

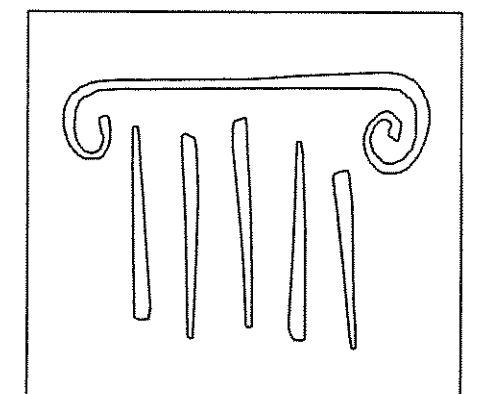
COLLEGE OF PHARMACY-CLASSROOMS

UNIVERSITY OF NEW ENGLAND

Portland, Maine

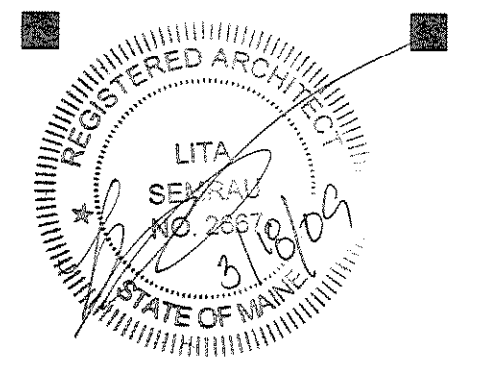
FEBRUARY 11, 2009

BID DOCUMENTS
NOT FOR CONSTRUCTION



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UNIVERSITY OF NEW ENGLAND
**COLLEGE OF
PHARMACY
CLASSROOMS**

76 STEVENS AVENUE, PORTLAND, ME

DATE DESCRIPTION

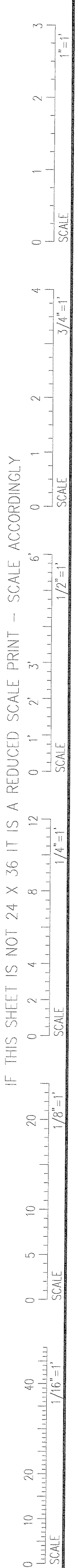
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SHEET NAME

TITLE PAGE

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Checked By LAS
LL T1.1

IF THIS SHEET IS NOT 24 X 36 IT IS A REDUCED SCALE PRINT - SCALE ACCORDINGLY



LEGEND

- DETAIL NUMBER
- SHEET WHERE DETAIL IS DRAIN
- SHEET WHERE DETAIL IS TAKEN
- INDICATES BUILDING SECTION OR BUILDING ELEVATION
- BUILDING SECTION LETTER
- SHEET WHERE BUILDING SECTION IS DRAIN
- SHEET WHERE BUILDING SECTION IS TAKEN
- INTERIOR ELEVATION NUMBER
- SHEET WHERE ELEVATION IS DRAIN
- LIMIT OF WORK
- EXISTING WALL TO BE REMOVED
- EXISTING WALL
- WALL
- ELEVATOR LOBBY
- ROOM NAME AND NUMBER
- KEY NOTE
- DOOR NUMBER
- COLUMN GRID LINE
- ELEVATION TARGET
- WALL TYPE
- WINDOW TYPE

GENERAL NOTES

1. ALL MATERIALS, COMPONENTS, AND WORK ARE NEW AND SHALL BE PROVIDED IN THIS CONTRACT BY THE CONTRACTOR UNLESS NOTED OTHERWISE.
2. ALL WORK INCLUDED IN THIS CONTRACT SHALL CONFORM TO ALL STATE, NATIONAL AND OTHER CODES AND ORDINANCES WHICH APPLY TO THIS PROJECT.
3. IT IS THE INTENT AND MEANING OF THESE DRAWINGS THAT THE CONTRACTOR AND EACH SUBCONTRACTOR PROVIDE ALL LABOR, MATERIALS, TRANSPORTATION, SUPPLIES, EQUIPMENT, ETC. TO OBTAIN A COMPLETE JOB TO INDUSTRY STANDARD IN A PROFESSIONAL WORKMANLIKE MANNER.
4. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCY(IES) IMMEDIATELY TO THE ARCHITECT.
5. AT THE END OF EACH WORKING DAY, THE CONSTRUCTION SITE SHALL BE LEFT IN A NEAT AND CLEAN MANNER.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS WHICH ARE REQUIRED FOR THE SATISFACTORY COMPLETION OF THE WORK AND THE UNIVERSITY OF NEW ENGLAND SHALL BE RESPONSIBLE FOR PAYING ALL FEES, HOOK UP CHARGES, ETC. (STATE FIRE MARSHAL PERMIT BY OWNER)
7. THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE OWNER FOR THE SEQUENCE AND TIMING OF OPERATIONS PRIOR TO COMMENCING WORK. AREAS FOR STAGING ETC. MUST BE APPROVED BY THE OWNER.
8. THE CONTRACTOR SHALL DISPOSE OF AND / OR RECYCLE ANY CONSTRUCTION DEBRIS FROM THE PROJECT SITE AS REQUIRED BY THE STATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING DISPOSAL PERMITS WHICH ARE REQUIRED. CONSTRUCTION DEBRIS FROM THE PROJECT SITE SHALL BE IMPOSED OF IN A STATE APPROVED LANDFILL.
9. ROOM NUMBERS ON THE DRAWING ARE FOR COORDINATION PURPOSES AND DO NOT NECESSARILY CORRESPOND TO ACTUAL ROOM NUMBERS.
10. DUTY OF COOPERATION: RELEASE OF THESE PLANS CONTEMPLATES FURTHER COOPERATION AMONG THE OWNER, THE CONTRACTOR, THE ARCHITECT AND HIS CONSULTANTS. DESIGN AND CONSTRUCTION ARE COMPLEX. ALTHOUGH THE ARCHITECT AND HIS CONSULTANTS HAVE PERFORMED THEIR SERVICES WITH DUE CARE AND DILIGENCE, THEY CANNOT GUARANTEE PERFECTION. COMMUNICATION IS IMPERFECT, AND EVERY CONTINGENCY CANNOT BE ANTICIPATED. ANY AMBIGUITY OR DISCREPANCY DISCOVERED BY THE USE OF THESE PLANS SHALL BE REPORTED IMMEDIATELY TO THE OWNER. FAILURE TO NOTIFY THE OWNER COMPOUNDS MISUNDERSTANDING AND MAY INCREASE CONSTRUCTION COSTS. A FAILURE TO COOPERATE BY A SIMPLE NOTICE TO THE OWNER SHALL RELIEVE THE OWNER AND THE ARCHITECT FROM RESPONSIBILITY FROM ALL COSTS.
11. THESE DRAWINGS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. THE GENERAL CONTRACTOR SHALL PROVIDE FOR THE SAFETY, CARE OF UTILITIES AND ADJACENT PROPERTIES DURING CONSTRUCTION, AND SHALL COMPLY WITH STATE AND FEDERAL SAFETY REGULATIONS.
12. ALL MATERIALS AND WORK SHALL BE GUARANTEED FOR A MINIMUM OF ONE YEAR FROM THE DATE OF FINAL PAYMENT.
13. ALL DOOR HANDLES TO BE ADA COMPLIANT LEVER HANDLES.
14. COORDINATE ALL MECHANICAL & ELECTRICAL DEVICES SO THEY DO NOT CONFLICT W/ ARCHITECTURAL FEATURES.

RENOVATION GENERAL NOTES

1. REMOVE WALLS AS NOTED ON PLANS. VERIFY THAT WALLS TO BE REMOVED ARE NON-LOAD BEARING. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES. BEFORE PENETRATION, JOISTS, BEAMS OR OTHER STRUCTURAL MEMBERS, CONSULT WITH THE ARCHITECT FOR APPROVAL.
2. UNLESS OTHERWISE NOTED, REMOVE DOORS, BASE, TRIM, ELECTRICAL ITEMS, SURFACE MOUNTED ITEMS AND INTERIOR WINDOWS WITHIN WALLS TO BE REMOVED. UNLESS NOTED OTHERWISE, REMOVE WALLS TO THEIR FULL HEIGHT WHERE THEY ARE INDICATED FOR REMOVAL.
3. CARE SHALL BE TAKEN BY THE CONTRACTOR TO PROTECT EXISTING SYSTEMS AND SURFACES TO REMAIN. ALL DAMAGE RESULTING FROM THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED OR REPLACED AS APPROVED BY THE ARCHITECT AT NO ADDITIONAL COST TO THE OWNER.
4. WHERE REMOVALS OCCUR, PATCH HOLES AND AREAS OF MISSING FINISH (IE EXPOSED STUD AREAS WHERE WALLS ARE REMOVED, FLOOR FINISHES, ETC. TO MATCH EXISTING ADJACENT SURFACE). PROVIDE A SMOOTH CONTINUOUS SURFACE FREE OF SHADOW LINES.
5. WHERE NEW WALLS OR INFILLS ABUT OR INTERSECT EXISTING WALLS, ALIGN NEW FINISH WITH EXISTING WALLS, ALIGN NEW FINISH WITH EXISTING FINISH AND FINISH JOINTS AT INTERSECTIONS SMOOTH AND CONTIGUOUS.
6. ALL KNOWN HAZARDOUS MATERIALS REMOVALS REQUIRED FOR THE SAFE IMPLEMENT OF THIS PROJECT HAVE BEEN REMOVED PRIOR TO THIS CONTRACT. IF ADDITIONAL SUSPECT MATERIALS ARE UNCOVERED DURING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY OR TESTING AND / OR REMOVAL. ANY ASBESTOS REMOVAL NECESSARY FOR THE SAFE IMPLEMENTATION OF THIS PROJECT SHALL BE CONTRACTED DIRECTLY BY THE OWNER. IF NECESSARY, THE CONTRACTOR SHALL COORDINATE WITH THESE EFFORTS IF ENCOUNTERED.
7. UNLESS OTHERWISE NOTED, ALL ITEMS ON DEMOLITION PLANS ARE EXISTING.
8. REFER TO MECHANICAL, ELECTRICAL AND STRUCTURAL FOR ADDITIONAL DEMOLITION REQUIREMENTS.

TYPICAL ABBREVIATIONS

4	AND	DWG	DRAWING	IBC	INSTALLED BY CONTRACTOR	S	SOUTH
ANG	ANGLE	E	EAST	IN	INCHES	SAT	SUSPENDED ACOUSTICAL TILE
AT	AT	INSUL	INSULATION	INT	INTERIOR	SCHED	SCHEDULE
ADA	AMERICAN DISABILITIES ACT	JT	JOINT	LAM	LAMINATED	SD	STORM DRAIN
ADJ	ADJUST OR ADJACENT	ELEC	ELECTRIC	LB	POUNDS	SECT	SECTION
AFF	ABOVE FINISH FLOOR	ELEV	ELEVATION	LF	LINEAR FEET	SF	SQUARE FEET
ALUM	ALUMINUM	EMP	EMPLOYEE	LL	LIVE LOAD	SIM	SIMILAR
ARCH	ARCHITECT OR ARCHITECTURAL	ENCL	ENCLOSE	LP	LIGHT WEIGHT CONCRETE	SP	SHELL PACKAGE
AVG	AVERAGE	ENT	ENTRY or ENTRANCE	LL	LIVE LOAD	SPEC	SPECIFICATIONS
BD	BOARD	EQ	EQUAL	MAX	MAXIMUM	SS	STAINLESS STEEL
BLDG	BUILDING	EQUIP	EQUIPMENT	SQ	SQUARE	STD	STANDARD
BLKG	BLOCKING	EWC	ELECTRIC WATER COOLER	STL	STEEL	STRUC	STRUCTURAL
BM	BEAM	EXH	EXHAUST	MECH	MECHANICAL	SUSP	SUSPENDED
BO	BOTTOM OF	EXIST	EXISTING	MRG	MANUFACTURE	SYM	SYMMETRICAL
C	CENTER LINE	or X		MH	MAN HOLE	T	THERMOSTAT
CAB	CABINET	EXP	EXPANSION	MIL	MILLIMETER	T & B	TOP AND BOTTOM
CLG	CEILING	EXT	EXTERIOR	MIN	MINIMUM	TEL	TELEPHONE
CLR	CLEAR	FBO	FURNISHED BY OWNER	MSB	MAIN SWITCH BOARD	TGL	TEMPERED GLASS
CMU	CONCRETE MASONRY UNIT	FDN	FOUNDATION	MTD	MOUNTED	THICK	THICKNESS
CNTR	COUNTER	FF	FINISH FLOOR	MU	MICROWAVE	TI	TENANT IMPROVEMENTS
COL	COLUMN	FFE	FINISH FLOOR ELEVATION	N	NORTH	T.O.	TOP OF
CONC	CONCRETE	FIN	FINISH	N/A	NOT APPLICABLE	TOJ	TOP OF JOIST
CONT	CONTINUOUS	FIXT	FIXTURE	NAT	NATURAL	TOS	TOP OF STEEL
COORD	COORDINATE	FLG	FLOORING	NIC	NOT IN CONTRACT NUMBER	TYP	TYPICAL
COR	CORNER	FLR	FLOOR	OH	OVER HEAD	UL	UNDERWRITERS LABORATORIES, INC
CPT	CARPET	FLUOR	FLUORESCENT	UNO	UNLESS NOTED OTHERWISE	VB	VINYL BASE
CW	COLD WATER	FT	FOOT or FEET	VC	VERTICAL	VCT	VERTICAL
DBL	DOUBLE	GA	GALVE	VERT	VERTICAL	VERT	VINYL COMPOSITE TILE
DEG	DEGREE	GALV	GALVANIZED	VF	VERIFY IN FIELD	W	WIDE or WEST
DHW	DOMESTIC HOT WATER	GC	GENERAL CONTRACTOR	W	WOOD	WC	WATER COOLER
DIA	DIAMETER	GL	GLASS	W/	WITH	WO	WITHOUT
DIM	DIMENSION	GWB	GYPSUM WALL BOARD	X	EXISTING		
DN	DOWN	GLS	GLASS				
DR	DOOR	HGT	HEIGHT				
DS	DOWN SPOUT	HM	HOLLOW METAL				
DW	DISH WASHER	HORIZ	HORIZONTAL				
		HR	HOUR				
		HYAC	HEATING, VENTILATION & AIR CONDITION				

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