

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-0434	PERMIT ISSUED MAY 13 2003	CBL: 145 B018001
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Location of Construction: 760 Stevens Ave	Owner Name: State Of Maine	Owner Address: CITY OF PORTLAND	Phone:
Business Name: n/a	Contractor Name: Northland Roofing	Contractor Address: Central Dr. Presque Isle	Phone 8008947024
Lessee/Buyer's Name n/a	Phone: n/a	Permit Type: Alterations - Commercial	Zone: RS

Past Use: Armory	Proposed Use: Armory with structural upgrade to roof.	Permit Fee: \$2,102.00	Cost of Work: \$296,730.00	CEO District: 3
		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: NA Type: ROOF REPAIR	

Proposed Project Description: Structural upgrade to roof.	Signature: <i>[Signature]</i>	Signature: <i>[Signature]</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature:		Date:

Permit Taken By: gg	Date Applied For: 04/25/2003	Zoning Approval
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>5/2/03</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT _____ ADDRESS _____ DATE _____ PHONE _____

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE _____ DATE _____ PHONE _____

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-0434	Date Applied For: 04/25/2003	CBL: 145 B018001
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Location of Construction: 760 Stevens Ave	Owner Name: State Of Maine	Owner Address:	Phone:
Business Name: n/a	Contractor Name: Northland Roofing	Contractor Address: Central Dr. Presque Isle	Phone (800) 894-7024
Lessee/Buyer's Name n/a	Phone: n/a	Permit Type: Alterations - Commercial	

Proposed Use: Armory with structural upgrade to roof.	Proposed Project Description: Structural upgrade to roof.
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Dept: Zoning	Status: Approved	Reviewer: Marge Schmuckal	Approval Date: 05/02/2003	Note:	Ok to Issue: <input checked="" type="checkbox"/>
Dept: Building	Status: Approved with Conditions	Reviewer: Mike Nugent	Approval Date: 05/12/2003	Note:	Ok to Issue: <input checked="" type="checkbox"/>
1) William Faucher from Allied Engineering will be supervising the welds and other steel fasteners and providing reports as created for special inspections.					
Dept: Fire	Status: Approved	Reviewer: Lt. McDougall	Approval Date: 05/05/2003	Note:	Ok to Issue: <input checked="" type="checkbox"/>

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING INSPECTION PERMIT

Permit Number: 030434

Please Read
Application And
Notes, If Any,
Attached

This is to certify that State Of Maine/Northland Region
has permission to Structural upgrade to roof.
AT 760 Stevens Ave LOT 145 B018001

provided that the person or persons firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Classification of inspection must be given and when permission procured before this building or part thereof is occupied or otherwise closed-in. YOUR NO. IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. [Signature]
Health Dept. _____
Appeal Board _____
Other _____
Department Name

[Signature] 5/12/03
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

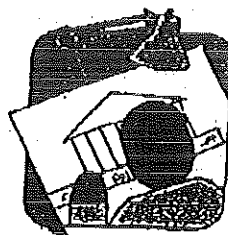
Location/Address of Construction: <u>760 Stevens Ave.</u>		
Total Square Footage of Proposed Structure	Square Footage of Lot	
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>145 B 018</u>	Owner: <u>State of Maine</u>	Telephone:
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>Northland Roofing</u> <u>601 Central DRIVE</u> <u>Presque Isle, ME 04769</u>	Cost Of Work: <u>296,730.00</u> <u>\$350,675.00</u> Fee: <u>\$2480.00</u>
Current use: <u>armory</u>	Total <u>2102.00</u>	
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: <u>armory with structural upgrade to roof</u> Project description: <u>remove roof, add structural supports to underside of roof and replace roof.</u>		
Contractor's name, address & telephone: <u>NORTHLAND ROOFING</u> <u>CENTRAL DRIVE PRESQUE ISLE, ME.</u> 1-800-894-7024		
Who should we contact when the permit is ready: <u>SHERRY OR KEVIN</u>		
Mailing address: <u>P.O. Box 1797</u> <u>601 CENTRAL DRIVE</u> <u>PRESQUE ISLE, ME. 04769</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>1-800-894-7024</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>[Signature]</u>	Date: <u>4/24/03</u>
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**This is NOT a permit, you may not commence ANY work until the permit is issued.
If you are in a Historic District you may be subject to additional permitting and fees with the
Planning Department on the 4th floor of City Hall**



CITY OF PORTLAND MAINE

389 Congress St., Rm 315

Portland, ME 04101

Tel. - 207-874-8704

Fax - 207-874-8716

TO: Inspector of Buildings City of Portland, Maine
Planning & Urban Development
Division of Housing & Community Services

FROM DESIGNER: allied engineering, inc.

One Westbrook Common, Westbrook, ME 04092

DATE: April 29, 2003

Job Name: Stevens Avenue Armory - Reroof/Structure Upgrade

Address of Construction: Stevens Avenue, Portland, Maine

THE BOCA NATIONAL BUILDING CODE/1999 Fourteenth EDITION

Construction project was designed according to the building code criteria listed below:

BOCA 1999/14th Ed.

Building Code and Year: & Local Amendments Use Group Classification(s): A-Z

Type of Construction: 3B Bldg. Height: 25-30 Ft. Bldg. Sq. Footage: 14,700 Drill Hall on 1

Seismic Zone: 2 Group Class: Seismic Hazard Exposure Group III

Roof Snow Load Per Sq. Ft.: Adjusted P_f = 42.0 psf Dead Load Per Sq. Ft.: 10 psf

Basic Wind Speed (mph): 85 mph Effective Velocity Pressure Per Sq. Ft.: 18.5 psf

Floor Live Load Per Sq. Ft.: N/A

Structure has full sprinkler system? Yes No X Alarm System? Yes X No
Sprinkler & Alarm systems must be installed according to BOCA and NFPA Standards with approval from the Portland Fire Department.

Is structure being considered unlimited area building: Yes No X

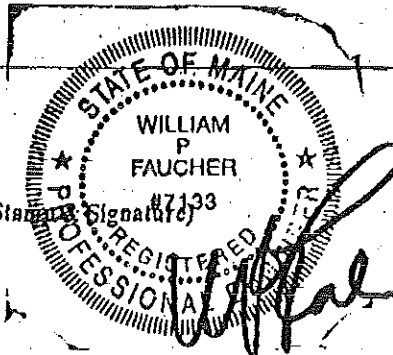
If mixed use, what subsection of 313 is being considered: N/A

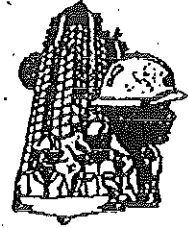
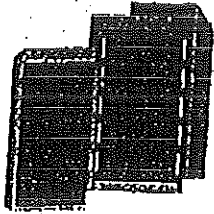
List Occupant loading for each room or space, designed into this Project.

Drill Hall (only) 200-300

PSH 6/07/2K

(Designers Stamp & Signature)





CITY OF PORTLAND
BUILDING CODE CERTIFICATE
389 Congress St., Rm 315
Portland, ME 04101

TO: Inspector of Buildings City of Portland, Maine
Department of Planning & Urban Development
Division of Housing & Community Service

FROM: allied engineering, inc.

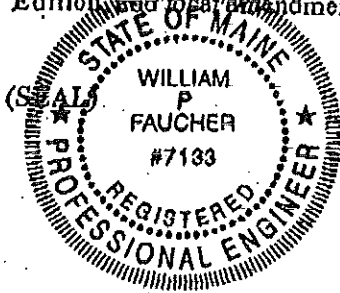
RE: Certificate of Design

DATE: April 29, 2003

These plans and/or specifications covering construction work on:

Armory reroofing/structural upgrade - Stevens Avenue Armory,
Portland, Maine Drill Hall project No. APO3-063C

Have been designed and drawn up by the undersigned, a Maine registered architect/engineer according to the BOCA National Building Code/1999 Fourteenth Edition and its amendments.



Signature: William P. Faucher
William P. Faucher, P.E.

Title Principal

Firm allied engineering, inc.

Address One Westbrook Common
Westbrook, ME 04092

As per Maine State Law:

\$50,000.00 or more in new construction; repair, expansion, addition, or modification for Building or Structures, shall be prepared by a registered design Professional.

DEPARTMENT OF DEFENSE VETERANS AND EMERGENCY MANAGEMENT

MILITARY BUREAU
Headquarters, Maine National Guard
Camp Keyes, Augusta, Maine 04333-0033

PLANS AND SPECIFICATIONS

STRUCTURAL UPGRADE AND REPLACE ROOFING SYSTEM FOR DRILL HALL AREA
AT STEVENS AVE. ARMORY, PORTLAND, MAINE

[Project Number AP03-063C]
[Bid Number 03-003]

January 2003

Prepared By:

allied *engineering, inc.*

FULL SERVICE CONSULTING ENGINEERS

STRUCTURAL • MECHANICAL • ELECTRICAL • ENVIRONMENTAL • CONSTRUCTION ADMINISTRATION
One Westbrook Common • Westbrook, Maine 04092-2804 • Telephone 207-854-8126

Addendum #1

**STRUCTURAL UPGRADE AND REPLACE ROOFING SYSTEM FOR DRILL HALL
AREA, AT STEVENS AVE, ARMORY, PORTLAND, MAINE**

Project Number AP03-063C, Bid Number 03-003

Directorate of Facilities Engineering

27 February 2003

Section 2 Items:

1. Replace Section 2-B, page 1 of 2 and 2 of 2, with enclosed Revised Section 2-B, page 1 of 2 and 2 of 2.

Note: Addendum #1 noted.

Drawing Items

CHANGES TO THE DRAWINGS

A. DRAWING SD-100

1. Roof Demolition Plan A1:
 - a. For location see Note #8, Add Note #10 to Demolition Key Notes as follows:
From end "Truss B" to end "Truss B", under all wood beams there are 6" x 4" LTI 12 frames that used to be a framing system for an old sloped roof system, all these 6" x 4" LTI 12 frames shall be removed as not to interfere with new structural steel. See drawing SF-100, Detail A4, area where new W8 x 10 and W12 x 22 shall be installed. The Contractor will field verify amount of steel framing to be removed.

B. DRAWING SF-100

1. Detail A2:
 - a. **DELETE** note reference: "(2) ¾" dia. A325 Bolts Typ. at each (E) truss"
 - b. **ADD** in its place: "(2) ¾" dia. A307 Bolts Typ. at each (E) truss with lock washer"
2. Detail B3:
 - a. Provide angle tab 3x3x3/8" for both top and bottom.
 - b. Channel reference to an "(E) C6x8.2" is incorrect. Member does not exist. Member to be provided under this contract.
3. Detail D1:
 - a. Remove Detail in its entirety.

Addendum #1

**STRUCTURAL UPGRADE AND REPLACE ROOFING SYSTEM FOR DRILL HALL
AREA, AT STEVENS AVE. ARMORY, PORTLAND, MAINE**

Project Number AP03-063C, Bid Number 03-003

Directorate of Facilities Engineering

27 February 2003

4. Truss Details, F1 & G1:
See Attachment #1.
 - a. Reinforcement Schedule Replacements for both Details F1 and G1 on Sheet SF-100.

5. Details F7 & F9:
See Attachment #2.
 - a. Detail F7 - Revised to reflect modified perimeter blocking, blocking fastening requirements and bearing plate anchorage to masonry wall.
 - b. Detail F9 - Revised to reflect modified perimeter blocking, blocking fastening requirements and bearing plate anchorage to masonry wall.

SECTION 2-B

PROPOSAL

BIDDER

TO: DEPARTMENT OF DEFENSE, VETERANS AND EMERGENCY MANAGEMENT
MILITARY BUREAU
Headquarters, Maine National Guard
Building 8, Camp Keyes, 194 Winthrop Street
Augusta, Maine 04333-0033

A. Having carefully examined the forms of Contract, General Conditions, Plans and Specifications dated January 2003, prepared by the Directorate of Facilities Engineering, for:

STRUCTURAL UPGRADE AND REPLACE ROOFING SYSTEM FOR DRILL HALL AREA, AT STEVENS AVE. ARMORY, PORTLAND, MAINE
Project Number AP03-063C

as well as the premises and conditions affecting the work, we the undersigned propose to furnish all labor, equipment and materials necessary for and reasonably incidental to the construction and completion of this Proposal for the amount of:

DESCRIPTION OF BASE BID:

The Work of the Contract involves new roofing system for drill hall area. Remove existing roof drains, surfacing materials, including asbestos and wood decking. Structural modifications to the existing roof truss system including lead abatement. Install new metal decking, roof insulation, roof drains new rain water piping and E.P.D.M. roofing system, and miscellaneous mechanical and electrical removal and reinstallation, in accordance with Plans and Specification.

Base Bid Drawings consist of:

- Cover Sheet
- S-000 Structural Notes
- SD-100 Demolition Plan-Structural and Mechanical
- SF-100 Roof Framing Plan
- SE-100 Roof Plan
- MH-100 Mechanical Roof Plan

Base Bid Lump Sum. Dollars \$ _____

B. This Proposal includes the following addenda to the Plans and Specifications:

Addendum No. 1, Dated 27 February 2003,
Addendum No. _____, Dated _____

- C. The undersigned acknowledges that all prices within this Section, 2-B PROPOSAL, must filled in, to include Base Bid, Added Alternates and Unit Prices; or the Bidder will be considered non-responsive and this bid will be rejected.

The undersigned agrees, if awarded the Contract, the Contractor shall not start work until 1 May 2003 and all work shall be completed before 20 July 2003. The Contract will terminate on 15 August 2003.

- D. The undersigned agrees, if the Proposal is accepted, to sign a Contract and deliver it, along with the affidavits of all insurance's specified within 3 calendar days after the date of notification of such acceptance, except if the 3rd day falls on a holiday, a Saturday, or a Sunday then the conditions will be fulfilled if the required documents are received before 12:00 o'clock noon the day following the holiday, or the Monday following the Saturday or Sunday.

SIGNED BY: _____

Address

Note: If Bidder is a corporation, write State of incorporation, and if a partnership, give full names of all partners.

REINFORCEMENT SCHEDULE		
MEMBER ID	EXISTING MEMBER SIZE	ADDED PER EXISTING MEMBER
M-1	(1) L 2 1/2x2 1/2x5/16	3/4" SQUARE FLAT BAR
M-2	(2) L 4x3x3/8	1" SQUARE FLAT BAR
M-3	(1) L 2 1/2x2 1/2x5/16	3/4" SQUARE FLAT BAR
M-4	(2) L 2 1/2x2 1/2x3/8	1" SQUARE FLAT BAR

NOTE:

1. SEE G7/SF-100 FOR WELDING REQUIREMENTS
2. FLAT BARS SHALL BE CONTINUOUS FOR LENGTH OF WEB AND SHALL EXTEND TO WITHIN 2" OF CONNECTION PLATE (TYP. BOTH ENDS).



G1/SF-100	REVISED TRUSS TYPE "A" REINFORCEMENT SCHEDULE
-	

REINFORCEMENT SCHEDULE		
MEMBER ID	EXISTING MEMBER SIZE	ADDED PER EXISTING MEMBER
M-5	(1) L 2 1/2x2 1/2x1/4	3/4" SQUARE FLAT BAR
M-6	(2) L 3 1/2x3 1/2x5/16	1" SQUARE FLAT BAR
M-7	(1) L 2 1/2x2 1/2x1/4	3/4" SQUARE FLAT BAR
M-8	(2) L 3 1/2x3 1/2x5/16	1" SQUARE FLAT BAR
M-9	(1) L 2 1/2x2 1/2x1/4	3/4" SQUARE FLAT BAR

NOTE:

1. SEE G7/SF-100 FOR WELDING REQUIREMENTS
2. FLAT BARS SHALL BE CONTINUOUS FOR LENGTH OF WEB AND SHALL EXTEND TO WITHIN 2" OF CONNECTION PLATE (TYP. BOTH ENDS).

F1/SF-100	REVISED TRUSS TYPE "B" REINFORCEMENT SCHEDULE
-	

SKS-01	ISSUED FOR ADDENUM No. 1 DRILL HALL STEVENS AVE. PORTLAND, MAINE		 allied <i>engineering, inc.</i>	
	Scale: NO SCALE	Project No: 02017		
	Date: 02/27/03	CAD File: 02017SF.dwg		
	<small>One Westbrook Common, Westbrook, Maine 04092-2804 Telephone No: 207-854-8126 • Fax No: 207-854-0803 E-Mail: info@allied-eng.com • www.allied-eng.com</small>			

INSULATION PROVIDED BY
DECK MANUFACTURER AND
INSTALLED BY CONTRACTOR

3" METAL DECKING

3/16" 2"

2x PRESSURE TREATED
BLOCKING AS REQUIRED

1x FACIA AS REQUIRED

W8x10

(2) 2x8 PT w/1/2" HILTI
HIT HY 150. @ 24" O.C.
(MIN. EMBED. 12")
COUNTER SINK HEADS

L 8x6x1/2x1'-2" (LLH) LONG
w/ (2) 1/2" HILTI HIT HY 150
w/MIN. 4 1/2" EMBED.

(E) WOOD NAILER
TO REMAIN

NOTE:

REMOVE/REPLACE MASONRY AS
REQUIRED TO INSTALL BEAM AND
BEARING ANGLE. (TYP. EA. LOC.)

LINE OF MASONRY WALL
BEYOND

1 1/2"

F9/SF-100

REVISED DETAIL

(2) 2x8 PT w/1/2" HILTI
HIT HY 150. @ 24" O.C.
(MIN. EMBED. 12")
COUNTER SINK HEADS

2X PRESSURE
TREATED
BLOCKING AS
REQUIRED

3" METAL DECK
SEE PLAN

1x FACIA AS
REQUIRED

CONT. 3/8"x0'-10" BENT
PLATE w/1/2" HILTI HIT
HY 150 @ 32" O.C. w/MIN.
4 1/2" EMBED.

4"
6"

1 1/2"

F7/SF-100

REVISED DETAIL

SKS-02

ISSUED FOR ADDENUM No. 1
DRILL HALL

STEVENS AVE.
PORTLAND, MAINE

Scale: NO SCALE

Project No: 02017

Date: 02/27/03

CAD File: 02017SF.dwg

allied
engineering, inc.

One Westbrook Common, Westbrook, Maine 04092-2804
Telephone No: 207-854-8126 • Fax No: 207-854-0603
E-Mail: info@allied-eng.com • www.allied-eng.com



**STEVENS AVENUE ARMORY
DRILL HALL
PORTLAND, MAINE**

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SECTION 5

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