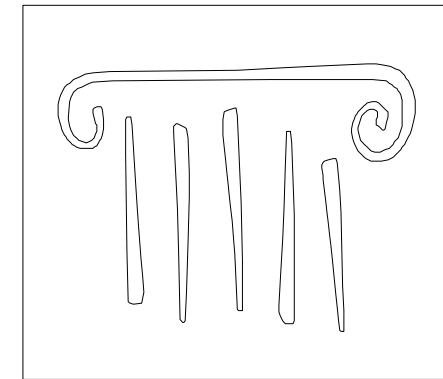


- GENERAL CONDITION RESTORATION NOTES:
1. STRIP PTD ON BRICKS FOR REPOINTING (TYP ALL SIDES)
 2. CONTRACTOR TO VERIFY & REMOVE BY GRINDING OUT ANY MTL ELEMENTS EMBEDDED IN BRICK USED ON ITEMS THAT ARE BEING REMOVED & REPOINTED AS REQ'D
 3. CHEMICALLY STRIP ALL WOOD COMPONENTS SCHEDULED TO REMAIN. PRE-TREAT PRIME AND PAINT.
 4. PRE-TREAT ALL SIDES OF NEW REPLICA TRIM PIECES, PRIME, BACK PRIME AND END PRIME. FINISH PAINT EXPOSED SURFACES.
 5. REMOVE ALL EXISTING CAULK. OPEN JOINTS UP TO 1/2\"/>

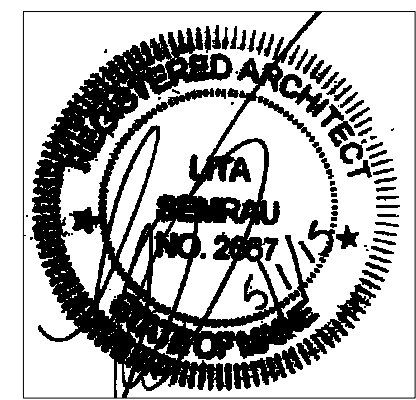
- RESTORATION KEY
- /// MORTAR SOFT OR MISSING
ACTION: CUT BACK 3/4\"/>

- WOOD TREATMENT NOTES
- (U1) REMOVE MISSING OR NON-REPAIRABLE WOOD TRIM. REPLACE WITH NEW TRIM TO MATCH EXISTING PROFILE.
 - (U2) REMOVE EXISTING WOOD GUTTER AND REPLACE WITH NEW METAL GUTTER SYSTEM. MATCH EXISTING PROFILE.
 - (U3) REMOVE EXISTING METAL GUTTER BACKER TRIM AND SOFFIT AS SHOWN IN DETAIL 2/A 8. REPLACE WITH NEW METAL GUTTER AND WOOD TRIM TO MATCH EXISTING PROFILE.
 - (U4) EPOXY INJECTION REPAIR.
 - (U5) EPOXY SECTION REPAIR.
 - (U6) NEW MAHOGANY THRESHOLD TO MATCH EXISTING PRETREAT ALL SIDES. PRIME, BACK PRIME, END PRIME AND PAINT.
 - (U7) REMOVE EXISTING DOOR AND HARDWARE. STEAM STRIP PAINT. PREP FOR NEW PAINT AND HARDWARE. CLEAN AND REINSTALL VERTICAL DEADBOLTS. DISABLE DEADBOLTS TO BECOME INOPERABLE.
 - (U8) REMOVE EXISTING WINDOW SASH. STEAM STRIP REFINISH AND REINSTALL AS PER SPEC SECTION XXXXX.
 - (U9) REMOVE EXISTING LIGHT FIXTURE. PREP FOR NEW FIXTURE. INSTALL NEW WOOD KEYSTONE TO MATCH. PRETREAT ALL SIDES OF NEW KEYSTONE, INCLUDING GROMMET HOLE FOR NEW FIXTURE.
 - (U10) REBUILD 2 CLOVERS
EACH PANEL = 31 FULL CLOVERS
14 HALF CLOVERS @ PERIMETER
REMOVE EA. PANEL 1 OF 3
HAND SCRAPE - LIGHT SANDBLAST
SECURE EA. CLOVER @ CENTER W/ 66 TRIM SCREW
 - (U11) BACK PANEL - OPERABLE - NEEDS 2 NEW 66 HINGES
 - (U12) ADD HASP TO ROOF HATCH - GOOD CONDITION
 - (U13) RESTORE PANELS
 - (U14) REMOVE ROTTED WD FOR REPLACEMENT
 - (U15) REMOVE AND REPLACE ALL QUONS WITH WESTERN RED CEDAR (TYP ALL SIDES)
 - (U16) REMOVE SHIPLAP SIDING AT BELFRY BASE SIDES. SALVAGE FOR REINSTALLATION. INSPECT CONDITION RESTORE AND REINSTALL AFTER ROOF FLASHING HAS BEEN INSTALLED.
 - (G1) REMOVE ASPHALT SHINGLE ROOFING AND LEAD STEP FLASHING AT ENTRY VESTIBULE ROOF. INSTALL NEW LEAD STEP FLASHING AND REROOF.
 - (G2) REMOVE EXISTING SPOT LIGHTS AND MOUNTING BRACKETS AT BELFRY AS REQUIRED. INSTALL NEW SPOTLIGHTS AS PRESCRIBED IN ELECTRICAL. REPAIR & PATCH ROOFING TO MAINTAIN WATER TIGHTNESS.
 - (G3) RESTORE BOOT SCRAPE - SAND AND PAINT.

1 EXISTING CONDITION - NORTH ELEVATION
SCALE: 1/4" = 1'-0"



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Structural Mechanical Electrical Commissioning

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REVISIONS

No.	Description	Date

**UNIVERSITY OF
NEW ENGLAND**
PORTLAND, MAINE
**ALUMNI HALL
RENOVATION**
**RESTORATION
ELEVATION**

Project Number 14525
Date May 01, 2015
Drawn by JP TS MAR
Checked by LAS

X4

Scale AS NOTED