145-A-3 2015-051

714 Stevens Ave.

Alumni Hall Renovations

UNE

City of Portland
Development Review Application
Planning Division Transmittal Form

Application Number: 2015-051 **Application Date:** 03/24/2015
CBL: 145 A003001 **Application Type:** Level I Site Alteration
Applicant: University of New England /Alan Thibeault
Project Name: UNE Alumni Hall Renovation
Address: 714-730 STEVENS AVE
Project Description: Renovations to the existng Alumni Hall and Annex
Zoning: R5

Other Required Reviews:

- ☐ Traffic Movement
- ☐ Storm Water
- ☐ Subdivision
  - # Lots _____
- ☐ Site Location
  - # Unit _____
- ☐ 14-403 Streets
  - # Units _____
- ☐ Flood Plain
- ☐ Shoreland
- ☐ Design Review
- ☐ Housing Replacement
- ☐ Historic Preservation
- ☐ Other:

Distribution List:

	Planner	Barbara Barhydt		**Parking**	John Peverada
	Zoning	Ann Machado		**Design Review**	Caitlin Cameron
	Traffic Engineer	Tom Errico		**Corporation Counsel**	Jennifer Thompson
	Civil Engineer	David Senus		**Sanitary Sewer**	John Emerson
	Fire Department	Keith Gautreau		**Inspections**	Tammy Munson
	City Arborist	Jeff Tarling		**Historic Preservation**	Deb Andrews
	Engineering	David Margolis-Pineo		**DRC Coordinator**	Phil DiPierro
				Outside Agency	

Comments needed by 3/31/2015

Application for Level 1 Site Alteration Approval

Project:

Alumni Hall Renovations

College Street
Portland, Maine

Applicant:
University of New England
11 Hills Beach Road
Biddeford, Maine 04005

March 23, 2015

Prepared By:

Site Design Associates
23 Whitney Way
Topsham Maine 04086

Site Design Associates
Consulting Engineering and Land Planning

March 20, 2015

Ms. Barbara Barhydt
Development Review Services Manager
Planning Division
389 Congress St., Fourth Floor
Portland, ME 04101

RE: University of New England - Westbrook College Campus
Level 1 Site Alteration – Alumni Hall Renovations

Dear Barbara:

On behalf of University of New England (UNE), Site Design Associates (SDA) is pleased to submit one original paper copy and one CD containing the files of the Level 1 Site Alteration Application and for the referenced project. We have enclosed a check in the amount of $200 for the project review fees.

This submission contains the following information:

- Level 1 Site Alteration Application and Check List (Attachment 1)
- Letter of Agent Authorization (Attachment 2)
- Project Description (Attachment 3)
- Deed (Attachment 4)
- Zoning Compliance and Applicable Design Standards(Attachment 5)
- The following project drawings(one full size and 1 reduced set):
    - Lighting Catalog Cuts
    - C-100 Existing Conditions & Demolition Plan
    - C-101 Site Plan
    - C-102 Grading, Drainage, and Erosion Control Plan
    - C-103 Conceptual Landscape Plan
    - C-300 Erosion & Sedimentation Control Notes and Site Details
    - C-301 Site Details
    - C-302 Site Details
    - Boundary Survey

Please contact me with any questions or comments concerning this information.

Sincerely,
Site Design Associates

Tom Saucier, P.E.
President

cc: Alan Thibeault, UNE

ATTACHMENT 1

SITE PLAN APPLICATION

Level I – Site Alteration
Development Review Application
Portland, Maine

Planning and Urban Development Department
Planning Division

Portland's Planning and Urban Development Department coordinates the development review process for site plan, subdivision and other applications under the City's Land Use Code. Attached is the application form for a Level I: Site Alterations. Please note that Portland has delegated review from the State of Maine for reviews under the Site Location of Development Act, Chapter 500 Stormwater Permits, and Traffic Movement Permits.

Level I: Site Alteration Development includes:

- Alteration of a watercourse or wetland as defined in Section 14-47 of the City Code.
- Alteration of a site. The disturbance of land areas of less than one (1) acre that are stripped, graded, grubbed, filled or excavated. The Planning Authority shall exempt from review the loam and seeding of lawns and the cumulative placement of less than fifteen (15) cubic yards of fill on any lot provided such loaming or placement does not alter a drainage course, swale, wetland or redirect water onto adjoining property and does not violate any other provision of the Portland City Code or state or federal law. "Disturbed area" does not include routine maintenance, but does include re-development and new impervious areas.
- The construction of any temporary or permanent parking area, paving of existing unpaved surface parking areas between 1,000 and 7,500 sq. ft., or creation of other impervious surface areas between 1,000 and 7,500 sq. ft.
- The rehabilitation or reconstruction, but not new construction, of piers, docks, wharves, bridges, retaining walls, and other structures located within the shoreland zone.
- A site alteration in which vehicle access is proposed from more than one (1) street.

Portland's development review process and requirements are outlined in the Land Use Code (Chapter 14) which is available on our website:

Land Use Code: http://me-portland.civicplus.com/DocumentCenter/Home/View/1080
Design Manual: http://me-portland.civicplus.com/DocumentCenter/View/2355
Technical Manual: http://me-portland.civicplus.com/DocumentCenter/View/2356

Planning Division
Fourth Floor, City Hall
389 Congress Street
(207) 874-8719

Office Hours
Monday thru Friday
8:00 a.m. – 4:30 p.m.

PROJECT NAME: Alumni Hall Renovation

PROPOSED DEVELOPMENT ADDRESS:

716 Stevens Aveune

PROJECT DESCRIPTION:

Renovations to the existing Alumni Hall and Annex

CHART/BLOCK/LOT: 145A003

CONTACT INFORMATION:

Applicant – must be owner, Lessee or Buyer Name: Alan Thibeault Business Name, if applicable: University of New England Address: 11 Hills Beach Road City/State : Biddeford, Maine Zip Code: 04005	**Applicant Contact Information** Work # 207-602-2253 Home# Cell # Fax# e-mail:athibeault@une.edu
Owner – (if different from Applicant) Name: Address: City/State : Zip Code:	**Owner Contact Information** Work # Home# Cell # Fax# e-mail:
Agent/ Representative Name: Tom Saucier, Site Design Associates Address: 23 Whitney Way City/State : Topsham, Maine Zip Code: 04086	**Agent/Representative Contact information** Work # 207-449-4275 Cell # 207-756-0068 e-mail:
Billing Information Name: Bill Applicant Address: City/State : Zip Code:	**Billing Information** Work # Cell # Fax# e-mail:

Engineer Name: Agent Address: City/State : Zip Code:	**Engineer Contact Information** Work # Cell # Fax# e-mail:
Surveyor Name: Statewide Surveys, Inc. Address: 35 Eastman Road City/State : Cape Elizabeth, Maine Zip Code: 04107	**Surveyor Contact Information** Work # Cell # Fax# e-mail:
Architect Name: Port City Architecture Address: 65 Newbury Street City/State : Portland, Maine Zip Code: 04101	**Architect Contact Information** Work # Cell # Fax# e-mail:
Attorney Name: Address: City/State : Zip Code:	**Attorney Contact Information** Work # Cell # Fax# e-mail:

APPLICATION FEES:
(Payment may be made by Credit Card, Cash or Check payable to the City of Portland.)

_x__ Level 1 Site Alteration ($200.00)	The City invoices separately for the following: • Notices ($.75 each) • Legal Ad (% of total Ad) • Planning Review ($40.00 hour) • Legal Review ($75.00 hour) Third party review fees are assessed separately. Any outside reviews or analysis requested from the Applicant as part of the development review, are the responsibility of the Applicant and are separate from any application or invoice fees.

APPLICATION SUBMISSION:

1. All site plans and written application materials must be submitted electronically on a CD or thumb drive with each plan submitted as separate files, with individual file which can be found on the **Electronic Plan and Document Submittal** page of the City's website at http://me-portland.civicplus.com/764/Electronic-Plan-and-Document-Submittal

2. **In addition, one (1) paper set of the plans (full size), one (1) paper set of plans (11 x 17), paper copy of written materials, and the application fee must be submitted to the Building Inspections Office to start the review process.**

The application must be complete, including but not limited to the contact information, project data, application checklists, wastewater capacity, plan for fire department review, and applicant signature. The submissions shall include one (1) paper packet with folded plans containing the following materials:

1. **One (1) full size site plans** that must be **folded.**
2. One (1) copy of all written materials or as follows, unless otherwise noted:
   a. Application form that is completed and signed.
   b. Cover letter stating the nature of the project.
   c. All Written Submittals (Sec. 14-527 (c), including evidence of right, title and interest.
3. A stamped standard boundary survey prepared by a registered land surveyor at a scale not less than one inch to 50 feet.
4. Plans and maps based upon the boundary survey and containing the information found in the attached sample plan checklist.
5. One (1) set of plans reduced to 11 x 17.

Please refer to the application checklist (attached) for a detailed list of submission requirements.

APPLICANT SIGNATURE:

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Planning Authority and Code Enforcement's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

This application is for a Level II Site Plan review. It is not a permit to begin construction. An approved site plan, a Performance Guarantee, Inspection Fee, Building Permit, and associated fees will be required prior to construction. Other Federal, State or local permits may be required prior to construction, which are the responsibility of the applicant to obtain.

Signature of Applicant:	**Date: 03-23-15**

PROJECT DATA

The following information is required where applicable, in order to complete the application.

Total Area of Site	14	ACRES
Proposed Total Disturbed Area of the Site	10,000	sq. ft.
If the proposed disturbance is greater than one acre, then the applicant shall apply for a Maine Construction General Permit (MCGP) with DEP and a Stormwater Management Permit, Chapter 500, with the City of Portland		
Impervious Surface Area		
Impervious Area (Total Existing)	314,700 (-1,600 SINCE 2006)	sq. ft.
Impervious Area (Total Proposed)	315,370 (-928 SINCE 2006)	sq. ft.
Parking Spaces		
# of Parking Spaces (Total Existing)		sq. ft.
# of Parking Spaces (Total Proposed)	UNCHANGED	sq. ft.
# of Handicapped Spaces (Total Proposed)	UNCHANGED	sq. ft.

Level 1 Site Alteration			
Applicant Checklist	Planner Checklist	# of Copies	**GENERAL WRITTEN SUBMISSIONS CHECKLIST**
X		1	Completed Application form
X		1	Application fees
X		1	Written description of project
X		1	Evidence of right, title and interest
NA		1	Evidence of state and/or federal approvals, if applicable
X		1	Written assessment of proposed project's compliance with applicable zoning requirements
NA		1	Summary of existing and/or proposed easement, covenants, public or private rights-of-way, or other burdens on the site
NA		1	Written requests for waivers from site plan or technical standards, if applicable.
X		1	Evidence of financial and technical capacity
Applicant Checklist	Planner Checklist	# of Copies	SITE PLAN SUBMISSIONS CHECKLIST
X		1	Boundary Survey meeting the requirements of Section 13 of the City of Portland's Technical Manual
X		1	Preliminary Site Plan including the following: (information provided may be preliminary in nature during preliminary plan phase)
X		Proposed grading and contours;	
X		Existing structures with distances from property line;	
X		Proposed site layout and dimensions for all proposed structures (including piers, docks or wharves in Shoreland Zone), paved areas, and pedestrian and vehicle access ways;	
NA		Preliminary design of proposed stormwater management system in accordance with Section 5 of the Technical Manual (note that Portland has a separate applicability section);	
X		Preliminary infrastructure improvements;	
X		Preliminary Landscape Plan in accordance with Section 4 of the Technical Manual;	

Site Plan Standards for Review of Level I: Site Alteration

Level I: Site alteration plans shall only be subject to the following site plan standards, as applicable, as contained in section 14-526:

(a) Transportation standards:
1. Impact on surrounding street systems,
2. Access and circulation, and
4. Parking

(b) Environmental quality standards
1. Preservation of significant natural features,
2. Landscaping and landscape preservation, and
3. Water quality, stormwater management and erosion control.

(c) Public infrastructure and community safety standards.
1. Consistency with city master plans.

(d) Site design standards
5. Historic resources,
6. Exterior lighting,
8. Signage and wayfinding, and
9. Zoning related design standards.

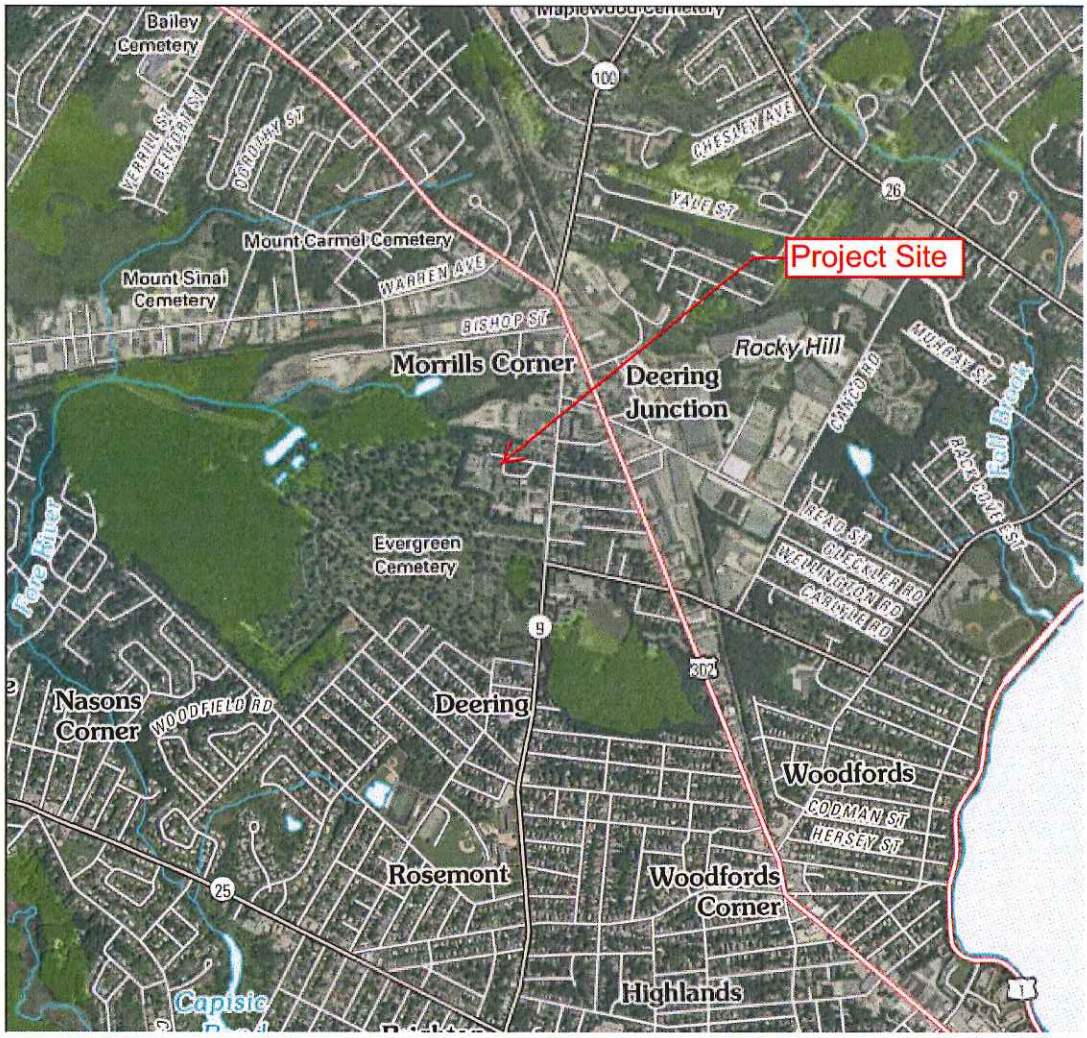
Except as provided in article III, or to conditions imposed under section 14-526(e) only, or to those submission requirements set forth in section 14-527 as relate solely thereto.

PORTLAND FIRE DEPARTMENT
SITE REVIEW
FIRE DEPARTMENT CHECKLIST

A separate drawing[s] shall be provided to the Portland Fire Department for all site plan reviews.

1. Name, address, telephone number of applicant.
2. Name address, telephone number of architect
3. Proposed uses of any structures [NFPA and IBC classification]
4. Square footage of all structures [total and per story]
5. Elevation of all structures
6. Proposed fire protection of all structures
   - ***As of September 16, 2010 all new construction of one and two family homes are required to be sprinkled in compliance with NFPA 13D. This is required by City Code. (NFPA 101 2009 ed.)***
7. Hydrant locations

University of New England
Alumni Hall Renovations
Stevens Avenue, Portland, Maine



USGS Map 2011
7.5x7.5 Quadrangle

ATTACHMENT 2

LETTER OF AGENT AUTHORIZATION

UNIVERSITY OF NEW ENGLAND

Biddeford Campus
11 Hills Beach Road
Biddeford, ME 04005
(207) 283-0171 T

Portland Campus
716 Stevens Avenue
Portland, ME 04103
(207) 797-7261 T

February 27, 2015

Mr. Tom Saucier
SYTDesign Consultants
P.O. Box 86A
160 Longwoods Road
Cumberland, ME 04021

TO WHOM IT MAY CONCERN:

This letter authorizes Tom Saucier to serve as an agent for University of New England for the purpose of permitting the renovations to Alumni Hall on the University of New England's Portland campus.

Sincerely,

Alan Thibeault
Director of Campus Planning

ATTACHMENT 3

PROJECT DESCRIPTION

Project Description

The project consists of the historic renovation of Alumni Hall, and the reconstruction of the existing connector building, shown as the Annex. Alumni Hall is a 1834 painted brick building with wood trim and wood cupola that will be restored to the 1890 period, which will include returning the building to a lighter color.

The existing Annex is a one story structure with a crawl space that is not structurally stable. The replacement building will be similar in massing and materials. However, instead of a crawl space under the Annex, a habitable space will be created.

The project is located at the westerly end of the green on the campus, southerly of College Street. The restored Alumni Hall and Annex will becomes a central hub and celebratory home for the Portland campus and its students, with a number of small, mid-level and spacious rooms to host academic events, lectures and receptions, inter-professional education activities, and alumni gatherings. The lower level will be reserved for student study and lounge areas. On the second level a suite of offices will be constructed to support some of UNE's executive staff.

Site work associated with the project will include construction of a ramp in the existing green area within the courtyard to provide an accessible route to the building entrances, as noted on the site plan. The ramp will replace an existing stairway. The courtyard will be regraded to accommodate the new ramp grades. The southerly entrance will be reconstructed as shown on the site plan.

ATTACHMENT 4

DEED

Abstract

Abstract of Title to the following described [illegible]:

A certain lot or parcel of land with the building thereon, situated number 374 Stevens Avenue in that part of said Portland formerly Deering, and being bounded and described as follows:

Beginning at a stone post standing on the southerly side of College Street, formerly Seminary Street, one hundred and fifty-eight (158) feet more or less from the northwesterly corner of said College Street and Stevens Avenue, and running north, twenty-four and one-fourth (24 1/4) degrees east, one hundred and forty-eight and one-half (148 1/2) feet to land now or late of Captain Sargent; thence south, seventy (70) degrees east by said Sargent's land one hundred and forty-one and one half (141 1/2) feet more or less to said Stevens Avenue; thence southerly by said Stevens Avenue seventy-four (74) feet to land now or late of Arabella W. Roberts; thence westerly by land now or late of said Roberts in a line parallel with said College Street one hundred (100) feet; thence southerly again by land now or late of said Roberts in a line parallel with said Stevens Avenue ninety (90) feet to said College Street; and thence westerly by said College Street to point of beginning; be any or all of said measurements more or less, or however otherwise bounded, measured or described.

Being the same premises conveyed by Lydia J. Snow to Thalia L. Clement, formerly Thalia L. Seamman, by warranty deed dated April 22, 1902, and recorded in Cumberland County Registry of Deeds, Book 716, Page 326.

bounded, measured or described.

Being the same premises conveyed by Lydia J. Snow to Thalia L. Clement, formerly Thalia L. Scamman, by warranty deed dated April 22, 1902, and recorded in Cumberland County Registry of Deeds, Book 716, Page 346.

Excepting that certain lot or parcel of land conveyed by the said Thalia L. Clement to Victor Brewster by warranty deed dated October 19, 1908, and recorded in Cumberland County Registry of Deeds, Book 831, Page 38.

377-518.
(Elizur)
Eleazer B. Forbes to Joseph C. Snow;

Warranty; July 29, 1870;

Tract embracing lot described.

478-428.

Joseph C. Snow to Lydia J. Snow, wife;

Warranty; December 13,1880;

Same tract as 377-518.

716-326.

Lydia J. Snow to Thalia L. Scamman;

Warranty, April 22, 1902.

721-20.

Thalia L. Scamman to Portland Savings Bank;

Mortgage; September 30, 1902; Discharged on margin

Mar. 2, 1905.

Thalia L. Clement to Portland Savings Bank, June 10,1910.
Mortgage;
Discharged on margin September 22, 1914.

At the present time there are no encumbrances of record.

Dated at Portland, Maine, this fifth day of April,

A.D. 1919.

Rebecca Buckley

Quit-Claim Deed

CORPORATION — WITH COVENANT

FROM

ALL SOULS UNIVERSALIST CHURCH OF
PORTLAND, MAINE
(ALL SOULS CHURCH PARISH)

TO

WESTBROOK SEMINARY AND JUNIOR COLLEGE

Dated February 9, 1940

State of Maine,

Cumberland ss. Registry of Deeds

Received FEB 9 1940

at 3 H., 36 M., P M., and

recorded in Book 1598 Page 276

ATTEST: [illegible] REGISTER

FROM THE OFFICE OF

Bradley, Linnell, Nulty & Brown
192 Middle Street
Portland, Maine

To have and to hold the same, together with all the privileges and appurtenances thereunto belonging, to it, the said

Westbrook Seminary and Junior College, its successors

~~Heirs~~ and Assigns forever.

And the said Grantor Corporation does covenant with the said

Westbrook Seminary and Junior College, its successors

~~Heirs~~ and Assigns, that it will **Warrant** and **Forever Defend** the premises to it, the said Grantee, its successors ~~Heirs~~ and Assigns forever, against the lawful claims and demands of all persons claiming by, through, or under it.

In Witness Whereof, the said All Souls Universalist Church of Portland, Maine (All Souls Church Parish)

has caused this instrument to be sealed with its ~~corporate~~ seal and signed in its corporate name by Herbert B. Seal, President of its Board of Trustees, ~~and~~ thereunto duly authorized, this 9th day of February in the year one thousand nine hundred and forty.

Signed, Sealed and Delivered in presence of

E. P. Perkins

ALL SOULS UNIVERSALIST CHURCH OF PORTLAND, MAINE
(ALL SOULS CHURCH PARISH)

By Herbert B. Seal
Its President of Board of Trustees.

~~(CORPORATE SEAL)~~

State of Maine.
CUMBERLAND, } ss.

February 9, 1940.

Personally appeared the above named Herbert B. Seal, President of the Board of Trustees of said Grantor Corporation as aforesaid, and acknowledged the foregoing instrument to be his free act and deed in his said capacity, and the free act and deed of said corporation.

Before me,

Elliot P. Perkins
Justice of the Peace

Warranty Deed

FROM

WALTER G. WHITMAN

TO

WESTBROOK SEMINARY AND JUNIOR COLLEGE

Dated _____, 1940

State of Maine

Cumberland ss. Registry of Deeds

Received MAR 28 1940

at 4 H., 55 M., P M., and

recorded in Book 1603 Page 98

Attest: _____ Register.

FROM THE OFFICE OF

Bradley, Linnell, Nulty & Brown
192 Middle Street
Portland, Maine

4-55

Cudeke

Know all Men by these Presents

That ALL SOULS UNIVERSALIST CHURCH OF PORTLAND, MAINE, a religious society duly organized under the laws of the State of Maine and located at Portland, in the County of Cumberland and State of Maine, formerly known as and called ALL SOULS CHURCH PARISH,

~~a corporation organized and existing under the laws of the State~~

~~of~~ ~~Westbrook~~

~~in the County of~~ ~~in the State~~

in consideration of one dollar and other valuable consideration

paid by WESTBROOK SEMINARY AND JUNIOR COLLEGE, a corporation organized and existing under the laws of the State of Maine and located at said Portland,

the receipt whereof it does hereby acknowledge, does hereby remise, release, bargain, sell and convey, and forever quit-claim unto the said

Westbrook Seminary and Junior College, its successors

~~heirs~~ and assigns forever,

~~the following described premises situated in said Portland:~~

1. A certain lot or parcel of land situated in said Portland and bounded and described as follows: Beginning at an iron stake at the northwesterly corner of the lot of land conveyed by Ella Louise Fernald to Susie Whitman by deed dated May 11, 1908 and recorded in Cumberland County Registry of Deeds in Book 826, Page 72; thence by land conveyed to said Whitman as aforesaid and by land conveyed to said Whitman by Cordelia S. Pierce by deed dated August 3, 1892 and recorded in said Registry of Deeds, Book 595, Page 256, on a course of South sixty-four degrees forty-two minutes East (S. 64° 42' E.) two hundred thirty-three (233) feet to an iron stake; thence by other land of said Grantor on a course of North twenty-one degrees fifty-six minutes East (N. 21° 56' E.) sixty-eight and fifty-five hundredths (68.55) feet to the Southeasterly corner of the lot of land next hereinafter described and conveyed; thence by said lot of land next hereinafter described and conveyed on a course of North sixty-four degrees fifty-five minutes West (N. 64° 55' W.) two hundred twenty-one and three tenths (221.3) feet to other land of said Grantee; thence by land of said Grantee on a course of South thirty-one degrees forty-five minutes West (S. 31° 45' W.) sixty-eight and one tenth (68.1) feet to the point of beginning.

Said above described lot is subject to the life lease to Ella L. Perry as granted to her by All Souls Church Parish by lease dated October 17, 1924 and recorded in said Registry in Book 1204, Page 65.

2. A certain other lot or parcel of land in said Portland and bounded and described as follows: Beginning at a stake on the northerly line of the lot of land which Cordelia S. Pierce devised to All Souls Universalist Church of Portland, Maine under the name of Society of All Souls Church by her last will and testament

Westbrook Seminary and Junior College, its successors

heirs and assigns forever,

the following described premises situated in said Portland:

1. A certain lot or parcel of land situated in said Portland and bounded and described as follows: Beginning at an iron stake at the northwesterly corner of the lot of land conveyed by Ella Louise Fernald to Susie Whitman by deed dated May 11, 1908 and recorded in Cumberland County Registry of Deeds in Book 826, Page 72; thence by land conveyed to said Whitman as aforesaid and by land conveyed to said Whitman by Cordelia S. Pierce by deed dated August 3, 1892 and recorded in said Registry of Deeds, Book 593, Page 256, on a course of South sixty-four degrees forty-two minutes East (S. 64° 42' E.) two hundred thirty-three (233) feet to an iron stake; thence by other land of said Grantor on a course of North twenty-one degrees fifty-six minutes East (N. 21° 56' E.) sixty-eight and fifty-five hundredths (68.55) feet to the Southeasterly corner of the lot of land next hereinafter described and conveyed; thence by said lot of land next hereinafter described and conveyed on a course of North sixty-four degrees fifty-five minutes West (N. 64° 55' W.) two hundred twenty-one and three tenths (221.3) feet to other land of said Grantee; thence by land of said Grantee on a course of South thirty-one degrees forty-five minutes West (S. 31° 45' W.) sixty-eight and one tenth (68.1) feet to the point of beginning.

Said above described lot is subject to the life lease to Ella L. Perry as granted to her by All Souls Church Parish by lease dated October 17, 1924 and recorded in said Registry in Book 1204, Page 65.

2. A certain other lot or parcel of land in said Portland and bounded and described as follows: Beginning at a stake on the northerly line of the lot of land which Cordelia S. Pierce devised to All Souls Universalist Church of Portland, Maine under the name of Society of All Souls Church by her last will and testament, an abstract of which is recorded in Cumberland County Registry of Deeds in Book 757, Page 156, said stake being distant one hundred forty-five (145) feet westerly of the westerly line of Stevens Avenue as established by deed from Westbrook Seminary to the City of Portland dated May 29, 1917 and recorded in said Registry in Book 1086, Page 449; thence by other land of said Grantor on a course of South twenty-one degrees fifty-six minutes West (S. 21° 56' W.) sixty-eight and fifty-five hundredths (68.55) feet to the northeasterly corner of the lot of land next hereinbefore described and conveyed; thence by said lot of land next hereinbefore described and conveyed on a course of North sixty-four degrees fifty-five minutes West (N. 64° 55' W.) two hundred twenty-one and three tenths (221.3) feet to land of said Grantee; thence by land of said Grantee on a course of North thirty-one degrees forty-five minutes East (N. 31° 45' E.) sixty-eight and one tenth (68.1) feet to a stake; thence by land of said Grantee on a course of South sixty-five degrees eight minutes East (S. 65° 08' E.) two hundred nine and sixty-four hundredths (209.64) feet to the point of beginning.

Said aforementioned courses are magnetic and of the date of 1955.

Being a part of the property devised to All Souls Universalist Church of Portland, Maine under the name of Society of All Souls Church by the last will and testament of Cordelia S. Pierce, an abstract thereof being recorded in said Registry of Deeds in Book 757, Page 156.

To Have and to Hold the aforegranted and bargained premises with all the privileges and appurtenances thereof, to the said

Westbrook Seminary and Junior College, its successors

~~heirs~~ and assigns, to its and their use and behoof forever.

And I do covenant with the said Grantee , its ~~heirs~~ successors and assigns, that I am lawfully seized in fee of the premises, that they are free of all incumbrances except as aforesaid;

that I have good right to sell and convey the same to the said Grantee to hold as aforesaid; and that I and my heirs shall and will **Warrant and Defend** the same to the said Grantee , its ~~heirs~~ successors and assigns forever, against the lawful claims and demands of all persons except as aforesaid.

In Witness Whereof. I, the said Walter G. Whitman,

and I, Grace B. Whitman,

wife of the said Walter G. Whitman,

joining in this deed as Grantor , and relinquishing and conveying all right by descent and all other rights in the above described premises, have hereunto set our hands and seals this 26th day of March in the year of our Lord one thousand nine hundred and forty.

Signed, Sealed and Delivered in presence of

Sumner G. Wheeler

Walter G. Whitman

Grace B Whitman

premises, have hereunto ...

day of March in the year of our Lord one thousand nine hundred and forty.

Signed, Sealed and Delivered in presence of

Sumner G. Whittier

Walter G. Whitman

Grace B. Whitman

COMMONWEALTH OF MASSACHUSETTS,

Essex, ss. March 26, 1940.

Personally appeared the above named Walter G. Whitman and acknowledged the foregoing instrument to be his free act and deed.

Before me,

Charles N. Metcalf

~~Justice of the Peace~~

Notary Public.

My commission expires Apr. 28, 1944

KNOW ALL MEN BY THESE PRESENTS, That the CITY OF PORTLAND, a body politic and corporate located in the County of Cumberland and State of Maine, in consideration of One Dollar ($1.00) and other good and valuable considerations, paid by Westbrook College, a corporation organized and existing under the laws of the State of Maine and located at 716 Stevens Avenue in said Portland in said County and State, the receipt whereof it does hereby acknowledge, does hereby give, grant, bargain, sell and convey, unto the said Westbrook College, its successors and assigns forever, certain real estate located in said Portland, lying Westerly of College Street and Southerly of Bishop Street, bounded and described as follows:

> Beginning at a point on the Northerly line of the land of Portland Railroad Company where the same intersects with land hereby conveyed and land formerly of George H. Smardon, commonly known as the Smardon Gravel Pit, formerly Read's Gravel Pit; thence from said point North 19° 30' East 28.68 rods; thence North 60° West Seven and thirty-two hundredths (7.32) rods to a point; thence South 74° 45' West Thirty-six and sixty-four hundredths (36.64) rods to a point; thence North 5° West Two and fifty-six hundredths (2.56) rods; thence North 30° West Twenty-four and four tenths (24.4) rods; thence South 65° West Forty-seven and twelve hundredths (47.12) rods to center of ditch; thence up the center of said ditch towards what is known as pasture Two Hundred Ninety-eight (298) feet; thence in a straight line to a point in line of Evergreen Cemetery indicated by a spruce stump, said stump being at the intersection between land of said Cemetery and land conveyed by Luther B. Roberts to the said City of Portland; thence from said stump North 80° 21' East Three Hundred Seventy-one and two tenths (372.2) feet to an angle; thence from said angle North 76° 8' East, Five Hundred Ninety-six and twenty-two hundredths (596.22) feet to an angle; thence from said last named angle at a right angle South 12° 52' East Seventy-five (75) feet to land of said Portland Railroad Company; thence about North 76° 8' East by said Portland Railroad Company's land to the point of beginning.
>
> Also a certain other parcel of land, abutting the above described premises and bounded and described as follows: Beginning at the center of the ditch

Two Hundred Ninety-eight (298) feet; thence in a straight line to a point in line of Evergreen Cemetery indicated by a spruce stump, said stump being at the intersection between land of said Cemetery and land conveyed by Luther B. Roberts to the said City of Portland; thence from said stump North 80° 21' East Three Hundred Seventy-one and two tenths (372.2) feet to an angle; thence from said angle North 76° 8' East, Five Hundred Ninety-six and twenty-two hundredths (596.22) feet to an angle; thence from said last named angle at a right angle South 12° 52' East Seventy-five (75) feet to land of said Portland Railroad Company; thence about North 76° 8' East by said Portland Railroad Company's land to the point of beginning.

Also a certain other parcel of land, abutting the above described premises and bounded and described as follows: Beginning at the center of the ditch between the hereinabove described premises and the land hereby conveyed and in line of land now or formerly owned by Adam Wilson and running Southerly by land of said Wilson to the Westerly corner of land of Evergreen Cemetery; thence South Twenty-four (24°) degrees East by land of said Cemetery One hundred and seventy-five (175) feet to a point; thence by land formerly of Dennis F. Gulliver, and being the premises hereinabove described, in a straight line to a point in the center of said ditch; said point being Two Hundred Ninety-eight (298) feet from the point of beginning; thence down the center of said ditch to the point of beginning.

256

Excepting and reserving from the above described premises that portion thereof conveyed by the Grantor to Central Maine Power Company by deed dated February 26, 1967, recorded in said Registry of Deeds in Book 2989, Page 13.

This conveyance is made subject to the right-of-way or easement granted by the Grantor to Central Maine Power Company by deed dated December 13, 1951, recorded in said Registry of Deeds in Book 2055, Page 463.

Reserving to the Grantor, its successors and assigns, the right perpetually to enter at any and all times upon a strip of land fifty (50) feet in width lying equally on either side of the storm drain and upon a strip of land fifty (50) feet in width lying equally on either side of the brook presently located on the premises herein conveyed and the right perpetually to maintain, repair, rebuild, relocate, or remove said storm drain and brook with all necessary fixtures and appurtenances within said strips of land, granting to the Grantee, its successors and assigns, the use and enjoyment of said strips of land for such purposes only as will in no way interfere with the perpetual use thereof by the Grantor, its successors and assigns, for the purposes above mentioned, except that no buildings or structures may be erected within said strips of land. Also reserving to the Grantor, its successors and assigns, the right perpetually to enter at any and all times upon the premises herein conveyed for the purpose of access and egress by itself, its servants and/or agents to and from said strips of land.

Being the same premises conveyed to the Grantor by deed of James Gulliver, Administrator, d.b.n.c.t.a., of the Estate of Stephen Gulliver by deed dated August 23, 1935, recorded in said Registry of Deeds in Book 1476, Page 441.

Also a certain lot of land lying in the rear of College Street, in the City of Portland, bounded and described as follows, to wit:

Beginning at a point on the Northerly side line of College Street and at the Westerly corner of land belonging to Francis L. Stone; thence North 25° 22' east by land of said Stone eighty-seven and nineteen one hundredths (87.19) feet to land of the Portland Railroad Company; thence North 62° 26' west by land of said Portland Railroad Company four hundred and thirty-one and ninety three one hundredths (431.93) feet

Seventy-one and two tenths (372.2) feet to an angle; thence from said angle North 76° 8' East, Five Hundred Ninety-six and twenty-two hundredths (596.22) feet to an angle; thence from said last named angle at a right angle South 12° 52' East Seventy-five (75) feet to land of said Portland Railroad Company; thence about North 76° 8' East by said Portland Railroad Company's land to the point of beginning.

Also a certain other parcel of land, abutting the above described premises and bounded and described as follows: Beginning at the center of the ditch between the hereinabove described premises and the land hereby conveyed and in line of land now or formerly owned by Adam Wilson and running Southerly by land of said Wilson to the Westerly corner of land of Evergreen Cemetery; thence South Twenty-four (24°) degrees East by land of said Cemetery One hundred and seventy-five (175) feet to a point; thence by land formerly of Dennis F. Gulliver, and being the premises hereinabove described, in a straight line to a point in the center of said ditch; said point being Two Hundred Ninety-eight (298) feet from the point of beginning; thence down the center of said ditch to the point of beginning.

ATTACHMENT 5

ZONING COMPLIANCE AND APPLICABLE DESIGN STANDARDS

Zoning Compliance and Applicable Design Standards

The project consists of the historic renovation of Alumni Hall, and the reconstruction of the existing connector building, shown as the Annex. Alumni Hall is a 1834 painted brick building with wood trim and wood cupola that will be restored to the 1890 period, which will include returning the building to a lighter color.

The existing Annex is a one story structure with a crawl space that is not structurally stable. The replacement building will be similar in massing and materials. However, instead of a crawl space under the Annex, a habitable space will be created.

The project is located at the westerly end of the green on the campus, southerly of College Street. The restored Alumni Hall and Annex will becomes a central hub and celebratory home for the Portland campus and its students, with a number of small, mid-level and spacious rooms to host academic events, lectures and receptions, inter-professional education activities, and alumni gatherings. The lower level will be reserved for student study and lounge areas. On the second level a suite of offices will be constructed to support some of UNE's executive staff.

Site work associated with the project will include construction of a ramp in the existing green area within the courtyard to provide an accessible route to the building entrances, as noted on the site plan. The ramp will replace an existing stairway. The courtyard will be regraded to accommodate the new ramp grades. The southerly entrance will be reconstructed as shown on the site plan.

Section 14-526 of the Land Use Ordinance outlines the standards for Site Plan Approval. The following discussion outlines how this project will comply with the site plan standards.

14-526. (a) Transportation

1. *Impact on Surrounding Street Systems*: There will be no discernible increase in peak hour trip generation associated with the renovations. Vehicular and pedestrian traffic patterns will remain unchanged.
2. *Access and Circulation*: There are no known safety concerns with the existing site access. Site access will remain essentially unchanged. The existing sidewalk easterly of the courtyard, located on UNE's property, will be reconstructed to accommodate the new ramp grades.
4. *Parking*: UNE has previously demonstrated that the existing parking on campus is adequate. There will be no reduction in parking associated with the project.

14-526. (b) Environmental Quality Standards

1. *Preservation of Significant Natural Features*: There are no significant natural features, as defined in the ordinance, located within the project area.

2. *Landscaping and Landscape Preservation*: The courtyard will be landscaped in general conformance with the conceptual landscape plan provided.

3. *Water Quality, Stormwater Management, and Erosion Control*: The increase in impervious area associated with the project, 670 sf., is minimal. There will be no increase in the rate of stormwater runoff from the site. The increased impervious area consists of roof and walk areas. The runoff from these areas is generally tributary to an existing dry well system. There will be no change to the general characteristics of the stormwater runoff quantity or quality due to the development as proposed.

14-526. (c) Public Infrastructure and Community Safety Standards

1. *Consistency with City Master Plans:* We are unaware of any city master plans which would impact the nature of the development as proposed.

14-526. (d) Site Design Standards

5. *Historic Resources:* This project is located within the City of Portland's Westbrook College Historic District. The building and site designs were reviewed by the city Historic Preservation Committee, and approval was granted on March 18, 2015.
6. *Exterior Lighting:* The exterior lighting for the facility will consist of residential scale fixtures located at the doorways, lighting mounted within the brick wall along the courtyard, and the existing bollard lights in the courtyard area, which will be maintainedThe proposed lighting was reviewed and approved by the Historic Preservation Committee.
8. *Signage and Wayfinding*: There is no new freestanding signage associated with the project.
9. *Zoning Related Design Standards*: Not Applicable.

PROJECT DRAWINGS

800-243-9595

Home Cart

Search New Classics

Go

NEW CLASSICS

- Exterior Lighting
- Interior Lighting
- Alabaster Lighting
- Design Styles
- Recent Additions

Home > Exterior Lighting > London Lantern > London Scrolled Drop Exterior Wall Light >

London™ Lantern 7" Wide Scrolled Drop Exterior Wall Light

Larger Photos

Email a Friend

Light Fixtures Made for You

Design Your Own

learn more

Our London Lantern's character was inspired by the stately glass-enclosed conservatories designed for elegant homes and country estates by 19th centur British architects.

Starting Price $860.00

Availability: Usually Ships in 2 to 3 Weeks

Product Code: EX-5707-A37

Choose Your Options:

Finish*: Select — View Metal Finish Options

Art Glass*: Select — View Glass Panel Options

Finial Options*: Select — View Finial Options

Socket Type*: Select

Notes:

Tag:

Qty: 1 Add To Cart

London™ Lantern 7" Wide Scrolled Drop Exterior Wall Light

- Dimensions as shown:
  - 7" roof width
  - 10 1/2" lantern height
  - 14 1/2" overall length
  - 11" projection
  - 5" w x 7 1/4" h mounting plate
- Socket Types:
  - Medium screw in base accepts:
    - 1/150 watt max. incandescent
    - or 1/42 watt max. self-ballasted compact fluorescent (CFL)
    - or self-driven LED
  - Candelabra base cluster accepts:
    - 2/60 watt max. incandescent
    - or 2/13 watt max. self-ballasted compact fluorescent
    - or 2 self-driven candelabra base LED's
  - GU24 base accepts:
    - 1/42 watt max. self-ballasted bi-pin fluorescents
- Handmade in U.S.A
- UL listed for exterior use

Click to view all sizes and mounting options on the London Lantern Family.

London Finial Options

Classical Acorn

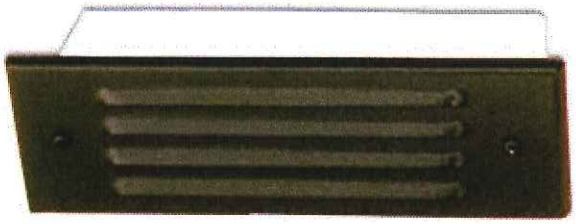
Onion

Browse for more products in the same category as this item:

Exterior Lighting > London Lantern > London Scrolled Drop Exterior Wall Light
Exterior Lighting Mount Types > Exterior Wall Lights
Exterior Lighting > London Lantern > London Wall
Exterior Lighting > London Lantern

Brass Light Gallery®

1101 West St. Paul Avenue Milwaukee, WI 53233

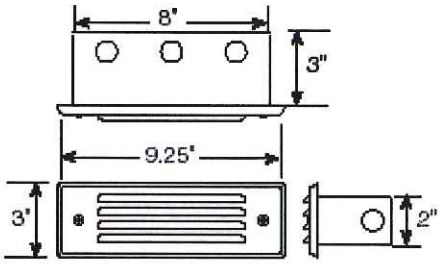


Focus Industries - Aluminum Low Voltage Step/Deck/Brick Light Available w/ LED Lamp

Manufacturer: Focus Industries
Item Number: RLLD2125FOC

Outdoor Low Voltage Landscape Lighting Louvered Brick step/deck lighting specifications:

- FACE PLATE: Heavy duty stamped aluminum
- BACK BOX: Heavy duty stamped galvanized steel powder coated high reflective white
- LENS (-AL & -1L MODELS ONLY): High impact white acrylic
- GASKET: Black neosponge closed cell; .190" thickness
- LAMP SUPPLIED: 2 x 18 watt S-8 #1141; 1200 hours average rating (25w max.)
- LAMP OPTIONS: We recommend 10,000 hours average rating Xenon (-X) or Halogen (-H) or 2.2w 50,000 hours average rating OMNI-2 LED
- LED lamp option: SC Base LED, 2700K, 50,000 hour average rated Operating range of 9v - 18v (OPTIMUM 10v-15v)
- SOCKET: Single contact bayonet, brass nickel plated lamp socket screw shell (Ba15s) with 200° C silicone lead wires
- WIRING: Black 3 foot 18/2 zip cord (12v. only)
- CONNECTION: FA-05 Quick Connector (not supplied) from fixture to main cable (12/2, 10/2 or 8/2 only)
- FINISH: Aluminum - Black texture polyester powder coat; optional finishes available



Read what other customers had to say about this product:

- See more at: http://www.residential-landscape-lighting-design.com/store/high_voltage_aluminum_recessed_step_lights_RLLD2125FOC.htm#sthash.fgGAbmFj.dpuf

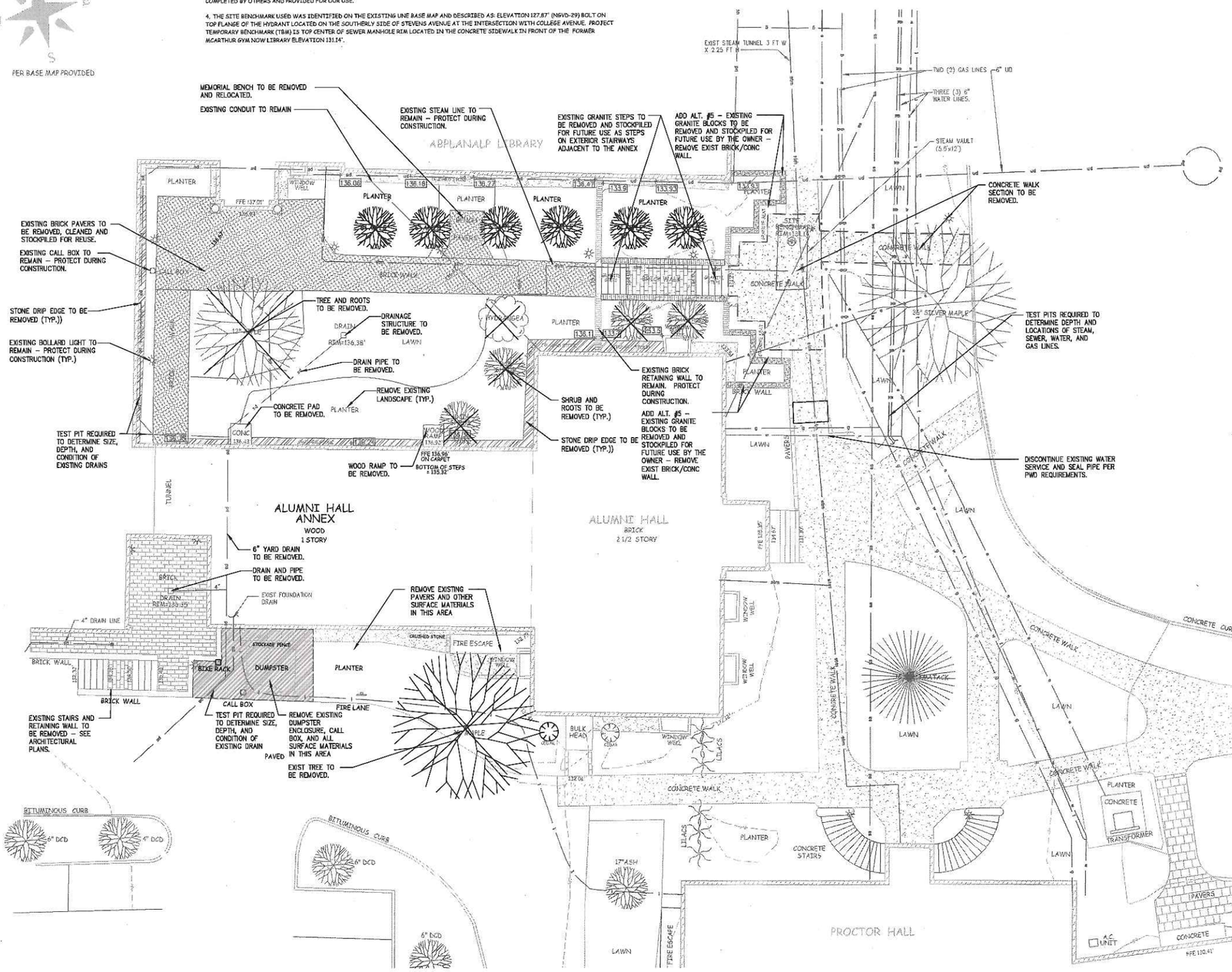
SURVEY NOTES

1. THIS TOPOGRAPHIC SURVEY WAS COMPLETED FOR PLANNED BUILDING IMPROVEMENTS TO ALUMNI HALL.

2. UNDERGROUND UTILITIES AT THE PROPERTY WERE NOT LOCATED AS A RESULT OF THIS FIELD SURVEY AND ARE ONLY APPROXIMATE IN LOCATION. PRIOR TO ANY SITE MODIFICATIONS IT IS RECOMMENDED THAT SITE UTILITIES SHOULD BE CONFIRMED AND THE PROJECT AREA MARKED IN THE FIELD BY THE APPROPRIATE UTILITY COMPANIES.

3. THE SURVEY COORDINATE SYSTEM (NAD-83) AND ELEVATIONS (NGVD-29) ARE BASED ON THE EXISTING PROJECT DATA BASE FOR U.N.E. COMPLETED BY OTHERS AND PROVIDED FOR OUR USE.

4. THE SITE BENCHMARK USED WAS IDENTIFIED ON THE EXISTING UNE BASE MAP AND DESCRIBED AS: ELEVATION 127.87' (NGVD-29) BOLT ON TOP FLANGE OF THE HYDRANT LOCATED ON THE SOUTHERLY SIDE OF STEVENS AVENUE AT THE INTERSECTION WITH COLLEGE AVENUE. PROJECT TEMPORARY BENCHMARK (TBM) IS TOP CENTER OF SEWER MANHOLE RIM LOCATED IN THE CONCRETE SIDEWALK IN FRONT OF THE FORMER MCARTHUR GYM NOW LIBRARY ELEVATION 131.14'.



EXISTING CONDITIONS AND DEMOLITION NOTES:

1. TOPOGRAPHIC SURVEY AND EXISTING CONDITIONS INFORMATION WAS PROVIDED BY STATE WIDE SURVEYS, INC. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF THE LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.
2. THE CONTRACTOR SHALL NOTIFY DIGSAFE PRIOR TO ANY DEMOLITION AND CONSTRUCTION ACTIVITIES.
3. THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND NOT GUARANTEED BY THE OWNER OR THE ENGINEER. IT IS THE CONTRACTORS RESPONSIBILITY TO LOCATE ALL UTILITIES, ANTICIPATE CONFLICTS, AND REPAIR EXISTING UTILITIES AS REQUIRED TO COMPLETE THE WORK.
4. ANY EXISTING PROPERTY DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED OR REPLACED TO MATCH ITS ORIGINAL EXISTING CONDITIONS BY THE CONTRACTOR AT NO CHARGE TO THE OWNER OR ENGINEER.
5. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING STRUCTURES, UTILITIES, LANDSCAPE AND PAVEMENT ON THE SITE WITHIN THE AREAS DESIGNATED FOR DEMOLITION UNLESS SPECIFICALLY IDENTIFIED TO REMAIN. ITEMS TO BE REMOVED INCLUDE, BUT ARE NOT LIMITED TO BRICK PAVEMENT, CONCRETE PAVEMENT, CONCRETE PADS, MASONRY RETAINING WALLS, DRAIN PIPES, GRANITE STEPS YARD DRAIN AND LANDSCAPING.
6. ALL MATERIALS DESIGNATED FOR REMOVAL/DEMOLITION SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL DISPOSE OF ALL MATERIALS OFF-SITE IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS, ORDINANCES AND CODES.
7. PAVEMENT REMOVAL LIMITS ARE SHOWN FOR THE CONTRACTORS CONVENIENCE ONLY. ADDITIONAL PAVEMENT REMOVAL MAY BE REQUIRED DEPENDING ON THE CONTRACTOR'S OPERATION. CONTRACTOR SHALL VERIFY FULL LIMITS OF PAVEMENT PRIOR TO BIDDING.
8. THE CONTRACTOR SHALL COORDINATE THE REMOVAL, RELOCATION AND DISPOSAL OR SALVAGE OF UTILITIES WITH THE OWNER AND APPROPRIATE UTILITY COMPANY.
9. TREES TO REMAIN WITHIN THE LIMITS OF WORK SHALL BE TAGGED PRIOR TO CONSTRUCTION BY THE LANDSCAPE ARCHITECT AND PROTECTED BY THE CONTRACTOR. TREES TO REMAIN WHICH ARE DAMAGED DURING CONSTRUCTION SHALL BE REMOVED BY THE CONTRACTOR AND REPLACED BY A TREE OF EQUAL SIZE AND SPECIES OR DOLLAR VALUE.
10. ALL MATERIALS DESIGNATED FOR STOCKPILING OR RELOCATION SHALL BE CLEANED, STOCKPILED AND PROTECTED IN AN AREA APPROVED BY THE ARCHITECT UNTIL RELOCATION TAKES PLACE.
11. SCREENED IMAGES REPRESENT EXISTING CONDITIONS.

GENERAL PROJECT NOTES:

1. PRIOR TO THE START OF ANY EXCAVATION FOR THE PROJECT, BOTH ON-SITE AND OFF-SITE, THE CONTRACTOR SHALL NOTIFY DIGSAFE AND BE PROVIDED WITH A DIGSAFE NUMBER INDICATING THAT ALL EXISTING UTILITIES HAVE BEEN LOCATED AND CLEARLY MARKED.
2. CONTRACTOR SHALL THOROUGHLY FAMILIARIZE THEMSELVES WITH ALL DRAWINGS AND SITE CONDITIONS PRIOR TO BIDDING AND PRIOR TO CONSTRUCTION.
3. IT IS THE CONTRACTORS RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH AND COMPLY WITH THE CONDITIONS OF ALL REGULATIONS, PERMITS AND APPROVALS AND CONDUCT THE WORK IN ACCORDANCE WITH THESE PERMITS AND APPROVALS. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL ADDITIONAL PERMITS, STREET OPENINGS, NOTICES AND FEES NECESSARY TO COMPLETE THE WORK.
4. ANY DISCREPANCIES BETWEEN DRAWINGS AND SITE CONDITIONS AS WELL AS MANUFACTURER'S RECOMMENDATIONS SHALL BE REPORTED IMMEDIATELY TO THE OWNER'S REPRESENTATIVE FOR CLARIFICATION AND RESOLUTION PRIOR TO BIDDING OR CONSTRUCTION.
5. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL MEANS, METHODS AND TECHNIQUES EMPLOYED TO PERFORM WORK SHOWN ON THESE PLANS.
6. THE CONTRACTOR SHALL LIMIT THE CONSTRUCTION ACTIVITY TO THE LIMITS SHOWN ON THE PLANS, UNLESS OTHERWISE AUTHORIZED BY THE OWNERS REPRESENTATIVE.

LEGEND

EXISTING		PROPOSED
utm	STEAM LINE	
sd	STORM DRAIN LINE	
w	WATER LINE	
e	POWER LINE	
g	GAS LINE	
t	COMMUNICATION LINE	
100	CONTOUR	
+136.24	ELEVATION SPOT GRADE	
	DIRECTION & SLOPE OF PITCH	
	TOP OF WALL ELEVATION	
	BOLLARD LIGHT FIXTURE	
	BRICK WALL	
	BRICK OR UNIT PAVER	
	CONCRETE	
	TREE & ROOTS TO BE REMOVED	
	STONE DRIP EDGE TO BE REMOVED	
	BRICK WALK TO BE REMOVED	

GRAPHIC SCALE

10 0 5 10 20 40

(IN FEET)
1 inch = 10 ft.

REV.	DATE	STATUS	BY	CHKD.	APPD.	REV.	DATE	STATUS	BY	CHKD.	APPD.
D	03/20/15	ISSUED FOR CITY LEVEL 1 REVIEW	DEPT.	TWS	TWS						
C	03/20/15	STRUCTURAL EARLY RELEASE BID DRAWINGS	DEPT.	TWS	TWS						
B	3/10/15	ISSUED FOR HP REVIEW	DEPT.	TWS	TWS						
A	2/27/15	ISSUED FOR DESIGN DEVELOPMENT	DEPT.	TWS	TWS						

STATE OF MAINE — THOMAS W. SHUTER — NO. 6180 — LICENSED PROFESSIONAL ENGINEER — 3-11-15

Site Design Associates
Consulting Engineering & Land Planning
23 Whitney Way Topsham, Maine 04086 Tel: (207) 449-4275

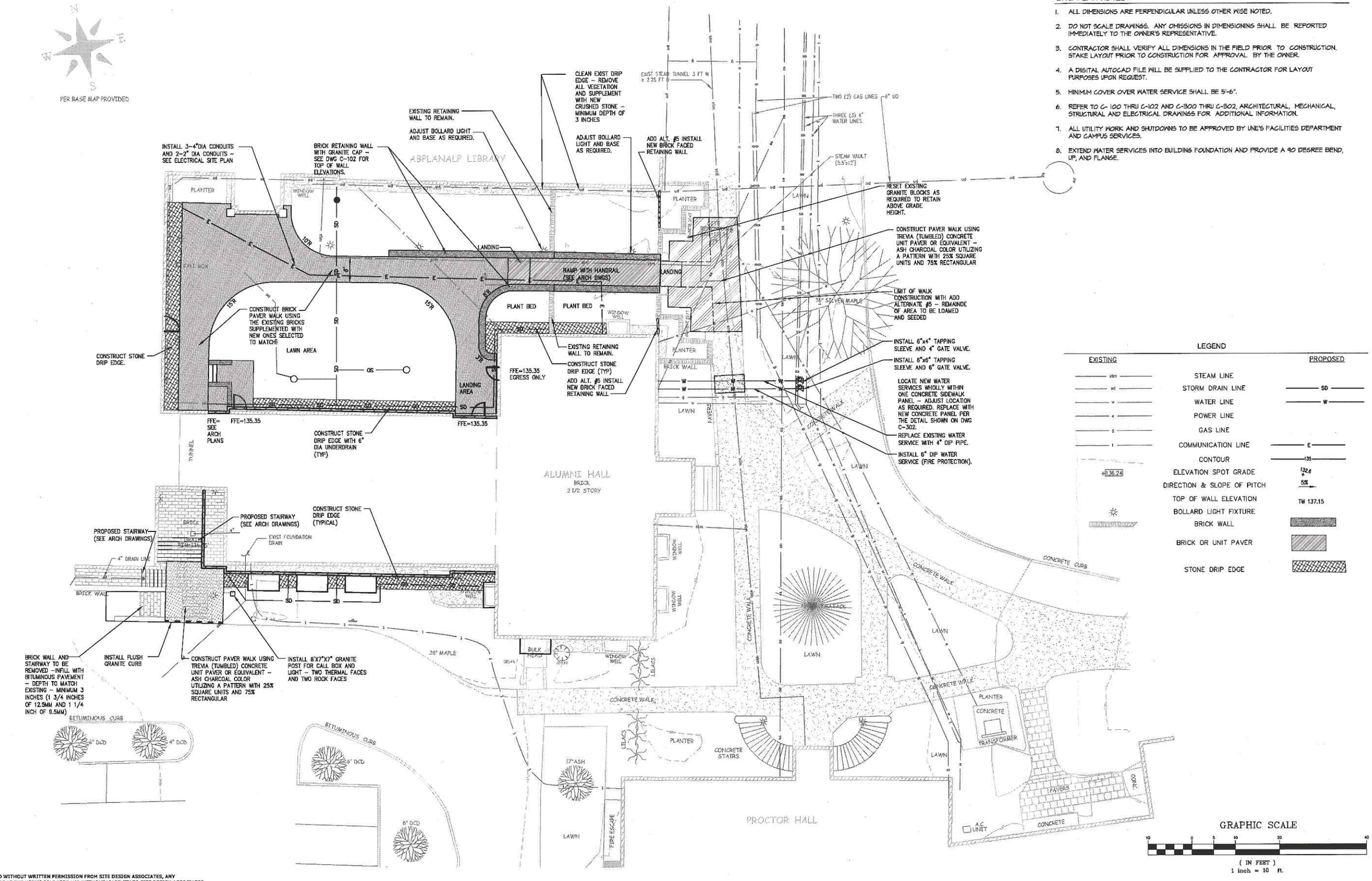
CLIENT:
PORT CITY ARCHITECTURE
65 NEWBURY STREET, PORTLAND, MAINE 04101

DESIGN: TWS
DRAWN: DEPT.
CHKD: TWS
DATE: JAN 2015
SCALE: 1"=10'

PROJECT: ALUMNI HALL RENOVATION
UNIVERSITY OF NEW ENGLAND, PORTLAND, MAINE

EXISTING CONDITIONS AND DEMOLITION PLAN

PROJ. NO.
DWG. NO. C-100
REV. D



SITE PLAN NOTES:

1. ALL DIMENSIONS ARE PERPENDICULAR UNLESS OTHER WISE NOTED.
2. DO NOT SCALE DRAWINGS. ANY OMISSIONS IN DIMENSIONING SHALL BE REPORTED IMMEDIATELY TO THE OWNER'S REPRESENTATIVE.
3. CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO CONSTRUCTION. STAKE LAYOUT PRIOR TO CONSTRUCTION FOR APPROVAL BY THE OWNER.
4. A DIGITAL AUTOCAD FILE WILL BE SUPPLIED TO THE CONTRACTOR FOR LAYOUT PURPOSES UPON REQUEST.
5. MINIMUM COVER OVER WATER SERVICE SHALL BE 5'-6".
6. REFER TO C- 100 THRU C-102 AND C-300 THRU C-302, ARCHITECTURAL, MECHANICAL, STRUCTURAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
7. ALL UTILITY WORK AND SHUTDOWNS TO BE APPROVED BY UNE'S FACILITIES DEPARTMENT AND CAMPUS SERVICES.
8. EXTEND WATER SERVICES INTO BUILDINGS FOUNDATION AND PROVIDE A 90 DEGREE BEND, UP, AND FLANGE.

LEGEND

EXISTING		PROPOSED
stm	STEAM LINE	
sd	STORM DRAIN LINE	SD
w	WATER LINE	W
e	POWER LINE	
g	GAS LINE	
t	COMMUNICATION LINE	E
	CONTOUR	135
+136.24	ELEVATION SPOT GRADE	132.6
	DIRECTION & SLOPE OF PITCH	5%
	TOP OF WALL ELEVATION	TW 137.15
	BOLLARD LIGHT FIXTURE	
	BRICK WALL	
	BRICK OR UNIT PAVER	
	STONE DRIP EDGE	

REV.	DATE	STATUS	BY	CHKD.	APPD.	REV.	DATE	STATUS	BY	CHKD.	APPD.
D	03/20/15	ISSUED FOR CITY LEVEL 1 REVIEW	DEPT.	TWS	TWS						
C	03/20/15	STRUCTURAL EARLY RELEASE BID DRAWINGS	DEPT.	TWS	TWS						
B	3/10/15	ISSUED FOR HP REVIEW	DEPT.	TWS	TWS						
A	2/27/15	ISSUED FOR DESIGN DEVELOPMENT	DEPT.	TWS	TWS						

STATE OF MAINE
THOMAS W. SCHICHER
No. 10
LICENSED
PROFESSIONAL ENGINEER
3-13-15

Site Design Associates
Consulting Engineering & Land Planning
23 Whitney Way Topsham, Maine 04086 Tel: (207) 449-4275

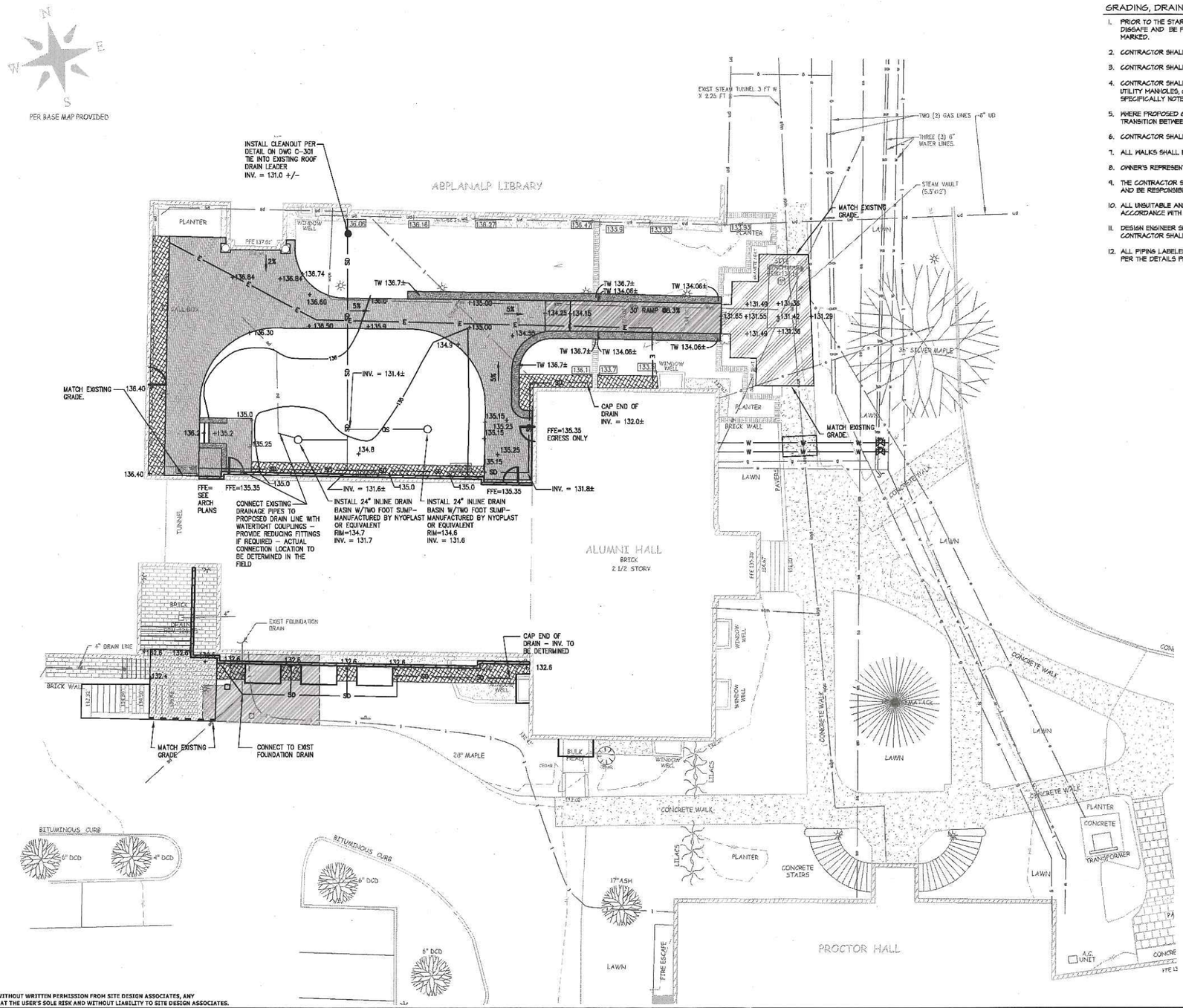
CLIENT:
PORT CITY ARCHITECTURE
65 NEWBURY STREET, PORTLAND, MAINE 04101

DESIGN: TWS
DRAWN: DEPT.
CHKD: TWS
DATE: JAN 2015
SCALE: 1"=10'

PROJECT:
ALUMNI HALL RENOVATION
UNIVERSITY OF NEW ENGLAND, PORTLAND, MAINE

SITE PLAN

PROJ. NO.
DWG. NO. C-101
REV. D



GRADING, DRAINAGE & EROSION CONTROL NOTES:

1. PRIOR TO THE START OF ANY EXCAVATION FOR THE PROJECT BOTH ON AND OFF THE SITE, THE CONTRACTOR SHALL NOTIFY DIGSAFE AND BE PROVIDED WITH A DIGSAFE NUMBER INDICATING THAT ALL EXISTING UTILITIES HAVE BEEN LOCATED AND MARKED.
2. CONTRACTOR SHALL VERIFY EXISTING GRADES AND NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES.
3. CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES AND PLANTING BEDS.
4. CONTRACTOR SHALL ADJUST EXISTING AND PROPOSED UTILITY ELEMENT MEANT TO BE FLUSH WITH GRADE (CLEAN-OUTS, UTILITY MANHOLES, CATCH BASINS, INLETS, ETC) THAT ARE AFFECTED BY SITE WORK OR GRADE CHANGES, WHETHER SPECIFICALLY NOTED ON PLANS OR NOT.
5. WHERE PROPOSED GRADES MEET EXISTING GRADES, CONTRACTOR SHALL BLEND GRADES TO PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING AND NEW WORK. PONDING AT TRANSITION AREAS WILL NOT BE ALLOWED.
6. CONTRACTOR SHALL PROVIDE A FINISHED WALK SURFACE FREE OF LOW SPOTS AND PONDING AREAS.
7. ALL WALKS SHALL BE PITCHED TO DRAIN (2% MAX).
8. OWNER'S REPRESENTATIVE SHALL APPROVE LAYOUT OF ALL DRAINAGE STRUCTURES PRIOR TO INSTALLATION.
9. THE CONTRACTOR SHALL INSTALL CATCH BASIN INLET PROTECTION AT ALL CATCH BASIN INLETS WITHIN THE DISTURBED AREA AND BE RESPONSIBLE FOR TAKING ALL NECESSARY EROSION CONTROL MEASURES.
10. ALL UNSUITABLE AND UNUSED MATERIALS SHALL BE REMOVED AND DISPOSED OF OFF SITE BY THE CONTRACTOR IN ACCORDANCE WITH ALL STATE AND LOCAL LAWS.
11. DESIGN ENGINEER SHALL INSPECT ROUGH GRADING PRIOR TO WALK INSTALLATION AND TOPSOIL SPREADING OPERATIONS. CONTRACTOR SHALL COORDINATE INSPECTION PROVIDING DESIGN ENGINEER 72 HOURS NOTICE.
12. ALL PIPING LABELED AS SD (STORM DRAIN) SHALL BE 6 INCH DIAMTER SDR-35 PVC, PERFORATED, WITH HOLES UP, INSTALLED PER THE DETAILS PROVIDED ON DWG C-301.

LEGEND

EXISTING		PROPOSED
atm	STEAM LINE	
sd	STORM DRAIN LINE	SD
w	WATER LINE	W
e	POWER LINE	
g	GAS LINE	
t	COMMUNICATION LINE	E
135	CONTOUR	135
+136.24	ELEVATION SPOT GRADE	132.6 +
	DIRECTION & SLOPE OF PITCH	5%
	TOP OF WALL ELEVATION	TW 137.15
	BOLLARD LIGHT FIXTURE	
	BRICK WALL	
	BRICK PAVER	
	STONE DRIP EDGE	

GRAPHIC SCALE

10 0 5 10 20 40

(IN FEET)
1 inch = 10 ft.

REV.	DATE	STATUS	BY	CHKD.	APPD.	REV.	DATE	STATUS	BY	CHKD.	APPD.
C	03/20/15	ISSUED FOR CITY LEVEL 1 REVIEW	DEPT.	TWS	TWS						
B	03/20/15	STRUCTURAL EARLY RELEASE BID DRAWINGS	DEPT.	TWS	TWS						
A	2/27/15	ISSUED FOR DESIGN DEVELOPMENT	DEPT.	TWS	TWS						

STATE OF MAINE THOMAS W. SANCHEZ No. 9746 LICENSED PROFESSIONAL ENGINEER 3-27-15

Site Design Associates
Consulting Engineering & Land Planning
23 Whitney Way Topsham, Maine 04086 Tel: (207) 449-4275

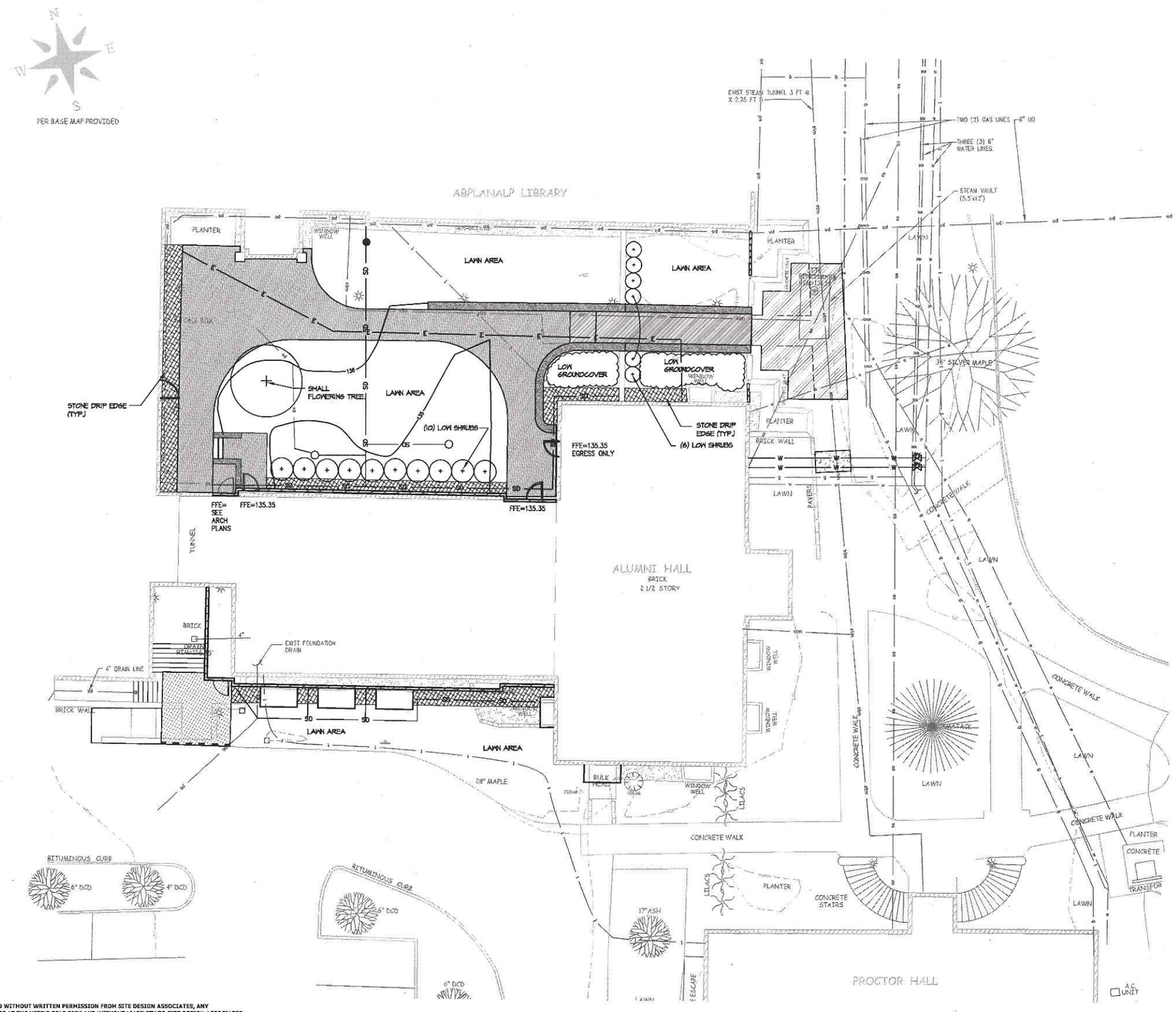
CLIENT:
PORT CITY ARCHITECTURE
65 NEWBURY STREET, PORTLAND, MAINE 04101

DESIGN: TWS
DRAWN: DEPT.
CHKD: TWS
DATE: JAN 2015
SCALE: 1"=10'

PROJECT:
ALUMNI HALL RENOVATION
UNIVERSITY OF NEW ENGLAND, PORTLAND, MAINE

GRADING, DRAINAGE AND EROSION CONTROL PLAN

PROJ. NO.
DWG. NO. C-102
REV. C



LANDSCAPE NOTES:

1. PRIOR TO THE START OF ANY EXCAVATION FOR THE PROJECT BOTH ON AND OFF THE SITE, THE CONTRACTOR SHALL NOTIFY DIGSAFE AND BE PROVIDED WITH A DIGSAFE NUMBER INDICATING THAT ALL EXISTING UTILITIES HAVE BEEN LOCATED AND MARKED.
2. CONTRACTOR SHALL VERIFY ALL TREE REMOVALS WITH LANDSCAPE ARCHITECT PRIOR TO START OF CONSTRUCTION. ANY TREES MARKED TO REMAIN THAT ARE DAMAGED OR REMOVED DURING CONSTRUCTION, SHALL BE REPLACED WITH TREES EQUALING THE SPECIES AND CALIPER LOST.
3. LANDSCAPE CONTRACTOR IS ENCOURAGED TO PROVIDE THE LANDSCAPE ARCHITECT WITH CONCERNS AND/OR SUGGESTIONS WITH REGARDS TO PROPOSED PLANT MATERIAL SELECTION PRIOR TO PLACING A PURCHASE ORDER.
4. THE LANDSCAPE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE ALL PLANTINGS SHOWN GRAPHICALLY ON THIS DRAWING. CLARIFY ANY DISCREPANCIES WITH THE LANDSCAPE ARCHITECT PRIOR TO PRICING ANY PLANT MATERIAL.
5. ALL PLANT MATERIALS SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE LATEST EDITION OF THE AMERICAN ASSOCIATION OF NURSERYMENS "AMERICAN STANDARD OF NURSERY STOCK".
6. ALL PLANT MATERIALS ARE SUBJECT TO THE APPROVAL OF THE OWNER'S REPRESENTATIVE AT THE SITE. PLANTS WHICH ARE REJECTED SHALL BE REMOVED FROM THE SITE IMMEDIATELY AND REPLACED AT NO ADDITIONAL COST TO THE OWNER.
7. ALL TREES AND SHRUBS TO BE BALLED IN BURLAP OR CONTAINERIZED.
8. MULCH FOR PLANTED AREAS TO BE ASED SPRUCE AND FIR BARK, PARTIALLY DECOMPOSED, DARK BROWN IN COLOR AND FREE OF WOOD CHIPS THICKER THAN 1/4 INCH.
9. CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL BUILDING FOUNDATIONS, STRUCTURES AND PLANTING BEDS.
10. NO PLANTS SHALL BE PLANTED BEFORE ACCEPTANCE OF ROUGH GRADING AND BEFORE CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
11. ALL SHRUB GROUPINGS SHALL BE INCORPORATED INTO BEDS. WHERE MULCHED PLANT BED ABUTS LAWN, CONTRACTOR SHALL PROVIDE A TURF CUT EDGE.
12. ALL TREES ALONG WALKS SHALL BEGIN BRANCHING AT 6' HT. MIN.
13. ALL PLANT MATERIAL OR REPRESENTATIVE SAMPLES SHALL BE LEGIBLY TAGGED WITH PROPER COMMON AND BOTANICAL NAMES. TAGS SHALL REMAIN ON THE PLANTS UNTIL FINAL ACCEPTANCE.
14. LAWN AREAS SHALL BE SEEDED WITH:SEED TYPE % BY WEIGHT: CREEPING RED FESCUE (MIN. 2 VARIETIES) 55%, KENTUCKY BLUEGRASS (MIN. 2 VARIETIES) 30%, PERENNIAL RYE GRASS 15%. SEEDING RATE PER 1000 SQ.FT. 4 LBS. MIN.
16. CONTRACTOR SHALL BEGIN MAINTENANCE IMMEDIATELY AFTER PLANTING AND WILL CONTINUE UNTIL FINAL ACCEPTANCE. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MEANS AND METHODS OF WATERING AND MAINTENANCE.
17. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR ONE (1) FULL YEAR FROM DATE OF FINAL ACCEPTANCE.
18. SCREENED IMAGES SHOW EXISTING CONDITIONS. WHERE EXISTING CONDITIONS LIE UNDER OR ARE IMPINGED UPON BY PROPOSED BUILDINGS AND OR SITE ELEMENTS, THE EXISTING CONDITION WILL BE REMOVED, ABANDONED AND OR CAPPED OR DEMOLISHED AS REQUIRED.

LEGEND

EXISTING		PROPOSED
	STEAM LINE	
	STORM DRAIN LINE	SD
	WATER LINE	W
	POWER LINE	
	GAS LINE	
	COMMUNICATION LINE	
	CONTOUR	
+136.24	ELEVATION SPOT GRADE	
	DIRECTION & SLOPE OF PITCH	5%
	TOP OF WALL ELEVATION	TW 137.15
	BOLLARD LIGHT FIXTURE	
	BRICK WALL	
	BRICK OR UNIT PAVER	
	STONE DRIP EDGE	

GRAPHIC SCALE

10 0 5 10 20 40

(IN FEET)
1 inch = 10 ft.

REV.	DATE	STATUS	BY	CHKD.	APPD.	REV.	DATE	STATUS	BY	CHKD.	APPD.
B	03/20/15	ISSUED FOR CITY LEVEL 1 REVIEW	DEPT.	TWS	TWS						
A	2/27/15	ISSUED FOR DESIGN DEVELOPMENT	DEPT.	TWS	PBB						

Site Design Associates
Consulting Engineering & Land Planning
23 Whitney Way Topsham, Maine 04086 Tel: (207) 449-4275

CLIENT:
PORT CITY ARCHITECTURE
65 NEWBURY STREET, PORTLAND, MAINE 04101

DESIGN: TWS
DRAWN: DEPT.
CHKD: TWS
DATE: JAN 2015
SCALE: 1"=10'

PROJECT: ALUMNI HALL RENOVATION
UNIVERSITY OF NEW ENGLAND, PORTLAND, MAINE

CONCEPTUAL LANDSCAPE PLAN

PROJ. NO.
DWG. NO. C-101
REV. B

EROSION AND SEDIMENTATION CONTROL NOTES & DETAILS

TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES INCLUDE THE USE OF STABILIZED CONSTRUCTION ENTRANCE, SEDIMENT BARRIER, EROSION CONTROL MIX, STONE CHECK DAMS, HAY BALE BARRIERS, CATCH BASIN INLET BARRIERS, CATCH BASIN SEDIMENT COLLECTION BAGS, EROSION CONTROL BLANKET, AND TEMPORARY SEEDING AND MULCHING AS REQUIRED. PERMANENT DEVICES INCLUDE THE USE OF RIP RAP AT EXPOSED STORM DRAIN AND CULVERT INLETS AND OUTLETS, RIP RAPPED SLOPES, AND PERMANENT VEGETATION.

A. GENERAL

1. IT IS ANTICIPATED THAT CONSTRUCTION WILL BEGIN AS SOON AS POSSIBLE FOLLOWING RECEIPT OF NECESSARY PERMITS.
2. ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE MAINE EROSION AND SEDIMENT CONTROL BMPS, PUBLISHED BY THE BUREAU OF LAND AND WATER QUALITY MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, LATEST EDITION.
3. ANY ADDITIONAL EROSION AND SEDIMENTATION CONTROL DEEMED NECESSARY BY THE OWNER'S REPRESENTATIVE, DEPARTMENT OF ENVIRONMENTAL PROTECTION (DEP) PERSONNEL AND/OR MUNICIPAL OFFICIALS SHALL BE INSTALLED BY THE CONTRACTOR.
4. THE CONTRACTOR IS RESPONSIBLE FOR ALL FINES RESULTING FROM EROSION OR SEDIMENTATION FROM THE SITE TO SURROUNDING PROPERTIES, WATER BODIES, OR WETLANDS AS A RESULT OF THIS PROJECT.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR/REPLACEMENT/MAINTENANCE OF ALL EROSION CONTROL MEASURES UNTIL ALL DISTURBED AREAS ARE STABILIZED TO THE SATISFACTION OF THE ABOVE PERSONNEL. DESCRIPTIONS OF ACCEPTABLE PERMANENT STABILIZATION FOR VARIOUS COVER TYPES FOLLOWS:
   - A. FOR SEEDED AREAS, PERMANENT STABILIZATION MEANS A 90% RESTORED AREA WITH MATURE, HEALTHY PLANTS WITH NO EVIDENCE OF WASHING OR RILLING OF THE TOPSOIL.
   - B. FOR SODDED AREAS, PERMANENT STABILIZATION MEANS THE COMPLETE BINDING OF THE SOD ROOTS INTO THE UNDERLYING SOIL WITH NO SLUMPING OF THE SOD OR DIE-OFF.
   - C. FOR MULCHED AREAS, PERMANENT MULCHING MEANS TOTAL COVERAGE OF THE EXPOSED AREA WITH AN APPROVED MULCH MATERIAL. EROSION CONTROL MIX MAY BE USED AS MULCH FOR PERMANENT STABILIZATION ACCORDING TO THE APPROVED APPLICATION RATES AND LIMITATIONS.
   - D. FOR AREAS STABILIZED WITH RIPRAP, PERMANENT STABILIZATION MEANS THAT SLOPES STABILIZED WITH RIPRAP HAVE AN APPROPRIATE BACKING OF A WELL-GRADED GRAVEL OR APPROVED GEOTEXTILE TO PREVENT SOIL MOVEMENT FROM BEHIND THE RIPRAP. STONE MUST BE SIZED APPROPRIATELY.
   - E. PAVED AREAS. FOR PAVED AREAS, PERMANENT STABILIZATION MEANS THE PLACEMENT OF THE COMPACTED GRAVEL SUBBASE IS COMPLETED.
   - F. FOR OPEN CHANNELS, PERMANENT STABILIZATION MEANS THE CHANNEL IS STABILIZED WITH MATURE VEGETATION AT LEAST THREE INCHES IN HEIGHT, WITH WELL-GRADED RIP RAP, OR WITH ANOTHER NON-EROSIVE LINING CAPABLE OF WITHSTANDING THE ANTICIPATED FLOW VELOCITIES AND FLOW DEPTHS WITHOUT RELIANCE ON CHECK DAMS TO SLOW FLOW. THERE MUST BE NO EVIDENCE OF SLUMPING OF THE LINING, UNDERCUTTING OF THE BANKS, OR DOWN CUTTING OF THE CHANNEL.

B. EROSION AND SEDIMENTATION CONTROL MEASURES

1. PRIOR TO THE BEGINNING OF CONSTRUCTION, A STABILIZED CONSTRUCTION ENTRANCE AND TEMPORARY SILT FENCE SHALL BE INSTALLED AS SHOWN ON THE PLANS OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE. IT IS THE INTENT THAT SEDIMENT BARRIERS BE INSTALLED DOWN GRADIENT OF ALL DISTURBED AREAS OF THE SITE. SEDIMENT BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS WILL BE MADE IMMEDIATELY. SEDIMENT DEPOSITS SHALL BE PERIODICALLY REMOVED FROM THE UPSTREAM SIDE OF THE SEDIMENT BARRIERS. THIS SEDIMENT WILL BE SPREAD AND STABILIZED IN AREAS OF THE SITE NOT SUBJECT TO EROSION. SEDIMENT BARRIERS SHALL BE REPLACED AS NECESSARY TO PROVIDE PROPER FILTERING ACTION. IF THERE ARE SIGNS OF UNDERCUTTING AT THE CENTER OR THE EDGES, OR IMPOUNDING OF LARGE VOLUMES OF WATER BEHIND THEM, THEY WILL BE REPLACED WITH A TEMPORARY CRUSHED STONE CHECK DAM.
2. ALL CATCH BASINS, NEW OR EXISTING, THAT MAY RECEIVE RUNOFF FROM DISTURBED AREAS MUST BE PROTECTED DURING CONSTRUCTION. INSPECT & CLEAN OUT AS NECESSARY. LEGALLY DISPOSE OF SEDIMENT & REMOVE FLOATABLES WITH OIL ABSORBENT PADS AS APPLICABLE.
3. REMOVAL OF SOD, TREES, BUSHES AND OTHER VEGETATION AND SOIL DISTURBANCE WILL BE KEPT TO A MINIMUM WHILE ALLOWING PROPER SITE DEVELOPMENT.
4. GRUBBINGS AND ANY UNUSABLE TOPSOIL SHALL BE STRIPPED AND REMOVED FROM THE PROJECT SITE AND DISPOSED OF IN AN APPROVED MANNER.
5. ANY SUITABLE TOPSOIL WILL BE STRIPPED AND STOCKPILED FOR REUSE IN FINAL GRADING. TOPSOIL WILL BE STOCKPILED IN A MANNER SUCH THAT NATURAL DRAINAGE IS NOT OBSTRUCTED AND NO OFF-SITE SEDIMENT DAMAGE WILL RESULT. IF A STOCKPILE IS NECESSARY, THE SIDE SLOPES OF THE TOPSOIL STOCKPILE WILL NOT EXCEED 2:1. TOPSOIL STOCKPILES WILL BE TEMPORARILY SEEDED WITH AROOSTOOK RYE, ANNUAL OR PERENNIAL RYE GRASS (DEPENDING ON DATE SEEDED) WITHIN 7 DAYS OF FORMATION, OR TEMPORARILY MULCHED IF SEEDING CANNOT BE DONE WITHIN THE RECOMMENDED SEEDING DATES.
6. TEMPORARY DIVERSION BERMS AND DRAINAGE SWALES SHALL BE CONSTRUCTED AS NECESSARY.
7. TEMPORARY STABILIZATION SHALL BE CONDUCTED WITHIN 7 DAYS OF INITIAL DISTURBANCE OF SOILS, PRIOR TO ANY RAIN EVENT, AND PRIOR TO ANY WORK SHUT DOWN LASTING MORE THAN ONE DAY. TEMPORARY STABILIZATION INCLUDES SEED, MULCH, OR OTHER NON-ERODABLE COVER. AREAS WITHIN 75 FEET OF WETLANDS SHALL BE TEMPORARILY STABILIZED WITHIN 48 HOURS OR PRIOR TO RAIN EVENT.
8. APPLY HAY OR STRAW MULCH AT A RATE OF 2 TONS PER ACRE, AND ANCHOR AS NECESSARY.
9. TEMPORARY SEEDING SPECIFICATIONS. WHERE THE SEEDBED HAS BEEN COMPACTED BY CONSTRUCTION OPERATIONS, LOOSEN SOIL TO A DEPTH OF 4 INCHES BEFORE APPLYING FERTILIZER, LIME, AND SEED. APPLY LIMESTONE AT A RATE OF 3 TONS PER ACRE (138 LB. PER 1,000 SQUARE FEET) AND 10-10-10 (N-P205-K20) FERTILIZER AT A RATE OF 600 LBS. PER ACRE (13.8 LB. PER 1,000 SQUARE FEET). UNIFORMLY APPLY SEED AT THE RECOMMENDED SEEDING RATES AND DATES, APPLY HAY OR STRAW MULCH AT A RATE OF 2 TONS PER ACRE, AND ANCHOR AS NECESSARY.

   RECOMMENDED TEMPORARY SEEDING DATES AND APPLICATION RATES ARE AS FOLLOWS:

   AROOSTOOK RYE: RECOMMENDED SEEDING DATES: 8/15 – 10/1
   APPLICATION RATE: 112 LBS./ACRE

   ANNUAL RYE GRASS: RECOMMENDED SEEDING DATES: 4/1 – 7/1
   APPLICATION RATE: 40 LBS./ACRE

   PERENNIAL RYE GRASS: RECOMMENDED SEEDING DATES: 8/15 – 9/15
   APPLICATION RATE: 40 LBS./ACRE
10. IF THE AREA WILL REMAIN UNWORKED FOR MORE THAN ONE YEAR OR HAS BEEN BROUGHT TO FINAL GRADE, AND WILL NOT BE BUILT ON, THEN IMMEDIATELY PROVIDE PERMANENT STABILIZATION USING VEGETATION THROUGH PLANTING, SEEDING, SOD, OR THROUGH THE USE OF PERMANENT MULCH OR RIPRAP. IF USING VEGETATION FOR STABILIZATION, SELECT THE PROPER VEGETATION FOR THE LIGHT, MOISTURE, AND SOIL CONDITIONS. AMEND AREAS OF DISTURBED SUBSOIL WITH TOP SOIL OR OTHER ORGANIC AMENDMENTS, PROTECT SEEDED AREAS WITH MULCH OR, IF NECESSARY EROSION CONTROL BLANKETS, AND SCHEDULE SODDING, PLANTING, AND SEEDING SO TO AVOID DIE-OFF FROM SUMMER DROUGHT AND FALL FROSTS. NEWLY SEEDED OR SODDED AREAS MUST BE PROTECTED FROM VEHICLE TRAFFIC, EXCESSIVE PEDESTRIAN TRAFFIC, AND CONCENTRATED RUNOFF UNTIL THE VEGETATION IS WELL ESTABLISHED. AREAS MUST BE REWORKED AND RESTABILIZED IF GERMINATION IS SPARSE, PLANT COVERAGE IS SPOTTY, OR TOPSOIL EROSION IS EVIDENT.
11. PERMANENT SEEDING PER TURF AND GRASSES SPECIFICATION AND LANDSCAPE PLAN.
12. MULCH ALL AREAS SEEDED SO THAT SOIL IS NOT VISIBLE THROUGH THE MULCH REGARDLESS OF THE APPLICATION RATE.
13. DITCH LININGS, STONE CHECK DAMS, AND RIPRAP INLET AND OUTLET PROTECTION SHALL BE INSTALLED WITHIN 48 HOURS OF COMPLETING THE GRADING OF THAT SECTION OF DITCH OR INSTALLATION OF CULVERT.
14. EROSION CONTROL BLANKET SHALL BE INSTALLED ON ALL PERMANENT SLOPES STEEPER THAN 3:1, IN THE BASE OF DITCHES NOT OTHERWISE PROTECTED, AND ANY DISTURBED AREAS WITHIN 100 FEET OF A PROTECTED NATURAL RESOURCE (E.G. WETLANDS AND WATER BODIES). EROSION CONTROL BLANKET SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
15. TEMPORARY CONTROL MEASURES, SUCH AS SILT FENCE, SHALL BE REMOVED WITHIN 30 DAYS AFTER PERMANENT STABILIZATION IS ATTAINED.

C. WINTER CONDITIONS

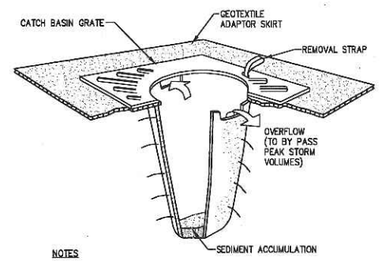
1. "WINTER CONSTRUCTION" IS CONSTRUCTION ACTIVITY PERFORMED DURING THE PERIOD FROM NOVEMBER 1 THROUGH APRIL 15. IF AREAS WITHIN THE CONSTRUCTION ACTIVITY ARE NOT STABILIZED WITH TEMPORARY OR PERMANENT MEASURES OUTLINED ABOVE BY NOVEMBER 15, THEN THE SITE MUST BE PROTECTED WITH ADDITIONAL STABILIZATION MEASURES THAT ARE SPECIFIC TO WINTER CONDITIONS. NO MORE THAN ONE ACRE OF THE SITE MAY BE WITHOUT STABILIZATION AT ONE TIME. SLOPE STABILIZATION AND DISTURBED AREA STABILIZATION DURING WINTER CONDITIONS SHOULD BE ADDRESSED IN ACCORDANCE WITH SECTION A-3 OF THE MAINE EROSION AND SEDIMENT CONTROL BMPS, MARCH 2003.
2. AREAS WITHIN 100 FEET OF A PROTECTED NATURAL RESOURCE MUST BE PROTECTED WITH A DOUBLE ROW OF SEDIMENT BARRIERS.
3. HAY MULCH SHALL BE APPLIED AT TWICE THE STANDARD TEMPORARY STABILIZATION RATE. AT THE END OF EACH CONSTRUCTION DAY, AREAS THAT HAVE BEEN BROUGHT TO FINAL GRADE MUST BE STABILIZED. MULCH MAY NOT BE SPREAD ON TOP OF SNOW.
4. AFTER NOVEMBER 1 OR THE FIRST KILLING FROST FOR THE REGION AND BEFORE SNOW FALL, ALL EXPOSED AND DISTURBED AREAS NOT TO UNDERGO FURTHER DISTURBANCE ARE TO HAVE DORMANT SEEDING. THE DORMANT SEEDING METHOD: PREPARE THE SEEDBED, LIME AND FERTILIZE, APPLY THE SELECTED PERMANENT SEED MIXTURE AT THREE TIMES THE REGULAR SEEDING RATE, AND MULCH AND ANCHOR. DORMANT SEEDINGS NEED TO BE ANCHORED EXTREMELY WELL ON SLOPES, DITCH BASES AND AREAS OF CONCENTRATED FLOWS. DORMANT SEEDING REQUIRES INSPECTION AND RESEEDING AS NEEDED IN THE SPRING. ALL AREAS WHERE COVER IS INADEQUATE MUST BE IMMEDIATELY RESEEDED AND MULCHED AS SOON AS POSSIBLE.
5. ALL VEGETATED DITCH LINES THAT HAVE NOT BEEN STABILIZED BY SEPTEMBER 1, OR WILL BE WORKED DURING THE WINTER CONSTRUCTION PERIOD, MUST BE STABILIZED WITH AN APPROPRIATE STONE LINING BACKED BY AN APPROPRIATE GRAVEL BED OR GEOTEXTILE UNLESS SPECIFICALLY RELEASED FROM THIS STANDARD BY THE MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION.
6. MULCH NETTING MUST BE USED TO ANCHOR MULCH ON ALL SLOPES GREATER THAN 8% UNLESS EROSION CONTROL BLANKETS OR EROSION CONTROL MIX IS BEING USED ON THESE SLOPES.

D. HOUSEKEEPING

1. SPILL PREVENTION.CONTROLS MUST BE USED TO PREVENT POLLUTANTS FROM BEING DISCHARGED FROM MATERIALS ON SITE, INCLUDING STORAGE PRACTICES TO MINIMIZE EXPOSURE OF THE MATERIALS TO STORMWATER, AND APPROPRIATE SPILL PREVENTION, CONTAINMENT, AND RESPONSE PLANNING AND IMPLEMENTATION.
2. GROUNDWATER PROTECTION. DURING CONSTRUCTION, LIQUID PETROLEUM PRODUCTS AND OTHER HAZARDOUS MATERIALS WITH THE POTENTIAL TO CONTAMINATE GROUNDWATER MAY NOT BE STORED OR HANDLED IN AREAS OF THE SITE DRAINING TO AN INFILTRATION AREA. AN "INFILTRATION AREA" IS ANY AREA OF THE SITE THAT BY DESIGN OR AS A RESULT OF SOILS, TOPOGRAPHY AND OTHER RELEVANT FACTORS, ACCUMULATES RUNOFF THAT INFILTRATES INTO THE SOIL. DIKES, BERMS, SUMPS, AND OTHER FORMS OF SECONDARY CONTAINMENT THAT PREVENT DISCHARGE TO GROUNDWATER MAY BE USED TO ISOLATE PORTIONS OF THE SITE FOR THE PURPOSES OF STORAGE AND HANDLING OF THESE MATERIALS.
3. FUGITIVE SEDIMENT AND DUST. ACTIONS MUST BE TAKEN TO ENSURE THAT ACTIVITIES DO NOT RESULT IN NOTICEABLE EROSION OF SOILS OR FUGITIVE DUST EMISSIONS DURING OR AFTER CONSTRUCTION. OIL MAY NOT BE USED FOR DUST CONTROL.
4. DEBRIS AND OTHER MATERIAL. LITTER, CONSTRUCTION DEBRIS, AND CONSTRUCTION CHEMICALS EXPOSED TO STORM WATER, MUST BE PREVENTED FROM BECOMING A POLLUTANT SOURCE.
5. TRENCH OR FOUNDATION DE-WATERING. TRENCH DE-WATERING IS THE REMOVAL OF WATER FROM TRENCHES, FOUNDATIONS, COFFER DAMS, PONDS AND OTHER AREAS WITHIN THE CONSTRUCTION AREA THAT RETAIN WATER AFTER EXCAVATION. IN MOST CASES THE COLLECTED WATER IS HEAVILY SILTED AND HINDERS CORRECT AND SAFE CONSTRUCTION PRACTICES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING THE PONDED WATER EITHER THROUGH GRAVITY OR PUMPING, MUST BE SPREAD THROUGH NATURAL WOODED BUFFERS OR REMOTE AREAS THAT ARE SPECIFICALLY DESIGNATED TO COLLECT THE MAXIMUM AMOUNT OF SEDIMENT POSSIBLE, LIKE A COFFER DAM SEDIMENTATION BASIN. AVOID ALLOWING THE WATER TO FLOW OVER DISTURBED AREAS OF THE SITE.

E. INSPECTION AND MAINTENANCE

1. INSPECT DISTURBED AND IMPERVIOUS AREAS, EROSION AND STORMWATER CONTROL MEASURES, AREAS USED FOR STORAGE THAT ARE EXPOSED TO PRECIPITATION, AND LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE AT LEAST ONCE A WEEK AS WELL AS BEFORE AND AFTER STORM EVENTS, PRIOR TO COMPLETION OF PERMANENT STABILIZATION. A PERSON WITH KNOWLEDGE OF EROSION AND STORMWATER CONTROLS, INCLUDING THE STANDARDS IN THE MAINE CONSTRUCTION GENERAL PERMIT AND ANY DEP OR MUNICIPAL COMPANION DOCUMENTS, MUST CONDUCT THE INSPECTION. THIS PERSON MUST BE IDENTIFIED IN THE INSPECTION LOG. IF BEST MANAGEMENT PRACTICES BMPs NEED TO BE MODIFIED OR IF ADDITIONAL BMPs ARE NECESSARY, IMPLEMENTATION MUST BE COMPLETED WITHIN 7 CALENDAR DAYS AND PRIOR TO ANY STORM EVENT (RAINFALL). ALL MEASURES MUST BE MAINTAINED IN EFFECTIVE OPERATING CONDITION UNTIL AREAS ARE PERMANENTLY STABILIZED.
2. AN INSPECTION AND MAINTENANCE LOG MUST BE KEPT SUMMARIZING THE SCOPE OF THE INSPECTION, NAME AND QUALIFICATIONS OF THE PERSON PERFORMING THE INSPECTION, DATE, AND MAJOR OBSERVATIONS RELATING TO OPERATION OF EROSION AND SEDIMENTATION CONTROLS AND POLLUTION PREVENTION MEASURES. MAJOR OBSERVATIONS MUST INCLUDE: BMPs THAT NEED TO BE MAINTAINED, LOCATION(S) OF BMPs THAT FAILED TO OPERATE AS DESIGNED OR PROVED INADEQUATE FOR A PARTICULAR LOCATION, AND LOCATION(S) WHERE ADDITIONAL BMPS ARE NEEDED THAT DID NOT EXIST AT THE TIME OF THE INSPECTION. FOLLOW-UP TO CORRECT DEFICIENCIES OR ENHANCE CONTROLS MUST ALSO BE INDICATED IN THE LOG AND DATED; INCLUDING WHAT ACTION WAS TAKEN AND WHEN.
3. IT IS RECOMMENDED THAT THE OWNER RETAIN THE SERVICES OF THE DESIGN ENGINEER FOR SITE INSPECTIONS IN COMPLIANCE WITH MAINE DEP STORMWATER RULES, CHAPTER 500.



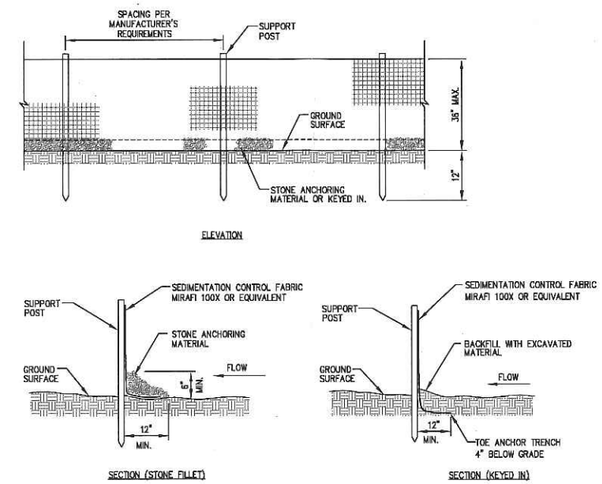
NOTES

1. CATCH BASIN PROTECTION TO BE "SILTSTACK" (BY ACF ENVIRONMENTAL) OR "STREAM GUARD" (BY FOSS ENVIRONMENTAL SERVICES).

   INSERT TO BE EMPTIED IN AN APPROVED MANNER WHEN IT IS 1/2 FULL OF SEDIMENT.
2. INSPECT INSERT AFTER ALL RAINFALL EVENTS, REPAIR AND MAINTAIN AS REQUIRED.

1 TEMPORARY INLET PROTECTION

SCALE: N.T.S.



2 SILTATION FENCE

SCALE: N.T.S.

REV.	DATE	STATUS	BY	CHKD.	APPD.	REV.	DATE	STATUS	BY	CHKD.	APPD.
C	03/20/15	ISSUED FOR CITY LEVEL 1 REVIEW	DEPT.	TWS	TWS						
B	03/20/15	STRUCTURAL EARLY RELEASE BID DRAWINGS	DEPT.	TWS	TWS						
A	2/27/15	ISSUED FOR DESIGN DEVELOPMENT	DEPT.	TWS	TWS						

STATE OF MAINE — THOMAS W. SANDERL — No. 7749 — LICENSED PROFESSIONAL ENGINEER — 3-17-15

Site Design Associates
Consulting Engineering & Land Planning
23 Whitney Way Topsham, Maine 04086 Tel: (207) 449-4275

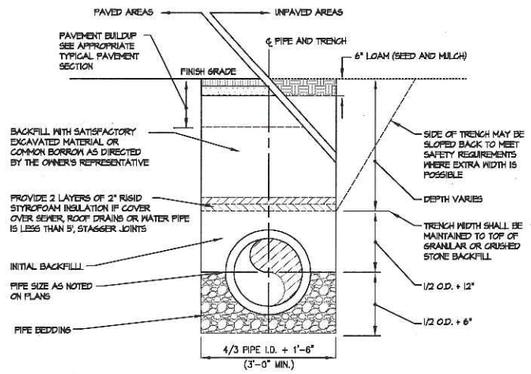
CLIENT: PORT CITY ARCHITECTURE
65 NEWBURY STREET, PORTLAND, MAINE 04101

DESIGN: TWS
DRAWN: DEPT.
CHKD: TWS
DATE: JAN 2015
SCALE: AS NOTED

PROJECT: ALUMNI HALL RENOVATION
UNIVERSITY OF NEW ENGLAND, PORTLAND, MAINE

EROSION AND SEDIMENTATION NOTES AND DETAILS

PROJ. NO.
DWG. NO. C-300
REV. C



TRENCH BACKFILL SCHEDULE

PIPE MATERIAL	PIPE BEDDING	INITIAL BACKFILL	BACKFILL
HDPE	3/4" CRUSHED STONE	3/4" CRUSHED STONE	**EXCAVATED MATERIAL OR GRANULAR BORROW
PVC	3/4" CRUSHED STONE	3/4" CRUSHED STONE	**EXCAVATED MATERIAL OR GRANULAR BORROW
DUCTILE IRON	GRANULAR MATERIAL	GRANULAR MATERIAL	**EXCAVATED MATERIAL OR GRANULAR BORROW
COPPER	SAND	SAND	**EXCAVATED MATERIAL OR GRANULAR BORROW

*** EXCAVATED MATERIAL MUST BE REVIEWED AND APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.

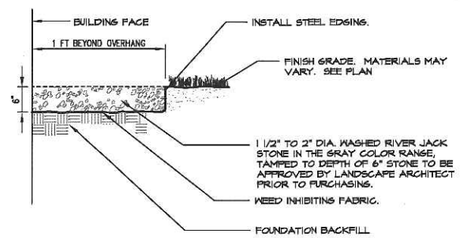
GRANULAR MATERIAL TO BE SAND OR GRAVEL.

1 TYPICAL TRENCH SECTION

SCALE: N.T.S.

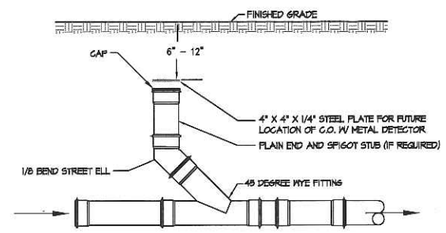
NOTES:

1. THE CONTRACTOR SHALL EXTEND THE WIDTH OF THE DRIP STRIP AT BUILDING JOGS AND BUMP OUTS AS REQUIRED TO CATCH ALL ROOF RUN OFF. CONTRACTOR SHALL PROVIDE THE OWNER'S REPRESENTATIVE WITH A SHOP DRAWING OF ANY PROPOSED MODIFICATION TO THE DRIP STRIP FOR APPROVAL.
2. STEEL EDGING TO BE 6" DEEP x 1/8" THICK, POWDERED COATED GREEN AS MANUFACTURED BY COL-MET OR APPROVED EQUIVALENT. INSTALL AND STAKE EDGING IN PLACE PER MANUFACTURER'S RECOMMENDATIONS.



2 STONE DRIP EDGE

SCALE: N.T.S.



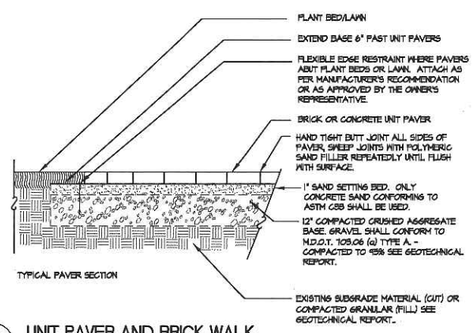
ELEVATION

3 TYPICAL STORMDRAIN CLEANOUT DETAIL

SCALE: N.T.S.

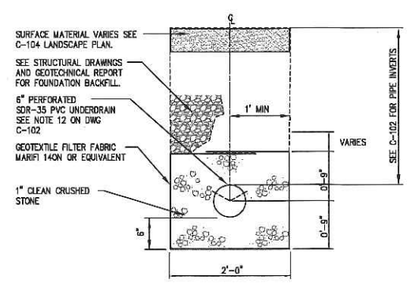
NOTES:

1. ALL PAVERS SHALL BE SAW CUT ONLY. NO FRAGMENT SHALL BE SMALLER THAN 2". FINAL SURFACE SHALL PITCH TO DRAIN PER GRADING PLAN.
2. UNIT PAVERS SHALL BE AS FOLLOWS:
   - TREVIA TUMBLED PAVER OR EQUIVALENT IN ASH CHARCOAL COLOR. SAMPLES SHALL BE PROVIDED TO THE OWNER PRIOR TO PURCHASE FOR APPROVAL.
   - SUPPLEMENTAL BRICK PAVERS SHALL BE THE PATHWAY BRICK IN FULL RANGE COLOR AS MANUFACTURED BY PINE HALL BRICK AND DISTRIBUTED BY GENEST CONCRETE PRODUCTS. SAMPLES SHALL BE PROVIDED TO THE OWNER PRIOR TO PURCHASE FOR APPROVAL.



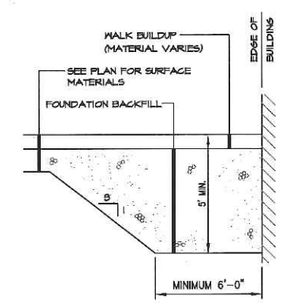
4 UNIT PAVER AND BRICK WALK

SCALE: NTS



5 STORMDRAIN/UNDERDRAIN TRENCH

SCALE: N.T.S.



6 SECTION AT BUILDING ENTRANCES AND STAIRS

SEE GEOTECHNICAL REPORT FOR ADDTIONAL INFORMATION
INSTALL FULL WIDTH OF ENTRYWAY

REV.	DATE	STATUS	BY	CHKD.	APPD.	REV.	DATE	STATUS	BY	CHKD.	APPD.
C	03/20/15	ISSUED FOR CITY LEVEL 1 REVIEW	DEPT.	TWS	TWS						
B	03/20/15	STRUCTURAL EARLY RELEASE BID DRAWINGS	DEPT.	TWS	TWS						
A	2/27/15	ISSUED FOR DESIGN DEVELOPMENT	DEPT.	TWS	TWS						

STATE OF MAINE THOMAS W. SAUCIER No. 6149 LICENSED PROFESSIONAL ENGINEER 1-17-15

Site Design Associates
Consulting Engineering & Land Planning
23 Whitney Way Topsham, Maine 04086 Tel: (207) 449-4275

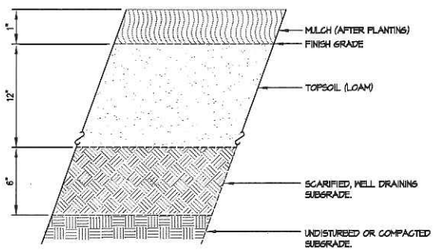
CLIENT:
PORT CITY ARCHITECTURE
65 NEWBURY STREET, PORTLAND, MAINE 04101

DESIGN: TWS
DRAWN: DEPT.
CHKD: TWS
DATE: JAN 2015
SCALE: AS NOTED

PROJECT: ALUMNI HALL RENOVATION
UNIVERSITY OF NEW ENGLAND, PORTLAND, MAINE

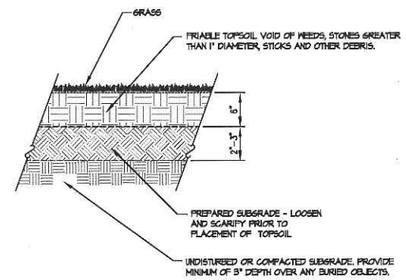
SITE DETAILS

PROJ. NO.
DWG. NO. C-301
REV. C



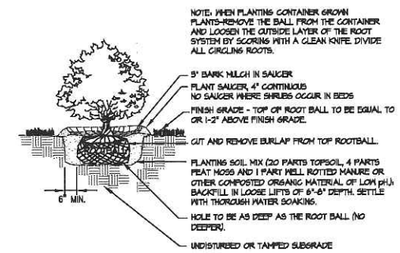
1 PREPARED PLANT BED

SCALE: N.T.S.



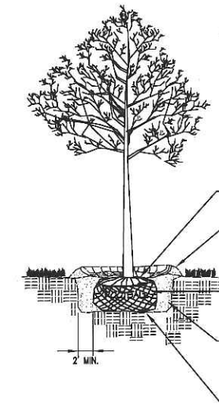
2 LAWN INSTALLATION (SEED OR SOD)

SCALE: NTS



3 SHRUB PLANTING DETAIL

SCALE: N.T.S.



NOTES:

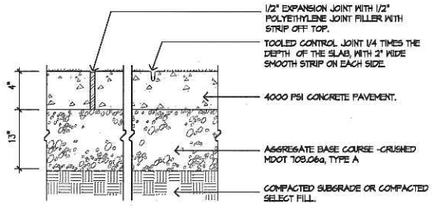
1. STAKE ONLY TREES WITH SANDY OR CLAYEY ROOTBALLS. WHEN REQUIRED STAKING SHALL CONFORM TO THE LATEST GUIDELINES FROM THE INTERNATIONAL SOCIETY OF ARBORICULTURE.
2. DO NOT CUT MAIN LEADER.

4 DECIDUOUS TREE PLANTING

SCALE: N.T.S.

NOTES:

1. PROVIDE EXPANSION JOINTS WHERE PAVEMENT ABUTS STRUCTURES AND VERTICAL SURFACES. SEAL ALL EXPANSION JOINTS WITH WATERPROOF SEALANT.
2. DESIGN SUBJECT TO THE RECOMMENDATIONS CONTAINED IN THE GEOTECHNICAL REPORT.
3. WHEN NOT SHOWN ON THE DRAWINGS PROVIDE TOOLED SCORE JOINTS EQUALLY SPACED ALONG WALK, AT INTERVALS APPROXIMATELY EQUAL TO THE SLAB WIDTH. PANELS SHOULD BE AS NEARLY SQUARE AS POSSIBLE.
4. PROVIDE A BROOM FINISH PERPENDICULAR TO TRAFFIC FLOW.
5. PROVIDE FIBRILATED POLYPROPYLENE FIBER REINFORCING.



5 CONCRETE PAVEMENT

SCALE: N.T.S.

REV.	DATE	STATUS	BY	CHKD.	APPD.	REV.	DATE	STATUS	BY	CHKD.	APPD.
C	03/20/15	ISSUED FOR CITY LEVEL 1 REVIEW	DEPT.	TWS	TWS						
B	03/20/15	STRUCTURAL EARLY RELEASE BID DRAWINGS	DEPT.	TWS	TWS						
A	2/27/15	ISSUED FOR DESIGN DEVELOPMENT	DEPT.	TWS	PBB						

STATE OF MAINE
THOMAS W. SANDERL
No. 10789
LICENSED
PROFESSIONAL ENGINEER
3-17-15

Site Design Associates
Consulting Engineering & Land Planning
23 Whitney Way Topsham, Maine 04086 Tel: (207) 449-4275

CLIENT:
PORT CITY ARCHITECTURE
65 NEWBURY STREET, PORTLAND, MAINE 04101

DESIGN: TWS
DRAWN: DEPT.
CHKD: TWS
DATE: JAN 2015
SCALE: AS NOTED

PROJECT: ALUMNI HALL RENOVATION
UNIVERSITY OF NEW ENGLAND, PORTLAND, MAINE

SITE DETAILS

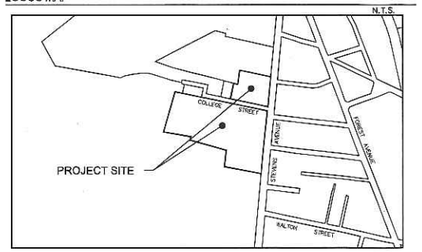
PROJ. NO.
DWG. NO. C-302
REV. C

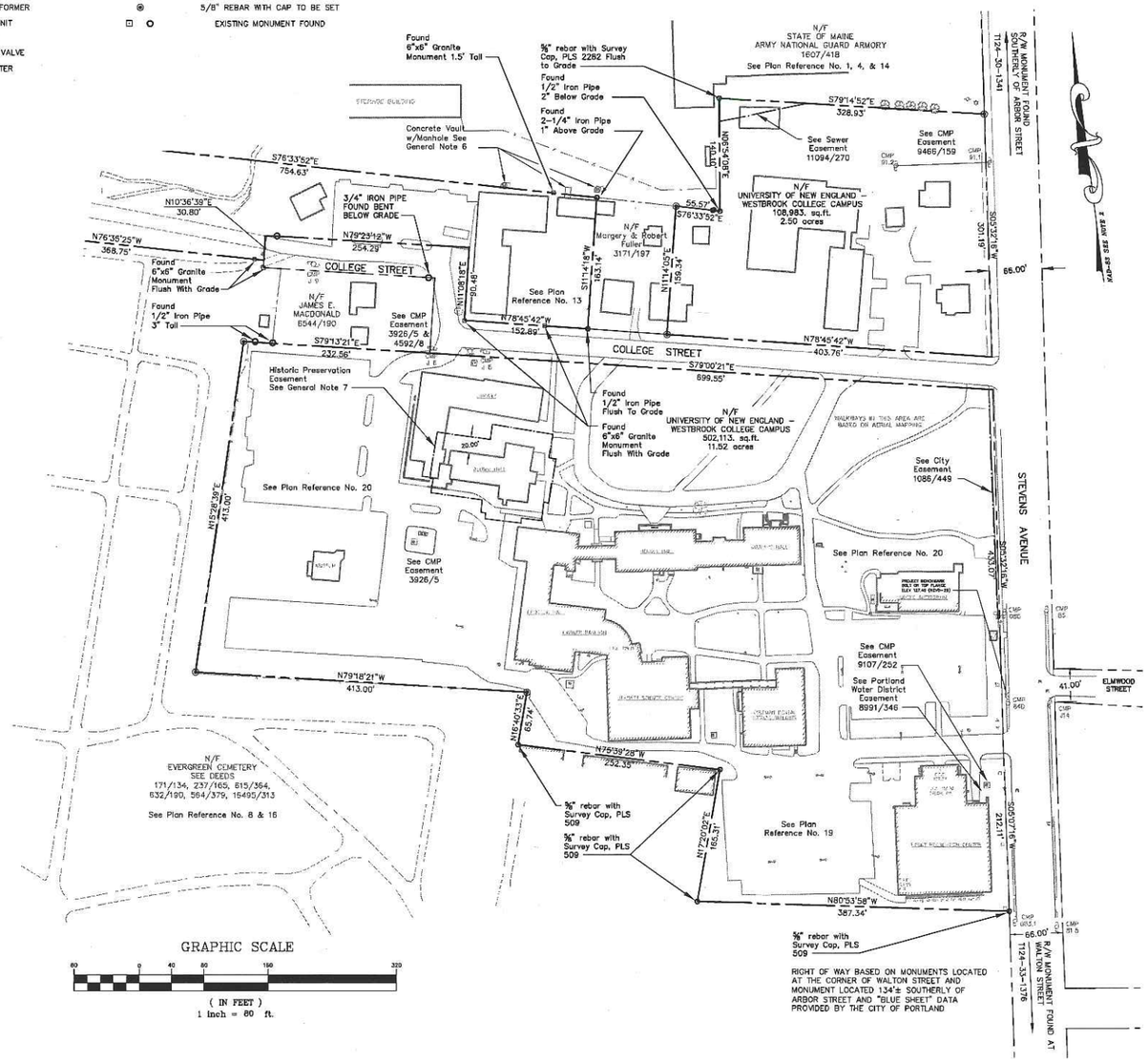
Drawing Name: P:\2014 Projects\14-216-00 Alumni Design\Arch\details C302.dwg | Plot Date / Time: Mar 19, 15 / 11:30 AM

LEGEND

STORM DRAIN MANHOLE	TREELINE
STORM DRAIN CATCH BASIN	TREE
STORM DRAIN LINE	CHAIN LINK FENCE
STORM DRAIN CULVERT	LANDSCAPE BUFFER ZONE
SANITARY SEWER MANHOLE	LIGHT POLE
SANITARY SEWER LINE	TELEPHONE LINE
SANITARY FORCE MAIN	TELEPHONE MANHOLE
WATERLINE	UTILITY POLE
HYDRANT	BUILDING
WATER LINE METER PIT	EDGE OF PAVEMENT
WATER LINE GATE VALVE	EDGE OF GRAVEL
WATER LINE SHUT-OFF VALVE	EDGE OF CONCRETE
WATER LINE MANHOLE	GRANITE CURB
WATER LINE P.I.V.	SIGN
COMMUNICATION LINE	STONEWALL
ELECTRIC LINE	PROPERTY LINE
ELECTRIC MANHOLE	RIGHT OF WAY LINE
ELECTRIC BOX	5/8" REBAR WITH CAP TO BE SET
LIGHT POLE	EXISTING MONUMENT FOUND
ELECTRIC TRANSFORMER	
AIR-COND UNIT	
GAS LINE	
GAS LINE GATE VALVE	
GAS LINE METER	

LOCUS MAP





RIGHT OF WAY BASED ON MONUMENTS LOCATED AT THE CORNER OF WALTON STREET AND MONUMENT LOCATED 134'± SOUTHERLY OF ARBOR STREET AND "BLUE SHEET" DATA PROVIDED BY THE CITY OF PORTLAND

GENERAL NOTES:

1. GROUND CONTROL WAS ESTABLISHED BY SQUAW BAY CORP. IN MAY 1998 AND EXPANDED FOR THIS PROJECT BY COLONIAL SURVEYING COMPANY, LLC. IN 2007.
2. HORIZONTAL DATUM IS BASED UPON CITY OF PORTLAND CONTROL POINTS T124-30-1341 AND T124-33-1376 LOCATED IN THE VICINITY OF THE SITE. HORIZONTAL IS MAINE STATE PLANE COORDINATED SYSTEM (2-ZONE PROJECTION) WEST ZONE, USING NAD 1983 (HARN) AND US SURVEY FOOT AS UNIT OF MEASURE. VERTICAL IS NGVD 1929. (MDOT BM BIS-A, ELEV. 105.35)
3. PROJECT BENCHMARK IS A HYDRANT'S TOP BONNET BOLT SCRIBED WITH AN "X" LOCATED ON THE WESTERLY SIDE OF STEVENS AVENUE NEAR THE SOUTHERLY CORNER OF THE PARKING LOT IN FRONT OF THE BEVERLY BURPEE FINLEY RECREATION CENTER. ELEVATION 127.40 (NGVD-29)
4. UTILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD OBSERVATIONS, SURVEYED LOCATIONS OF UTILITY MARKINGS BY OTHERS AND ARE APPROXIMATELY ONLY. LOCATIONS SHOULD BE VERIFIED BY THE UTILITY COMPANIES PRIOR TO ANY CONSTRUCTION OR EXCAVATION IN THIS AREA.
5. THE SITE IS LOCATED IN ZONE X OF THE NATIONAL FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 230051 0007 C. ZONE X IS IDENTIFIED AS AN AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOOD PLAIN.
6. AN UNDERGROUND STEAM LINE FOR HEATING PURPOSES CROSSES THE ARMORY PROPERTY. IT IS RECOMMENDED THAT A WRITTEN EASEMENT BE ESTABLISHED FOR THIS SYSTEM.
7. ALUMNI HALL AND THE SURROUNDING GROUNDS ARE SUBJECT TO A HISTORIC PRESERVATION EASEMENT. FOR MORE DETAILS SEE EASEMENT DEED RECORDED AT THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 6277, PAGE 233.

PLAN REFERENCE:

1. STANDARD BOUNDARY SURVEY FOR DEPARTMENT OF DEFENSE, VETERANS AND EMERGENCY MANAGEMENT OF MAINE ARMY NATIONAL GUARD ARMORY, 772 STEVENS AVENUE, PORTLAND MAINE, DATED JAN 30, 2001 AS PREPARED BY BOUNDARY POINTS OF WESTBROOK, MAINE.
2. CITY OF PORTLAND – CITY PROPERTY, RECORDED UNDER FILE NUMBER 72 AT THE DEPARTMENT OF PUBLIC WORKS.
3. CITY OF PORTLAND – CITY PROPERTY, RECORDED UNDER FILE NUMBER 139/A AT THE DEPARTMENT OF PUBLIC WORKS.
4. PLAN OF MORRILLS CAR BARN LOT, DEERING, ME RECORDED UNDER FILE NUMBER 798/14 AT THE DEPARTMENT OF PUBLIC WORKS.
5. BISHOP ST/ MAYFIELD ST SEWER SEPARATION, PLAN AND PROFILE, SHEET 6 OF 9 DATED 1/11/93, PROJECT NUMBER 91600-30-50-57 RECORDED UNDER FILE NUMBER 943/4 AT THE DEPARTMENT OF PUBLIC WORKS.
6. STANDARD BOUNDARY SURVEY OF BISHOP STREET EXTENSION, SHEET 1 OF 1 DATED 11/1/95 RECORDED UNDER FILE NUMBER 943/14A AT THE DEPARTMENT OF PUBLIC WORKS.
7. SITE PLAN, TILCON MAINE, INC. BISHOP STREET, PORTLAND MAINE DATED 3/13/91, RECORDED UNDER FILE NUMBER 863/1 AT THE DEPARTMENT OF PUBLIC WORKS.
8. PLAN OF PROPOSED ADDITION TO EVERGREEN CEMETERY, DATED AUGUST 1894, RECORDED UNDER FILE NUMBER 388/6 AT THE DEPARTMENT OF PUBLIC WORKS.
9. WESTBROOK COLLEGE, EXISTING CONDITIONS/DEMOLITION PLAN, PORTLAND, MAINE DATED 6/1/89 RECORDED UNDER FILE NUMBER 727/2 AT THE DEPARTMENT OF PUBLIC WORKS.
10. STANDARD BOUNDARY SURVEY ON BISHOP STREET, PORTLAND MAINE MADE FOR PIKE INDUSTRIES, INC. PREPARED BY OWEN HASKELL, INC, DATED JUNE 17, 1999, JOB NUMBER 99115P
11. PLAN OF BISHOP COURT MADE BY E.C.JORDAN & CO. DATED MAY 1913 AND RECORDED AT THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 12, PAGE 68.
12. MAINE TURNPIKE AUTHORITY, SECTION 2-PORTLAND TO AUGUSTA, PROPERTY PLAN RECORDED AT THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 140, PAGE 42.
13. WESTBROOK SEMINARY & JUNIOR COLLEGE MADE BY E.C.JORDAN & CO. DATED 1/4/64 ON FILE AT THE OFFICE OF OWEN HASKELL, INC, UNDER FILE NUMBER 1113
14. PLAN OF PROPERTY MADE FOR THE ADJUTANT GENERAL, AUGUSTA, MAINE MADE BY E.C.JORDAN & CO. DATED AUGUST 22, 1958 ON FILE AT THE OFFICE OF OWEN HASKELL, INC, UNDER FILE NUMBER 1094
15. SITE PLAN OF PROPERTY ON BISHOP STREET, PORTLAND, MAINE MADE FOR PLASMINE TECHNOLOGY, INC DATED OCT. 1, 1991 ON FILE AT THE OFFICE OF OWEN HASKELL, INC, UNDER PROJECT NUMBER 91163P.
16. CITY OF PORTLAND, MAINE DEPARTMENT OF PUBLIC WORKS, EVERGREEN CEMETERY, DEED PLAN RECORDED UNDER FILE NUMBER 215/4 AT THE DEPARTMENT OF PUBLIC WORKS.
17. PARK LAND ACQUISITION, "GULLIVER PURCHASE" DATED OCTOBER 1935 RECORDED UNDER FILE NUMBER 798/1 AT THE DEPARTMENT OF PUBLIC WORKS.
18. CITY OF PORTLAND ME. DEPARTMENT OF PUBLIC WORKS, BISHOP STREET OUTLET DRAIN, DATED AUGUST 27, 1927 RECORDED UNDER FILE NUMBER 247/10 AT THE DEPARTMENT OF PUBLIC WORKS.
19. PLAN OF PROPERTY IN PORTLAND, MAINE MADE FOR WESTBROOK COLLEGE, SITE CONDITION PLAN PREPARED BY H.J. & E.C. JORDAN DATED 2/27/89 ON FILE AT THE OFFICE OF OWEN HASKELL, INC, UNDER PROJECT NUMBER L-1115.
20. 3-PLANS ENTITLED "WESTBROOK JUNIOR COLLEGE, PORTLAND MAINE" PREPARED BY H.J. & E.C. JORDAN DATED: JULY 1935, JULY 1939, AND DECEMBER 1942 RECORDED UNDER FILE NUMBER 1002/2 AT THE PORTLAND DEPARTMENT OF PUBLIC WORKS.

OWNER OF RECORD:

UNIVERSITY OF NEW ENGLAND – WESTBROOK COLLEGE, SEE CUMBERLAND COUNTY REGISTRY OF DEEDS, BOOK & PAGE: 128/102, 127/555, 127/556, 127/557, 358/170, 492/172, 757/135, 1133/454, 1704/369, 1752/321, 1876/271, 1879/392, 2507/303, 2539/425, 2320/415, 1068/228, 1759/271, 963/174.

THIS SURVEY CONFORMS TO THE CURRENT STANDARDS OF PRACTICE AS DEFINED BY THE MAINE STATE BOARD OF LICENSURE FOR LAND SURVEYORS

Ronald M. Carpentier Maine P.L.S. 2042

STATE OF MAINE

CUMBERLAND COUNTY REGISTRY OF DEEDS
RECEIVED _____
AT_____HOUR _____ MIN. _____M
AND RECORDED IN BOOK_____ PAGE_____
ATTEST _____ REGISTER

C-100
SHT 2 of 2
DRAWING NO.

No.	REVISED	DATE
A	SUBMITTED TO CLIENT	11/26/07

REV. A

SHEET TITLE: BOUNDARY SURVEY CAMPUS PROPER

PROJECT ADDRESS: STEVENS AVENUE & BISHOP STREET PORTLAND, MAINE

SCALE: 1"=80'

DATE: OCTOBER 2007

DRAWN BY: RMC

CHKD BY: RMC

PROJECT: CAMPUS BOUNDARY SURVEY

PROJECT NO.: 020-02-07

OWNER / CLIENT: UNIVERSITY OF NEW ENGLAND
11 HILLS BEACH ROAD, BIDDEFORD, MAINE

STATE OF MAINE RONALD M. CARPENTIER 2042 PROFESSIONAL LAND SURVEYOR 11/26/07

CSC
COLONIAL SURVEYING COMPANY, LLC
34 Presidential Drive
Gray, Maine 04039
TEL: (207) 657-3400