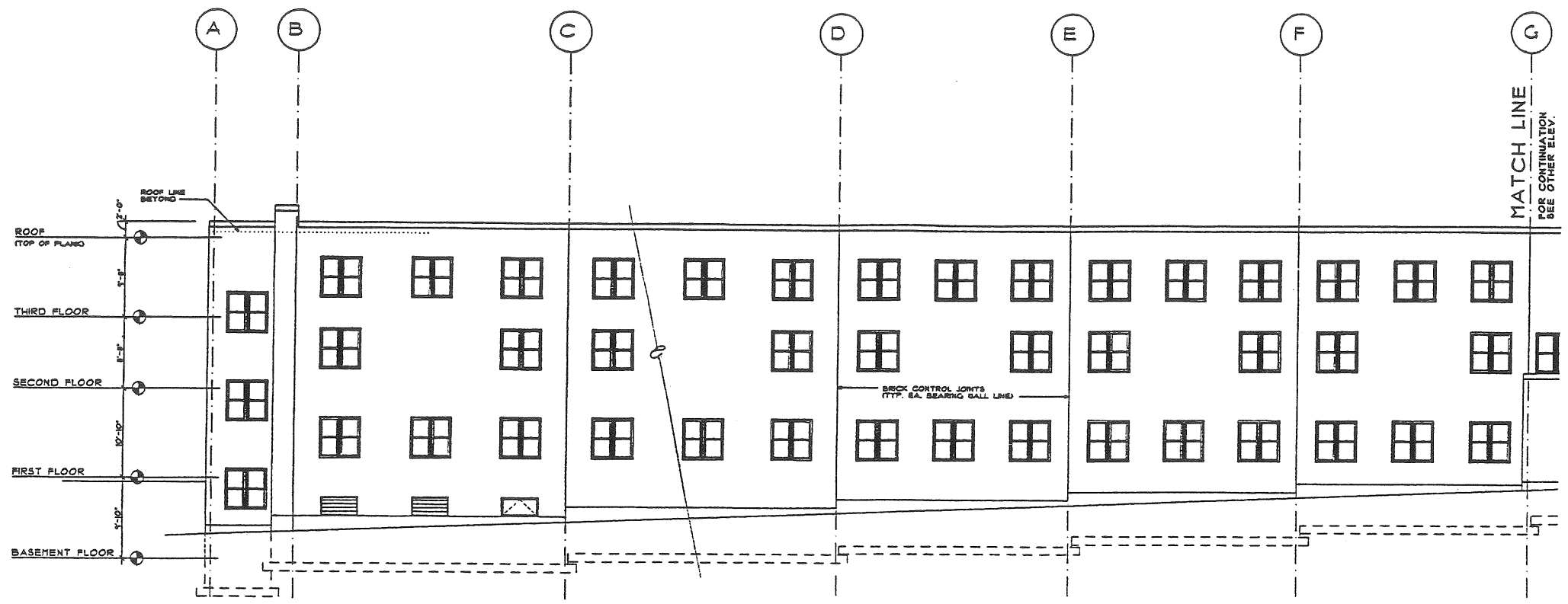
Park Donforth  
Portland, Maine  
Housing For The Elderly

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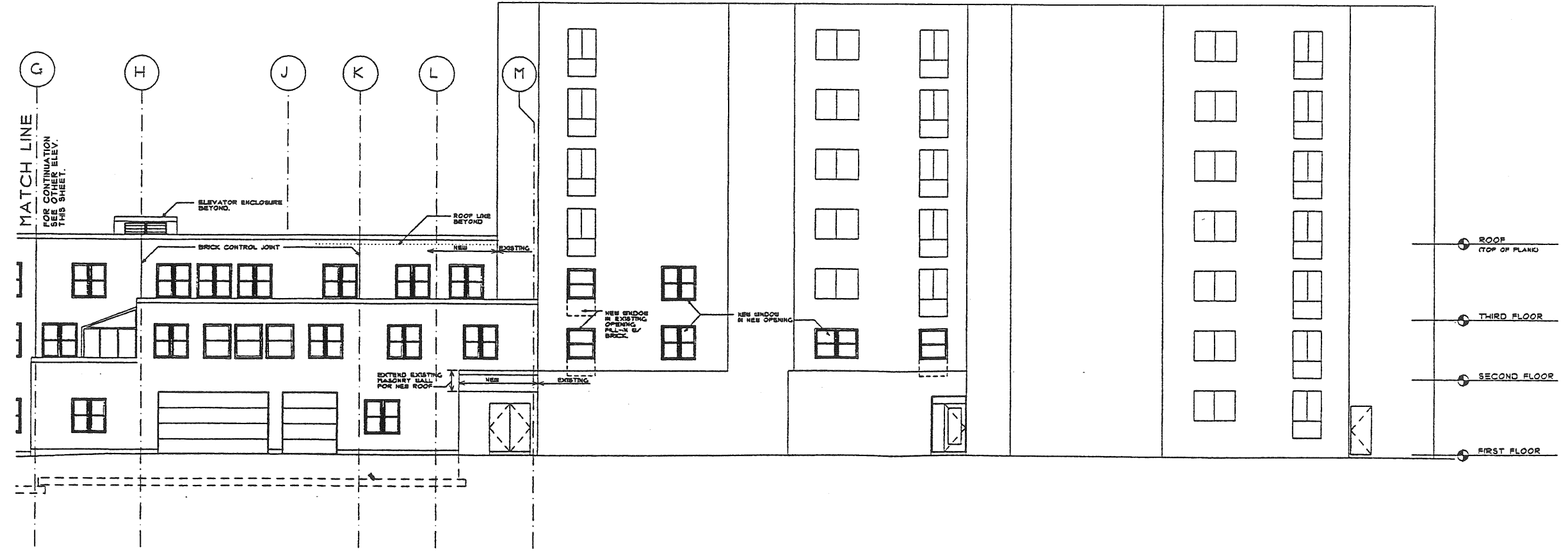
Building Key

Sheet Title  
ELEVATIONS

Sheet Number  
A-4.2



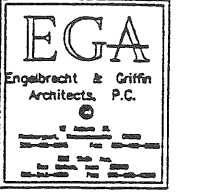
5 NORTH ELEVATION



6 NORTH ELEVATION

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REVISED DRAWING  
NOT FOR CONSTRUCTION



STRUCTURAL BOARD  
M.P. DWIGGS  
CIVIL ENGINEER

Park Danforth  
Portland, Maine  
Housing For The Elderly

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Building Key

Sheet Title  
ELEVATIONS

Sheet Number  
A-4.3







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| DATE     | ISSUED TO/POB.              |
| 1/17/71  | PL. PERMITS AND PLAN SET UP |
| 1/23/71  | REVISIONS                   |
| 1/28/71  | CONSTRUCTION PERMITS        |
| 2/11/71  | CONSTRUCTION PERMITS        |
| 2/18/71  | CONSTRUCTION PERMITS        |
| 3/1/71   | CONSTRUCTION PERMITS        |
| 3/8/71   | CONSTRUCTION PERMITS        |
| 3/15/71  | CONSTRUCTION PERMITS        |
| 3/22/71  | CONSTRUCTION PERMITS        |
| 3/29/71  | CONSTRUCTION PERMITS        |
| 4/5/71   | CONSTRUCTION PERMITS        |
| 4/12/71  | CONSTRUCTION PERMITS        |
| 4/19/71  | CONSTRUCTION PERMITS        |
| 4/26/71  | CONSTRUCTION PERMITS        |
| 5/3/71   | CONSTRUCTION PERMITS        |
| 5/10/71  | CONSTRUCTION PERMITS        |
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| 5/31/71  | CONSTRUCTION PERMITS        |
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| 6/14/71  | CONSTRUCTION PERMITS        |
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| 7/5/71   | CONSTRUCTION PERMITS        |
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| 7/19/71  | CONSTRUCTION PERMITS        |
| 7/26/71  | CONSTRUCTION PERMITS        |
| 8/2/71   | CONSTRUCTION PERMITS        |
| 8/9/71   | CONSTRUCTION PERMITS        |
| 8/16/71  | CONSTRUCTION PERMITS        |
| 8/23/71  | CONSTRUCTION PERMITS        |
| 8/30/71  | CONSTRUCTION PERMITS        |
| 9/6/71   | CONSTRUCTION PERMITS        |
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| 9/27/71  | CONSTRUCTION PERMITS        |
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| 11/29/71 | CONSTRUCTION PERMITS        |
| 12/6/71  | CONSTRUCTION PERMITS        |
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| 12/20/71 | CONSTRUCTION PERMITS        |
| 12/27/71 | CONSTRUCTION PERMITS        |

PROGRESS DRAWING  
NOT FOR CONSTRUCTION

**EGA**  
Engelbracht & Griffin  
Architects, P.C.

|                     |  |
|---------------------|--|
| STRUCTURAL ENGINEER |  |
| M.P. ENGINEER       |  |
| CIVIL ENGINEER      |  |

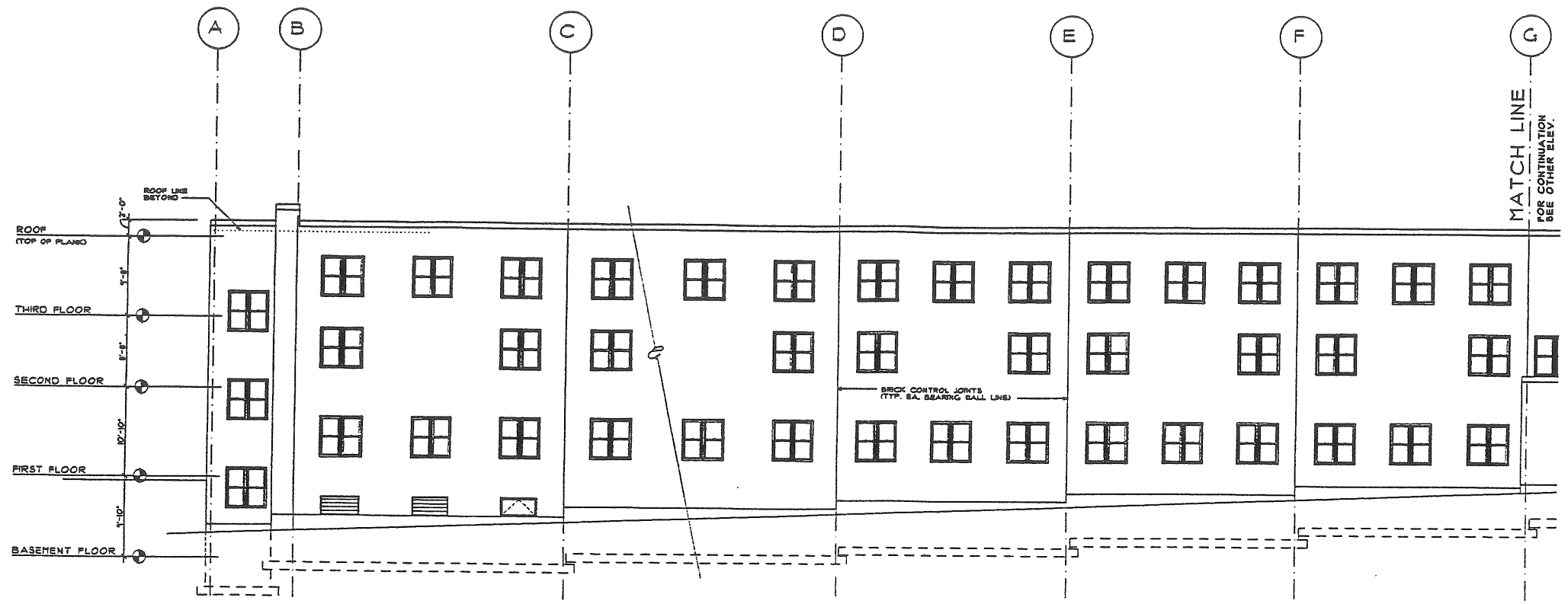
**Park Danforth**  
Portland, Maine  
Housing For The Elderly

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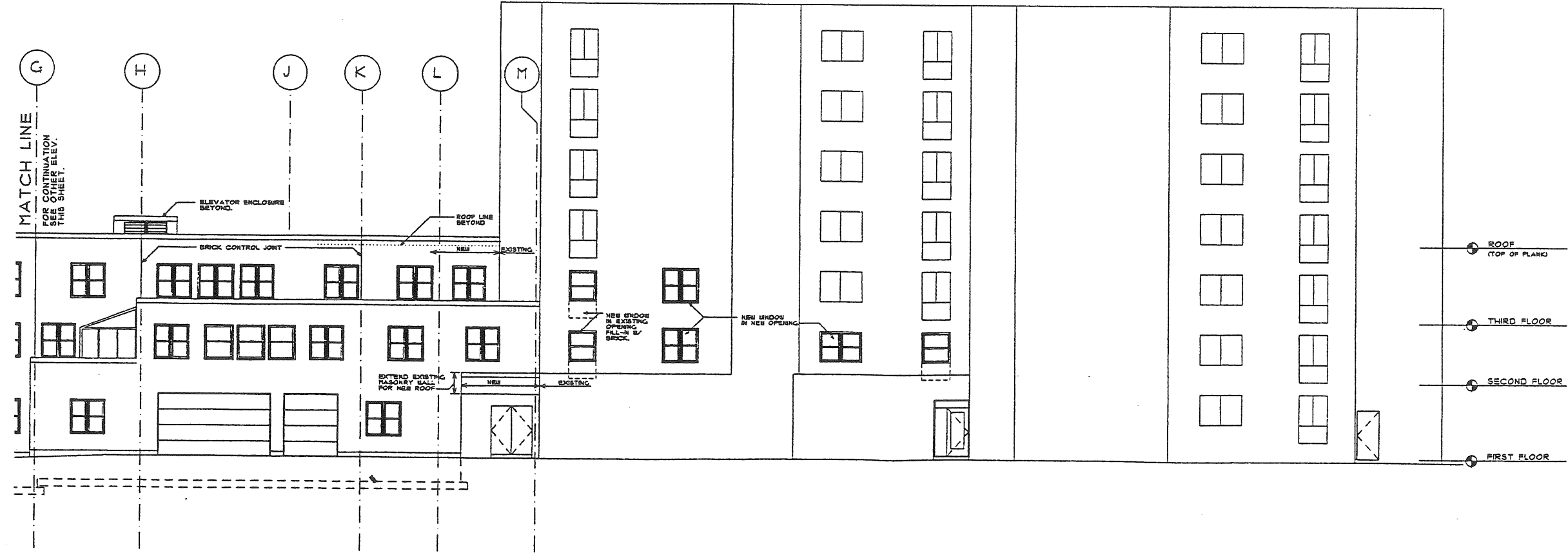
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| Building Key |
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Sheet Title  
ELEVATIONS

Sheet Number  
A-4.3



5 NORTH ELEVATION



6 NORTH ELEVATION



434 Cumberland Avenue  
 Portland, ME 04101  
 Phone: (207)774-4441  
 Fax: (207)774-4016  
  
 PO Box 6555  
 Laconia, NH 03247  
 Phone: (603)524-3000  
 Fax: (603)527-0700

**The PARK DANFORTH**  
  
 777 STEVENS AVE.  
 PORTLAND, ME 04103  
 (207) 797-7710

**ALLIED CONSTRUCTION COMPANY INC.**  
  
 P.O. BOX 1396  
 PORTLAND, MAINE 04104  
 (207) 772-2888

**ADDITION To The PARK DANFORTH**  
  
 777 STEVENS AVE.  
 PORTLAND, MAINE

**FLEET BANK of MAINE**  
  
 TWO PORTLAND SQUARE  
 PORTLAND MAINE 04104-3006  
 (207) 874-5376

Drawing Title  
**NORTH ELEVATION**  
 Scale: 3/32" = 1' - 0"  
 Date: Progress 9/15/97  
 Project No: 97431 PDA

Drawing Number:  
**A6**