

# **Application for Level 1 Site Alteration Approval**

## **Project:**

*Alumni Hall Renovations*

*College Street  
Portland, Maine*

## **Applicant:**

University of New England  
11 Hills Beach Road  
Biddeford, Maine 04005

**March 23, 2015**

Prepared By:

**Site Design Associates**

**23 Whitney Way  
Topsham Maine 04086**

# Site Design Associates

## Consulting Engineering and Land Planning

March 20, 2015

Ms. Barbara Barhydt  
Development Review Services Manager  
Planning Division  
389 Congress St., Fourth Floor  
Portland, ME 04101

**RE: University of New England - Westbrook College Campus  
Level 1 Site Alteration – Alumni Hall Renovations**

Dear Barbara:

On behalf of University of New England (UNE), Site Design Associates (SDA) is pleased to submit one original paper copy and one CD containing the files of the Level 1 Site Alteration Application and for the referenced project. We have enclosed a check in the amount of \$200 for the project review fees.

This submission contains the following information:

- Level 1 Site Alteration Application and Check List (Attachment 1)
- Letter of Agent Authorization (Attachment 2)
- Project Description (Attachment 3)
- Deed (Attachment 4)
- Zoning Compliance and Applicable Design Standards(Attachment 5)
- The following project drawings(one full size and 1 reduced set):
  - Lighting Catalog Cuts
  - C-100 Existing Conditions & Demolition Plan
  - C-101 Site Plan
  - C-102 Grading, Drainage, and Erosion Control Plan
  - C-103 Conceptual Landscape Plan
  - C-300 Erosion & Sedimentation Control Notes and Site Details
  - C-301 Site Details
  - C-302 Site Details
  - Boundary Survey

Please contact me with any questions or comments concerning this information.

Sincerely,  
Site Design Associates

A handwritten signature in black ink, appearing to read "Tom Saucier".

Tom Saucier, P.E.  
President

cc: Alan Thibeault, UNE

**ATTACHMENT 1**  
**SITE PLAN APPLICATION**





## Level I – Site Alteration Development Review Application Portland, Maine

Planning and Urban Development Department  
Planning Division

Portland's Planning and Urban Development Department coordinates the development review process for site plan, subdivision and other applications under the City's Land Use Code. Attached is the application form for a Level I: Site Alterations. Please note that Portland has delegated review from the State of Maine for reviews under the Site Location of Development Act, Chapter 500 Stormwater Permits, and Traffic Movement Permits.

### Level I: Site Alteration Development includes:

- Alteration of a watercourse or wetland as defined in Section 14-47 of the City Code.
- Alteration of a site. The disturbance of land areas of less than one (1) acre that are stripped, graded, grubbed, filled or excavated. The Planning Authority shall exempt from review the loam and seeding of lawns and the cumulative placement of less than fifteen (15) cubic yards of fill on any lot provided such loaming or placement does not alter a drainage course, swale, wetland or redirect water onto adjoining property and does not violate any other provision of the Portland City Code or state or federal law. "Disturbed area" does not include routine maintenance, but does include re-development and new impervious areas.
- The construction of any temporary or permanent parking area, paving of existing unpaved surface parking areas between 1,000 and 7,500 sq. ft., or creation of other impervious surface areas between 1,000 and 7,500 sq. ft.
- The rehabilitation or reconstruction, but not new construction, of piers, docks, wharves, bridges, retaining walls, and other structures located within the shoreland zone.
- A site alteration in which vehicle access is proposed from more than one (1) street.

Portland's development review process and requirements are outlined in the Land Use Code (Chapter 14) which is available on our website:

Land Use Code: <http://me-portland.civicplus.com/DocumentCenter/Home/View/1080>

Design Manual: <http://me-portland.civicplus.com/DocumentCenter/View/2355>

Technical Manual: <http://me-portland.civicplus.com/DocumentCenter/View/2356>

#### **Planning Division**

Fourth Floor, City Hall  
389 Congress Street  
(207) 874-8719

#### **Office Hours**

Monday thru Friday  
8:00 a.m. – 4:30 p.m.

**PROJECT NAME:** Alumni Hall Renovation

**PROPOSED DEVELOPMENT ADDRESS:**

716 Stevens Aveune

**PROJECT DESCRIPTION:**

Renovations to the existing Alumni Hall and Annex

**CHART/BLOCK/LOT:** 145A003

**CONTACT INFORMATION:**

<b>Applicant – must be owner, Lessee or Buyer</b> Name: Alan Thibeault Business Name, if applicable: University of New England Address: 11 Hills Beach Road City/State : Biddeford, Maine                      Zip Code: 04005	<b>Applicant Contact Information</b> Work # 207-602-2253 Home# Cell #    Fax# e-mail:athibeault@une.edu
<b>Owner – (if different from Applicant)</b> Name: Address: City/State :                                      Zip Code:	<b>Owner Contact Information</b> Work # Home# Cell #    Fax# e-mail:
<b>Agent/ Representative</b> Name: Tom Saucier, Site Design Associates Address: 23 Whitney Way City/State : Topsham, Maine                      Zip Code: 04086	<b>Agent/Representative Contact information</b> Work # 207-449-4275 Cell # 207-756-0068 e-mail:
<b>Billing Information</b> Name: Bill Applicant Address: City/State :                                      Zip Code:	<b>Billing Information</b> Work # Cell #    Fax# e-mail:

<b>Engineer</b> Name: Agent Address: City/State :                      Zip Code:	<b>Engineer Contact Information</b> Work # Cell #                              Fax# e-mail:
<b>Surveyor</b> Name: Statewide Surveys, Inc. Address: 35 Eastman Road City/State : Cape Elizabeth, Maine              Zip Code: 04107	<b>Surveyor Contact Information</b> Work # Cell #                              Fax# e-mail:
<b>Architect</b> Name: Port City Architecture Address: 65 Newbury Street City/State : Portland, Maine                      Zip Code: 04101	<b>Architect Contact Information</b> Work # Cell #                              Fax# e-mail:
<b>Attorney</b> Name: Address: City/State :                      Zip Code:	<b>Attorney Contact Information</b> Work # Cell #                              Fax# e-mail:

**APPLICATION FEES:**

**(Payment may be made by Credit Card, Cash or Check payable to the City of Portland.)**

_x_ Level 1 Site Alteration (\$200.00)	The City invoices separately for the following: <ul style="list-style-type: none"> <li>• Notices (\$.75 each)</li> <li>• Legal Ad (% of total Ad)</li> <li>• Planning Review (\$40.00 hour)</li> <li>• Legal Review (\$75.00 hour)</li> </ul> Third party review fees are assessed separately. Any outside reviews or analysis requested from the Applicant as part of the development review, are the responsibility of the Applicant and are separate from any application or invoice fees.
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**APPLICATION SUBMISSION:**

1. All site plans and written application materials must be submitted electronically on a CD or thumb drive with each plan submitted as separate files, with individual file which can be found on the **Electronic Plan and Document Submittal** page of the City’s website at <http://me-portland.civicplus.com/764/Electronic-Plan-and-Document-Submittal>
2. In addition, one (1) paper set of the plans (full size), one (1) paper set of plans (11 x 17), paper copy of written materials, and the application fee must be submitted to the Building Inspections Office to start the review process.

The application must be complete, including but not limited to the contact information, project data, application checklists, wastewater capacity, plan for fire department review, and applicant signature. The submissions shall include one (1) paper packet with folded plans containing the following materials:


1. One (1) full size site plans that must be folded.
2. One (1) copy of all written materials or as follows, unless otherwise noted:
  - a. Application form that is completed and signed.
  - b. Cover letter stating the nature of the project.
  - c. All Written Submittals (Sec. 14-527 (c), including evidence of right, title and interest.
3. A stamped standard boundary survey prepared by a registered land surveyor at a scale not less than one inch to 50 feet.
4. Plans and maps based upon the boundary survey and containing the information found in the attached sample plan checklist.
5. One (1) set of plans reduced to 11 x 17.

Please refer to the application checklist (attached) for a detailed list of submission requirements.

**APPLICANT SIGNATURE:**

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Planning Authority and Code Enforcement’s authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

**This application is for a Level II Site Plan review. It is not a permit to begin construction. An approved site plan, a Performance Guarantee, Inspection Fee, Building Permit, and associated fees will be required prior to construction. Other Federal, State or local permits may be required prior to construction, which are the responsibility of the applicant to obtain.**

Signature of Applicant: 	Date: 03-23-15
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## PROJECT DATA

The following information is required where applicable, in order to complete the application.

<b>Total Area of Site</b>	14	ACRES
<b>Proposed Total Disturbed Area of the Site</b>	10,000	sq. ft.
If the proposed disturbance is greater than one acre, then the applicant shall apply for a Maine Construction General Permit (MCGP) with DEP and a Stormwater Management Permit, Chapter 500, with the City of Portland		
<b>Impervious Surface Area</b>		
Impervious Area (Total Existing)	314,700 (-1,600 SINCE 2006)	sq. ft.
Impervious Area (Total Proposed)	315,370 (-928 SINCE 2006)	sq. ft.
<b>Parking Spaces</b>		
# of Parking Spaces (Total Existing)		sq. ft.
# of Parking Spaces (Total Proposed)	UNCHANGED	sq. ft.
# of Handicapped Spaces (Total Proposed)	UNCHANGED	sq. ft.

<b>Level 1 Site Alteration</b>			
Applicant Checklist	Planner Checklist	# of Copies	<b>GENERAL WRITTEN SUBMISSIONS CHECKLIST</b>
X		1	Completed Application form
X		1	Application fees
X		1	Written description of project
X		1	Evidence of right, title and interest
NA		1	Evidence of state and/or federal approvals, if applicable
X		1	Written assessment of proposed project's compliance with applicable zoning requirements
NA		1	Summary of existing and/or proposed easement, covenants, public or private rights-of-way, or other burdens on the site
NA		1	Written requests for waivers from site plan or technical standards, if applicable.
X		1	Evidence of financial and technical capacity
Applicant Checklist	Planner Checklist	# of Copies	<b>SITE PLAN SUBMISSIONS CHECKLIST</b>
X		1	Boundary Survey meeting the requirements of Section 13 of the City of Portland's Technical Manual
X		1	Preliminary Site Plan including the following: (information provided may be preliminary in nature during preliminary plan phase)
X			Proposed grading and contours;
X			Existing structures with distances from property line;
X			Proposed site layout and dimensions for all proposed structures (including piers, docks or wharves in Shoreland Zone), paved areas, and pedestrian and vehicle access ways;
NA			Preliminary design of proposed stormwater management system in accordance with Section 5 of the Technical Manual (note that Portland has a separate applicability section);
X			Preliminary infrastructure improvements;
X			Preliminary Landscape Plan in accordance with Section 4 of the Technical Manual;

## Site Plan Standards for Review of Level I: Site Alteration

Level I: Site alteration plans shall only be subject to the following site plan standards, as applicable, as contained in section 14-526:

- (a) Transportation standards:
  - 1. Impact on surrounding street systems,
  - 2. Access and circulation, and
  - 4. Parking
- (b) Environmental quality standards
  - 1. Preservation of significant natural features,
  - 2. Landscaping and landscape preservation, and
  - 3. Water quality, stormwater management and erosion control.
- (c) Public infrastructure and community safety standards.
  - 1. Consistency with city master plans.
- (d) Site design standards
  - 5. Historic resources,
  - 6. Exterior lighting,
  - 8. Signage and wayfinding, and
  - 9. Zoning related design standards.

Except as provided in article III, or to conditions imposed under section 14-526(e) only, or to those submission requirements set forth in section 14-527 as relate solely thereto.



### PORTLAND FIRE DEPARTMENT SITE REVIEW FIRE DEPARTMENT CHECKLIST



A separate drawing[s] shall be provided to the Portland Fire Department for all site plan reviews.

- 1. Name, address, telephone number of applicant.
- 2. Name address, telephone number of architect
- 3. Proposed uses of any structures [NFPA and IBC classification]
- 4. Square footage of all structures [total and per story]
- 5. Elevation of all structures
- 6. Proposed fire protection of all structures
  - **As of September 16, 2010 all new construction of one and two family homes are required to be sprinkled in compliance with NFPA 13D. This is required by City Code. (NFPA 101 2009 ed.)**
- 7. Hydrant locations

**ATTACHMENT 2**

**LETTER OF AGENT AUTHORIZATION**



UNIVERSITY OF  
NEW ENGLAND

**Biddeford Campus**  
11 Hills Beach Road  
Biddeford, ME 04005  
(207) 283-0171 T

**Portland Campus**  
716 Stevens Avenue  
Portland, ME 04103  
(207) 797-7261 T

February 27, 2015

Mr. Tom Saucier  
SYTDesign Consultants  
P.O. Box 86A  
160 Longwoods Road  
Cumberland, ME 04021

TO WHOM IT MAY CONCERN:

This letter authorizes Tom Saucier to serve as an agent for University of New England for the purpose of permitting the renovations to Alumni Hall on the University of New England's Portland campus.

Sincerely,

A handwritten signature in cursive script that reads 'Alan Thibeault'. The signature is written in black ink and is positioned above the printed name and title.

Alan Thibeault  
Director of Campus Planning



**ATTACHMENT 3**  
**PROJECT DESCRIPTION**

## **Project Description**

The project consists of the historic renovation of Alumni Hall, and the reconstruction of the existing connector building, shown as the Annex. Alumni Hall is a 1834 painted brick building with wood trim and wood cupola that will be restored to the 1890 period, which will include returning the building to a lighter color.

The existing Annex is a one story structure with a crawl space that is not structurally stable. The replacement building will be similar in massing and materials. However, instead of a crawl space under the Annex, a habitable space will be created.

The project is located at the westerly end of the green on the campus, southerly of College Street. The restored Alumni Hall and Annex will become a central hub and celebratory home for the Portland campus and its students, with a number of small, mid-level and spacious rooms to host academic events, lectures and receptions, inter-professional education activities, and alumni gatherings. The lower level will be reserved for student study and lounge areas. On the second level a suite of offices will be constructed to support some of UNE's executive staff.

Site work associated with the project will include construction of a ramp in the existing green area within the courtyard to provide an accessible route to the building entrances, as noted on the site plan. The ramp will replace an existing stairway. The courtyard will be regraded to accommodate the new ramp grades. The southerly entrance will be reconstructed as shown on the site plan.

**ATTACHMENT 4**

**DEED**

Abstract of Title to the following described land:

A certain lot or parcel of land with the building thereon, situated number 374 Stevens Avenue in that part of said Portland formerly Deering, and being bounded and described as follows:

~~Beginning at a stone post standing on the westerly side of College~~  
Street, formerly Seminary Street, one hundred and fifty-eight (158) feet more or less from the northwesterly corner of said College Street and Stevens Avenue, and running north, twenty-four and one-fourth ( $24 \frac{1}{4}$ ) degrees east, one hundred and forty-eight and one-half ( $148 \frac{1}{2}$ ) feet to land now or late of Captain Sargent; thence south, seventy (70) degrees east by said Sargent's land one hundred and forty-one and one half ( $141 \frac{1}{2}$ ) feet more or less to said Stevens Avenue; thence southerly by said Stevens Avenue seventy-four (74) feet to land now or late of Arabella W. Roberts; thence westerly by land now or late of said Roberts in a line parallel with said College Street one hundred (100) feet; thence southerly again by land now or late of said Roberts in a line parallel with said Stevens Avenue ninety (90) feet to said College Street; and thence westerly by said College Street to point of beginning; be any or all of said measurements more or less, or however otherwise bounded, measured or described.

Being the same premises conveyed by Lydia J. Snow to Thalia L. Clement, formerly Thalia L. Scamman, by warranty deed dated April 22, 1902, and recorded in Cumberland County Registry of Deeds, Book 716, Page 326.

bounded, measured or described.

Being the same premises conveyed by Lydia J. Snow to Thalia L. Clement, formerly Thalia L. Scamman, by warranty deed dated April 22, 1902, and recorded in Cumberland County Registry of Deeds, Book 716, Page 326.

Excepting that certain lot or parcel of land conveyed by the said Thalia L. Clement to Victor Brewster by warranty deed dated October 19, 1908, and recorded in Cumberland County Registry of Deeds, Book 831, Page 38.

RECORD OF DEEDS TO THE PORTLAND SAVINGS BANK

377-518.

(Elizur)

Eleazer B. Forbes to Joseph C. Snow;

Warranty; July 29, 1870;

Tract embracing lot described.

478-428.

Joseph C. Snow to Lydia J. Snow, wife;

Warranty; December 13, 1880;

Same tract as 377-518.

716-326.

Lydia J. Snow to Thalia L. Scamman;

Warranty, April 22, 1902.

721-20.

Thalia L. Scamman to Portland Savings Bank;

Mortgage; September 30, 1902; Discharged on margin

Mar. 2, 1905.

Thalia L. Clement to Portland Savings Bank, June 10, 1910.

Mortgage;

Discharged on margin September 22, 1914.

At the present time there are no encumbrances of record.

Dated at Portland, Maine, this fifth day of April,

A.D. 1919.

*Quibbee Quibbee*

# Quit-Claim Deed

CORPORATION — WITH COVENANT

FROM

ALL SOULS UNIVERSALIST CHURCH OF  
PORTLAND, MAINE  
(ALL SOULS CHURCH PARISH)

TO

WESTBROOK SEMINARY AND JUNIOR COLLEGE

Dated February 9, 1940

State of Maine.

Countersigned by \_\_\_\_\_  
Registrar of Deeds

Received FEB 9 1940

at 8 P. M., 36 M., and

recorded in Book 1599 Page 276

*Arrest*  
*Arrest*  
REGISTER

FROM THE OFFICE OF

Bradley, Linnell, Nulty & Brown  
192 Middle Street  
Portland, Maine

MARTIN'S, PORTLAND, MAINE — LAW OFFICE SUPPLIES AND EQUIPMENT  
MARTIN'S FORM NO. 9

71

160

5

2 46

To have and to hold the same, together with all the privileges and appurtenances thereunto belonging, to it, the said Westbrook Seminary and Junior College, its successors

~~Make~~ and Assigns forever.

And the said Grantor Corporation does warrant with the said Westbrook Seminary and Junior College, its successors

~~Make~~ and Assigns, that it will warrant and forever defend the premises to it, the said Grantee, its successors

~~Make~~ and Assigns forever, against the lawful claims and demands of all persons claiming by, through, or under it.

In Witness Whereof, the said All Souls Universalist Church of Portland, Maine (All Souls Church Parish)

has caused this instrument to be sealed with its ~~corporate~~ seal

and signed in its corporate name by *Herbert B. Seal, President of its Board of Trustees,*

thereunto duly authorized, this *9<sup>th</sup>* day of February in the year one thousand nine hundred and forty.

Signed, Sealed and Delivered in presence of

*E. P. Perkins*

ALL SOULS UNIVERSALIST CHURCH OF PORTLAND, MAINE (ALL SOULS CHURCH PARISH)

By *Herbert B. Seal* Its President of Board of Trustees.



~~CORPORATE SEAL~~



~~CORPORATE ONLY~~

State of Maine.

February 9, 1940.

CUMBERLAND,

Personally appeared the above named *Herbert B. Seal, President*  
*of the Board of Trustees* of said Grantor Corporation  
as aforesaid, and acknowledged the foregoing instrument to be his  
free act and deed in his said capacity, and the free act and deed of  
said corporation.



Before me,

*Elliot P. Perkins*

Justice of the Peace

*W. H. Brown - 10/1/40  
1000 Middle Street  
Portland, Maine 04101*

**Warranty Deed**

*Lot 4*

FROM

WALTER G. WHITMAN

TO

WESTBROOK SEMINARY AND JUNIOR COLLEGE

Dated \_\_\_\_\_, 1940

State of ~~Maine~~

County of Cumberland ss. Registry of Deeds

Received MAR 28 1940 MA

at 4 H., 55 M., P M., and

recorded in Book 1603 Page 98

*Walter G. Whitman*  
Register

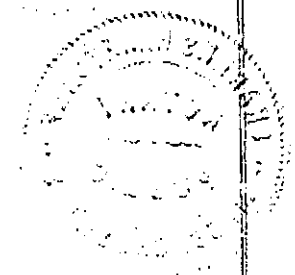
FROM THE OFFICE OF

Bradley, Linnell, Nulty & Brown  
192 Middle Street  
Portland, Maine

MARTIN'S PORTLAND, MAINE - OFFICE MOUNTING AND SPRING  
TYPENETS - ADDRESS MACHINES - FILING CABINETS - CASES - ETC

MARTIN'S FORM NO. 1 - STANDARD REGISTRY FORM

*4-55*



*Under*

### Know all Men by these Presents

That ALL SOULS UNIVERSALIST CHURCH OF PORTLAND, MAINE, a religious society duly organized under the laws of the State of Maine and located at Portland, in the County of Cumberland and State of Maine, formerly known as and called ALL SOULS CHURCH PARISH, a corporation organized and existing under the laws of the State

of ~~xxxxxxxxxxxx~~  
~~xxxxxxxxxxxx~~ ~~xxxxxxxxxxxx~~

in consideration of one dollar and other valuable consideration

paid by WESTBROOK SEMINARY AND JUNIOR COLLEGE, a corporation organized and existing under the laws of the State of Maine and located at said Portland,

the receipt whereof it does hereby acknowledge, does hereby remise, release, bargain, sell and convey, and forever quit-claim unto the said

Westbrook Seminary and Junior College, its successors

backs and assigns forever,

the following described premises situated in said Portland:

1. A certain lot or parcel of land situated in said Portland and bounded and described as follows: Beginning at an iron stake at the northwesterly corner of the lot of land conveyed by Ella Louise Fernald to Susie Whitman by deed dated May 11, 1908 and recorded in Cumberland County Registry of Deeds in Book 826, Page 72; thence by land conveyed to said Whitman as aforesaid and by land conveyed to said Whitman by Cordelia S. Pierce by deed dated August 3, 1892 and recorded in said Registry of Deeds, Book 595, Page 256, on a course of South sixty-four degrees forty-two minutes East (S. 64° 42' E.) two hundred thirty-three (233) feet to an iron stake; thence by other land of said Grantor on a course of North twenty-one degrees fifty-six minutes East (N. 21° 56' E.) sixty-eight and fifty-five hundredths (68.55) feet to the Southeasterly corner of the lot of land next hereinafter described and conveyed; thence by said lot of land next hereinafter described and conveyed on a course of North sixty-four degrees fifty-five minutes West (N. 64° 55' W.) two hundred twenty-one and three tenths (221.3) feet to other land of said Grantee; thence by land of said Grantee on a course of South thirty-one degrees forty-five minutes West (S. 31° 45' W.) sixty-eight and one tenth (68.1) feet to the point of beginning.

Said above described lot is subject to the life lease to Ella L. Perry as granted to her by All Souls Church Parish by lease dated October 17, 1924 and recorded in said Registry in Book 1204, Page 65.

2. A certain other lot or parcel of land in said Portland was devised and assigned to land which Cordelia S. Pierce devised to All Souls Universalist Church of Portland, Maine under the name of Society of All Souls Church by her last will and testament.

## Westbrook Seminary and Junior College, its successors

reserves and assigns forever,

the following described premises situated in said Portland:

1. A certain lot or parcel of land situated in said Portland and bounded and described as follows: Beginning at an iron stake at the northwesterly corner of the lot of land conveyed by Ella Louise Fernald to Susie Whitman by deed dated May 11, 1908 and recorded in Cumberland County Registry of Deeds in Book 826, Page 72; thence by land conveyed to said Whitman as aforesaid and by land conveyed to said Whitman by Cordelia S. Pierce by deed dated August 3, 1892 and recorded in said Registry of Deeds, Book 593, Page 236, on a course of South sixty-four degrees forty-two minutes East (S. 64° 42' E.) two hundred thirty-three (233) feet to an iron stake; thence by other land of said Grantor on a course of North twenty-one degrees fifty-six minutes East (N. 21° 56' E.) sixty-eight and fifty-five hundredths (68.55) feet to the Southeasterly corner of the lot of land next hereinafter described and conveyed; thence by said lot of land next hereinafter described and conveyed on a course of North sixty-four degrees fifty-five minutes West (N. 64° 55' W.) two hundred twenty-one and three tenths (221.3) feet to other land of said Grantee; thence by land of said Grantee on a course of South thirty-one degrees forty-five minutes West (S. 31° 45' W.) sixty-eight and one tenth (68.1) feet to the point of beginning.

Said above described lot is subject to the life lease to Ella L. Perry as granted to her by All Souls Church Parish by lease dated October 17, 1924 and recorded in said Registry in Book 1204, Page 85.

2. A certain other lot or parcel of land in said Portland and bounded and described as follows: Beginning at a stake on the northerly line of the lot of land which Cordelia S. Pierce devised to All Souls Universalist Church of Portland, Maine under the name of Society of All Souls Church by her last will and testament an abstract of which is recorded in Cumberland County Registry of Deeds in Book 757, Page 155, said stake being distant one hundred forty-five (145) feet westerly of the westerly line of Stevens Avenue as established by deed from Westbrook Seminary to the City of Portland dated May 29, 1917 and recorded in said Registry in Book 1086, Page 449; thence by other land of said Grantor on a course of South twenty-one degrees fifty-six minutes West (S. 21° 56' W.) sixty-eight and fifty-five hundredths (68.55) feet to the northerly corner of the lot of land next hereinafter described and conveyed; thence by said lot of land next hereinafter described and conveyed on a course of North sixty-four degrees fifty-five minutes West (N. 64° 55' W.) two hundred twenty-one and three tenths (221.3) feet to land of said Grantee; thence by land of said Grantee on a course of North thirty-one degrees forty-five minutes East (N. 31° 45' E.) sixty-eight and one tenth (68.1) feet to a stake; thence by land of said Grantee on a course of South sixty-five degrees eight minutes East (S. 65° 08' E.) two hundred nine and sixty-four hundredths (209.64) feet to the point of beginning.

Said aforementioned courses are magnetic and of the date of 1955.

Being a part of the property devised to All Souls Universalist Church of Portland, Maine under the name of Society of All Souls Church by the last will and testament of Cordelia S. Pierce, an abstract thereof being recorded in said Registry of Deeds in Book 757, Page 136.

1955. Said abstract is recorded in the Registry of Deeds in Book 757, Page 136.

On this and to hold the aforegranted and bargained premises with all the privileges and appurtenances thereof, to the said

Westbrook Seminary and Junior College, its successors ~~heirs~~ and assigns, to its and their use and behoof forever.

And I do covenant with the said Grantee, its <sup>successors</sup> ~~heirs~~ and assigns, that I am lawfully seized in fee of the premises, that they are free of all incumbrances; except as aforesaid;

that I have good right to sell and convey the same to the said Grantee to hold as aforesaid; and that I and my heirs shall and will warrant and defend the same to the said Grantee, its <sup>successors</sup> ~~heirs~~ and assigns forever, against the lawful claims and demands of all persons except as aforesaid.

In Witness Whereof, I, the said Walter G. Whitman,

and I, Grace E. Whitman,

wife of the said

Walter G. Whitman,

joining in this deed as Grantor, and relinquishing and conveying all right by descent and all other rights in the above described premises, have hereunto set our hands and seals this 26<sup>th</sup> day of March in the year of our Lord one thousand nine hundred and forty.

Signed, Sealed and Delivered in presence of

Sumner Wheeler

Walter S. Whitman

Grace B. Whitman



premises, have ~~not~~ *day of March*

in the year of our Lord one thousand nine

hundred and forty.

Signed, Sealed and Delivered  
in presence of

*Summer Wheeler*



*Walter G. Whitman*

*Grace B. Whitman*

COMMONWEALTH OF MASSACHUSETTS,  
~~Essex, ss.~~

Essex,

ss.

*March 26, 1940.*

Personally appeared the above named

Walter G. Whitman

and acknowledged

the foregoing instrument to be his

free act and deed.

Before me,

*Charles A. Metcalf*

Justice of the Peace  
Notary Public

*My commission expires Apr. 28, 1940*

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KNOW ALL MEN BY THESE PRESENTS, That the CITY OF PORTLAND, a body politic and corporate located in the County of Cumberland and State of Maine, in consideration of One Dollar (\$1.00) and other good and valuable considerations, paid by Westbrook College, a corporation organized and existing under the laws of the State of Maine and located at 716 Stevens Avenue in said Portland in said County and State, the receipt whereof it does hereby acknowledge, does hereby give, grant, bargain, sell and convey, unto the said Westbrook College, its successors and assigns forever, certain real estate located in said Portland, lying Westerly of College Street and Southerly of Bishop Street, bounded and described as follows:

Beginning at a point on the Northerly line of the land of Portland Railroad Company where the same intersects with land hereby conveyed and land formerly of George H. Smardon, commonly known as the Smardon Gravel Pit, formerly Read's Gravel Pit; thence from said point North  $19^{\circ} 30'$  East 28.68 rods; thence North  $60^{\circ}$  West Seven and thirty-two hundredths (7.32) rods to a point; thence South  $74^{\circ} 45'$  West Thirty-six and sixty-four hundredths (36.64) rods to a point; thence North  $5^{\circ}$  West Two and fifty-six hundredths (2.56) rods; thence North  $30^{\circ}$  West Twenty-four and four tenths (24.4) rods; thence South  $65^{\circ}$  West Forty-seven and twelve hundredths (47.12) rods to center of ditch; thence up the center of said ditch towards what is known as pasture Two Hundred Ninety-eight (298) feet; thence in a straight line to a point in line of Evergreen Cemetery indicated by a spruce stump, said stump being at the intersection between land of said Cemetery and land conveyed by Luther B. Roberts to the said City of Portland; thence from said stump North  $80^{\circ} 21'$  East Three Hundred Seventy-one and two tenths (372.2) feet to an angle; thence from said angle North  $76^{\circ} 8'$  East, Five Hundred Ninety-six and twenty-two hundredths (596.22) feet to an angle; thence from said last named angle at a right angle South  $12^{\circ} 52'$  East Seventy-five (75) feet to land of said Portland Railroad Company; thence about North  $76^{\circ} 8'$  East by said Portland Railroad Company's land to the point of beginning.

Also a certain other parcel of land, abutting the above described premises and bounded and described as follows: Beginning at the center of the ditch



Two Hundred Ninety-eight (298) feet; thence in a straight line to a point in line of Evergreen Cemetery indicated by a spruce stump; said stump being at the intersection between land of said Cemetery and land conveyed by Luther B. Roberts to the said City of Portland; thence from said stump North  $80^{\circ} 21'$  East Three Hundred Seventy-one and two tenths (372.2) feet to an angle; thence from said angle North  $76^{\circ} 8'$  East, Five Hundred Ninety-six and twenty-two hundredths (596.22) feet to an angle; thence from said last named angle at a right angle South  $12^{\circ} 52'$  East Seventy-five (75) feet to land of said Portland Railroad Company; thence about North  $76^{\circ} 8'$  East by said Portland Railroad Company's land to the point of beginning.

Also a certain other parcel of land, abutting the above described premises and bounded and described as follows: Beginning at the center of the ditch between the hereinabove described premises and the land hereby conveyed and in line of land now or formerly owned by Adam Wilson and running Southerly by land of said Wilson to the Westerly corner of land of Evergreen Cemetery; thence South Twenty-four ( $24^{\circ}$ ) degrees East by land of said Cemetery One hundred and seventy-five (175) feet to a point; thence by land formerly of Dennis F. Gulliver, and being the premises hereinabove described, in a straight line to a point in the center of said ditch; said point being Two Hundred Ninety-eight (298) feet from the point of beginning; thence down the center of said ditch to the point of beginning.

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Excepting and reserving from the above described premises that portion thereof conveyed by the Grantor to Central Maine Power Company by deed dated February 26, 1967, recorded in said Registry of Deeds in Book 2989, Page 13.

This conveyance is made subject to the right-of-way or easement granted by the Grantor to Central Maine Power Company by deed dated December 13, 1951, recorded in said Registry of Deeds in Book 2055, Page 463.

Reserving to the Grantor, its successors and assigns, the right perpetually to enter at any and all times upon a strip of land fifty (50) feet in width lying equally on either side of the storm drain and upon a strip of land fifty (50) feet in width lying equally on either side of the brook presently located on the premises herein conveyed and the right perpetually to maintain, repair, rebuild, relocate, or remove said storm drain and brook with all necessary fixtures and appurtenances within said strips of land, granting to the Grantee, its successors and assigns, the use and enjoyment of said strips of land for such purposes only as will in no way interfere with the perpetual use thereof by the Grantor, its successors and assigns, for the purposes above mentioned, except that no buildings or structures may be erected within said strips of land. Also reserving to the Grantor, its successors and assigns, the right perpetually to enter at any and all times upon the premises herein conveyed for the purpose of access and egress by itself, its servants and/or agents to and from said strips of land.

Being the same premises conveyed to the Grantor by deed of James Gulliver, Administrator, d.b.n.c.t.a., of the Estate of Stephen Gulliver by deed dated August 23, 1935, recorded in said Registry of Deeds in Book 1476, Page 441.

Also a certain lot of land lying in the rear of College Street, in the City of Portland, bounded and described as follows, to wit:

Beginning at a point on the Northerly side line of College Street and at the Westerly corner of land belonging to Francis L. Stone; thence North 25° 22' east by land of said Stone eighty-seven and nineteen one hundredths (87.19) feet to land of the Portland Railroad Company; thence North 62° 26' west by land of said Portland Railroad Company four hundred and thirty-one and ninety three one hundredths (431.93) feet

Seventy-one and two tenths (372.2) feet to an angle; thence from said angle North  $76^{\circ} 8'$  East, Five Hundred Ninety-six and twenty-two hundredths (596.22) feet to an angle; thence from said last named angle at a right angle South  $12^{\circ} 52'$  East Seventy-five (75) feet to land of said Portland Railroad Company; thence about North  $76^{\circ} 8'$  East by said Portland Railroad Company's land to the point of beginning.

Also a certain other parcel of land, abutting the above described premises and bounded and described as follows: Beginning at the center of the ditch between the hereinabove described premises and the land hereby conveyed and in line of land now or formerly owned by Adam Wilson and running Southerly by land of said Wilson to the Westerly corner of land of Evergreen Cemetery; thence South Twenty-four ( $24^{\circ}$ ) degrees East by land of said Cemetery One hundred and seventy-five (175) feet to a point; thence by land formerly of Dennis F. Gulliver, and being the premises hereinabove described, in a straight line to a point in the center of said ditch; said point being Two Hundred Ninety-eight (298) feet from the point of beginning; thence down the center of said ditch to the point of beginning.

**ATTACHMENT 5**

**ZONING COMPLIANCE AND APPLICABLE DESIGN STANDARDS**

## **Zoning Compliance and Applicable Design Standards**

The project consists of the historic renovation of Alumni Hall, and the reconstruction of the existing connector building, shown as the Annex. Alumni Hall is a 1834 painted brick building with wood trim and wood cupola that will be restored to the 1890 period, which will include returning the building to a lighter color.

The existing Annex is a one story structure with a crawl space that is not structurally stable. The replacement building will be similar in massing and materials. However, instead of a crawl space under the Annex, a habitable space will be created.

The project is located at the westerly end of the green on the campus, southerly of College Street. The restored Alumni Hall and Annex will become a central hub and celebratory home for the Portland campus and its students, with a number of small, mid-level and spacious rooms to host academic events, lectures and receptions, inter-professional education activities, and alumni gatherings. The lower level will be reserved for student study and lounge areas. On the second level a suite of offices will be constructed to support some of UNE's executive staff.

Site work associated with the project will include construction of a ramp in the existing green area within the courtyard to provide an accessible route to the building entrances, as noted on the site plan. The ramp will replace an existing stairway. The courtyard will be regraded to accommodate the new ramp grades. The southerly entrance will be reconstructed as shown on the site plan.

Section 14-526 of the Land Use Ordinance outlines the standards for Site Plan Approval. The following discussion outlines how this project will comply with the site plan standards.

### **14-526. (a) Transportation**

1. *Impact on Surrounding Street Systems:* There will be no discernible increase in peak hour trip generation associated with the renovations. Vehicular and pedestrian traffic patterns will remain unchanged.
2. *Access and Circulation:* There are no known safety concerns with the existing site access. Site access will remain essentially unchanged. The existing sidewalk easterly of the courtyard, located on UNE's property, will be reconstructed to accommodate the new ramp grades.
4. *Parking:* UNE has previously demonstrated that the existing parking on campus is adequate. There will be no reduction in parking associated with the project.

### **14-526. (b) Environmental Quality Standards**

1. *Preservation of Significant Natural Features:* There are no significant natural features, as defined in the ordinance, located within the project area.

2. *Landscaping and Landscape Preservation:* The courtyard will be landscaped in general conformance with the conceptual landscape plan provided.
3. *Water Quality, Stormwater Management, and Erosion Control:* The increase in impervious area associated with the project, 670 sf., is minimal. There will be no increase in the rate of stormwater runoff from the site. The increased impervious area consists of roof and walk areas. The runoff from these areas is generally tributary to an existing dry well system. There will be no change to the general characteristics of the stormwater runoff quantity or quality due to the development as proposed.

**14-526. (c) Public Infrastructure and Community Safety Standards**

1. *Consistency with City Master Plans:* We are unaware of any city master plans which would impact the nature of the development as proposed.

**14-526. (d) Site Design Standards**

5. *Historic Resources:* This project is located within the City of Portland's Westbrook College Historic District. The building and site designs were reviewed by the city Historic Preservation Committee, and approval was granted on March 18, 2015.
6. *Exterior Lighting:* The exterior lighting for the facility will consist of residential scale fixtures located at the doorways, lighting mounted within the brick wall along the courtyard, and the existing bollard lights in the courtyard area, which will be maintained. The proposed lighting was reviewed and approved by the Historic Preservation Committee.
8. *Signage and Wayfinding:* There is no new freestanding signage associated with the project.
9. *Zoning Related Design Standards:* Not Applicable.

## **PROJECT DRAWINGS**

NEW CLASSICS

Exterior Lighting

Interior Lighting

Alabaster Lighting

Design Styles

Recent Additions

Home > Exterior Lighting > London Lantern > London Scrolled Drop Exterior Wall Light >

London™ Lantern 7" Wide Scrolled Drop Exterior Wall Light



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Light Fixtures Made for You  
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Our London Lantern's character was inspired by the stately glass-enclosed conservatories designed for elegant homes and country estates by 19th century British architects.

**Starting Price \$860.00**

**Availability:** Usually Ships in 2 to 3 Weeks

*Product Code: EX-5707-A37*

Choose Your Options:

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- Art Select
- Glass\*: View Glass Panel Options
- Finial Select
- Options\*: View Finial Options
- Socket Select
- Type\*: Select
- Notes:
- Tag:

Qty: **Add To Cart**

**London™ Lantern 7" Wide Scrolled Drop Exterior Wall Light**

- Dimensions as shown:
  - 7" roof width
  - 10 1/2" lantern height
  - 14 1/2" overall length
  - 11" projection
  - 5" w x 7 1/4" h mounting plate
- Socket Types:
  - Medium screw in base accepts:
    - 1/150 watt max. incandescent
    - or 1/42 watt max. self-ballasted compact fluorescent (CFL)
    - or self-driven LED
  - Candelabra base cluster accepts:
    - 2/60 watt max. incandescent
    - or 2/13 watt max. self-ballasted compact fluorescent
    - or 2 self-driven candelabra base LED's
  - GU24 base accepts:
    - 1/42 watt max. self-ballasted bi-pin fluorescents
- Handmade in U.S.A
- UL listed for exterior use

[Click to view all sizes and mounting options on the London Lantern Family.](#)



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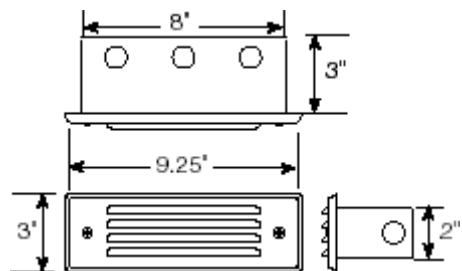


## Focus Industries - Aluminum Low Voltage Step/Deck/Brick Light Available w/ LED Lamp

Manufacturer: [Focus Industries](#)  
Item Number: RLLD2125FOC

### Outdoor Low Voltage Landscape Lighting Louvered Brick step/deck lighting specifications:

- FACE PLATE: Heavy duty stamped aluminum
- BACK BOX: Heavy duty stamped galvanized steel powder coated high reflective white
- LENS (-AL & -1L MODELS ONLY): High impact white acrylic
- GASKET: Black neosponge closed cell; .190" thickness
- LAMP SUPPLIED: 2 x 18 watt S-8 #1141; 1200 hours average rating (25w max.)
- LAMP OPTIONS: We recommend 10,000 hours average rating Xenon (-X) or Halogen (-H) or 2.2w 50,000 hours average rating OMNI-2 LED
- LED lamp option: SC Base LED, 2700K, 50,000 hour average rated Operating range of 9v - 18v (OPTIMUM 10v-15v)
- SOCKET: Single contact bayonet, brass nickel plated lamp socket screw shell (Ba15s) with 200° C silicone lead wires
- WIRING: Black 3 foot 18/2 zip cord (12v. only)
- CONNECTION: FA-05 Quick Connector (not supplied) from fixture to main cable (12/2, 10/2 or 8/2 only)
- FINISH: Aluminum - Black texture polyester powder coat; optional finishes available



**Read what other customers had to say about this product:**

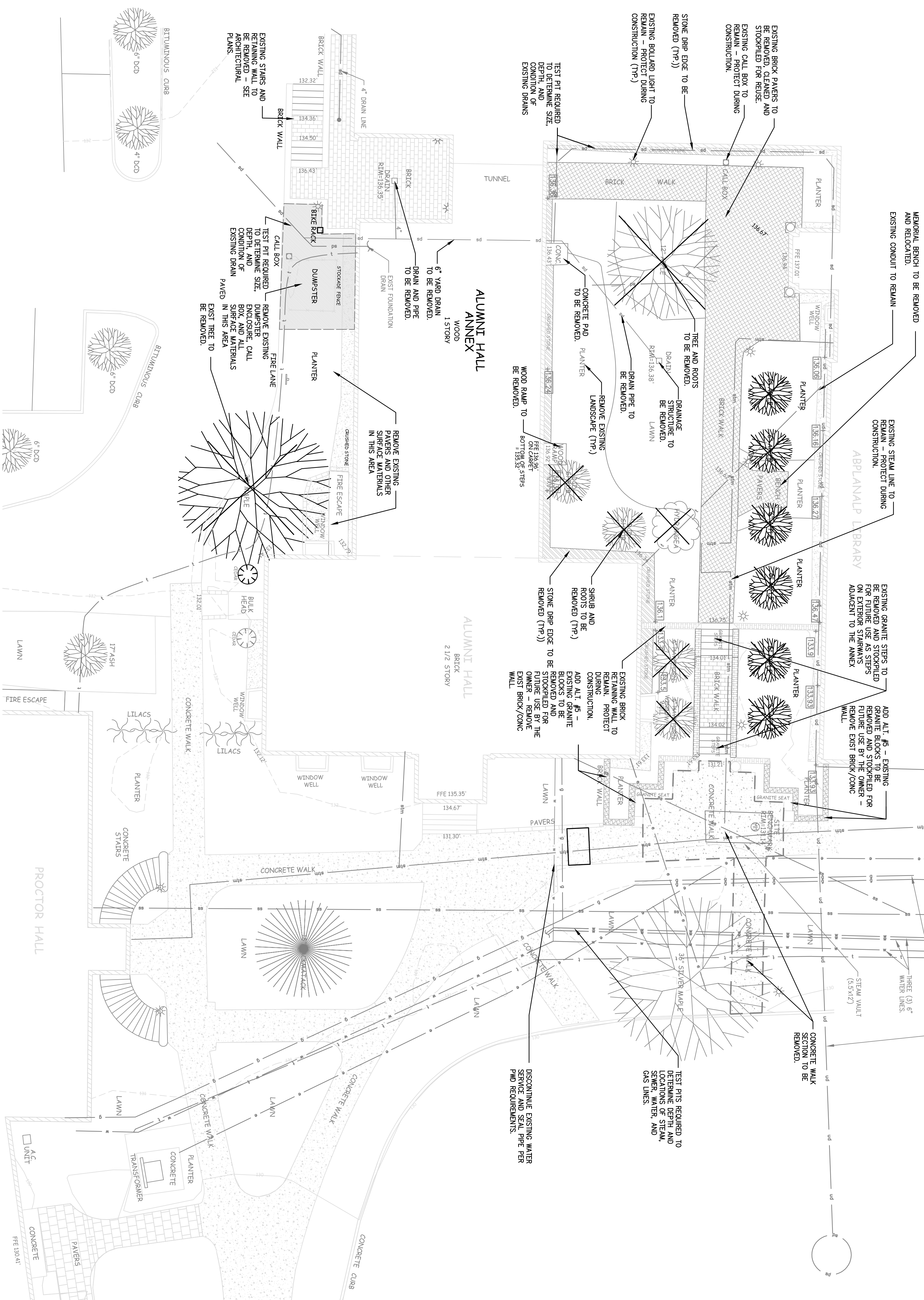
- See more at: [http://www.residential-landscape-lighting-design.com/store/high\\_voltage\\_aluminum\\_recessed\\_step\\_lights\\_RLLD2125FOC.htm#sthash.fgGAbmFj.dpuf](http://www.residential-landscape-lighting-design.com/store/high_voltage_aluminum_recessed_step_lights_RLLD2125FOC.htm#sthash.fgGAbmFj.dpuf)

**SURVEY NOTES**

1. THIS TOPOGRAHIC SURVEY WAS COMPLETED FOR PLANNED BUILDING IMPROVEMENTS TO ALUMNI HALL.
2. LANDSCAPE UTILITIES AT THE PROPERTY WERE NOT LOCATED AS A RESULT OF THIS PERMITS SURVEY AND ARE ONLY APPROXIMATE IN LOCATION. REFER TO ANY SITE MODIFICATIONS IT IS RECOMMENDED THAT SITE UTILITIES SHOULD BE CONVEYED AND THE PROJECT AREA MARKED IN THE FIELD BY THE APPROPRIATE UTILITY COMPANIES.
3. THE SURVEY COORDINATE SYSTEM (NAD-83) AND ELEVATIONS (NGVD-29) ARE BASED ON THE EXISTING PROJECT DATA BASE FOR UME. COMPLETED BY OTHERS AND PROVIDED FOR OUR USE.
4. THE SITE BENCHMARK USED WAS IDENTIFIED ON THE EXISTING BASE MAP AND RECORDED AS ELEVATION 127.87' (NGVD-29) BOLT ON TOP PLANE OF THE HYDRANT LOCATED ON THE SOUTHERLY SIDE OF STEVENS AVENUE AT THE INTERSECTION WITH COLLEGE AVENUE. PROJECT TEMPORARY BENCHMARK (TBM) IS TOP CENTER OF SEWER MANHOLE BEM LOCATED IN THE CONCRETE SIDEWALK IN FRONT OF THE FORMER MANTHOR BORN KNOW LIBRARY ELEVATION 121.14'.



PER BASE MAP PROVIDED



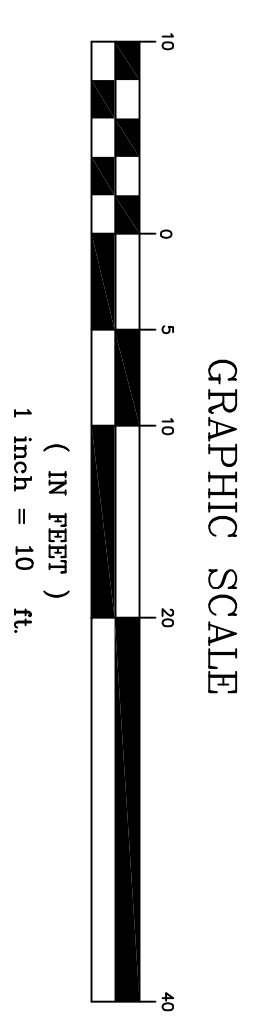
**EXISTING CONDITIONS AND DEMOLITION NOTES:**

1. TOPOGRAHIC SURVEY AND EXISTING CONDITIONS INFORMATION WAS PROVIDED BY STATE WIDE SURVEYS, INC. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF THE LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.
2. THE CONTRACTOR SHALL NOTIFY DISSEASE PRIOR TO ANY DEMOLITION AND CONSTRUCTION ACTIVITIES.
3. THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND NOT GUARANTEED BY THE OWNER OR THE ENGINEER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UTILITIES, ANTICIPATE CONFLICTS, AND REPAIR EXISTING UTILITIES AS REQUIRED TO COMPLETE THE WORK.
4. ANY STRUCTURES PROPERLY DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED OR REPLACED TO MATCH ITS ORIGINAL EXISTING CONDITIONS BY THE CONTRACTOR AT NO CHARGE TO THE OWNER OR ENGINEER.
5. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING STRUCTURES, UTILITIES, LANDSCAPE AND PAVEMENT ON THE SITE WITHIN THE AREAS DESIGNATED FOR DEMOLITION UNLESS SPECIFICALLY IDENTIFIED TO REMAIN. TREES TO BE REMOVED INCLUDE: ALL TREES WITHIN THE DEMOLITION FOOTPRINT, CONCRETE PADS, MASONRY REMAINING WALLS, DRINK PIPES, GRANITE STEPS, YARD DRAIN AND LANDSCAPING.
6. ALL MATERIALS DESIGNATED FOR REMOVAL/DEMOLITION SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL DISPOSE OF ALL MATERIALS OFF-SITE IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS, ORDINANCES AND CODES.
7. PAVEMENT REMOVAL LIMITS ARE SHOWN FOR THE CONTRACTOR'S CONVENIENCE ONLY. ADDITIONAL PAVEMENT REMOVAL MAY BE REQUIRED DEPENDING ON THE CONTRACTOR'S OPERATION. CONTRACTOR SHALL VERIFY FULL LIMITS OF PAVEMENT PRIOR TO BIDDING.
8. THE CONTRACTOR SHALL COORDINATE THE REMOVAL, RELOCATION AND DISPOSAL OR SALVAGE OF UTILITIES WITH THE OWNER AND THE APPROPRIATE UTILITY COMPANY.
9. TREES TO REMAIN WITHIN THE LIMITS OF WORK SHALL BE TAGGED PRIOR TO CONSTRUCTION BY THE LANDSCAPE ARCHITECT AND PROTECTED BY THE CONTRACTOR. TREES TO REMAIN WHICH ARE DAMAGED DURING CONSTRUCTION SHALL BE REMOVED BY THE CONTRACTOR AND REPLACED BY A TREE OF EQUAL SIZE AND SPECIES OR DOLLAR VALUE.
10. ALL MATERIALS DESIGNATED FOR STOCKPIPING OR RELOCATION SHALL BE CLEANED, STOCKPILED AND PROTECTED IN AN AREA APPROVED BY THE ARCHITECT UNTIL RELOCATION TAKES PLACE.
11. SPREDED IMAGES REPRESENT EXISTING CONDITIONS.

**GENERAL PROJECT NOTES:**

1. BEFORE THE START OF ANY EXCAVATION FOR THE PROJECT BOTH ON-SITE AND OFF-SITE, THE CONTRACTOR SHALL NOTIFY DISSEASE AND BE PROVIDED WITH A DISSEASE NUMBER INDICATING THAT ALL EXISTING UTILITIES HAVE BEEN LOCATED AND CLEARLY MARKED.
2. CONTRACTOR SHALL THOROUGHLY FAMILIARIZE THEMSELVES WITH ALL DRAWINGS AND SITE CONDITIONS PRIOR TO BIDDING AND PRIOR TO CONSTRUCTION.
3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH AND COMPLY WITH THE CONDITIONS OF ALL REGULATIONS, PERMITS AND APPROVALS AND CONDUCT THE WORK IN ACCORDANCE WITH THESE PERMITS AND APPROVALS. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL ADDITIONAL PERMITS, STREET CLOSINGS, NOTICES AND FEES NECESSARY TO COMPLETE THE WORK.
4. ANY DISCREPANCIES BETWEEN DRAWINGS AND SITE CONDITIONS AS WELL AS MANUFACTURER'S RECOMMENDATIONS SHALL BE REPORTED IMMEDIATELY TO THE OWNER'S REPRESENTATIVE FOR CLARIFICATION AND RESOLUTION PRIOR TO BIDDING OR CONSTRUCTION.
5. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL MEANS, METHODS AND TECHNIQUES EMPLOYED TO PERFORM WORK SHOWN ON THESE PLANS.
6. THE CONTRACTOR SHALL LIMIT THE CONSTRUCTION ACTIVITY TO THE LIMITS SHOWN ON THE PLANS, UNLESS OTHERWISE AUTHORIZED BY THE OWNER'S REPRESENTATIVE.

**LEGEND**



<p><b>THIS PLAN SHALL NOT BE ADORATED WITHOUT WRITTEN PERMISSION FROM SITE DESIGN ASSOCIATES, ANY ALTERATIONS, OTHERWIS, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SITE DESIGN ASSOCIATES.</b></p>			
REV	DATE	BY	STATUS
A	2/27/15	CHD/APPD	ISSUED FOR DESIGN DEVELOPMENT
B	3/10/15	TMS	ISSUED FOR HP REVIEW
C	03/20/15	TMS	STRUCTURAL EARLY RELEASE BID DRAWINGS
D	03/20/15	TMS	ISSUED FOR CITY LEVEL 1 REVIEW
<p>PROJECT: <b>ALUMNI HALL RENOVATION</b> UNIVERSITY OF NEW ENGLAND, PORTLAND, MAINE</p>			
<p>DESIGN: TMS DRAWN: DEPT. CHKD: TMS</p>			
<p>DATE: JAN 2015 SCALE: 1"=10'</p>			
<p>PROJ. NO. <b>EXISTING CONDITIONS AND DEMOLITION PLAN</b></p>			
<p>CLIENT: <b>Port City Architecture</b> 23 Wilbur Way, Topsham, Maine 04086 65 NEWBURY STREET, PORTLAND, MAINE 04101 Tel: (207) 449-4275</p>			
<p>Site Design Associates Consulting Engineering &amp; Land Planning</p>			
<p>STATE OF MAINE Professional Seal of TMS TMS Professional Engineer No. 15473</p>			
<p>PROJ. NO. <b>C-100</b></p>			

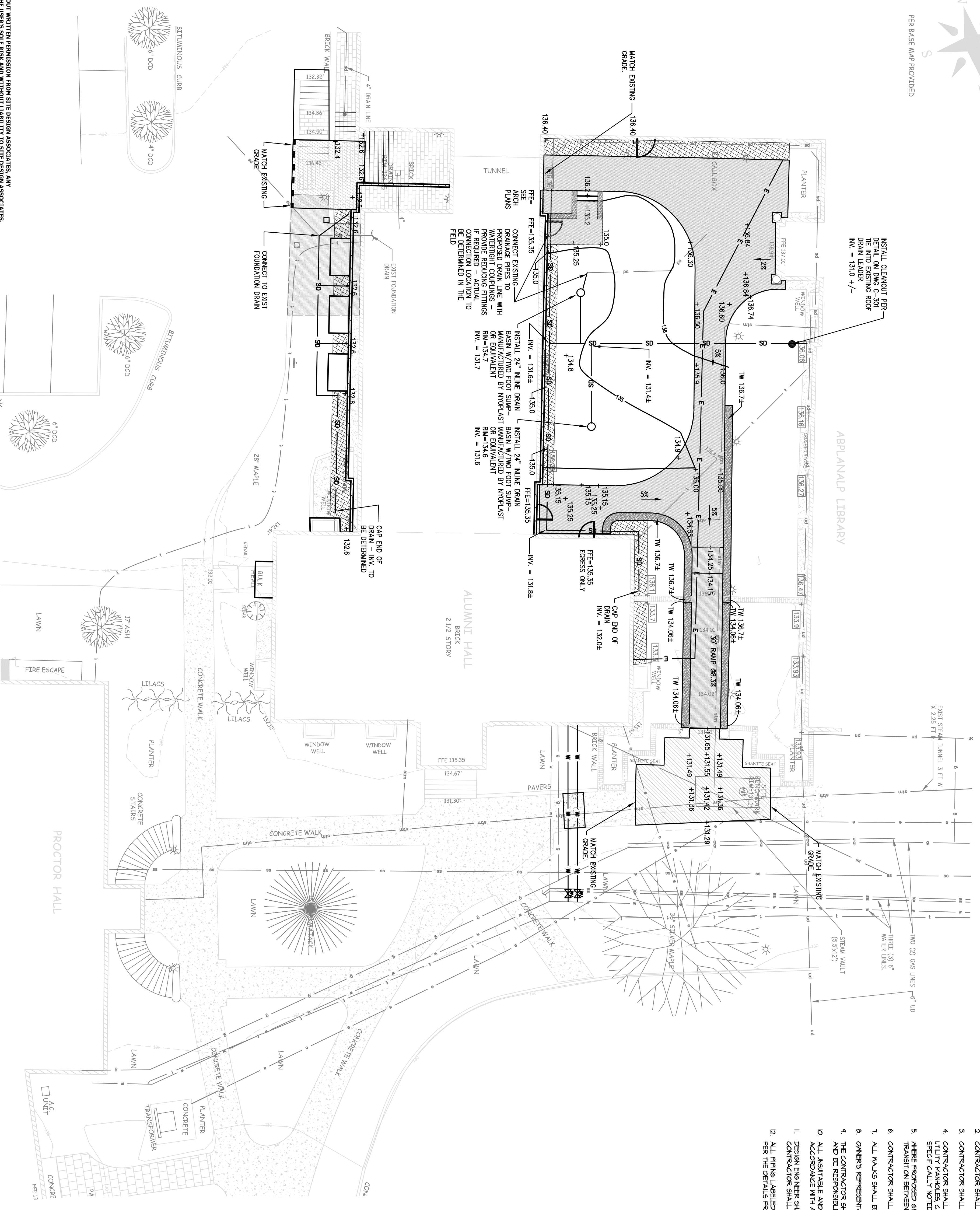






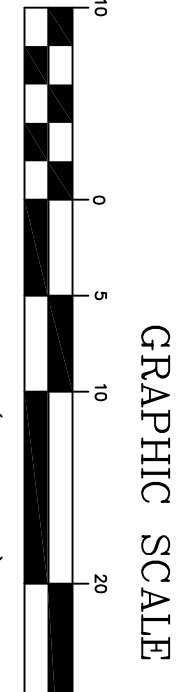
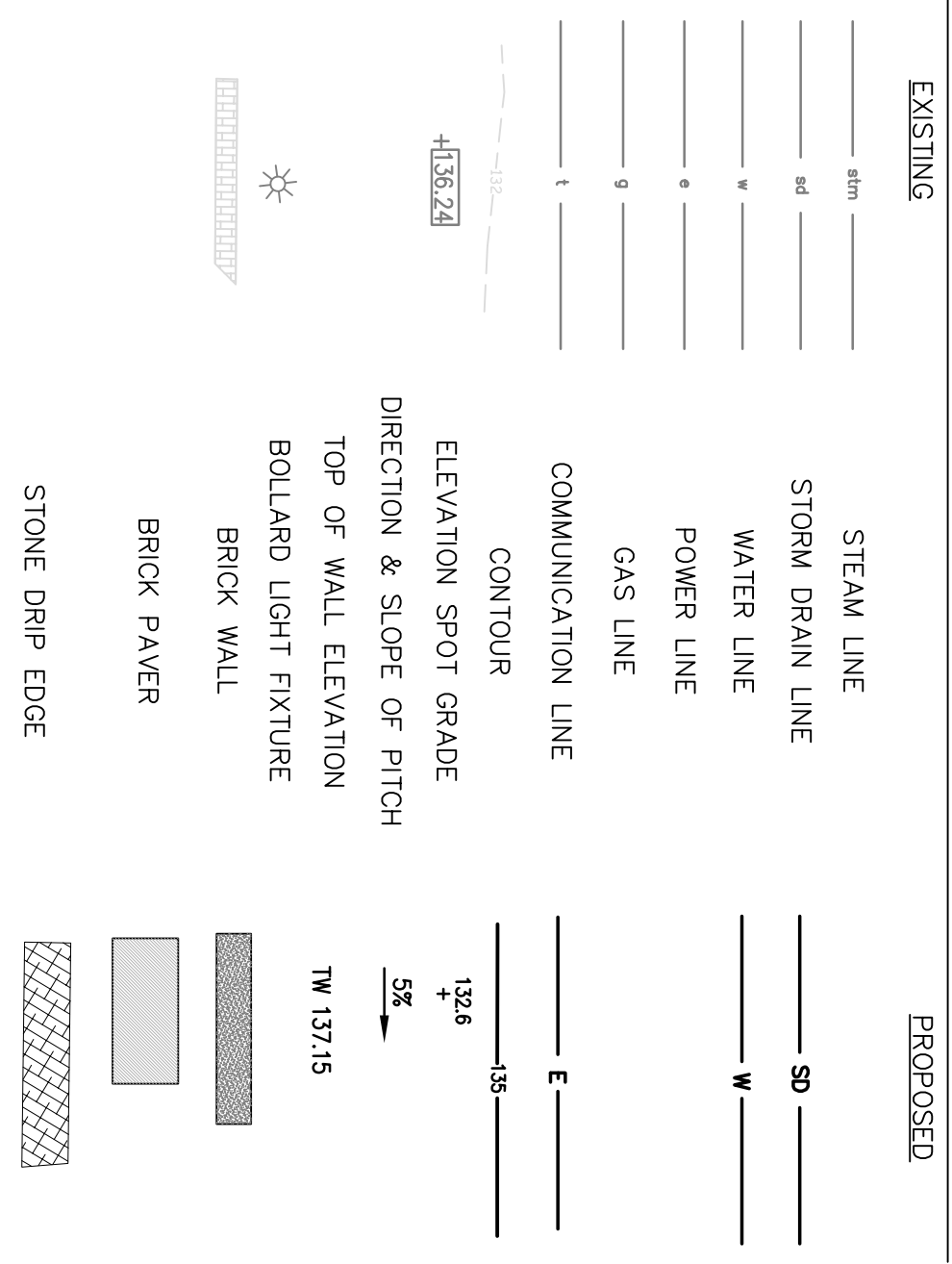


PER BASE MAP PROVIDED



- GRADING, DRAINAGE & EROSION CONTROL NOTES:**
1. PRIOR TO THE START OF ANY EXCAVATION FOR THE PROJECT BOTH ON AND OFF THE SITE THE CONTRACTOR SHALL NOTIFY THE OWNER AND BE PROVIDED WITH A DISSEMINATION NUMBER INDICATING THAT ALL EXISTING UTILITIES HAVE BEEN LOCATED AND MARKED.
  2. CONTRACTOR SHALL VERIFY EXISTING GRADES AND NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES.
  3. CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES AND PLANTING BEDS.
  4. CONTRACTOR SHALL ADJUST EXISTING AND PROPOSED UTILITY ELEMENT HEIGHTS TO BE FLUSH WITH GRADE (CLEAN-OUTS, UTILITY MANHOLES, CATCH BASIN INLETS ETC) THAT ARE AFFECTED BY SITE WORK OR GRADE CHANGES, WHETHER SPECIFICALLY NOTED ON PLANS OR NOT.
  5. WHERE PROPOSED GRADES MEET EXISTING GRADES CONTRACTOR SHALL BLEND GRADES TO PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING AND NEW WORK. FOUNDATIONS AT TRANSITION AREAS WILL NOT BE ALLOWED.
  6. CONTRACTOR SHALL PROVIDE A FINISHED WALK SURFACE FREE OF LON SPOTS AND POINING AREAS.
  7. ALL WALLS SHALL BE PITCHED TO DRAIN (2% MAX).
  8. OWNER'S REPRESENTATIVE SHALL APPROVE LAYOUT OF ALL DRAINAGE STRUCTURES PRIOR TO INSTALLATION.
  9. THE CONTRACTOR SHALL INSTALL CATCH BASIN INLET PROTECTION AT ALL CATCH BASIN INLETS WITHIN THE DISTURBED AREA AND BE RESPONSIBLE FOR TAKING ALL NECESSARY EROSION CONTROL MEASURES.
  10. ALL UNSUITABLE AND UNSEED MATERIALS SHALL BE REMOVED AND DISPOSED OF OFF SITE BY THE CONTRACTOR IN ACCORDANCE WITH ALL STATE AND LOCAL LAWS.
  11. DESIGN ENGINEER SHALL INSPECT SOIL GRADING PRIOR TO WALK INSTALLATION AND GENERAL SPREADING OPERATIONS. CONTRACTOR SHALL COORDINATE INSPECTION PROVISIONS DESIGN ENGINEER 12 HOURS NOTICE.
  12. ALL PIPING LABELED AS 50 (STORM DRAIN) SHALL BE 6 INCH DIAMETER SDR-35 PVC PERFORATED WITH HOLES UP INSTALLED PER THE DETAILS PROVIDED ON DWG C-301.

**LEGEND**



THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SITE DESIGN ASSOCIATES, ANY ALTERATIONS, OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SITE DESIGN ASSOCIATES.

REV	DATE	BY	CHKD	APPD	REV	DATE	BY	CHKD	APPD
C	03/20/15	TWS	TWS						
B	03/20/15	TWS	TWS						
A	2/27/15	TWS	TWS						

ISSUED FOR CITY LEVEL 1 REVIEW	DEPT.	TWS	TWS
STRUCTURAL EARLY RELEASE BID DRAWINGS	DEPT.	TWS	TWS
ISSUED FOR DESIGN DEVELOPMENT	DEPT.	TWS	TWS
STATUS	BY	CHKD	APPD

STATUS	BY	CHKD	APPD
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**Site Design Associates**  
 Consulting Engineering & Land Planning  
 23 Wilbur Way  
 Topsham, Maine 04986  
 Tel: (207) 449-4275

**PORT CITY ARCHITECTURE**  
 65 NEWBURY STREET, PORTLAND, MAINE 04101

**ALUMNI HALL RENOVATION**  
 UNIVERSITY OF NEW ENGLAND, PORTLAND, MAINE

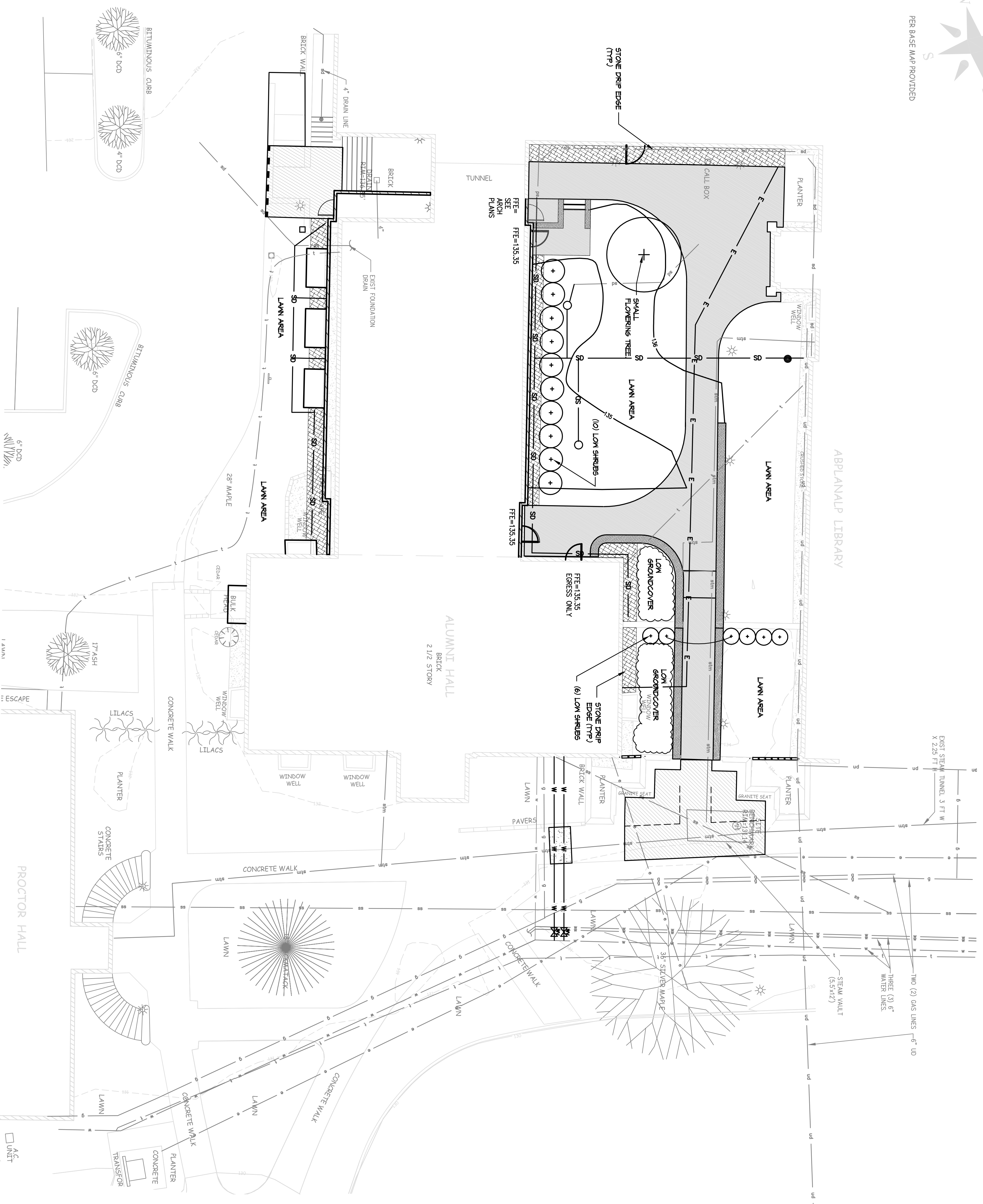
**GRADING, DRAINAGE AND EROSION CONTROL PLAN**

DESIGN:	TWS	PROJECT:	ALUMNI HALL RENOVATION
DRAWN:	TWS	UNIVERSITY OF NEW ENGLAND, PORTLAND, MAINE	
CHKD:	TWS		
DATE:	JAN 2015	PROJ. NO.:	
SCALE:	1"=10'	DWG. NO.:	C-102



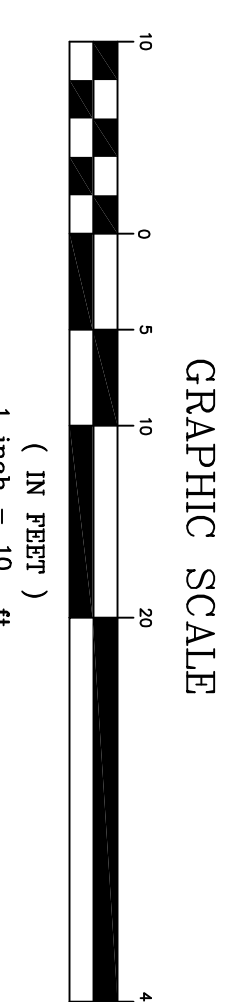
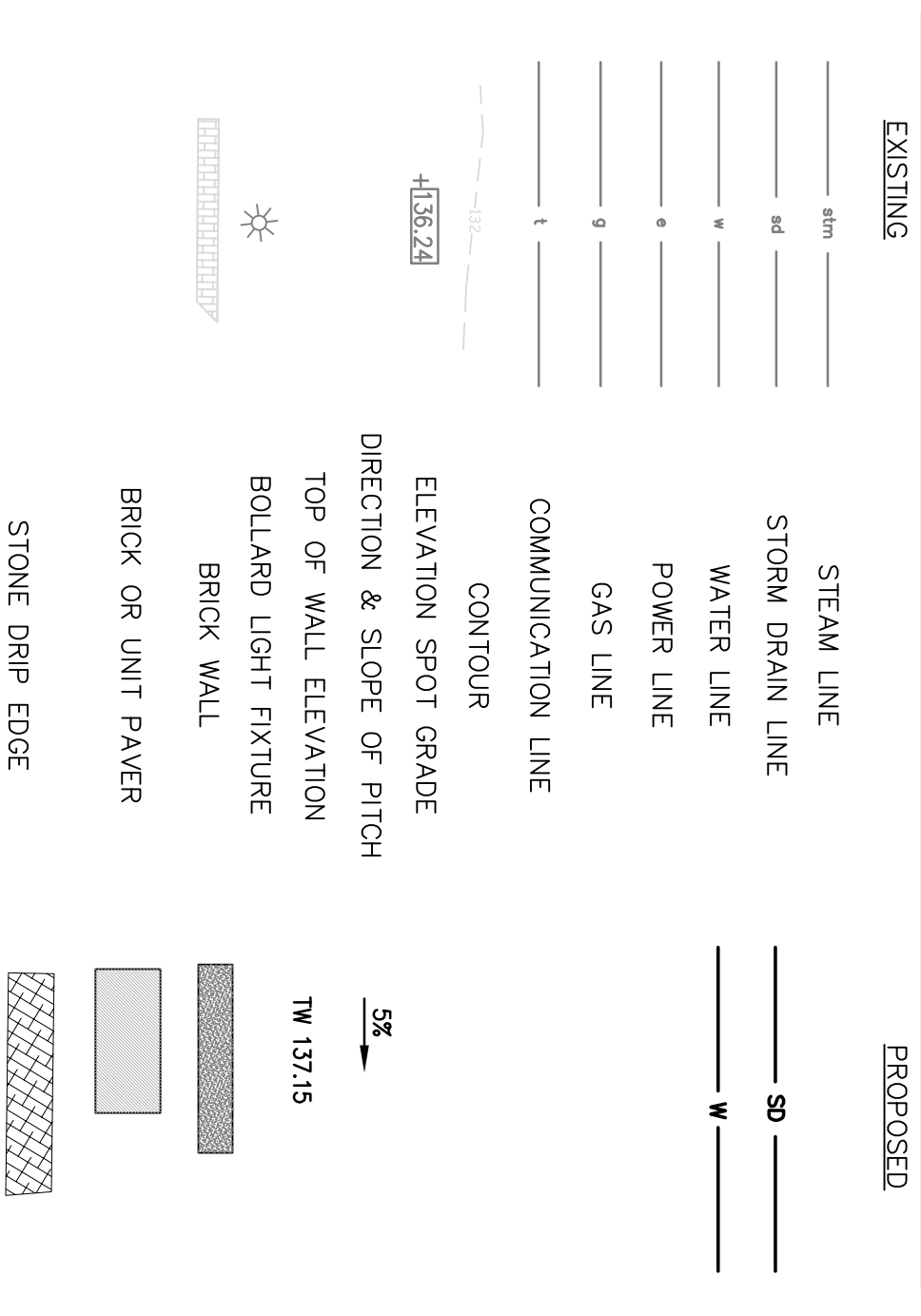


PER BASE MAP PROVIDED



- LANDSCAPE NOTES:**
1. PRIOR TO THE START OF ANY EXCAVATION FOR THE PROJECT BOTH ON AND OFF THE SITE, THE CONTRACTOR SHALL NOTIFY DISSAFE AND BE PROVIDED WITH A DIGSAFE NUMBER INDICATING THAT ALL EXISTING UTILITIES HAVE BEEN LOCATED AND MARKED.
  2. CONTRACTOR SHALL VERIFY ALL TREE REMOVALS WITH LANDSCAPE ARCHITECT PRIOR TO START OF CONSTRUCTION. ANY TREES MARKED TO REMAIN THAT ARE DAMAGED OR REMOVED DURING CONSTRUCTION SHALL BE REPLACED WITH TREES EQUALING THE SPECIES AND CALIPER LOST.
  3. LANDSCAPE CONTRACTOR IS ENCOURAGED TO PROVIDE THE LANDSCAPE ARCHITECT WITH CONCERNS AND/OR SUGGESTIONS WITH RESPECT TO PROPOSED PLANT MATERIAL SELECTION PRIOR TO PLACING A PURCHASE ORDER.
  4. THE LANDSCAPE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE ALL PLANTINGS SHOWN GRAPHICALLY ON THIS DRAWING. CLARIFY ANY DISCREPANCIES WITH THE LANDSCAPE ARCHITECT PRIOR TO PLACING ANY PLANT MATERIAL.
  5. ALL PLANT MATERIALS SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE LATEST EDITION OF THE AMERICAN ASSOCIATION OF NURSERYMEN'S AMERICAN STANDARD OF NURSERY STOCK.
  6. ALL PLANT MATERIALS ARE SUBJECT TO THE APPROVAL OF THE OWNER'S REPRESENTATIVE AT THE SITE. PLANTS MUST BE REJECTED SHALL BE REMOVED FROM THE SITE IMMEDIATELY AND REPLACED AT NO ADDITIONAL COST TO THE OWNER.
  7. ALL TREES AND SHRUBS TO BE BALLED IN BURLAP OR CONTAINERIZED.
  8. MULCH FOR PLANTED AREAS TO BE ASPEL SPRUCE AND THE BARK, PARTIALLY DECOMPOSED DARK BROWN IN COLOR AND FREE OF NOOD CHIPS THICKER THAN 1/4 INCH.
  9. CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL BUILDING FOUNDATIONS, STRUCTURES AND PLANTING BEDS.
  10. NO PLANT SHALL BE PLANTED BEFORE ACCEPTANCE OF ROUGH GRADING AND BEFORE CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
  11. ALL SHRUB GROUPINGS SHALL BE INCORPORATED INTO BEDS, WHERE MIXED PLANT BED ADJUTS LAWN, CONTRACTOR SHALL PROVIDE A TIER CUT EDGE.
  12. ALL TREES ALONG WALKS SHALL BEGIN BRANCHING AT 6 FT. MIN.
  13. ALL PLANT MATERIAL OR REPRESENTATIVE SAMPLES SHALL BE LEGIBLY TAGGED WITH PROPER COMMON AND BOTANICAL NAMES. TAGS SHALL REMAIN ON THE PLANTS UNTIL FINAL ACCEPTANCE.
  14. LAWN AREAS SHALL BE SEEDED WITH SEED TYPE & BY WEIGHT, CREEPING BIRD FESCUE (MIN. 2 VARIETIES) 85%, KENTUCKY BLUEGRASS (MIN. 2 VARIETIES) 50%, PERENNIAL RYE GRASS 15%. SEEDING RATE PER 1000 SQ.FT. 4.125 NIN. MIN.
  15. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR ONE (1) FULL YEAR FROM DATE OF FINAL ACCEPTANCE.
  16. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MEANS AND METHODS OF WATERING AND MAINTENANCE.
  17. SCHEDULED IMAGES SHOWN EXISTING CONDITIONS. WHERE EXISTING CONDITIONS LIE UNDER OR ARE IMPROVED UPON BY PROPOSED IMAGES OR SITE ELEMENTS, THE EXISTING CONDITION WILL BE REMOVED, ABANDONED AND/OR CARRIED OR EXCLUDED AS REQUIRED.

**LEGEND**

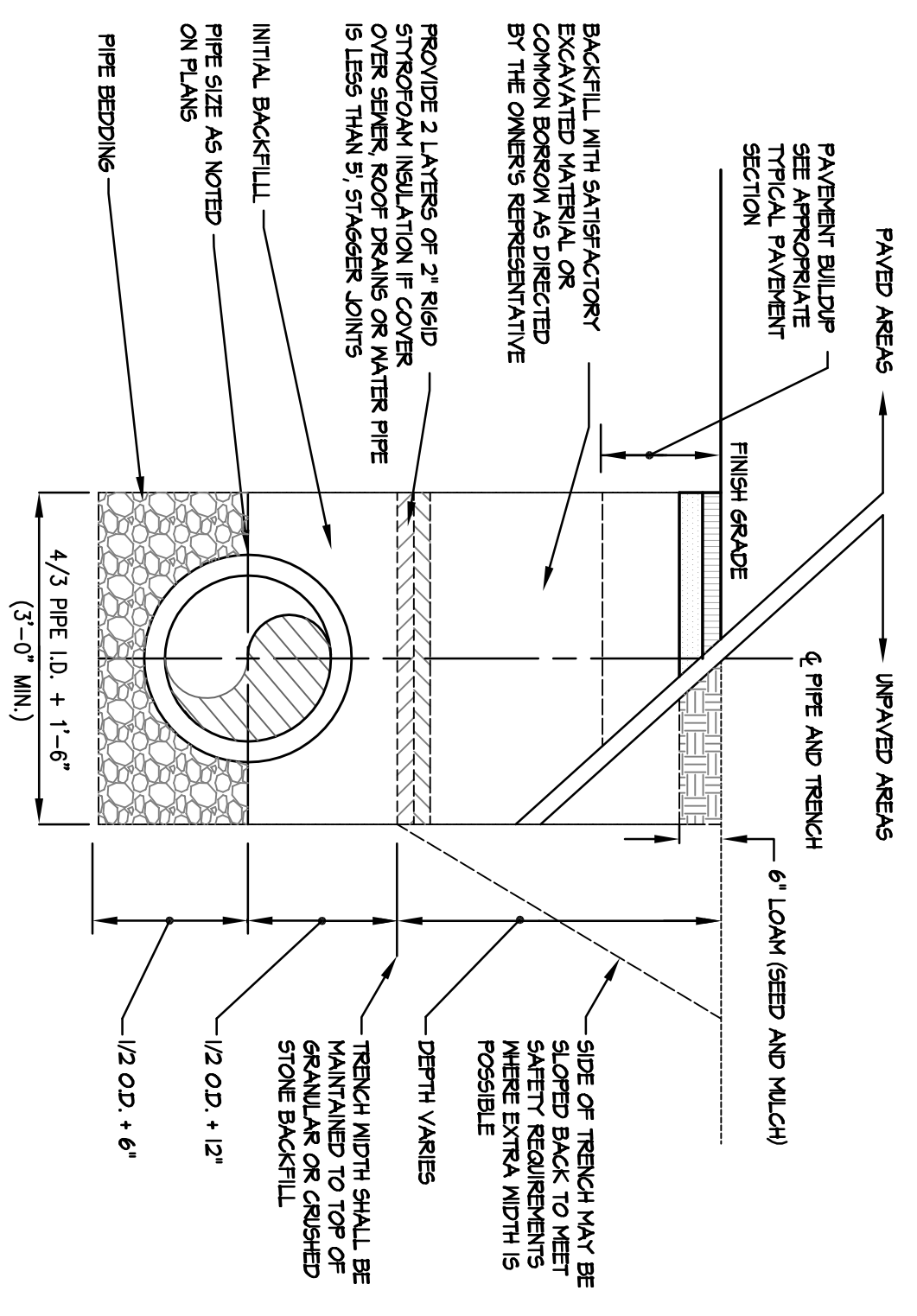


<p>THIS PLAN SHALL NOT BE ADORTED WITHOUT WRITTEN PERMISSION FROM SITE DESIGN ASSOCIATES, ANY ALTERATIONS, OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SITE DESIGN ASSOCIATES.</p>		<p>DESIGN: TWS DRAWN: DEPT. CHKD: TWS</p>		<p>PROJECT: <b>ALUMNI HALL RENOVATION</b> UNIVERSITY OF NEW ENGLAND, PORTLAND, MAINE</p>	
<p>ISSUED FOR CITY LEVEL 1 REVIEW ISSUED FOR DESIGN DEVELOPMENT</p>		<p>DATE: JAN 2015</p>		<p>CONCEPTUAL LANDSCAPE PLAN</p>	
<p>STATUS</p>		<p>SCALE: 1"=10'</p>		<p>PROJ. NO. C-101</p>	
<p>BY: CHOD APPD. REV. DATE</p>		<p>STATUS</p>		<p>REV. B</p>	







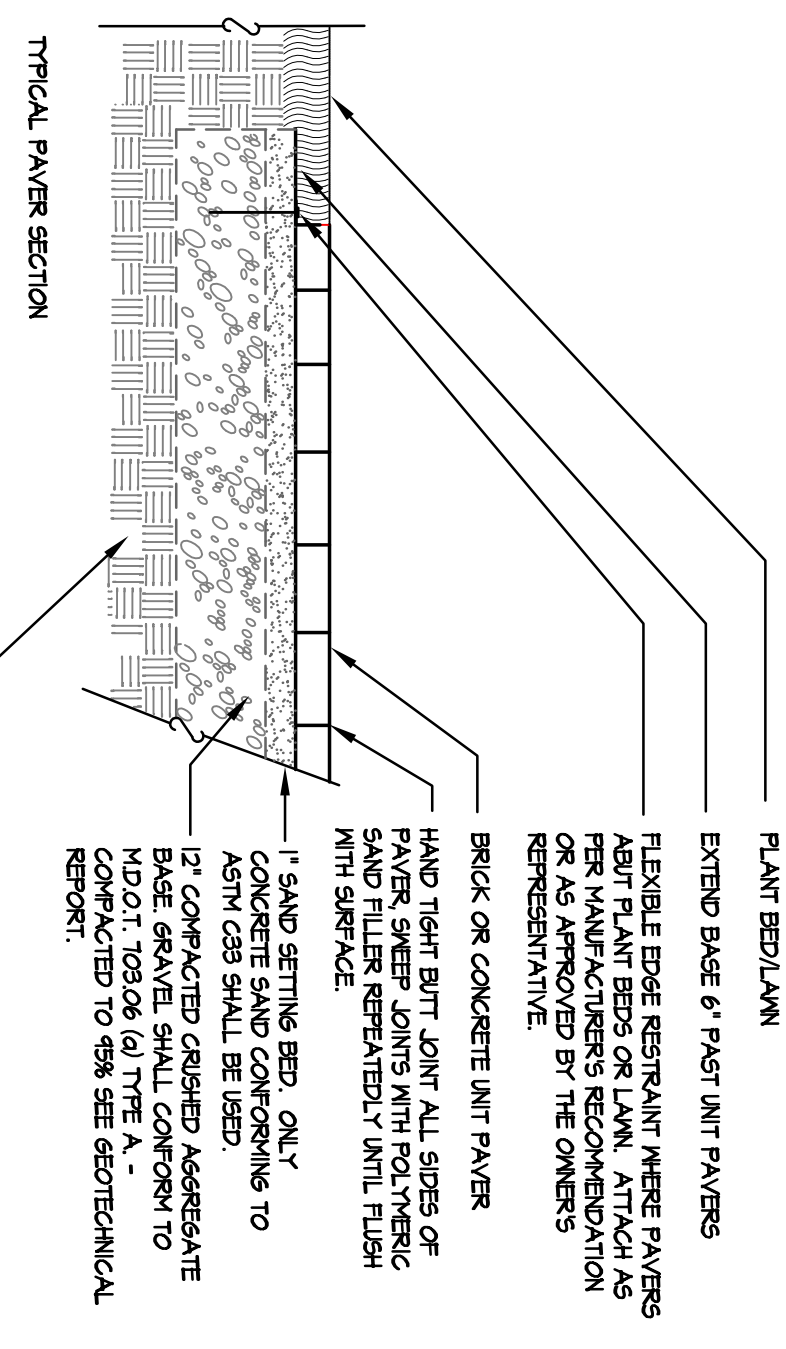


TRENCH BACKFILL SCHEDULE			
PIPE MATERIAL	PIPE BEDDING	INITIAL BACKFILL	BACKFILL
HPDE	3/4" CRUSHED STONE	3/4" CRUSHED STONE	**EXCAVATED MATERIAL OR GRANULAR BORON
PVC	3/4" CRUSHED STONE	3/4" CRUSHED STONE	**EXCAVATED MATERIAL OR GRANULAR BORON
DUCTILE IRON	GRANULAR MATERIAL	GRANULAR MATERIAL	**EXCAVATED MATERIAL OR GRANULAR BORON
COPPER	SAND	SAND	**EXCAVATED MATERIAL OR GRANULAR BORON

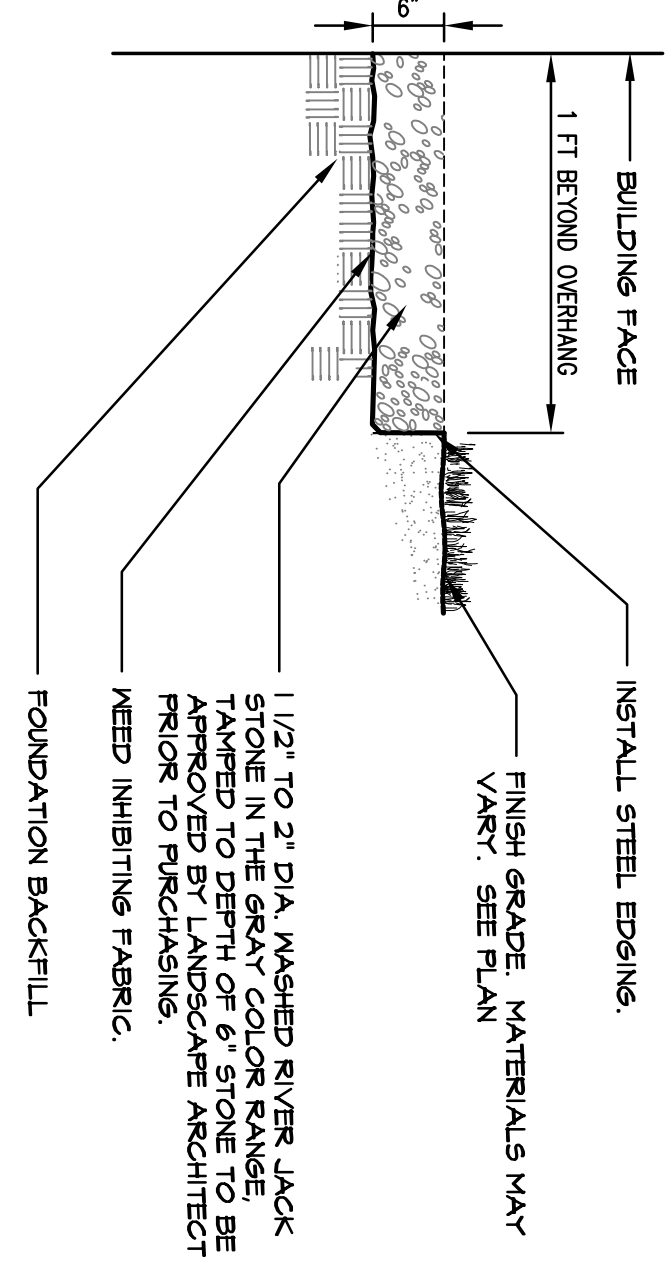
\*\*\* EXCAVATED MATERIAL MUST BE REVISED AND APPROVED BY THE OWNERS REPRESENTATIVE PRIOR TO INSTALLATION.  
 GRANULAR MATERIAL TO BE SAND OR GRAVEL.

**1 TYPICAL TRENCH SECTION**  
 SCALE: N.T.S.

- NOTES:
- ALL PAVERS SHALL BE 5/8" CUT ONLY. NO FRAGMENT SHALL BE SMALLER THAN 2". FINAL SURFACE SHALL FIT TO DRAIN PER SLOPING PLAN.
  - UNIT PAVERS SHALL BE AS FOLLOWS:
    - TREX/VA TYPED PAVES OR EQUIVALENT IN ASH CHARCOAL COLOR. SAMPLES SHALL BE PROVIDED TO THE OWNER PRIOR TO PURCHASE.
    - FOR OTHER UNIT PAVES BRICK PAVERS SHALL BE THE PATTERN BRICK IN FULL RANGE COLOR AS MANUFACTURED BY FINE HALL BRICK AND DISTRIBUTED BY GENEST CONCRETE PRODUCTS. SAMPLES SHALL BE PROVIDED TO THE OWNER PRIOR TO PURCHASE FOR APPROVAL.

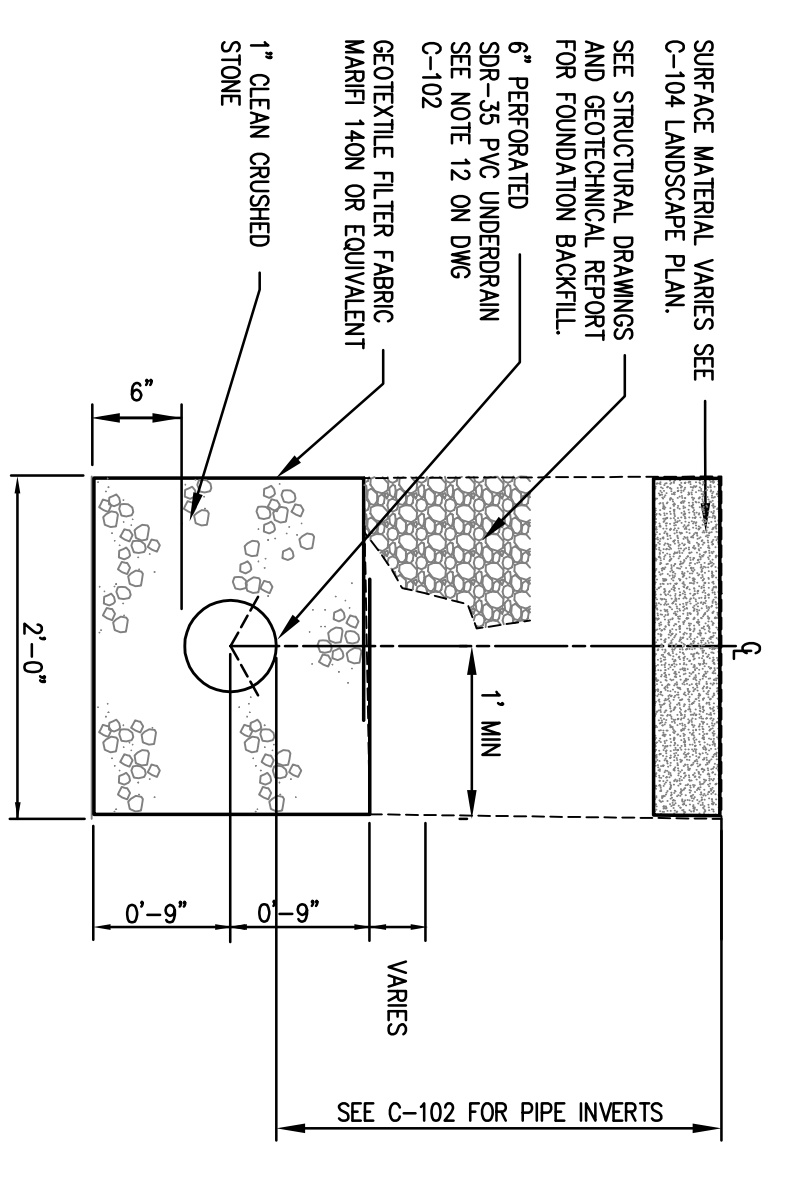


**4 UNIT PAVES AND BRICK WALK**  
 SCALE: N.T.S.

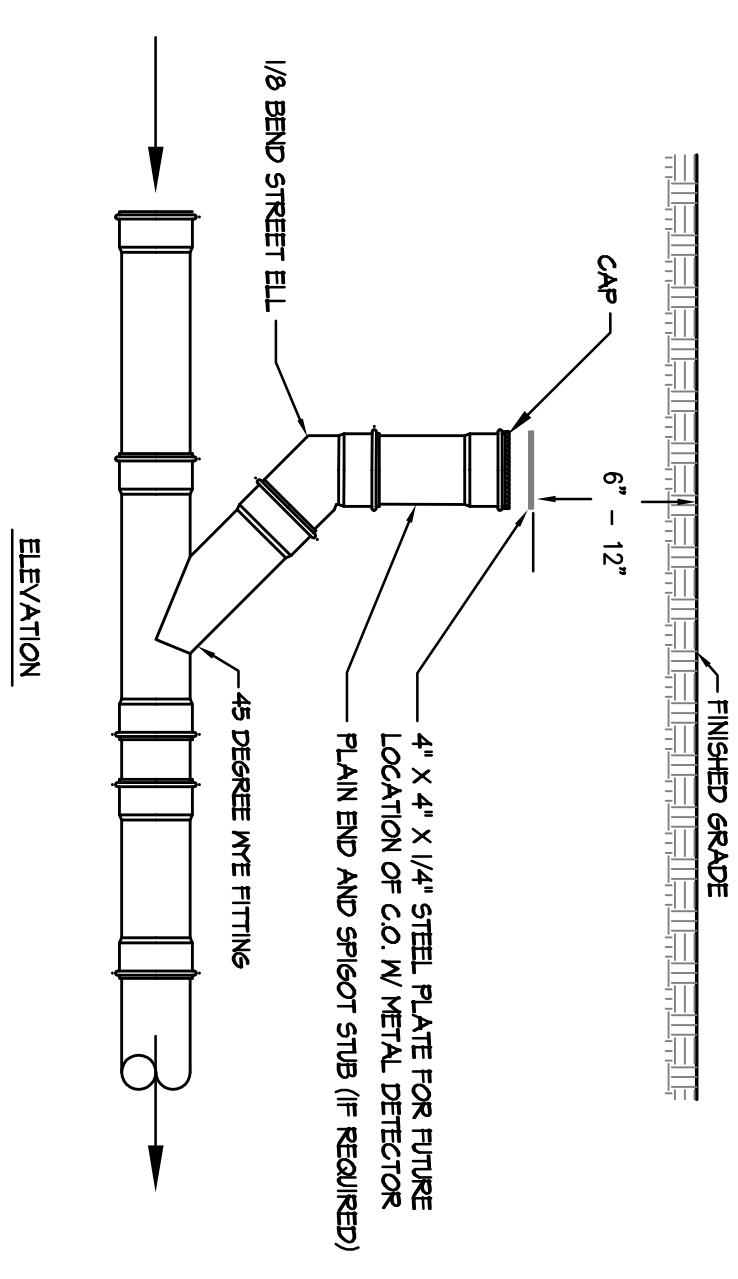


- NOTES:
- THE CONTRACTOR SHALL EXTEND THE WIDTH OF THE DRIP STRIP AT BUILDING JOBS AND BUMP OUTS AS REQUIRED TO CATCH ALL ROOF RUNOFF. THE DRIP STRIP SHALL BE INSTALLED PER THE MANUFACTURER'S REPRESENTATIVE WITH A SHOP DRAWING OF ANY PROPOSED MODIFICATION TO THE DRIP STRIP FOR APPROVAL.
  - STEEL EDGING TO BE 6" DEEP X 1/8" THICK POWDERED COATED STEEL. EDGING SHALL BE INSTALLED AND STAKE EDGING IN PLACE PER MANUFACTURER'S RECOMMENDATIONS.

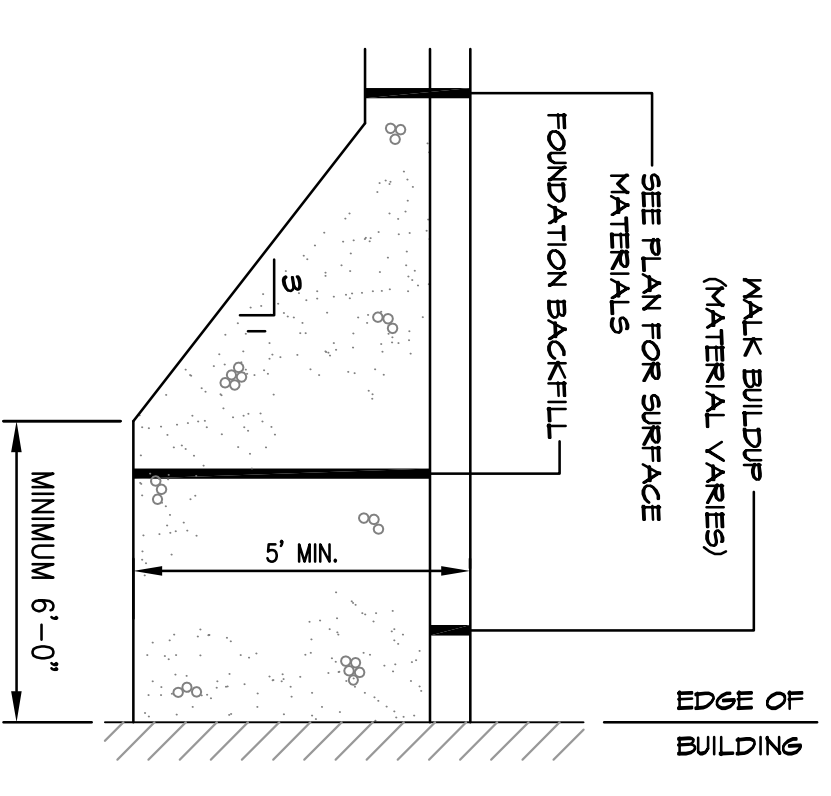
**2 STONE DRIP EDGE**  
 SCALE: N.T.S.



**5 STORMDRAIN/UNDERDRAIN TRENCH**  
 SCALE: N.T.S.



**3 TYPICAL STORMDRAIN CLEANOUT DETAIL**  
 SCALE: N.T.S.



**6 SECTION AT BUILDING ENTRANCES AND STAIRS**  
 SEE GEOTECHNICAL REPORT FOR ADDITIONAL INFORMATION  
 INSTALL FULL WIDTH OF ENTRYWAY

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SITE DESIGN ASSOCIATES, ANY ALTERATIONS, OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SITE DESIGN ASSOCIATES.

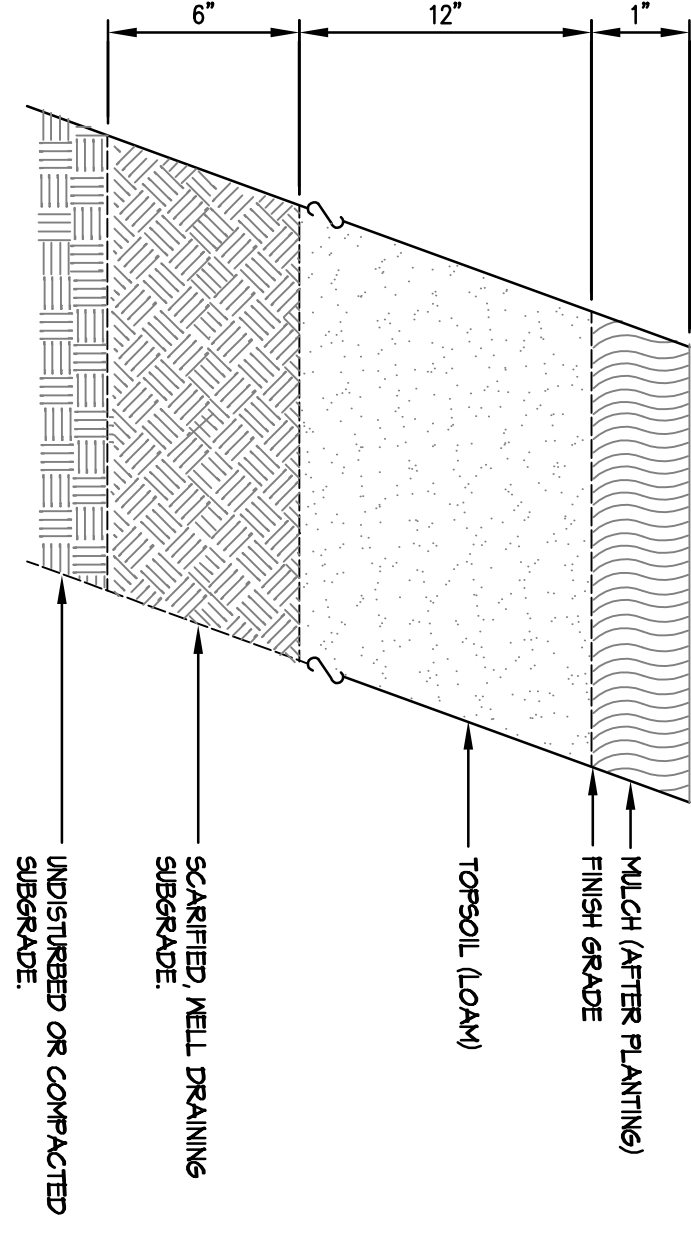
REV	DATE	STATUS	BY	CHKD	APPD	REV	DATE	STATUS	BY	CHKD	APPD
A	2/27/15	ISSUED FOR DESIGN DEVELOPMENT	TMS	TMS							
B	03/20/15	STRUCTURAL EARLY RELEASE BID DRAWINGS	TMS	TMS							
C	03/20/15	ISSUED FOR CITY LEVEL 1 REVIEW	TMS	TMS							

**Site Design Associates**  
 Consulting Engineering & Land Planning  
 23 Wilbur Way  
 Topsham, Maine 04086  
 Tel: (207) 849-275

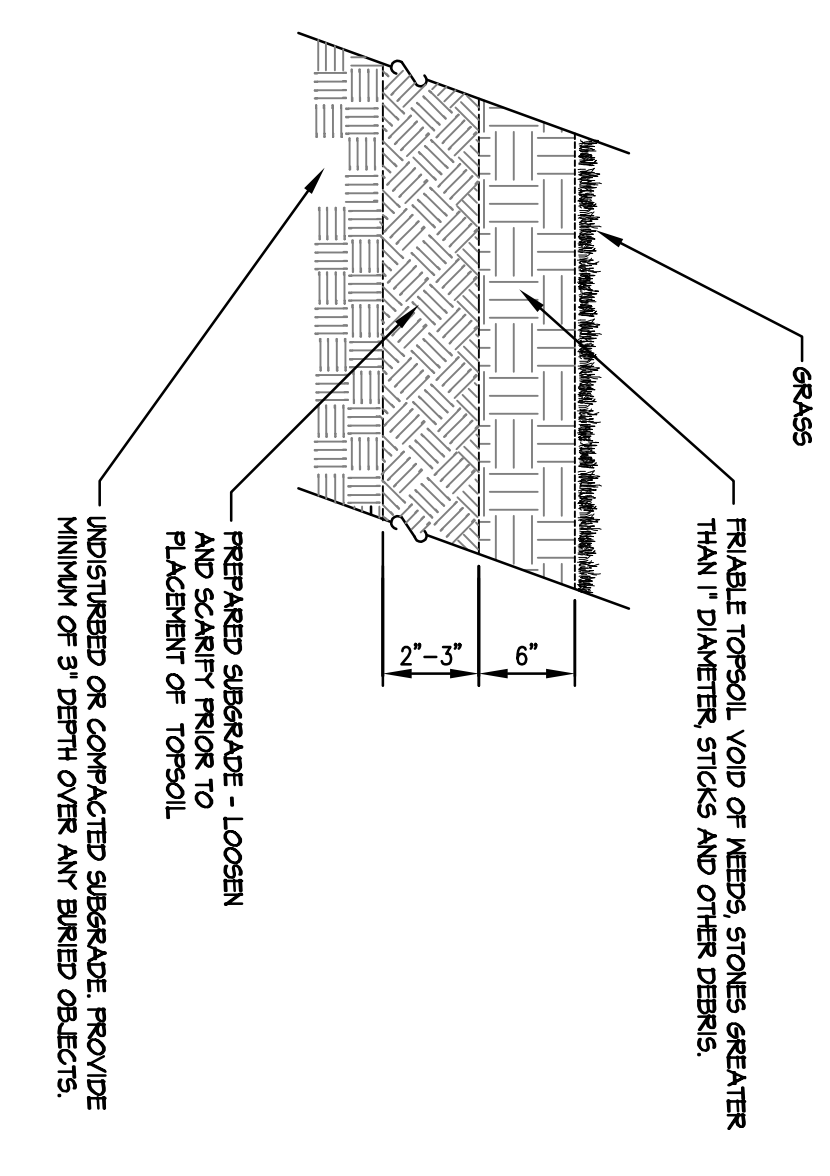
**PORT CITY ARCHITECTURE**  
 65 NEWBURY STREET, PORTLAND, MAINE 04101

DESIGN:	TMS	PROJECT:	ALUMNI HALL RENOVATION
DRAWN:	DEPT.	UNIVERSITY OF NEW ENGLAND, PORTLAND, MAINE	
CHKD:	TMS	SITE DETAILS	
DATE:	JAN 2015	PROJ. NO.:	
SCALE:	AS NOTED	DWG. NO.:	C-301
		REV.:	C

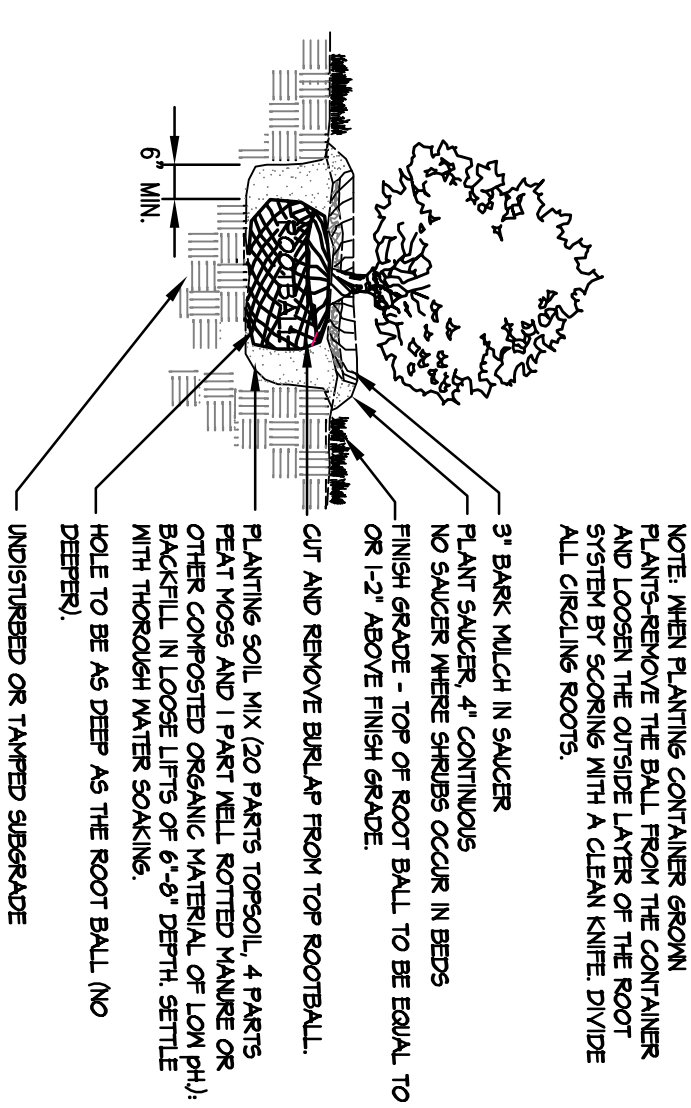




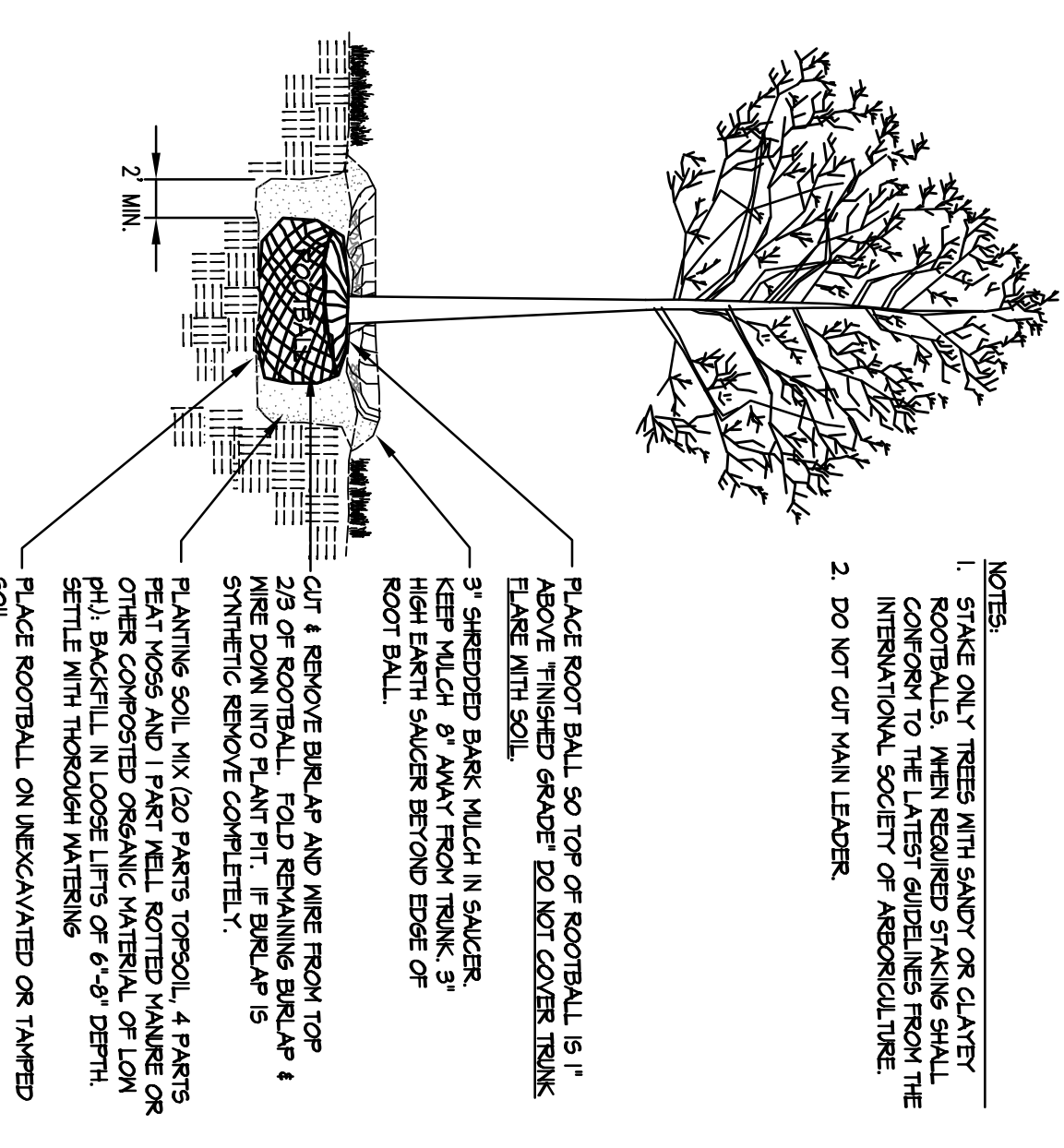
**1** PREPARED PLANT BED  
SCALE: N.T.S.



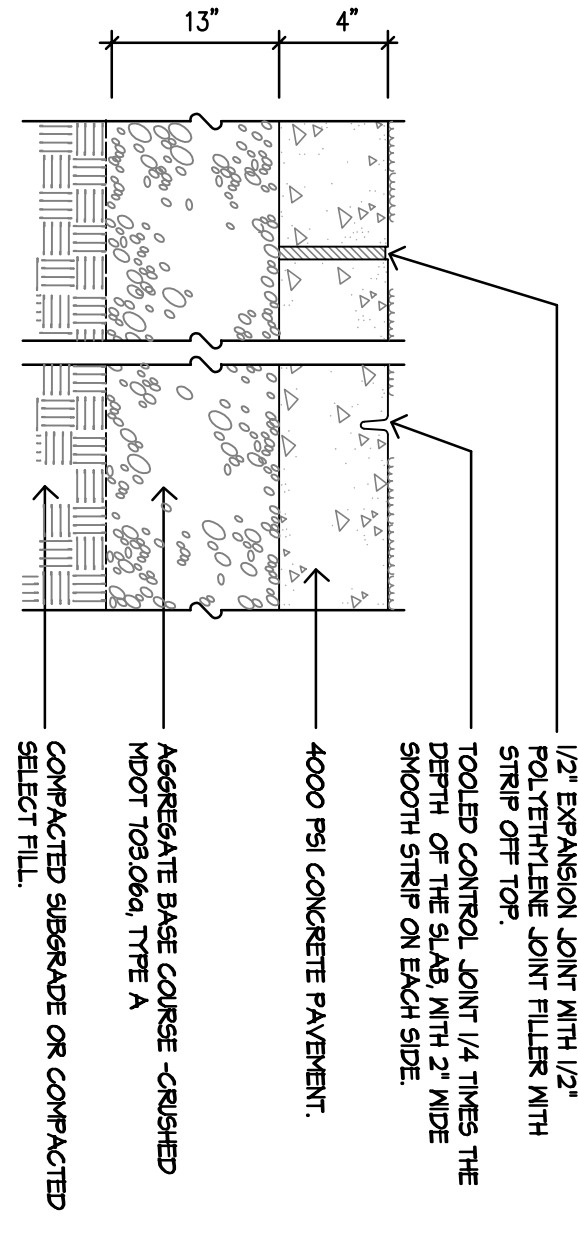
**2** LAWN INSTALLATION (SEED OR SOD)  
SCALE: N.T.S.



**3** SHRUB PLANTING DETAIL  
SCALE: N.T.S.



**4** DECIDUOUS TREE PLANTING  
SCALE: N.T.S.

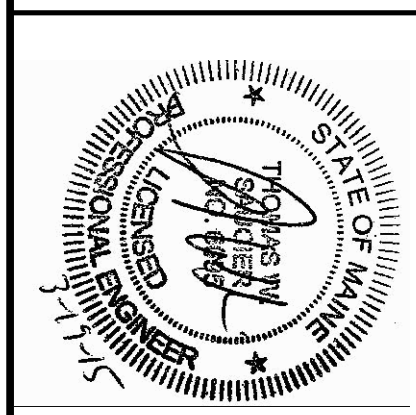


**5** CONCRETE PAVEMENT  
SCALE: N.T.S.

- NOTES:
1. PROVIDE EXPANSION JOINTS WHERE PAVERMENT ABUTS STRUCTURES AND VERTICAL SURFACES. SEAL ALL EXPANSION JOINTS WITH WATERPROOF SEALANT.
  2. DESIGN SUBJECT TO THE RECOMMENDATIONS CONTAINED IN THE GEOTECHNICAL REPORT.
  3. WHEN NOT SHOWN ON THE DRAWINGS PROVIDE TOoled SCORE JOINTS EQUALLY SPACED ALONG WALK AT INTERVALS APPROXIMATELY EQUAL TO THE SLAB WIDTH. PANELS SHOULD BE AS NEARLY SQUARE AS POSSIBLE.
  4. PROVIDE A BROOK FINISH PERPENDICULAR TO TRAFFIC FLOW.
  5. PROVIDE FIBRILLATED POLYPROPYLENE FIBER REINFORCING.

THIS PLAN SHALL NOT BE NOTIFIED WITHOUT WRITTEN PERMISSION FROM SITE DESIGN ASSOCIATES, ANY ALTERATIONS, OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SITE DESIGN ASSOCIATES.

REV	DATE	BY	CHKD	APPD	REV	DATE	STATUS
A	2/27/15	TMS	TMS	PBB			ISSUED FOR DESIGN DEVELOPMENT
B	03/20/15	TMS	TMS				ISSUED FOR CITY LEVEL 1 REVIEW
C	03/20/15	TMS	TMS				STRUCTURAL EARLY RELEASE BID DRAWINGS



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Topsfield, Maine 04086  
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**PORT CITY ARCHITECTURE**  
65 NEWBURY STREET, PORTLAND, MAINE 04101

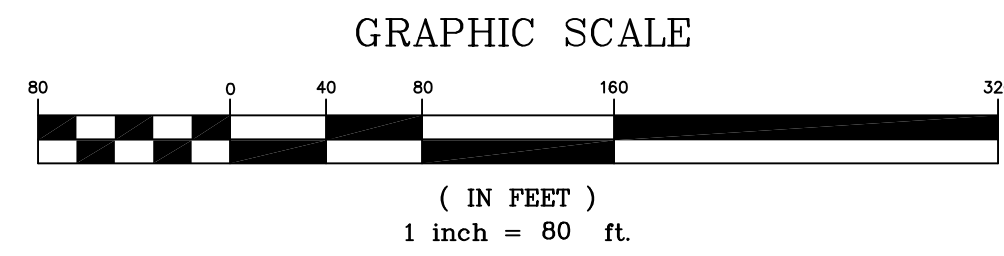
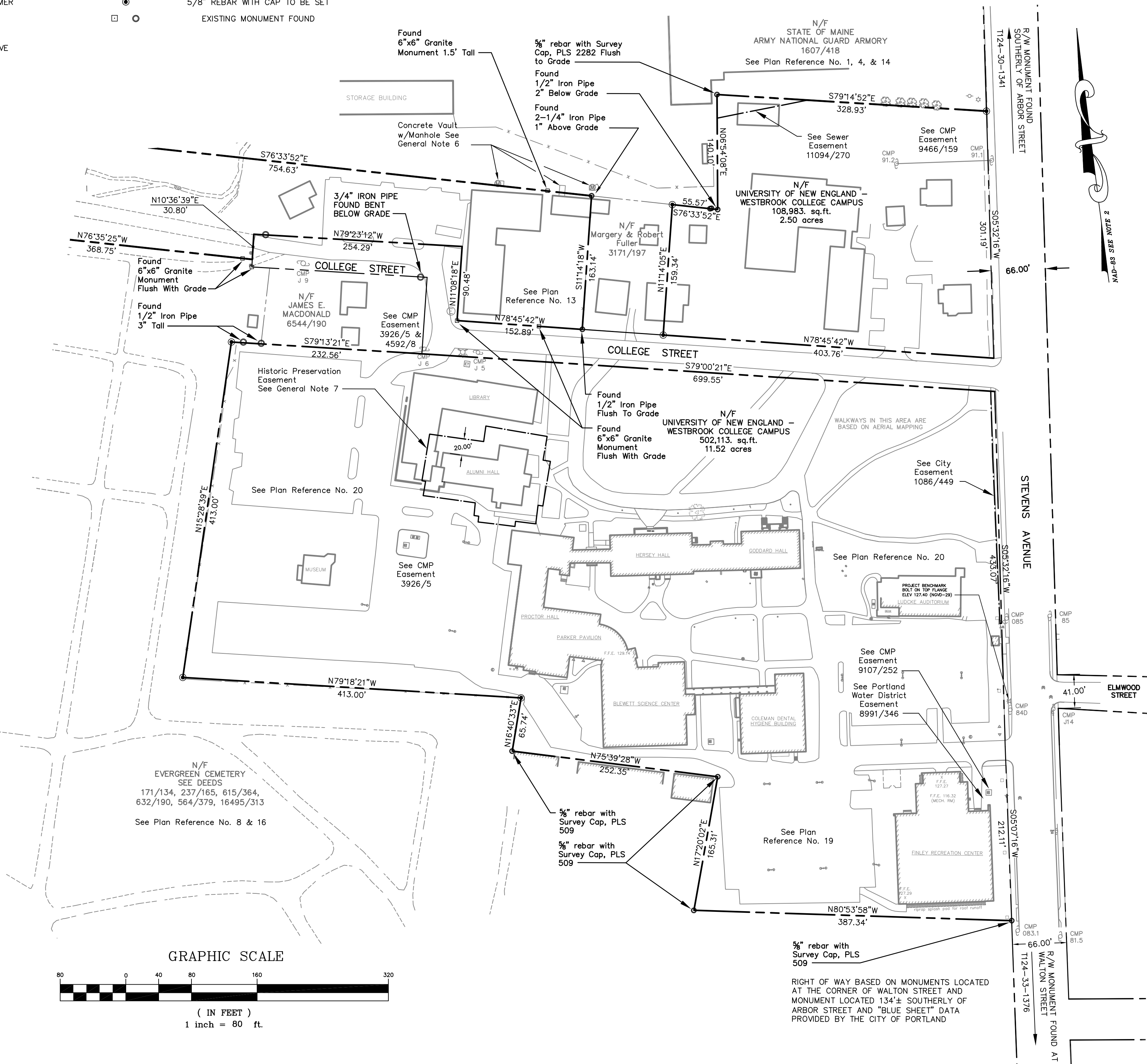
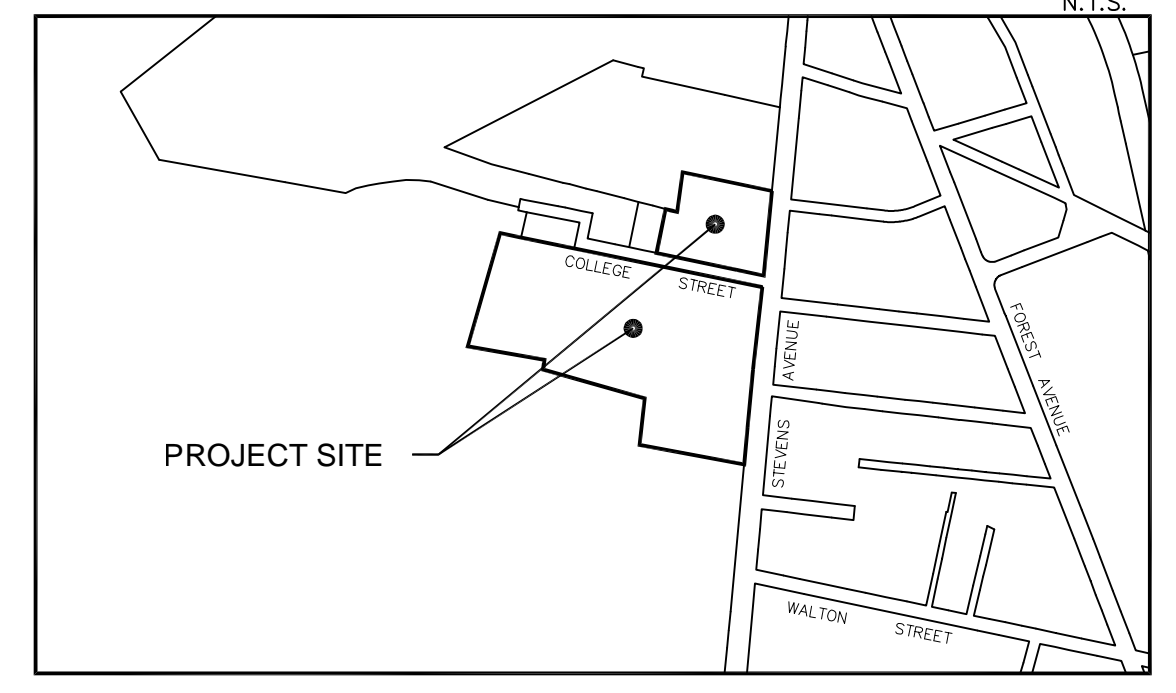
DESIGN:	TMS	PROJECT:	ALUMNI HALL RENOVATION
DRAWN:	DEPT.		UNIVERSITY OF NEW ENGLAND, PORTLAND, MAINE
CHKD:	TMS		
DATE:	JAN 2015	PROJ. NO.:	
SCALE:	AS NOTED	DWG. NO.:	
		REV.:	
			C-302

- NOTES:
1. STATE ONLY TREES WITH SANDY OR CLAYEY SOILS SHOULD BE PLANTED FROM THE NATIONAL SOCIETY OF ARBORICULTURE.
  2. DO NOT CUT MAIN LEADER.

LEGEND

	STORM DRAIN MANHOLE		TREELINE
	STORM DRAIN CATCH BASIN		TREE
	STORM DRAIN LINE		CHAIN LINK FENCE
	STORM DRAIN CULVERT		LANDSCAPE BUFFER ZONE
	SANITARY SEWER MANHOLE		LIGHT POLE
	SANITARY SEWER LINE		TELEPHONE LINE
	SANITARY FORCE MAIN		TELEPHONE MANHOLE
	WATERLINE		UTILITY POLE
	HYDRANT		BUILDING
	WATER LINE METER PIT		EDGE OF PAVEMENT
	WATER LINE GATE VALVE		EDGE OF GRAVEL
	WATER LINE SHUT-OFF VALVE		EDGE OF CONCRETE
	WATER LINE MANHOLE		GRANITE CURB
	WATER LINE P.I.V.		SIGN
	COMMUNICATION LINE		STONEWALL
	ELECTRIC LINE		PROPERTY LINE
	ELECTRIC MANHOLE		RIGHT OF WAY LINE
	ELECTRIC BOX		5/8" REBAR WITH CAP TO BE SET
	LIGHT POLE		EXISTING MONUMENT FOUND
	ELECTRIC TRANSFORMER		
	AIR-COND UNIT		
	GAS LINE		
	GAS LINE GATE VALVE		
	GAS LINE METER		

LOCUS MAP



GENERAL NOTES:

- GROUND CONTROL WAS ESTABLISHED BY SQUAW BAY CORP. IN MAY 1998 AND EXPANDED FOR THIS PROJECT BY COLONIAL SURVEYING COMPANY, LLC. IN 2007.
- HORIZONTAL DATUM IS BASED UPON CITY OF PORTLAND CONTROL POINTS T124-30-1341 AND T124-33-1376 LOCATED IN THE VICINITY OF THE SITE. HORIZONTAL IS MAINE STATE PLANE COORDINATED SYSTEM (2-ZONE PROJECTION) WEST ZONE, USING NAD 1983 (HARN) AND US SURVEY FOOT AS UNIT OF MEASURE. VERTICAL IS NGVD 1929. (MDOF BM BIS-A, ELEV. 105.35)
- PROJECT BENCHMARK IS A HYDRANT'S TOP BONNET BOLT SCRIBED WITH AN "X" LOCATED ON THE WESTERLY SIDE OF STEVENS AVENUE NEAR THE SOUTHERLY CORNER OF THE PARKING LOT IN FRONT OF THE BEVERLY BURPEE FINLEY RECREATION CENTER. ELEVATION 127.40 (NGVD-29)
- UTILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD OBSERVATIONS, SURVEYED LOCATIONS OF UTILITY MARKINGS BY OTHERS AND ARE APPROXIMATELY ONLY. LOCATIONS SHOULD BE VERIFIED BY THE UTILITY COMPANIES PRIOR TO ANY CONSTRUCTION OR EXCAVATION IN THIS AREA.
- THE SITE IS LOCATED IN ZONE X OF THE NATIONAL FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 230051 0007 C. ZONE X IS IDENTIFIED AS AN AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOOD PLAIN.
- AN UNDERGROUND STEAM LINE FOR HEATING PURPOSES CROSSES THE ARMORY PROPERTY. IT IS RECOMMENDED THAT A WRITTEN EASEMENT BE ESTABLISHED FOR THIS SYSTEM.
- ALUMNI HALL AND THE SURROUNDING GROUNDS ARE SUBJECT TO A HISTORIC PRESERVATION EASEMENT. FOR MORE DETAILS SEE EASEMENT DEED RECORDED AT THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 6277, PAGE 233.

PLAN REFERENCE:

- STANDARD BOUNDARY SURVEY FOR DEPARTMENT OF DEFENSE, VETERANS AND EMERGENCY MANAGEMENT OF MAINE ARMY NATIONAL GUARD ARMORY, 772 STEVENS AVENUE, PORTLAND MAINE, DATED JAN 30, 2001 AS PREPARED BY BOUNDARY POINTS OF WESTBROOK, MAINE.
- CITY OF PORTLAND - CITY PROPERTY, RECORDED UNDER FILE NUMBER 72 AT THE DEPARTMENT OF PUBLIC WORKS.
- CITY OF PORTLAND - CITY PROPERTY, RECORDED UNDER FILE NUMBER 139/A AT THE DEPARTMENT OF PUBLIC WORKS.
- PLAN OF MORRILLS CAR BARN LOT, DEERING, ME RECORDED UNDER FILE NUMBER 798/14 AT THE DEPARTMENT OF PUBLIC WORKS.
- BISHOP ST/ MAYFIELD ST SEWER SEPARATION, PLAN AND PROFILE, SHEET 6 OF 9 DATED 1/11/93, PROJECT NUMBER 91600-30-50-57 RECORDED UNDER FILE NUMBER 943/4 AT THE DEPARTMENT OF PUBLIC WORKS.
- STANDARD BOUNDARY SURVEY OF BISHOP STREET EXTENSION, SHEET 1 OF 1 DATED 11/1/95 RECORDED UNDER FILE NUMBER 943/14A AT THE DEPARTMENT OF PUBLIC WORKS.
- SITE PLAN, TILCON MAINE, INC. BISHOP STREET, PORTLAND MAINE DATED 3/13/91, RECORDED UNDER FILE NUMBER 863/1 AT THE DEPARTMENT OF PUBLIC WORKS.
- PLAN OF PROPOSED ADDITION TO EVERGREEN CEMETERY, DATED AUGUST 1894, RECORDED UNDER FILE NUMBER 388/6 AT THE DEPARTMENT OF PUBLIC WORKS.
- WESTBROOK COLLEGE, EXISTING CONDITIONS/DEMOLITION PLAN, PORTLAND, MAINE DATED 6/1/89 RECORDED UNDER FILE NUMBER 727/2 AT THE DEPARTMENT OF PUBLIC WORKS.
- STANDARD BOUNDARY SURVEY ON BISHOP STREET, PORTLAND MAINE MADE FOR PIKE INDUSTRIES, INC. PREPARED BY OWEN HASKELL, INC. DATED JUNE 17, 1999, JOB NUMBER 99115P
- PLAN OF BISHOP COURT MADE BY E.C.JORDAN & CO. DATED MAY 1913 AND RECORDED AT THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 12, PAGE 68.
- MAINE TURNPIKE AUTHORITY, SECTION 2-PORTLAND TO AUGUSTA, PROPERTY PLAN RECORDED AT THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 140, PAGE 42.
- WESTBROOK SEMINARY & JUNIOR COLLEGE MADE BY E.C.JORDAN & CO. DATED 1/4/64 ON FILE AT THE OFFICE OF OWEN HASKELL, INC. UNDER FILE NUMBER 1113
- PLAN OF PROPERTY MADE FOR THE ADJUTANT GENERAL, AUGUSTA, MAINE MADE BY E.C.JORDAN & CO. DATED AUGUST 22, 1958 ON FILE AT THE OFFICE OF OWEN HASKELL, INC. UNDER FILE NUMBER 1094
- SITE PLAN OF PROPERTY ON BISHOP STREET, PORTLAND, MAINE MADE FOR PLASMINE TECHNOLOGY, INC DATED OCT. 1, 1991 ON FILE AT THE OFFICE OF OWEN HASKELL, INC. UNDER PROJECT NUMBER 91163P.
- CITY OF PORTLAND, MAINE DEPARTMENT OF PUBLIC WORKS, EVERGREEN CEMETERY, DEED PLAN RECORDED UNDER FILE NUMBER 215/4 AT THE DEPARTMENT OF PUBLIC WORKS.
- PARK LAND ACQUISITION, "QUILLIVER PURCHASE" DATED OCTOBER 1935 RECORDED UNDER FILE NUMBER 798/1 AT THE DEPARTMENT OF PUBLIC WORKS.
- CITY OF PORTLAND ME. DEPARTMENT OF PUBLIC WORKS, BISHOP STREET OUTLET DRAIN, DATED AUGUST 27, 1927 RECORDED UNDER FILE NUMBER 247/10 AT THE DEPARTMENT OF PUBLIC WORKS.
- PLAN OF PROPERTY IN PORTLAND, MAINE MADE FOR WESTBROOK COLLEGE, SITE CONDITION PLAN PREPARED BY H.I. & E.C. JORDAN DATED 2/27/89 ON FILE AT THE OFFICE OF OWEN HASKELL, INC. UNDER PROJECT NUMBER L-1115.
- 3-PLANS ENTITLED "WESTBROOK JUNIOR COLLEGE, PORTLAND MAINE" PREPARED BY H.I. & E.C. JORDAN DATED: JULY 1935, JULY 1939, AND DECEMBER 1942 RECORDED UNDER FILE NUMBER 1002/2 AT THE PORTLAND DEPARTMENT OF PUBLIC WORKS.

OWNER OF RECORD:

UNIVERSITY OF NEW ENGLAND - WESTBROOK COLLEGE, SEE CUMBERLAND COUNTY REGISTRY OF DEEDS, BOOK & PAGE: 128/102, 127/555, 127/557, 358/170, 492/172, 757/136, 1133/454, 1704/369, 1752/321, 1876/271, 1879/392, 2507/303, 2539/425, 2320/415, 1068/226, 1759/271, 963/174.

THIS SURVEY CONFORMS TO THE CURRENT STANDARDS OF PRACTICE AS DEFINED BY THE MAINE STATE BOARD OF LICENSURE FOR LAND SURVEYORS

*Ronald M. Carpentier*  
 Ronald M. Carpentier Maine P.L.S. 2042

STATE OF MAINE  
 CUMBERLAND COUNTY REGISTRY OF DEEDS

RECEIVED	_____
AT _____ HOUR _____ MIN. _____ M	
AND RECORDED IN BOOK _____ PAGE _____	
ATTEST _____ REGISTER	

C-100		SHT 2 of 2	
BOUNDARY SURVEY		CAMPUS PROPER	
UNIVERSITY OF NEW ENGLAND		11 HILLS BEACH ROAD, BIDDEFORD, MAINE	
PROJECT: CAMPUS BOUNDARY SURVEY		PROJECT ADDRESS: STEVENS AVENUE & BISHOP STREET PORTLAND, MAINE	
DRAWN BY: RMC		CHECK BY: RMC	
PROJECT NO.: 020-02-07		DATE: OCTOBER 2007	
11/26/07		REV. A	
SUBMITTED TO CLIENT		DATE	
NO.		REVISED	

COLONIAL SURVEYING COMPANY, LLC  
 34 Presidential Drive  
 Gray, Maine 04039  
 TEL: (207) 657-3400