

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK  
**CITY OF PORTLAND**

**BUILDING INSPECTION  
PERMIT**

Permit Number: 090243

Please Print  
Application And  
Notes, If Any,  
Attached

This is to certify that WESTBROOK SEMINARY & JUNIOR COLLEGE FOR WOMEN

has permission to Vacant space in basement establish use of space for Classroom & Research space w/ fit-up

AT 714 STEVENS AVE CBL 145 A003001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regarding the construction, maintenance and use of buildings and structures, and of the application on file in this department.

PERMIT ISSUED  
APR 21 2009  
CITY OF PORTLAND

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. CAPT. K. Gauthier

Health Dept. \_\_\_\_\_

Appeal Board \_\_\_\_\_

Other \_\_\_\_\_

Department Name

*Charles R. [Signature]* 7/24/09  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit Application**  
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 09-0243	<b>Issue Date:</b>	<b>CBL:</b> 145 A003001
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<b>Location of Construction:</b> 714 STEVENS AVE	<b>Owner Name:</b> WESTBROOK SEMINARY & JUNI	<b>Owner Address:</b> 716 STEVENS AVE	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> Allied/Cook Construction	<b>Contractor Address:</b> PO Box 1396 Portland	<b>Phone</b> 2077722888
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Additions - Commercial	<b>Zone:</b>

<b>Past Use:</b> University of New England / Connected w/ permit# 080088	<b>Proposed Use:</b> University of New England -Vacant space in basement/lower level establish use of space for Classroom & Research space w/ fit- up	<b>Permit Fee:</b> \$5,520.00	<b>Cost of Work:</b> \$550,000.00	<b>CEO District:</b> 5
<b>Proposed Project Description:</b> Vacant space in basement establish use of space for Classroom & Research space w/ fit-up		<b>FIRE DEPT:</b> <input type="checkbox"/> Approved <input type="checkbox"/> Denied	<b>INSPECTION:</b> Use Group: Type	
		Signature:	Signature:	
<b>PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)</b>				
Action <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Condition <input type="checkbox"/> Denied				
Signature: Date:				

<b>Permit Taken By:</b> Ldobson	<b>Date Applied For:</b> 03/26/2009	<b>Zoning Approval</b>		
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.  2. Building permits do not include plumbing, septic or electrical work.  3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zon <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Mino <input type="checkbox"/> MM <input type="checkbox"/>	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Us <input type="checkbox"/> Interpretatio <input type="checkbox"/> Approved <input type="checkbox"/> Denied	<b>Historic Preservation</b> <input type="checkbox"/> Not in District or Landma <input type="checkbox"/> Does Not Require Revie <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Condition <input type="checkbox"/> Denied
	Date:	Date:	Date:

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICAN	ADDRESS	DATE	PHO
RESPONSIBLE PERSON IN CHARGE OF WORK, TIT		DATE	PHO

<b>Location of Construction:</b> 714 STEVENS AVE	<b>Owner Name:</b> WESTBROOK SEMINARY & JUNI	<b>Owner Address:</b> 716 STEVENS AVE	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> Allied/Cook Construction	<b>Contractor Address:</b> PO Box 1396 Portland	<b>Phone</b> 2077722888
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Additions - Commercial	<b>Zone:</b>

**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Marge Schmuckal      **Approval Date:** 03/26/2009  
**Note:** **Ok to Issue:**

- 1) All conditions on the original permit #08-0088 are still in force.
- 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Chris Hanson      **Approval Date:** 04/21/2009  
**Note:** **Ok to Issue:**

- 1) Seperate permit for nitrogen generator and tank placement is required
- 2) Seperate sprinkler and hvac permits are required.
- 3) All special inspection reports must be submitted to this office for review within 48 hours of the inspection. A final special inspection report must be submitted prior to issuance of a certificate of occupancy. This report must demonstrate any deficiencies and corrective measures that were taken.
- 4) All penetrations through rated assemblies must be protected by an approved firestop system installed in accordance with ASTM 814 or UL 1479, per IBC 2003 Section 712.
- 5) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm or HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process.

**Dept:** Fire      **Status:** Approved with Conditions      **Reviewer:** Capt Keith Gautreau      **Approval Date:** 03/30/2009  
**Note:** **Ok to Issue:**

- 2) Emergency lights are required to be tested at the electrical panel.
- 3) The Fire alarm and Sprinkler systems shall be reviewed by a licensed contractor[s] for code compliance. Compliance letters are required.
- 4) Emergency lights and exit signs are required
- 5) A single source supplier should be used for all through penetrations.
- 6) The fire alarm system shall comply with NFPA 72. Compliance letter is required.
- 7) Installation of a Fire Alarm system requires a Knox Box to be installed per city ordinance
- 8) All construction shall comply with NFPA 101

**Comments:**

3/26/2009-mes: WAIT FOR PLANNING OK

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICAN

ADDRESS

DATE

PHO

RESPONSIBLE PERSON IN CHARGE OF WORK, TIT

DATE

PHO

<b>Location of Construction:</b> 714 STEVENS AVE	<b>Owner Name:</b> WESTBROOK SEMINARY & JUNI	<b>Owner Address:</b> 716 STEVENS AVE	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> Allied/Cook Construction	<b>Contractor Address:</b> PO Box 1396 Portland	<b>Phone</b> 2077722888
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Additions - Commercial	<b>Zone:</b>

3/27/2009-mes: Planning (Shukria) gave a verbal ok on issuing the permit.

3/30/2009-gautreaux: I have requested an occupant load cut sheet for the basement and have received it. It looks good. Keith

### CERTIFICATION

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SIGNATURE OF APPLICAN

ADDRESS

DATE

PHO

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RESPONSIBLE PERSON IN CHARGE OF WORK, TIT

DATE

PHO



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>UNE College of Pharmacy 716 Stevens Ave</u>		
Total Square Footage of Proposed Structure/Area <u>8,000 sq</u>		Square Footage of Lot <u>Campus</u>
Tax Assessor's Chart, Block & Lot Chart# <u>145</u> Block# <u>A</u> Lot# <u>003</u>	Applicant * <u>must</u> be owner, Lessee or Buyer* Name <u>Allied/Cook Construction</u> Address <u>P.O. Box 1396</u> City, State & Zip <u>Portland, ME 04104</u>	Telephone:
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name <u>UNE</u> Address <u>716 Stevens Ave</u> City, State & Zip <u>Portland, ME</u>	Cost Of Work: \$ <u>550,000</u> C of O Fee: \$ Total Fee: \$ <u>5,520</u>
Current legal use (i.e. single family) <u>College of Pharmacy - under construction</u> If vacant, what was the previous use? Proposed Specific use: <u>Academic Space</u> Is property part of a subdivision? <u>no</u> If yes, please name Project description: <u>Vacant Space in basement establish as Classroom &amp; Research Space</u>		
Contractor's name: <u>Allied/Cook Construction</u> Address: <u>P.O. Box 1396</u> City, State & Zip <u>Portland, ME 04104</u> Telephone: <u>772-2888</u> Who should we contact when the permit is ready: <u>Matt Cook</u> Telephone: <u>749-5525</u> Mailing address: <u>Same</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 3-26-09

This is not a permit; you may not commence ANY work until the permit is issue

14571 3 E 2009

## BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- Re-Bar Schedule Inspection: Prior to pouring concrete
- Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling
- Final inspection required at completion of work.
- The final report of Special Inspections shall be submitted prior to the final inspection or the issuance of the Certificate of Occupancy
- Underground electrical or plumbing inspection prior to pouring concrete

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.

  
\_\_\_\_\_

Signature of Applicant/Designee

4.21.09

Date

  
\_\_\_\_\_

Signature of Inspections Official

4.21.09

Date



*State of Maine*  
*Department of Public Safety*  
**Construction Permit**



Reviewed  
for Barrier  
Free

# 18311

Sprinkled  
Sprinkler Supervised

**U NEW ENGLAND COLLEGE PHARMACY LWR LEVEL CLASSRMS**

Located at: 716 STEVENS AVENUE

**PORTLAND**

Occupancy/Use: BUSINESS

**Permission is hereby given to:**

UNIVERSITY OF NEW ENGLAND  
ALAN THIBEAULT  
716 STEVENS AVENUE  
PORTLAND, ME 04103

to construct or alter the afore referenced building according to the plans hitherto filed with the Commissioner and now approved.

No departure from application form/plans shall be made without prior approval in writing. This permit is issued under the provision of Title 25, Chapter 317, Section 2448 and the provisions of Title 5, Section 4594 - F.

Nothing herein shall excuse the holder of this permit for failure to comply with local ordinances, zoning laws, or other pertinent legal restrictions. Each permit issued shall be displayed/available at the site of construction.

*This permit will expire at midnight on the 25 th of September 2009*

Dated the 26 th day of March A.D. 2009

Commissioner

**Copy-2 Architect**

Comments:

LITA SEMRAU

65 NEWBURY STREET  
PORTLAND, ME 04101

CBL: 145-A-003

#714 STEVENS AVE.

# College of Pharmacy

## University of New England

August 28, 2007



### Building Code Analysis

University of New England  
College of Pharmacy

Project Description: a new three-story building housing college classrooms, offices, labs, and support functions. the gross building area is 46,380 s.f. and will be constructed of materials as allowed by the construction type. there will be a fully automatic sprinkler system installed throughout the building with the exception of the electric closets and electric rooms.

1. Building codes:
  - Nfpa 101 life safety code, 2006
  - IBC international building code 2003
  - Maine state plumbing code
2. construction type: Vb unprotected construction
3. occupancy: Group "B" Business
4. height modification: ibc 504.2: add one story and 20 ft. therefore 3 story is ok.
5. area modification:
  - ibc table 503: 9,000 s.f.
  - ibc 506.2: street frontage: add 75%
  - ibc 506.3: automatic sprinkler: add 200%
  - total Allowable: 33,750 s.f./ story
6. Separations
  - a. Stairs and elevators serve three stories plus basement and are separated by two-hour fire barrier. (ibc 707.4)
  - b. First floor is separated from basement by a two-hour fire barrier to allow exit discharge from stair "a" through first floor to exit building (ibc 1023.1)
  - c. lecture hall is assembly use and is separated at walls by a one-hour fire rated separation.
  - d. corridor walls are not rated. (ibctable 1016.1)
7. means of egress:
  - egress width sprinklered building: stairway: 0.2" / person; Doors, ramps, & corridors: 0.15" / Person.
  - minimum corr width: 44" where serving > 50 occ., 36" where serving <50
  - Maximum dead-end corr: 50 ft
  - maximum travel distance to exit: 300 ft.
8. fire protection: portable fire extinguishers (Is101 sect 9.7.4.1)



LITA - 761-9000  
SEMRAU

## College of Pharmacy -

- Hazzard (size of tanks) →
1. Generator + Gas tanks - Protection?
  2. STORAGE AREA - O29  
What? contents
  3. Clean Room - use - OCC. Load -
  4. Total OCC load UNSTD or IBC
  5. Area Mod. - IBC 506.2 ST footage add 75%  
Show calculations.

6 Bath fixtures - 172 UNE  
CODE justification 194 IBC (20 net) -  
#S.

200 ÷ 55 =

5 WC - Female

215

4 WC - Men w/ 2 Urinals.

M 200 ÷ 40 = 5 - 5 urinals.

F 200 ÷ 30 = 7

Divide by 2

215 max occ. load.

Male W.C. (1 per 40) = 5

Urinals (1 per 35) = 6

Lav. (1 per 40) = 5

Female

Lav

W.C. - (1 per 30) = 7

Urinals - = 5

÷ 2 O.K.

Mezzanine - 1. Egress only - Access? ✓  
2. Sprinkled spaces - ✓  
A. Above Vault ✓  
B. Mezz Area ✓  
C. Sprinkler Plan for ✓  
entire space?

Fire Marshall Permit, → ✓

Sep. Sprinkler + Alarm Permit required



# Certificate of Design Application

From Designer: DAN BURNE P.E. / BECKER STRUCTURAL ENGINEERS  
 Date: 3-19-09  
 Job Name: UNE - COLLEGE OF PHARMACY CLASSROOMS  
 Address of Construction: 716 STEVENS AVE

## 2003 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year 2003 IBC Use Group Classification (s) B

Type of Construction VB

Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC YES

Is the Structure mixed use? YES If yes, separated or non separated or non separated (section 302.3) SEPARATED

Supervisory alarm System? YES Geotechnical/Soils report required? (See Section 1802.2) N/A

### Structural Design Calculations

COMPLETED Submitted for all structural members (106.1 - 106.11)

### Design Loads on Construction Documents (1603)

Floor Area Use	Loads Shown
<u>ALL SPACES, UNID</u>	<u>100 PSF</u>
<u>MESH PLATFORM</u>	<u>40 PSF + UNIT WT.</u>

### Wind loads (1603.1.4, 1609)

<u>N/A</u>	Design option utilized (1609.1.1, 1609.6)
<u>N/A</u>	Basic wind speed (1809.3)
<u>N/A</u>	Building category and wind importance Factor, $w$ (table 1604.5, 1609.5)
<u>N/A</u>	Wind exposure category (1609.4)
<u>N/A</u>	Internal pressure coefficient (ASCE 7)
<u>N/A</u>	Component and cladding pressures (1609.1.1, 1609.6.2.2)
<u>N/A</u>	Mean force wind pressures (7603.1.1, 1609.6.2.1)

### Earth design data (1603.1.5, 1614-1623)

<u>EQUV. FORCE</u>	Design option utilized (1614.1)
<u>I</u>	Seismic use group ("Category")
<u>0.256</u>	Spectral response coefficients, $S_x$ & $S_D$ (1615.1)
<u>0.088</u>	Site class (1615.1.5)

<u>N/A</u>	Live load reduction
<u>N/A</u>	Roof live loads (1603.1.2, 1607.11)
<u>N/A</u>	Roof snow loads (1603.7.3, 1608)
<u>N/A</u>	Ground snow load, $P_g$ (1608.2)
<u>N/A</u>	If $P_g > 10$ psf, flat-roof snow load $P_f$
<u>N/A</u>	If $P_g > 10$ psf, snow exposure factor, $e_s$
<u>N/A</u>	If $P_g > 10$ psf, snow load importance factor, $i_s$
<u>N/A</u>	Roof thermal factor, $C_t$ (1608.4)
<u>N/A</u>	Sloped roof snow load, $P_s$ (1608.4)

<u>B</u>	Seismic design category (1616.3)
<u>CMU/CONC SW</u>	Basic seismic force resisting system (1617.6.2)
<u>3.0, 3.0</u>	Response modification coefficient, $R$ , and deflection amplification factor, $C_d$ (1617.6.2)

<u>EQUV. FORCE</u>	Analysis procedure (1616.6, 1617.5)
<u>0.6K</u>	Design base shear (1617.4, 1617.5.1)

### Flood loads (1803.1.6, 1612)

<u>N/A</u>	Flood Hazard area (1612.3)
<u>N/A</u>	Elevation of structure

### Other loads

<u>UNIT-1900 #</u>	Concentrated loads (1607.4)
<u>N/A</u>	Partition loads (1607.5)
<u>N/A</u>	Misc. loads (Table 1607.8, 1607.6.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404)



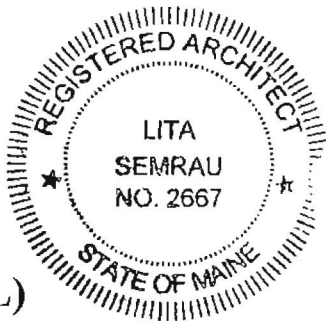
# Accessibility Building Code Certificate

Designer: PORT CITY ARCHITECTURE

Address of Project: UNE - College of Pharmacy - lower level  
CLASS ROOMS

Nature of Project: Fit out w/ classrooms + ancillary  
spaces for UNE College of Pharmacy  
(currently under construction) at  
the lower level

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.



(SEAL)

Signature: [Handwritten Signature]

Title: Vice President

Firm: PORT CITY ARCHITECTURE

Address: 65 NEWBURY ST  
PORTLAND, ME 04101

Phone: 761-9000

For more information or to download this form and other permit applications visit the Inspections Division on our website at [www.portlandmaine.gov](http://www.portlandmaine.gov)



# Certificate of Design

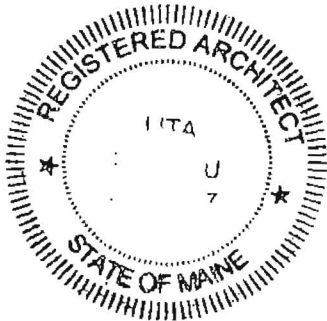
Date: 3/18/09

From: Port City Architecture

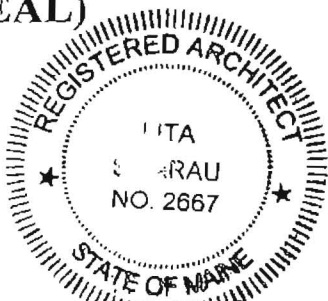
These plans and / or specifications covering construction work on:

DNE - College of Pharmacy - Lower Level  
Classrooms

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the *2003 International Building Code* and local amendments.



(SEAL)



Signature: [Handwritten Signature]

Title: Vice President

Firm: Port City Architecture

Address: 65 Newbury St  
PORTLAND ME 04101

Phone: 761.9000

For more information or to download this form and other permit applications visit the Inspections Division on our website at [www.portlandmaine.gov](http://www.portlandmaine.gov)

**From:** Marge Schmuckal  
**To:** Shukria Wiar  
**Date:** 3/26/2009 2:44:58 PM  
**Subject:** UNE - COP basement

Shukria,

I just received an application for the change of use in the basement of the College of PHarmacy. Can we issue this permit?

Marge

# COLLEGE OF PHARMACY-CLASSROOMS

## UNIVERSITY OF NEW ENGLAND

Portland, Maine

FEBRUARY 11, 2009

**BID DOCUMENTS**  
NOT FOR CONSTRUCTION



PORT CITY ARCHITECTURE

55 NEWBURY STREET  
PORTLAND, ME 04101  
207.761.9000  
Fax: 207.761.2010  
info@portcityarch.com

### LEGEND

	DETAIL NUMBER
	SHEET WHERE DETAIL IS DRAWN
	SHEET WHERE DETAIL IS TAKEN
	INDICATES BUILDING SECTION OR BUILDING ELEVATION
	BUILDING SECTION LETTER
	SHEET WHERE BUILDING SECTION IS DRAWN
	SHEET WHERE BUILDING SECTION IS TAKEN
	INTERIOR ELEVATION NUMBER
	SHEET WHERE ELEVATION IS DRAWN
	LIMIT OF WORK
	EXISTING WALL TO BE REMOVED
	EXISTING WALL
	WALL
	ELEVATOR LOBBY
	ROOM NAME AND NUMBER
	KEY NOTE
	DOOR NUMBER
	COLUMN GRID LINE
	ELEVATION TARGET
	WALL TYPE
	WINDOW TYPE

### GENERAL NOTES

- ALL MATERIALS, COMPONENTS, AND WORK ARE NEW AND SHALL BE PROVIDED IN THIS CONTRACT BY THE CONTRACTOR UNLESS NOTED OTHERWISE.
- ALL WORK INCLUDED IN THIS CONTRACT SHALL CONFORM TO ALL STATE, NATIONAL AND OTHER CODES AND ORDINANCES WHICH APPLY TO THIS PROJECT.
- IT IS THE INTENT AND MEANING OF THESE DRAWINGS THAT THE CONTRACTOR AND EACH SUBCONTRACTOR PROVIDE ALL LABOR, MATERIALS, TRANSPORTATION, SUPPLIES, EQUIPMENT, ETC. TO OBTAIN A COMPLETE JOB TO INDUSTRY STANDARD IN A PROFESSIONAL WORKMANLIKE MANNER.
- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCY(IES) IMMEDIATELY TO THE ARCHITECT.
- AT THE END OF EACH WORKING DAY, THE CONSTRUCTION SITE SHALL BE LEFT IN A NEAT AND CLEAN MANNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS WHICH ARE REQUIRED FOR THE SATISFACTORY COMPLETION OF THE WORK AND THE UNIVERSITY OF NEW ENGLAND SHALL BE RESPONSIBLE FOR PAYING ALL FEES, HOOK UP CHARGES, ETC. (STATE FIRE MARSHAL PERMIT BY OWNER.)
- THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE OWNER FOR THE SEQUENCE AND TIMING OF OPERATIONS PRIOR TO COMMENCING WORK. AREAS FOR STAGING ETC. MUST BE APPROVED BY THE OWNER.
- THE CONTRACTOR SHALL DISPOSE OF AND / OR RECYCLE ANY CONSTRUCTION DEBRIS FROM THE PROJECT SITE AS REQUIRED BY THE STATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING DISPOSAL PERMITS WHICH ARE REQUIRED. CONSTRUCTION DEBRIS FROM THE PROJECT SITE SHALL BE IMPOSED OF IN A STATE APPROVED LANDFILL.
- ROOM NUMBERS ON THE DRAWING ARE FOR COORDINATION PURPOSES AND DO NOT NECESSARILY CORRESPOND TO ACTUAL ROOM NUMBERS.
- DUTY OF COOPERATION. RELEASE OF THESE PLANS CONTEMPLATES FURTHER COOPERATION AMONG THE OWNER, THE CONTRACTOR, THE ARCHITECT AND HIS CONSULTANTS. DESIGN AND CONSTRUCTION ARE COMPLEX. ALTHOUGH THE ARCHITECT AND HIS CONSULTANTS HAVE PERFORMED THEIR SERVICES WITH DUE CARE AND DILIGENCE, THEY CANNOT GUARANTEE PERFECTION. COMMUNICATION IS IMPERFECT, AND EVERY CONTINGENCY CANNOT BE ANTICIPATED. ANY AMBIGUITY OR DISCREPANCY DISCOVERED BY THE USE OF THESE PLANS SHALL BE REPORTED IMMEDIATELY TO THE OWNER. FAILURE TO NOTIFY THE OWNER COMPOUNDS MISUNDERSTANDING AND MAY INCREASE CONSTRUCTION COSTS. A FAILURE TO COOPERATE BY A SILENT NOTICE TO THE OWNER SHALL RELIEVE THE OWNER AND THE ARCHITECT FROM RESPONSIBILITY FROM ALL COSTS.
- THESE DRAWINGS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. THE GENERAL CONTRACTOR SHALL PROVIDE FOR THE SAFETY, CARE OF UTILITIES AND ADJACENT PROPERTIES DURING CONSTRUCTION AND SHALL COMPLY WITH STATE AND FEDERAL SAFETY REGULATIONS.
- ALL MATERIALS AND WORK SHALL BE GUARANTEED FOR A MINIMUM OF ONE YEAR FROM THE DATE OF FINAL PAYMENT.
- ALL DOOR HANDLES TO BE ADA COMPLIANT LEVER HANDLES.
- COORDINATE ALL MECHANICAL & ELECTRICAL DEVICES SO THEY DO NOT CONFLICT W/ ARCHITECTURAL FEATURES.

### RENOVATION GENERAL NOTES

- REMOVE WALLS AS NOTED ON PLANS. VERIFY THAT WALLS TO BE REMOVED ARE NON-LOAD BEARING. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES. BEFORE PENETRATION JOISTS, BEAMS OR OTHER STRUCTURAL MEMBERS, CONSULT WITH THE ARCHITECT FOR APPROVAL.
- UNLESS OTHERWISE NOTED, REMOVE DOORS, BASE, TRIM, ELECTRICAL ITEMS, SURFACE MOUNTED ITEMS AND INTERIOR WINDOWS WITHIN WALLS TO BE REMOVED. UNLESS NOTED OTHERWISE, REMOVE WALLS TO THEIR FULL HEIGHT WHERE THEY ARE INDICATED FOR REMOVAL.
- CARE SHALL BE TAKEN BY THE CONTRACTOR TO PROTECT EXISTING SYSTEMS AND SURFACES TO REMAIN. ALL DAMAGE RESULTING FROM THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED OR REPLACED AS APPROVED BY THE ARCHITECT AT NO ADDITIONAL COST TO THE OWNER.
- WHERE REMOVALS OCCUR, PATCH HOLES AND AREAS OF MISSING FINISH (IE EXPOSED STUD AREAS WHERE WALLS ARE REMOVED), FLOOR FINISHES, ETC. TO MATCH EXISTING ADJACENT SURFACE). PROVIDE A SMOOTH CONTINUOUS SURFACE FREE OF SHADOW LINES.
- WHERE NEW WALLS OR PARTS ABUT OR INTERSECT EXISTING WALLS, ALIGN NEW FINISH WITH EXISTING WALLS, ALIGN NEW FINISH WITH EXISTING FINISH AND FINISH JOINTS AT INTERSECTIONS SMOOTH AND CONTIGUOUS.
- ALL KNOWN HAZARDOUS MATERIALS REMOVALS REQUIRED FOR THE SAFE IMPLEMENTATION OF THIS PROJECT HAVE BEEN REMOVED PRIOR TO THIS CONTRACT. IF ADDITIONAL SUSPECT MATERIALS ARE UNCOVERED DURING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY OR TESTING AND / OR REMOVAL. ANY ASBESTOS REMOVAL NECESSARY FOR THE SAFE IMPLEMENTATION OF THIS PROJECT SHALL BE CONTRACTED DIRECTLY BY THE OWNER. IF NECESSARY, THE CONTRACTOR SHALL COORDINATE WITH THESE EFFORTS IF ENCOUNTERED.
- UNLESS OTHERWISE NOTED, ALL ITEMS ON DEMOLITION PLANS ARE EXISTING.
- REFER TO MECHANICAL, ELECTRICAL AND STRUCTURAL FOR ADDITIONAL DEMOLITION REQUIREMENTS.

### TYPICAL ABBREVIATIONS

A	AND	DRG	DRAWING	IBC	INSTALLED BY CONTRACTOR	S	SOUTH
ANG	ANGLE	E	EAST	IN	INCHES	SAT	SUSPENDED ACoustICAL TILE
AT	AT	EA	EACH	INSUL	INSULATION	SCHED	SCHEDULE
ADA	AMERICAN DISABILITIES ACT	EJ	EXPANSION JOINT	INT	INTERIOR	SD	STORY DRAIN
ADJ	ADJUST OR ADJACENT	ELEC	ELECTRIC	JT	JOINT	SECT	SECTION
AF	ABOVE FINISH FLOOR	ELEV	ELEVATION	LAM	LAMINATED	SF	SQUARE FEET
ALUM	ALUMINUM	EMP	EMPLOYEE	LB	POUNDS	SIM	SIMILAR
ARCH	ARCHITECT OR ARCHITECTURAL	ENCL	ENCLOSURE	LF	LINEAR FEET	SP	SHELL PACKAGE
AVG	AVERAGE	ENT	ENTRY OR ENTRANCE	LL	LIVE LOAD	SPEC	SPECIFICATIONS
BD	BOARD	EQ	EQUAL	LWC	LIGHT WEIGHT CONCRETE	SS	STAINLESS STEEL
BLDG	BUILDING	EQUIP	EQUIPMENT	MAX	MAXIMUM	SQ	SQUARE
BLKS	BLOCKING	EW	ELECTRIC WATER COOLER	MECH	MECHANICAL	STD	STANDARD
BM	BEAM	EXH	EXHAUST	MFG	MANUFACTURE	STL	STEEL
BO	BOTTOM OF CENTER LINE	EXIST	EXISTING	MH	MAN HOLE	STRUC	STRUCTURAL
C	CABINET	EXP	EXPANSION	MIL	MILLIPETER	SUSP	SUSPENDED
CLG	CEILING	EXT	EXTERIOR	MN	MINIMUM	SYM	SYMMETRICAL
CLR	CLEAR	FBO	FURNISHED BY OWNER	MNS	MAIN SWITCH BOARD	T	THERMOSTAT
CNL	CONCRETE MASONRY UNIT	FDN	FOUNDATION	MTD	MOUNTED	T & B	TOP AND BOTTOM
CNTR	COUNTER	FF	FINISH FLOOR	MU	METAL	TEL	TELEPHONE
COL	COLUMN	FEE	FINISH FLOOR ELEVATION	N	NORTH	TGL	TEMPERED GLASS
CONC	CONCRETE	FN	FINISH	N/A	NOT APPLICABLE	TRCK	THICKNESS
CONT	CONTINUOUS	FDX	FIXTURE	NAT	NATURAL	TT	TENANT IMPROVEMENTS
COORD	COORDINATE	FLG	FLOORING	NIC	NOT IN CONTRACT	T.O.	TOP OF
COR	CORNER	FLR	FLOOR	*	NUMBER	T.O.J	TOP OF JOIST
CPT	CARPET	FLUR	FLOORING	N/S	NOT TO SCALE	T.O.S	TOP OF STEEL
CU	COLD WATER	FT	FOOT OR FEET	OC	ON CENTER	TPP	TYPICAL
DBL	DOUBLE	GA	GAUGE	OH	OVER HEAD	UL	UNDERWRITERS LABORATORIES, INC.
DEG	DEGREE	GALV	GALVANIZED	PAR	PARALLEL	UNO	UNLESS NOTED OTHERWISE
DHW	DOMESTIC HOT WATER	GC	GENERAL CONTRACTOR	PAC	PRECAST CONCRETE	VB	VINYL BASE
DIA	DIAMETER	GL	GLASS	PERP	PERITREATED	VCT	VERTICAL
DIM	DIMENSION	GWB	GYPsum WALL BOARD	PERP	PERPENDICULAR	VERT	VINYL COMPOSITE TILE
DN	DOWN	HGT	HEIGHT	PL	PLATE	VF	VERIFY IN FIELD
DR	DOOR	HM	HOLLOW METAL	P-LAM	PLASTIC LAMINATE	W	WIDE OR BEST
DS	DOWN ABOUT	HORIZ	HORIZONTAL	PLAS	PLASTER	W	WOOD
DW	DISH WASHER	HR	HOUR	PLBS	PLASTER	WC	WATER COOLER
		HYAC	HEATING, VENTILATION & AIR CONDITION	PLBG	PLUMBING	W	WITH
						W/O	WITHOUT
						X	EXISTING

### LIST OF DRAWINGS

- TU TITLE SHEET, KEY AND ABBREVIATIONS
- B10 PART PLANS & DETAILS
- DU DEMO PLAN
- A01 EMERGENCY CODE PLAN
- AU FLOOR PLAN & WALL TYPES
- A2J REFLECTED CEILING PLAN & DETAILS
- A3J NOT USED
- A4J BUILDING SECTIONS
- A5J NOT USED
- A6J ADA INTERIOR ELEVATIONS
- A6J INTERIOR ELEVATIONS
- A6J INTERIOR ELEVATIONS
- A6J INTERIOR ELEVATIONS
- ATJ ROOM, DOOR AND WINDOW SCHEDULES
- E01 ELECTRICAL LEGEND AND NOTES
- E02 LOWER FLOOR LIGHTING PLAN
- E03 LOWER FLOOR POWER PLAN
- E04 LOWER FLOOR FIRE ALARM PLAN
- M10 HVAC PLAN
- M11 HVAC PIPING PLAN
- M20 LOWER LEVEL SANITARY PLUMBING PLAN
- M21 LOWER LEVEL DOMESTIC PLUMBING PLAN
- M30 MECHANICAL SCHEDULES & DETAILS

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MAR 26 2009

UNIVERSITY OF NEW ENGLAND  
COLLEGE OF  
PHARMACY  
CLASSROOMS

76 STREWS AVENUE, PORTLAND, ME

DATE DESCRIPTION

Date Issued: 3/11/2009

Project Number: 08818

SHEET NAME

TITLE PAGE

Drawn By: EAC

Checked By: LAB

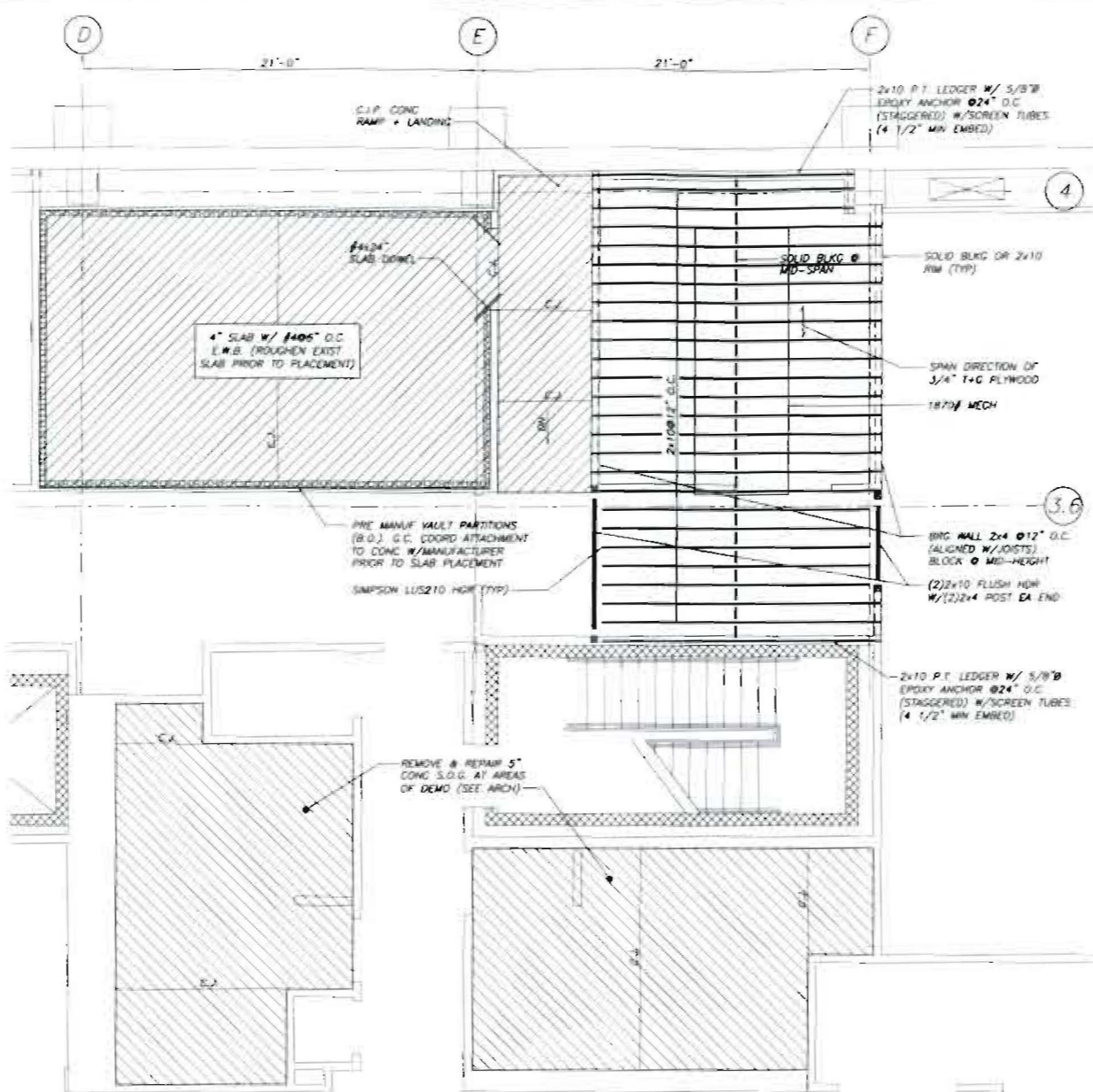
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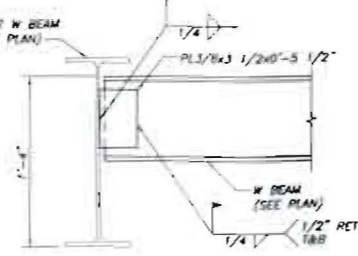
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- GENERAL NOTES**
- THE NOTES ON THESE DRAWINGS ARE NOT INTENDED TO REPLACE SPECIFICATIONS FOR REQUIREMENTS IN ADDITION TO GENERAL NOTES. INCONSISTENCIES BETWEEN THESE DRAWINGS AND THE SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO PROCEEDING WITH THE AFFECTED PORTION OF THE WORK.
  - STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH JOB SPECIFICATIONS AND ARCHITECTURAL, MECHANICAL, ELECTRICAL, PLUMBING, AND SITE DRAWINGS. CONSULT THESE DRAWINGS FOR LOCATIONS AND DIMENSIONS OF OPENINGS, CHASES, INSERTS, REGLETS, SLEEVES, DEPRESSIONS, AND OTHER DETAILS NOT SHOWN ON STRUCTURAL DRAWINGS.
  - ALL DIMENSIONS, EXISTING CONDITIONS, AND AS-BUILT CONDITIONS MUST BE VERIFIED IN THE FIELD. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE STRUCTURAL ENGINEER BEFORE PROCEEDING WITH THE AFFECTED PART OF THE WORK.
  - THE STRUCTURE IS DESIGNED TO BE SELF-SUPPORTING AND STABLE ONLY AFTER THE STRUCTURAL WORK CONTAINED IN THE S- DRAWINGS IS COMPLETED. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURES AND SEQUENCE TO ENSURE THE SAFETY OF THE BUILDING AND ITS COMPONENTS DURING ERECTION. THIS INCLUDES THE ADDITION OF NECESSARY SHORING, SHEETING, TEMPORARY BRACING, CUTS OR REDDINGS. SUCH MATERIAL SHALL REMAIN THE PROPERTY OF THE CONTRACTOR AFTER COMPLETION OF THE PROJECT.
  - ALL APPLICABLE FEDERAL, STATE, AND MUNICIPAL REGULATIONS SHALL BE FOLLOWED, INCLUDING THE FEDERAL DEPARTMENT OF LABOR OCCUPATIONAL SAFETY AND HEALTH ACT.
- DESIGN LOADS**
- BUILDING CODE: INTERNATIONAL BUILDING CODE, 2003 EDITION ASCE 7-02 MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES.
  - DESIGN FLOOR LIVE LOADS: MECHANICAL PLATFORM, 40 PSF + UNIT WEIGHT
- CONCRETE NOTES**
- CONCRETE WORK SHALL CONFORM TO "ACI MANUAL OF CONCRETE PRACTICE", LATEST EDITION. THIS PUBLICATION IS AVAILABLE THROUGH THE AMERICAN CONCRETE INSTITUTE (248) 848-3800.
  - PROVIDE PVC SLEEVES WHERE PIPES PASS THROUGH EXTERIOR CONCRETE, OR SLABS.
  - REINFORCING BARS SHALL CONFORM TO ASTM A615 GRADE 60 DEFORMED BARS AND SHALL BE DETAILED, FABRICATED AND PLACED IN ACCORDANCE WITH ACI 315, LATEST EDITION.
  - WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185 AND BE PROVIDED IN FLAT SHEETS.
  - MINIMUM CONCRETE PROTECTIVE COVERING FOR REINFORCEMENT, UNLESS NOTED OTHERWISE, SHALL BE AS FOLLOWS: #5 BARS, 3/8" DIAMETER WIRE, AND SMALLER, 1.5"
  - PROVIDE LAPPED BARS AT NECESSARY SPICES. PROVIDE LAP SPICE OF 36" FOR ALL REINFORCING UNLESS OTHERWISE SHOWN ON PLAN.
  - FOR ALL OPENINGS IN CONCRETE SLABS, PROVIDE SUPPLEMENTAL REINFORCING AROUND OPENING. NO PENETRATIONS SHALL BE MADE THROUGH FOOTINGS WITHOUT WRITTEN PERMISSION FROM ENGINEER.
- STRUCTURAL STEEL NOTES**
- STRUCTURAL STEEL FABRICATION, ERECTION, AND CONNECTION DESIGN SHALL CONFORM TO AISC "SPECIFICATION FOR THE DESIGN, FABRICATION, AND ERECTION OF STRUCTURAL STEEL" 13TH EDITION AND THE "CODE OF STANDARD PRACTICE, LATEST EDITION.
  - STRUCTURAL STEEL STEEL PLATES, SHAPES, AND BARS, SHALL CONFORM TO ASTM A36 UNLESS NOTED OTHERWISE (U.N.O.). STRUCTURAL STEEL SHAPES DESIGNATED ON THE DRAWINGS FOR WIDE-FLANGE SECTIONS: ASTM A992 (ASTM A572 GRADE 50 WITH SPECIAL REQUIREMENTS PER AISC TECHNICAL BULLETIN #3 DATED MARCH, 1997)
  - FIELD CONNECTIONS SHALL BE BOLTED USING 3/4" DIAMETER ASTM A325N HIGH STRENGTH BOLTS (U.N.O.).
  - WHERE WELDING IS INDICATED, ALL WELDING SHALL CONFORM TO AWS D1.1 - LATEST EDITION. ELECTRODES SHALL BE CONFORM TO AWS A5.1 (E70XX SERIES WITH PROPER ROD TO PRODUCE OPTIMUM WELD (LOW HYDROGEN)).
  - ALL STEEL SHALL BE FABRICATED AND SHIPPED AS BARE UN-PAINTED STEEL.
  - PROVIDE ALL ANGLES, PLATES, ANCHORS, BOLTS, ETC., SHOWN ON ARCHITECTURAL DRAWINGS.
- TIMBER NOTES**
- ALL TIMBER FRAMING SHALL BE IN ACCORDANCE WITH THE ATC TIMBER CONSTRUCTION MANUAL - LATEST EDITION, AND THE AF & PA NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION (NDS) 2001 EDITION.
  - INDIVIDUAL TIMBER FRAMING MEMBERS SHALL BE VISUALLY GRADED, MINIMUM GRADE NO.1/NO.2 SPRUCE-PINE-FIR KILN DRIED TO 19% MAXIMUM MOISTURE CONTENT UNLESS OTHERWISE INDICATED ON THE DRAWINGS.
  - PRESSURE TREATED LUMBER SHALL BE SOUTHERN YELLOW PINE TREATED WITH CCA ON ACC TO 0.4 #/FT<sup>3</sup> IN ACCORDANCE WITH ANPPA C-18. CCA IS STRICTLY PROHIBITED.
  - FLOOR SHEATHING SHALL BE 3/4" APA RATED TONGUE AND GROOVE PANELS, GLUE AND NAIL TO FLOOR FRAMING WITH 80 RING SHANK NAILS AT 6" O.C. AT SUPPORTED PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS.
  - ALL BUILT-UP BEAMS SHALL BE NAIL AS FOLLOWS (FASTENING IN EACH PLY):  
UNIFORMLY LOADED BEAMS:  
BEAM DEPTH < 18" - 2 ROWS OF 10d NAILS AT 12" O.C., STAGGERED  
FASTENING NOT SPECIFIED SHALL CONFORM WITH IRC TABLE 2304.9.1
  - ALL TIMBER CONNECTION HARDWARE (POST HANGERS, POST BASES, SHEARWALL HOLD-DOWNS, ETC.) SHALL BE AS INDICATED ON THE DRAWINGS AND MANUFACTURED BY SIMPSON STRONG-TIE. ALL CONNECTION HARDWARE SHALL BE HOT-DIPPED GALVANIZED G-90 (U.N.O.). CONNECTION HARDWARE USED IN CONJUNCTION WITH PRESERVATIVE TREATMENT SHALL BE GALVANIZED G185 (ZMAK.) USE FASTENERS & HANGERS OF SAME MATERIAL & COATING. REFER TO MANUFACTURER'S LITERATURE FOR PROPER HANDLING AND INSTALLATION GUIDELINES.

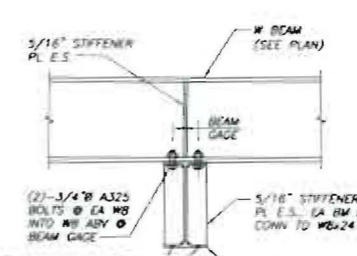


FOUNDATION PLAN/FRAMING PART PLAN @  
VAULT & MEZZANINE OVER LOCKER ROOM  
1/4"=1'-0"

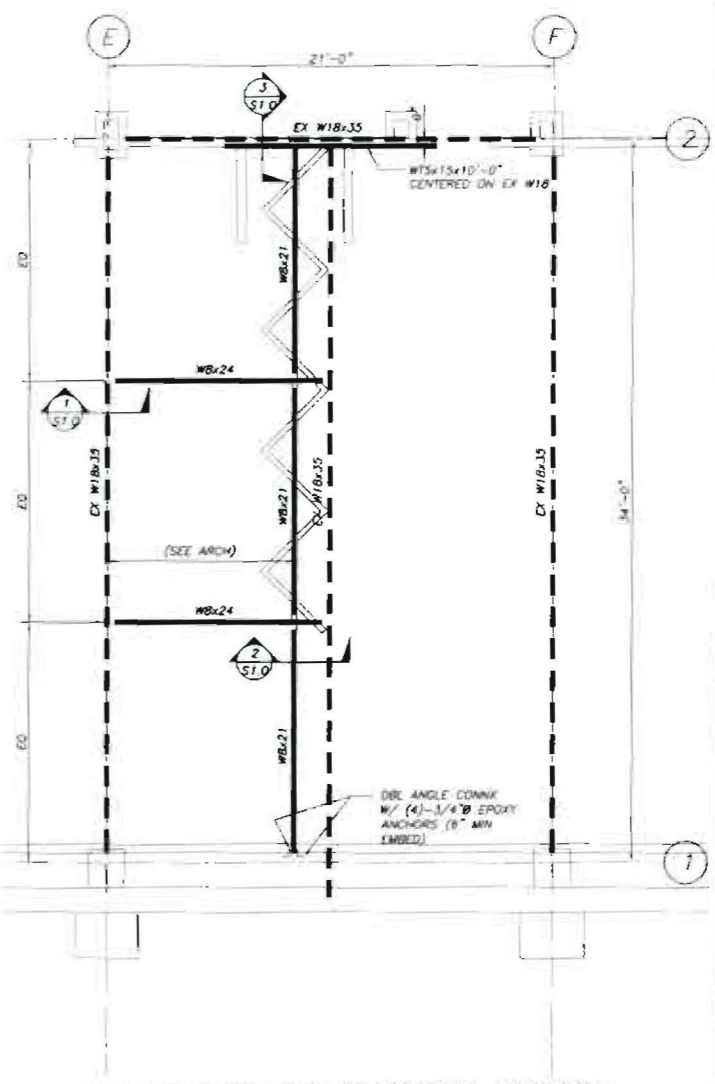
- NOTES**
- C.J. INDICATES CONTRACTION/CONSTRUCTION JOINT.



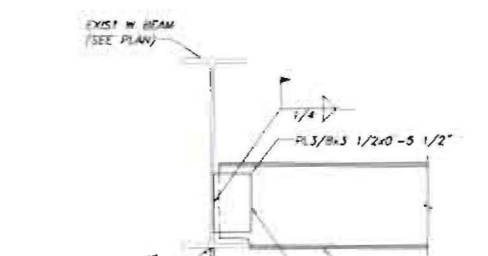
SECTION 1  
1/2"=1'-0"



SECTION 2  
1/2"=1'-0"



FRAMING PART PLAN @ FOLDING PARTITION  
1/4"=1'-0"



SECTION 3  
1/2"=1'-0"



PORT + CITY  
ARCHITECTURE

85 NEWBURY STREET  
PORTLAND, ME 04101  
207.761.9000  
fax 207.761.2010  
info@portcityarch.com

CONSULTANTS

**BECKER**

Structural Engineers, Inc.  
11 Park Street  
Portland, ME 04101-1901  
Tel: 207-633-1838  
Fax: 207-633-1833

UNIVERSITY OF NEW ENGLAND  
COLLEGE OF  
PHARMACY  
CLASSROOMS

76 STEVENS AVENUE, PORTLAND, ME

DATE DESCRIPTION  
BID DOCUMENTS

Date Issued: 5/11/09

Project Number: 06506

Drawing Scale: AS NOTED

SHEET NAME

PART PLANS +  
DETAILS

Drawn By: CHF

Checked By: OSB

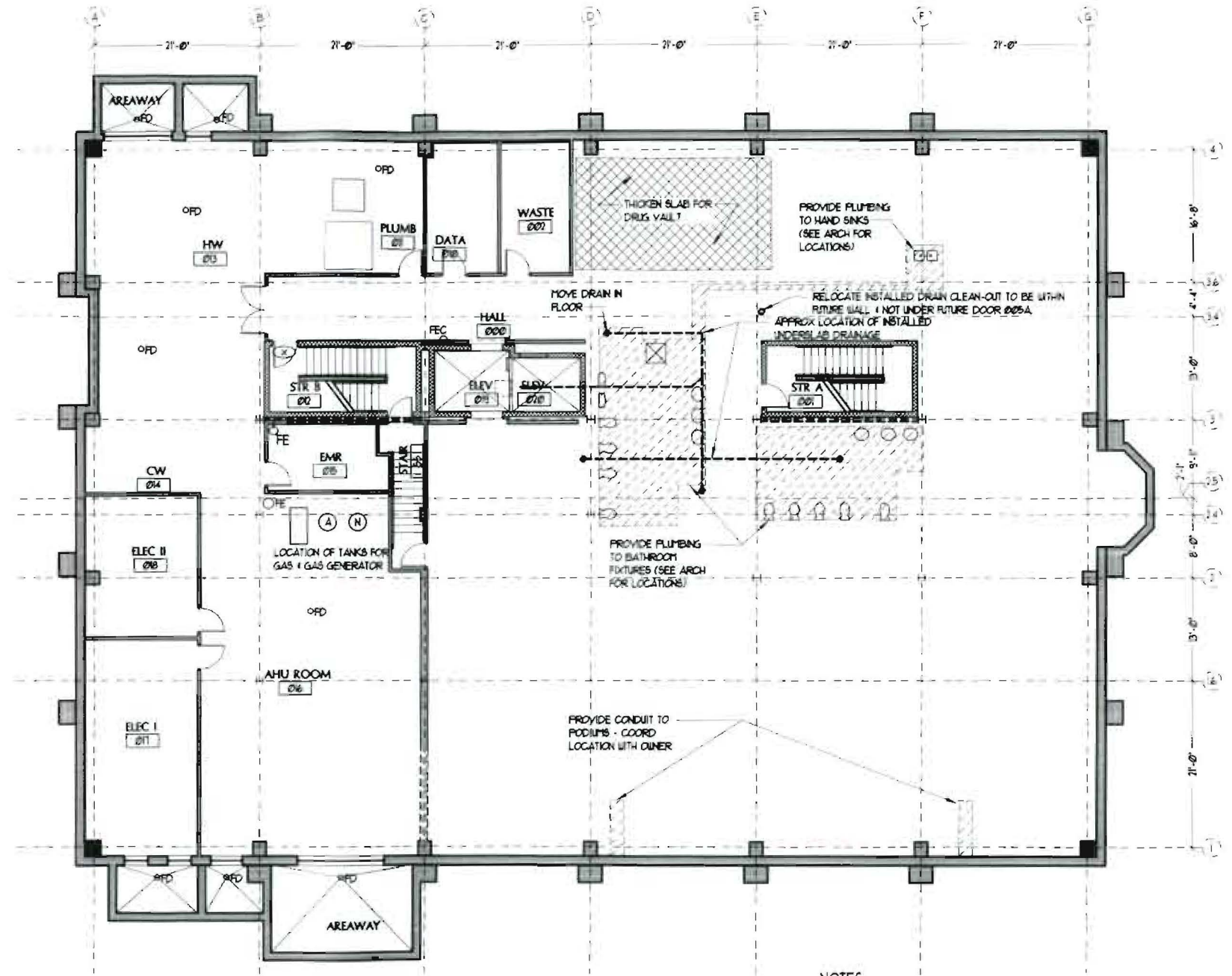
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- NOTES:
1. KEEP SLAB CUTTING AND REPLACEMENT TO A MINIMUM
  2. LOCATIONS OF SLAB REMOVAL AND REPLACEMENT SHOWN ON THIS PLAN AND LOCATIONS OF UNDERSLAB PIPES SHOWN ON PLAN ARE FOR GENERAL INFORMATION ONLY. CONTRACTOR TO VERIFY ALL LOCATIONS IN FIELD.
  3. HATCHING DENOTES AREAS OF POTENTIAL DEMOLITION

LOWER LEVEL DEMO PLAN W/CLASSROOMS  
SCALE: 1/8" = 1'-0"



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85 NEWBURY STREET  
PORTLAND, ME 04101  
207.761.9000  
fax 207.761.2010  
info@portcityarch.com

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COLLEGE OF  
PHARMACY  
CLASSROOMS

716 STEVENS AVENUE, PORTLAND, ME

DATE	DESCRIPTION
3/11/2009	Date Issued
0201B	Project Number

SHEET NAME  
SLAB  
DEMO PLAN

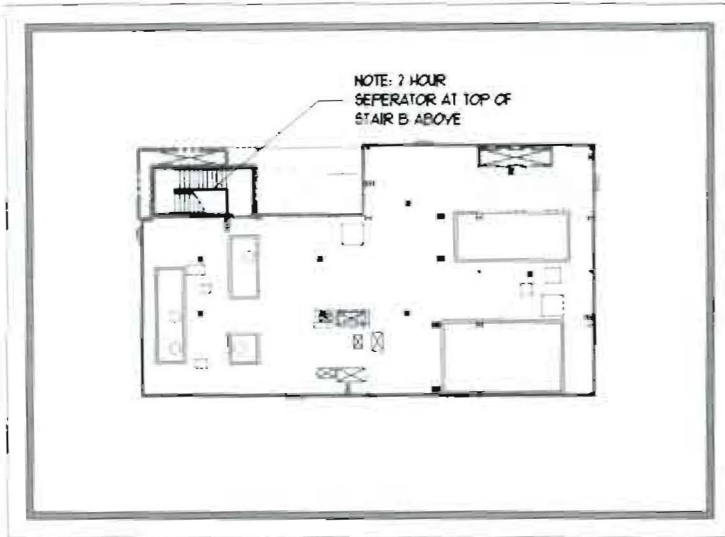
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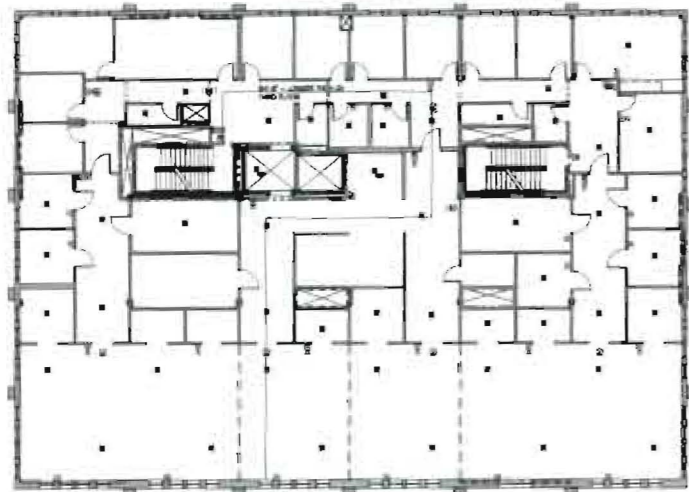
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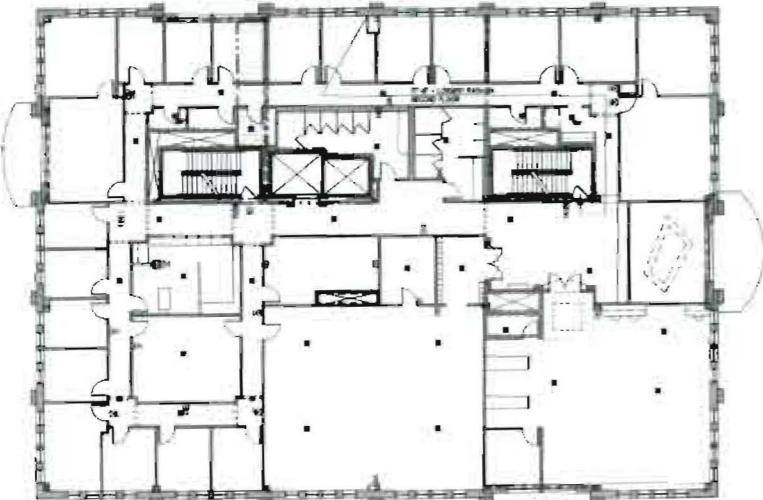
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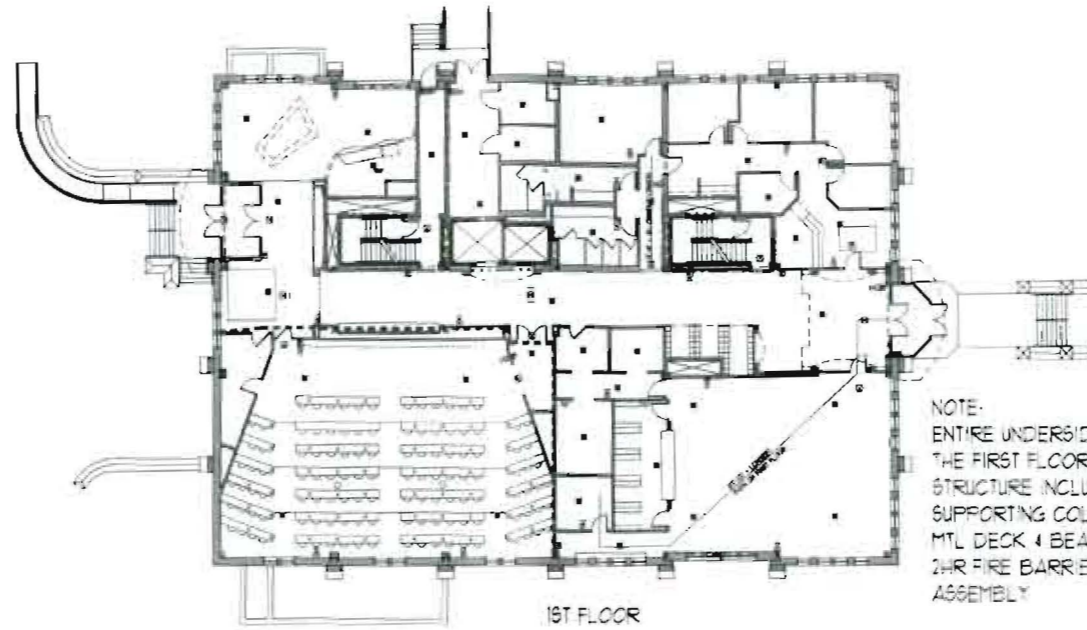
MECHANICAL MEZZANNE



THIRD FLOOR

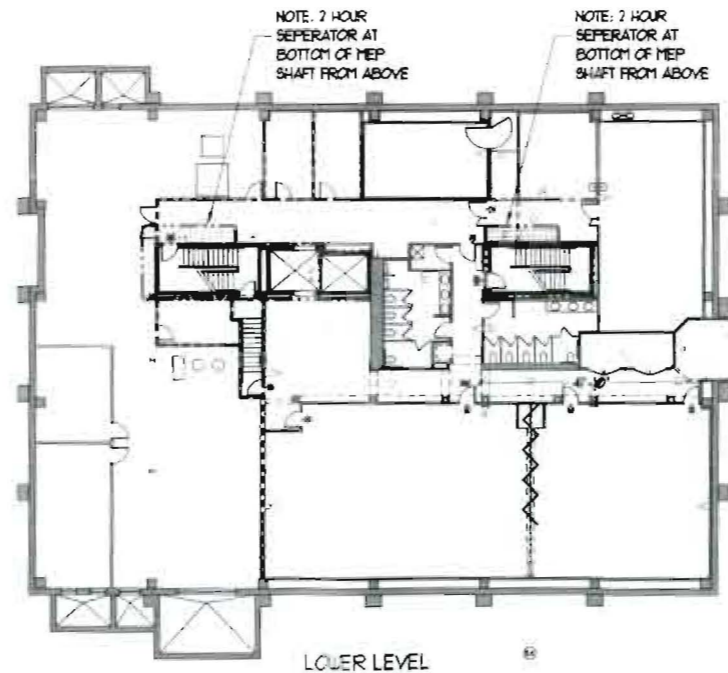


SECOND FLOOR



1ST FLOOR

NOTE: ENTIRE UNDERSIDE OF THE FIRST FLOOR STRUCTURE INCLUDING SUPPORTING COLUMNS, METAL DECK & BEAMS - 2HR FIRE BARRIER ASSEMBLY



LOWER LEVEL

**LOWER LEVEL CODE ISSUES**

- Two egress from each classroom is required
- 50'-0" max length dead-end corridor
- Max capacity of Lower Level is 215 (see below)
- one classroom has 56 people at 20 sf/person (UNE standard or 15 people by code at 15 sf/person) and the other 81 people at 20 sf/person (UNE standard or 104 people by code at 15 sf/person) for a total of 139 people in the classrooms (remember not based on who is there but how many could be there by code) - if this is going to be used as a reception area, we will have to cut the usable square foot down even more.
- As a place holder, I have allocated 425 more people in the rest of the spaces due to how close the numbers are, we will need to understand how the other spaces in the lower level are used to refine this number before we proceed much further.
- Building load - we have the capability for 360 people in the two stairways - due to direct egress to the exterior for the first floor, we do not have to include the capacity of this floor. The capacity for the second floor is 100 and the capacity for the third floor is 45 for a total of 145 thus leaving us a capacity of 215 for the lower level. see

- 1HR FIRE RATING
- 2HR FIRE RATING
- 1HR FLOOR FIRE RATING
- 2HR FLOOR FIRE RATING

**BUILDING CODE ANALYSIS**

UNIVERSITY OF NEW ENGLAND  
COLLEGE OF PHARMACY

PROJECT DESCRIPTION: A NEW THREE-STORY BUILDING HOUSING COLLEGE CLASSROOMS, OFFICES, LABS, AND SUPPORT FUNCTIONS. THE GROSS BUILDING AREA IS 46,380 S.F. AND WILL BE CONSTRUCTED OF MATERIALS AS ALLOWED BY THE CONSTRUCTION TYPE. THERE WILL BE A FULLY AUTOMATIC SPRINKLER SYSTEM INSTALLED THROUGHOUT THE BUILDING WITH THE EXCEPTION OF THE ELECTRIC CLOSETS AND ELECTRIC ROOMS.

- BUILDING CODES:** NFPA 101 LIFE SAFETY CODE, 2006  
IBC INTERNATIONAL BUILDING CODE 2003  
MAINE STATE PLUMBING CODE
- CONSTRUCTION TYPE:** VB UNPROTECTED CONSTRUCTION
- OCCUPANCY:** GROUP "B" BUSINESS
- HEIGHT MODIFICATION:** IBC 504.2: ADD ONE STORY AND 20 FT. THEREFORE 3 STORY IS OK.
- AREA MODIFICATION:** IBC TABLE 503: 9,000 S.F.  
IBC 506.2: STREET FRONTAGE: ADD 75%  
IBC 506.3: AUTOMATIC SPRINKLER: ADD 200%  
TOTAL ALLOWABLE: 33,750 S.F. / STORY
- SEPARATIONS:**
  - A. STAIRS AND ELEVATORS SERVE THREE STORIES PLUS BASEMENT AND ARE SEPARATED BY TWO-HOUR FIRE BARRIER. (IBC 707.4)
  - B. FIRST FLOOR IS SEPARATED FROM BASEMENT BY A TWO-HOUR FIRE BARRIER TO ALLOW EXIT DISCHARGE FROM STAIR "A" THROUGH FIRST FLOOR TO EXIT BUILDING. (IBC 1023.1)
  - C. LECTURE HALL IS ASSEMBLY USE AND IS SEPARATED AT WALLS BY A ONE-HOUR FIRE RATED SEPARATION.
  - D. CORRIDOR WALLS ARE NOT RATED. (IBCTABLE 1016.1)
- MEANS OF EGRESS:** EGRESS WIDTH SPRINKLERED BUILDING: STAIRWAY: 0.2' / PERSON, DOORS, RAMPS, & CORRIDORS: 0.15' / PERSON. MINIMUM CORR WIDTH: 44" WHERE SERVING > 50 OCC, 36" WHERE SERVING < 50. MAXIMUM DEAD-END CORR: 50 FT. MAXIMUM TRAVEL DISTANCE TO EXIT: 300 FT.
- FIRE PROTECTION:** PORTABLE FIRE EXTINGUISHERS (LS101 SECT 9.7.4.1)



**PORT CITY ARCHITECTURE**

65 NEWBURY STREET  
PORTLAND, ME 04101  
207.761.9000  
fax: 207.761.2010  
info@portcityarch.com

**UNIVERSITY OF NEW ENGLAND  
COLLEGE OF  
PHARMACY  
CLASSROOMS**

76 STRETS AVENUE, PORTLAND, ME

DATE DESCRIPTION

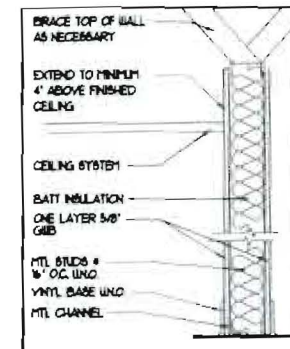
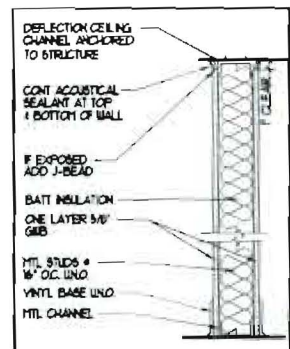
Date Issued: 3/1/2009  
Project Number: 08518

**EMERGENCY  
CODE PLAN**

Drawn By: EAC  
Checked By: LAS  
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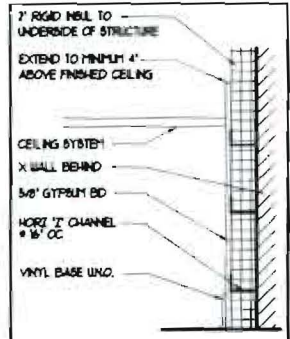
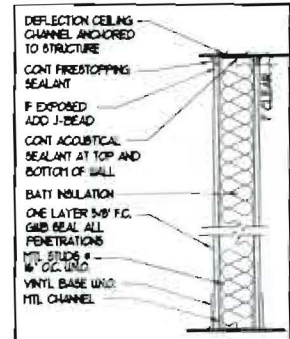
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- 3 5/8" METAL STUD FULL HGT ACOUSTICAL WALL
- 6" METAL STUD FULL HGT ACOUSTICAL WALL
- (7) 3 5/8" METAL STUDS - FULL HGT ACOUSTICAL WALL (SEE PLAN FOR THICK)
- 2X4 STUD FULL HGT ACOUSTICAL WALL
- 2X8 STUD FULL HGT ACOUSTICAL WALL

- 3 5/8" METAL STUD PARTITION WALL
- 6" METAL STUD PARTITION WALL



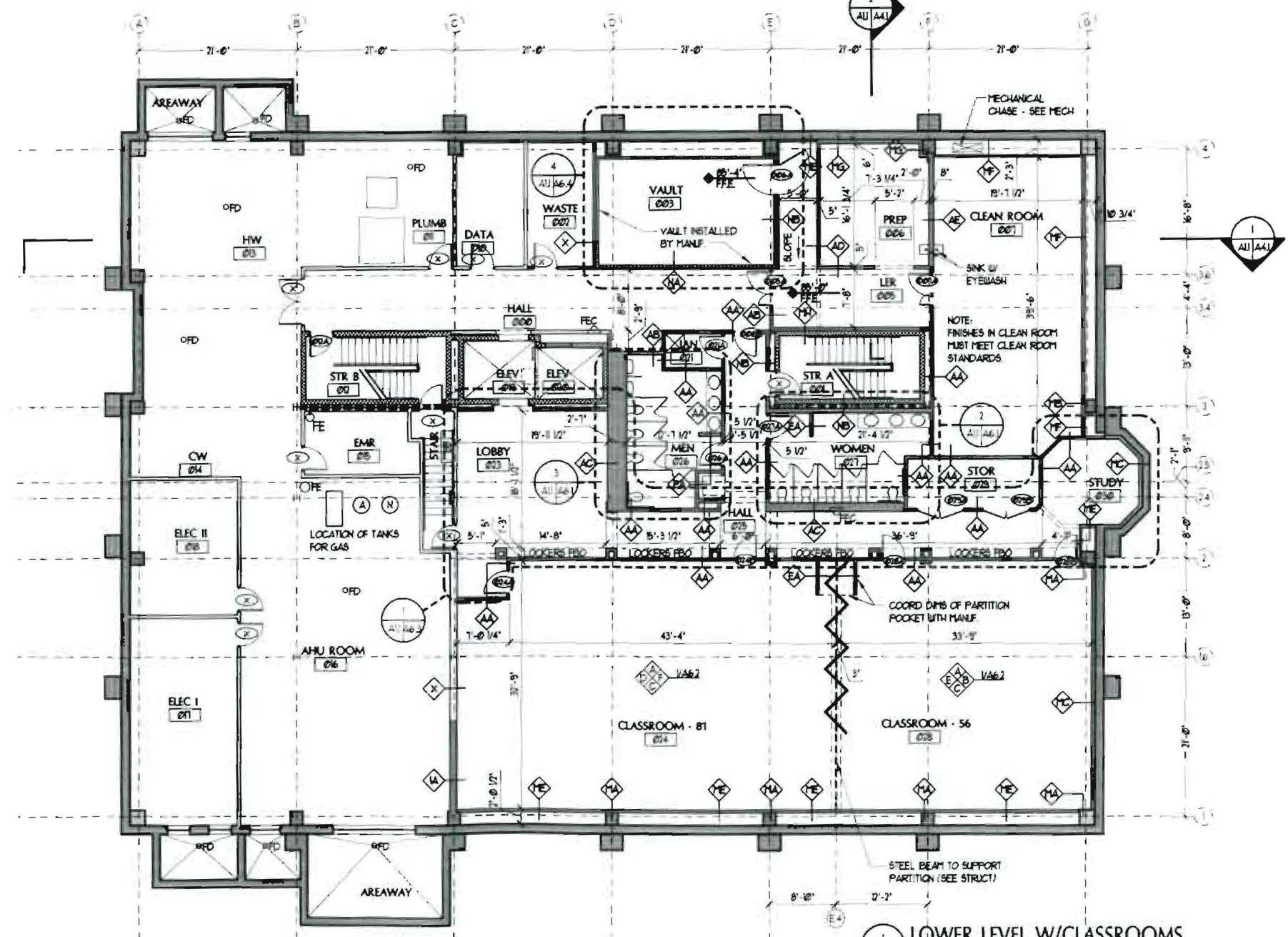
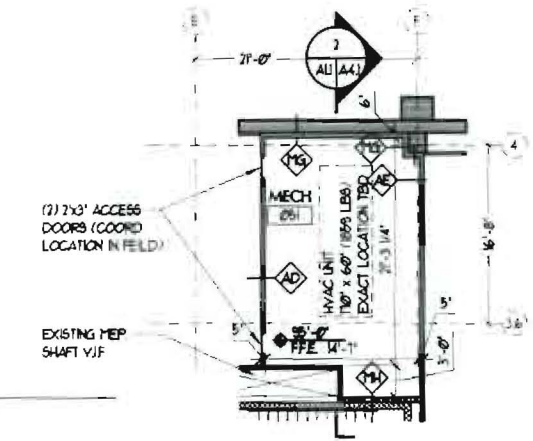
- 3 5/8" METAL STUD-FULL HGT HOUR RATED UL UNO WALL ASSEMBLY
- EXTEND TO MINIMUM 4" ABOVE FINISHED CEILING WALL
- CEILING SYSTEM
- 5/8" GYPSUM BD
- MTL FURRING 4" 16" OC
- VNTL. BASE UNO

- 7" T CHANNEL W/ 7" MILL 3/4" GIB TO 4" ABOVE FIN. CEILING
- 7" T CHANNEL W/ 7" MILL 3/4" GIB TO STRUCT. ABOVE
- 3 1/2" MTL STUD W/ 7" MILL GLEUED HORIZONTALLY TO CONC BEHIND 3/4" GIB TO 4" ABOVE FIN. CEILING
- 3 1/2" MTL STUD W/ 7" MILL GLEUED HORIZONTALLY TO CONC BEHIND 3/4" GIB TO STRUCT. ABOVE
- 3 1/2" MTL STUD W/ AIR SPACE (SEE PLAN FOR THICK) 7" T CHANNEL W/ 7" MILL 3/4" GIB TO 4" ABOVE FIN. CEILING
- 3 1/2" MTL STUD W/ AIR SPACE (SEE PLAN FOR THICK) 7" T CHANNEL W/ 7" MILL 3/4" GIB TO STRUCT. ABOVE

- FURRED WALL W/ 1" MTL HAT CHANNEL
- FURRED WALL W/ 3 5/8" MTL STUD - SEE PLAN FOR THICKNESS
- FURRED WALL W/ 3 5/8" MTL STUD TO UNDERSIDE OF STRUCT. ABOVE

GENERAL WALL TYPE NOTES:  
1. IN RESEARCH LABS, NMR AND VIVARIUM HOLD GIB MINIMUM 1" FROM FINISH FLOOR  
2. AT ALL GET AREAS NOT ALREADY INDICATED AS WATER RESISTANT, WATER RESISTANT GIB NEEDS TO BE PROVIDED

MECHANICAL SPACE PLAN



LOWER LEVEL W/CLASSROOMS

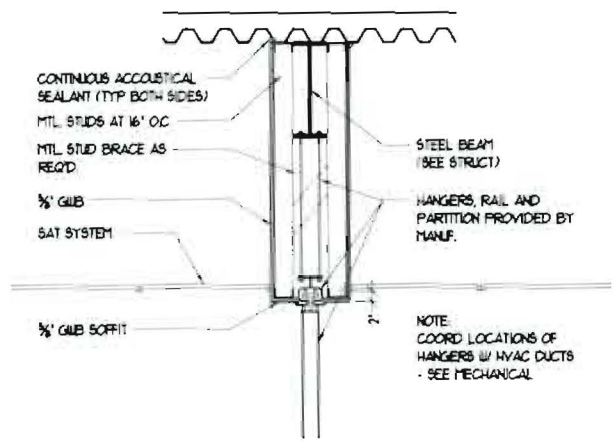
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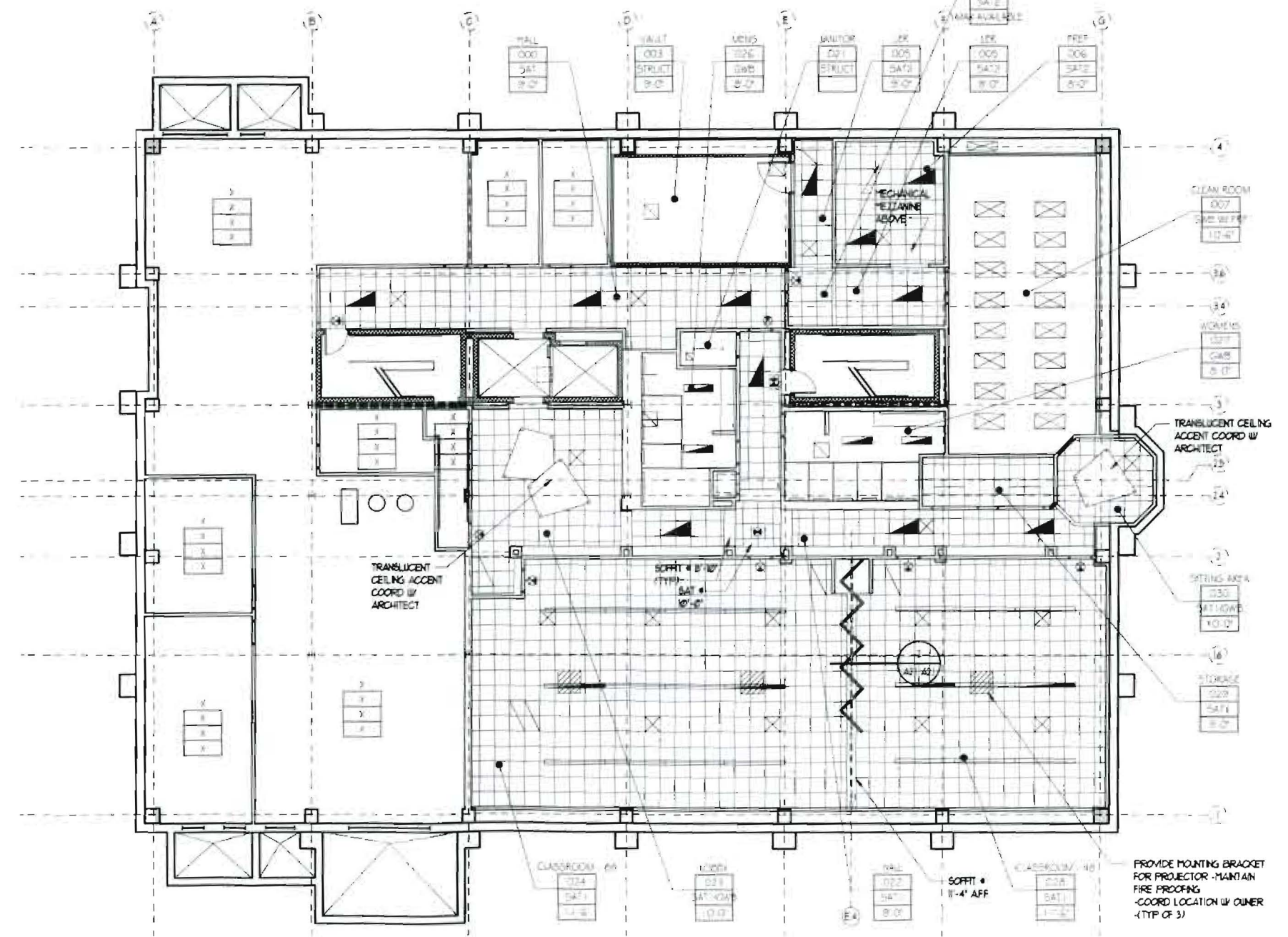
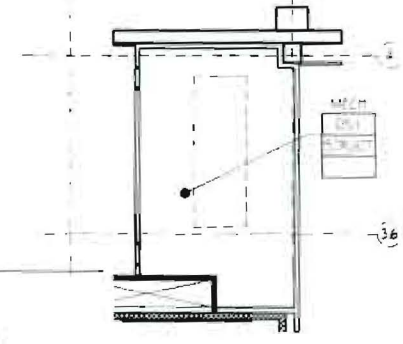
DATE	DESCRIPTION
3/1/2009	DATE ISSUED
06518	PROJECT NUMBER
	SHEET NAME
	PLAN
EAC	DRAWN BY
LAS	CHECKED BY
LL	SHEET NUMBER
A1.1	

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2 PARTITION WALL SOFFIT DETAIL SCALE: 3/4" = 1'-0"

MECHANICAL SPACE RCP SCALE: 1/8" = 1'-0"



1 REFLECTED CEILING PLAN SCALE: 1/8" = 1'-0"

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UNIVERSITY OF NEW ENGLAND COLLEGE OF PHARMACY CLASSROOMS 716 SEVENS AVENUE, PORTLAND, ME

DATE DESCRIPTION

Date Issued 3/1/2009

Project Number 08818

1/8" = 1'-0" SHEET NAME

REFLECTED CEILING PLAN

Drawn By

EAC

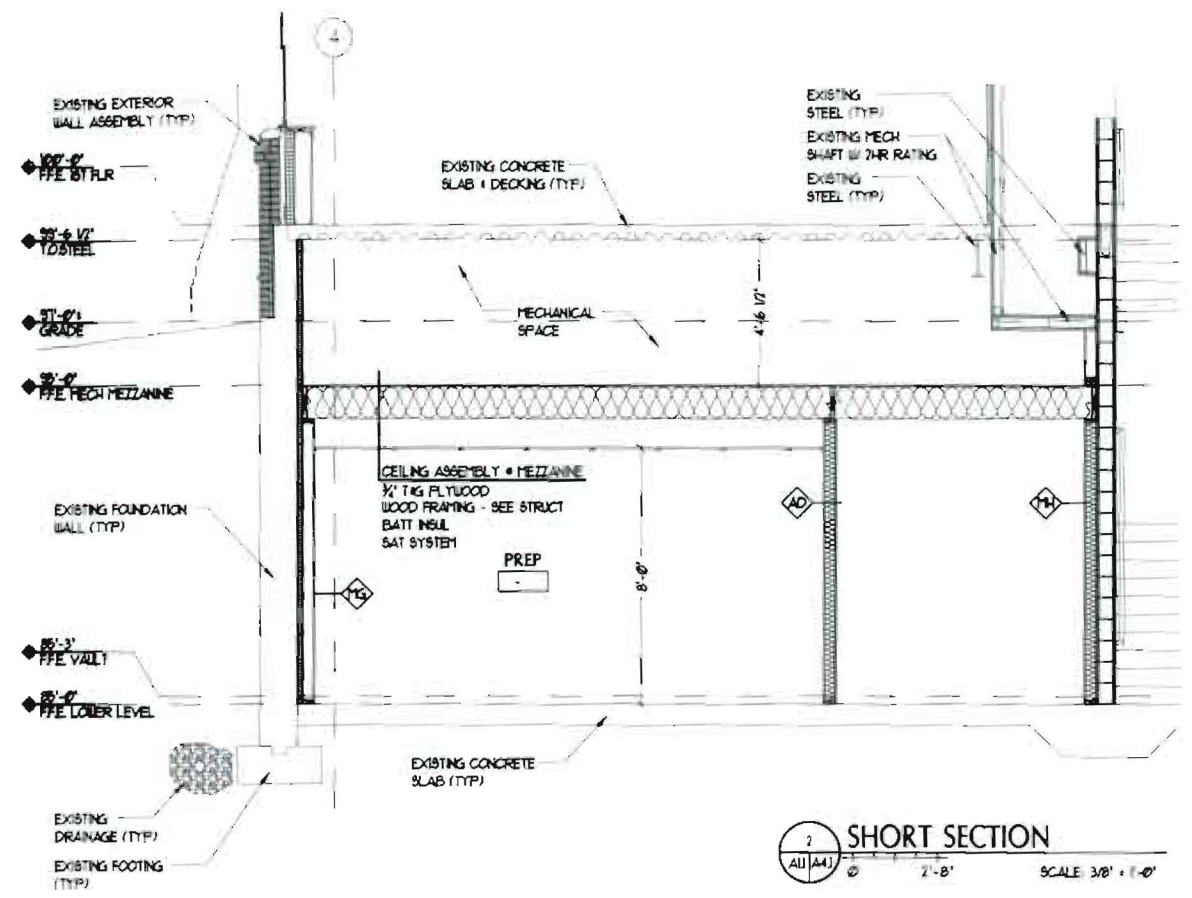
Checked By

LAB

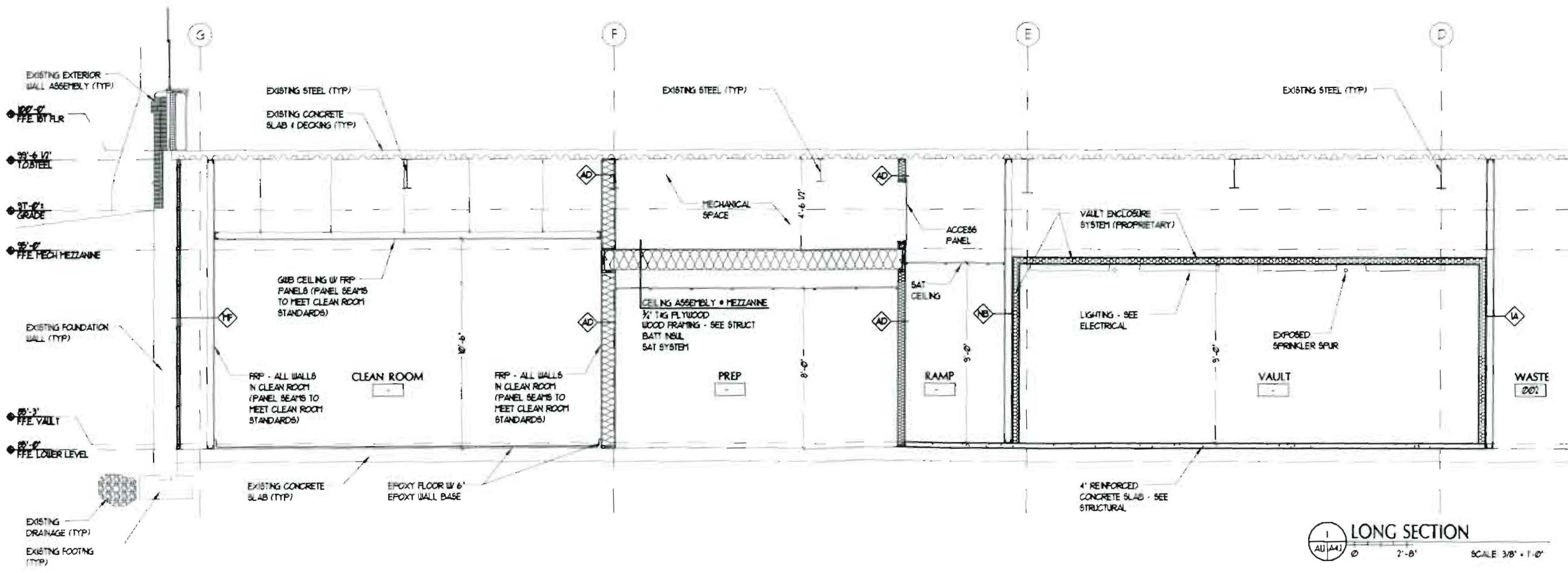
LL A2.1

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2 SHORT SECTION  
 AU/A4 1  
 2'-8" SCALE 3/8" = 1'-0"



1 LONG SECTION  
 AU/A4 1  
 2'-8" SCALE 3/8" = 1'-0"

**PORT CITY ARCHITECTURE**  
 65 NEWBURY STREET  
 PORTLAND, ME 04103  
 207.761.9000  
 fax 207.761.2010  
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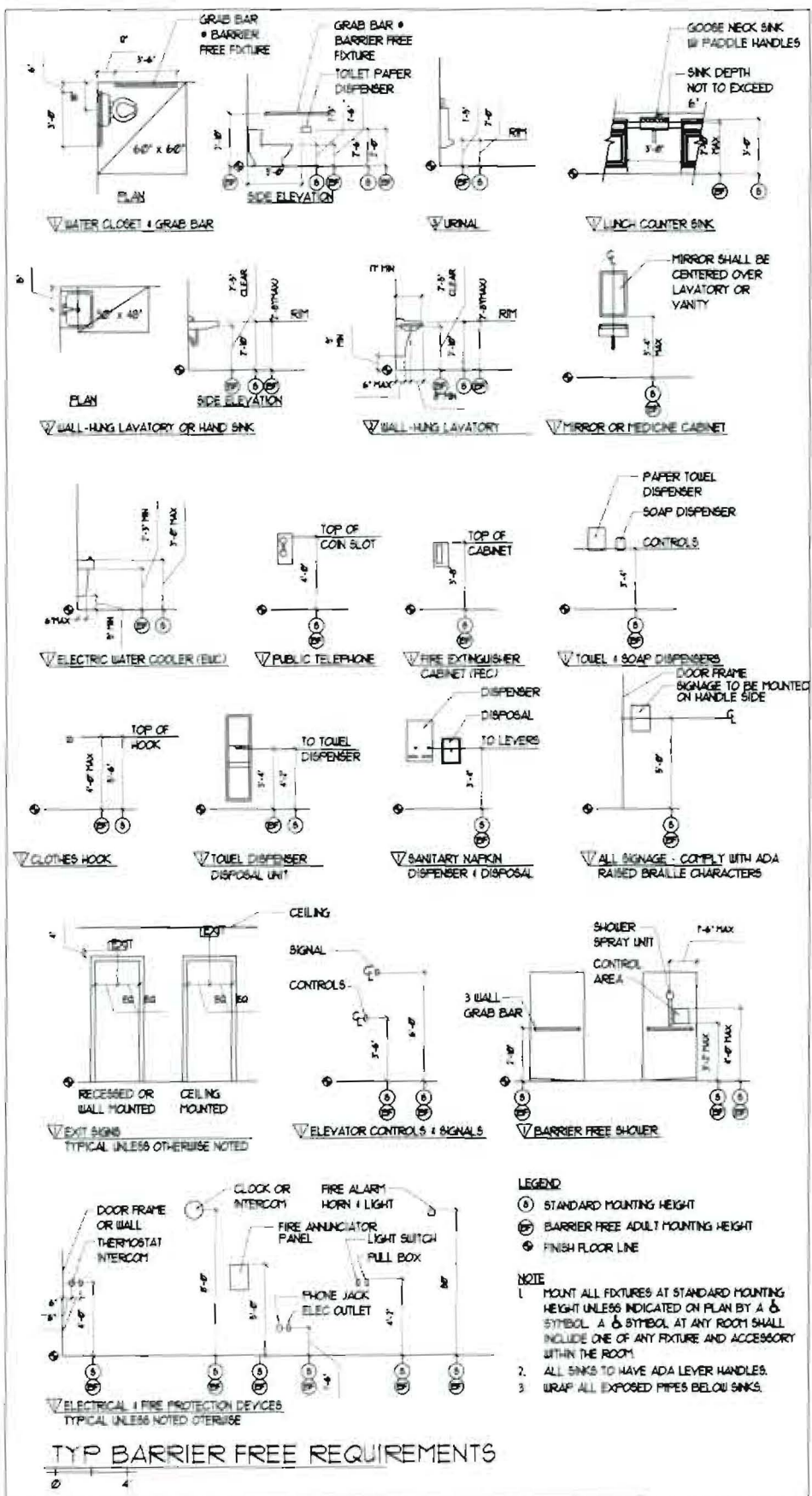
DATE	DESCRIPTION
3/1/2009	DATE ISSUED
0808	PROJECT NUMBER

SHEET NAME  
**BUILDING SECTION**  
 Drawn By: EAC  
 Checked By: LAB  
**LL A4.1**

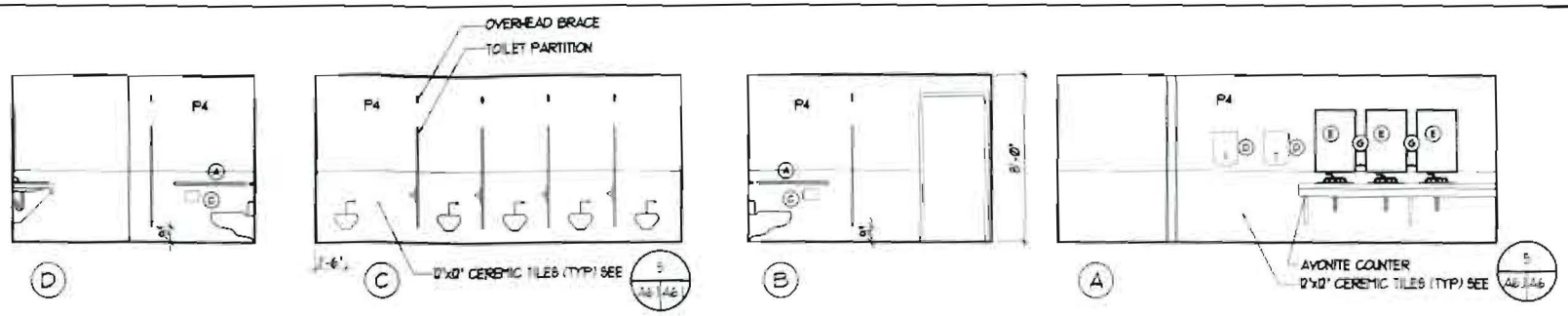
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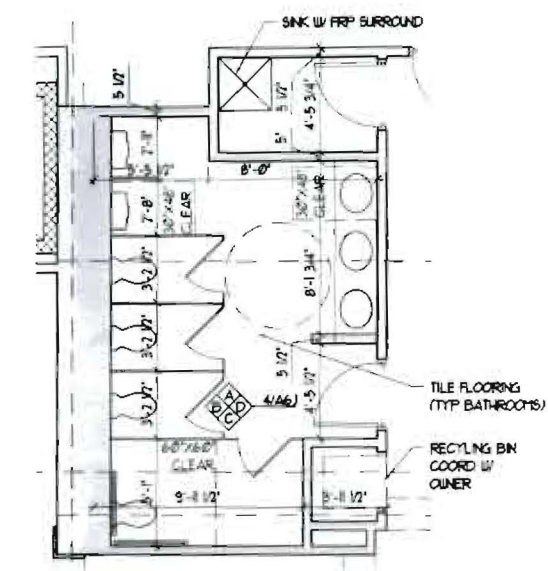
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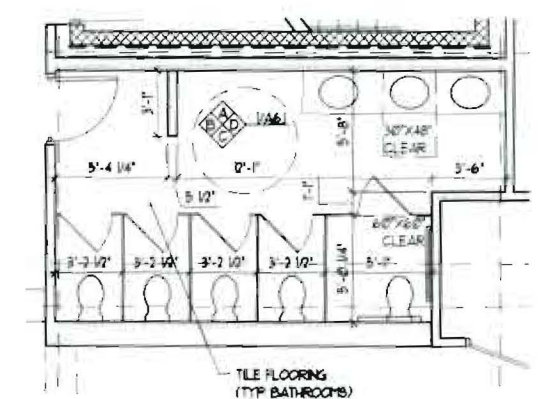
TYP BARRIER FREE REQUIREMENTS



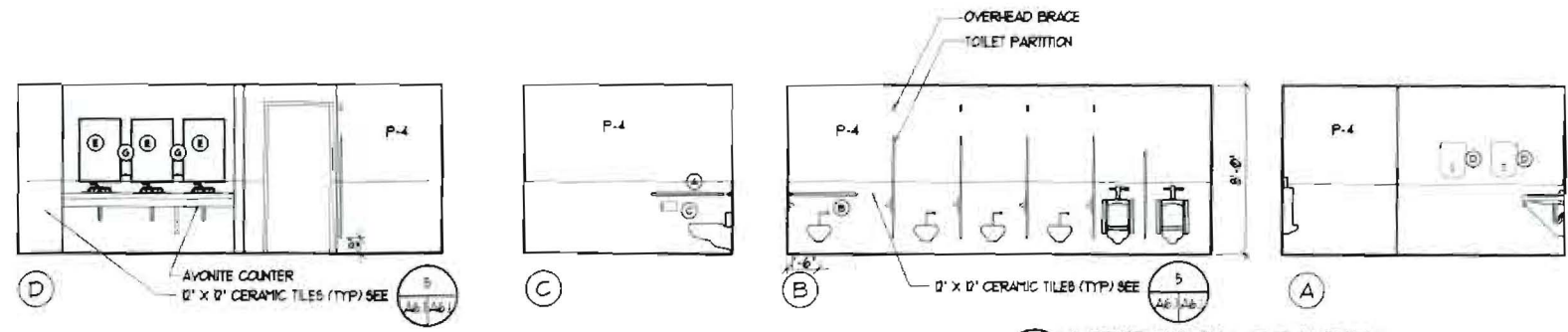
1 WOMEN'S ROOM ELEVATION  
SCALE: 1/4" = 1'-0"



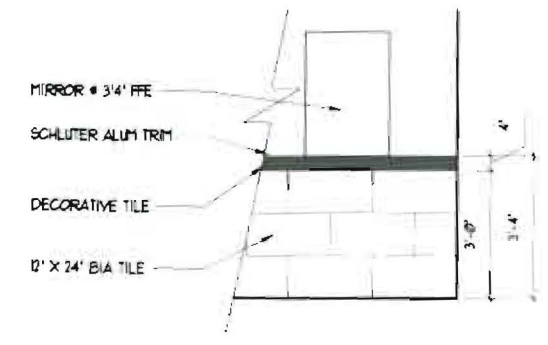
3 MEN'S ROOM  
SCALE: 1/4" = 1'-0"



2 WOMEN'S ROOM  
SCALE: 1/4" = 1'-0"



4 MEN'S ROOM ELEVATION  
SCALE: 1/4" = 1'-0"



5 TILE DETAIL  
SCALE: 1/2" = 1'-0"

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PORTLAND, ME 04101  
207.761.8000  
fax: 207.761.2010  
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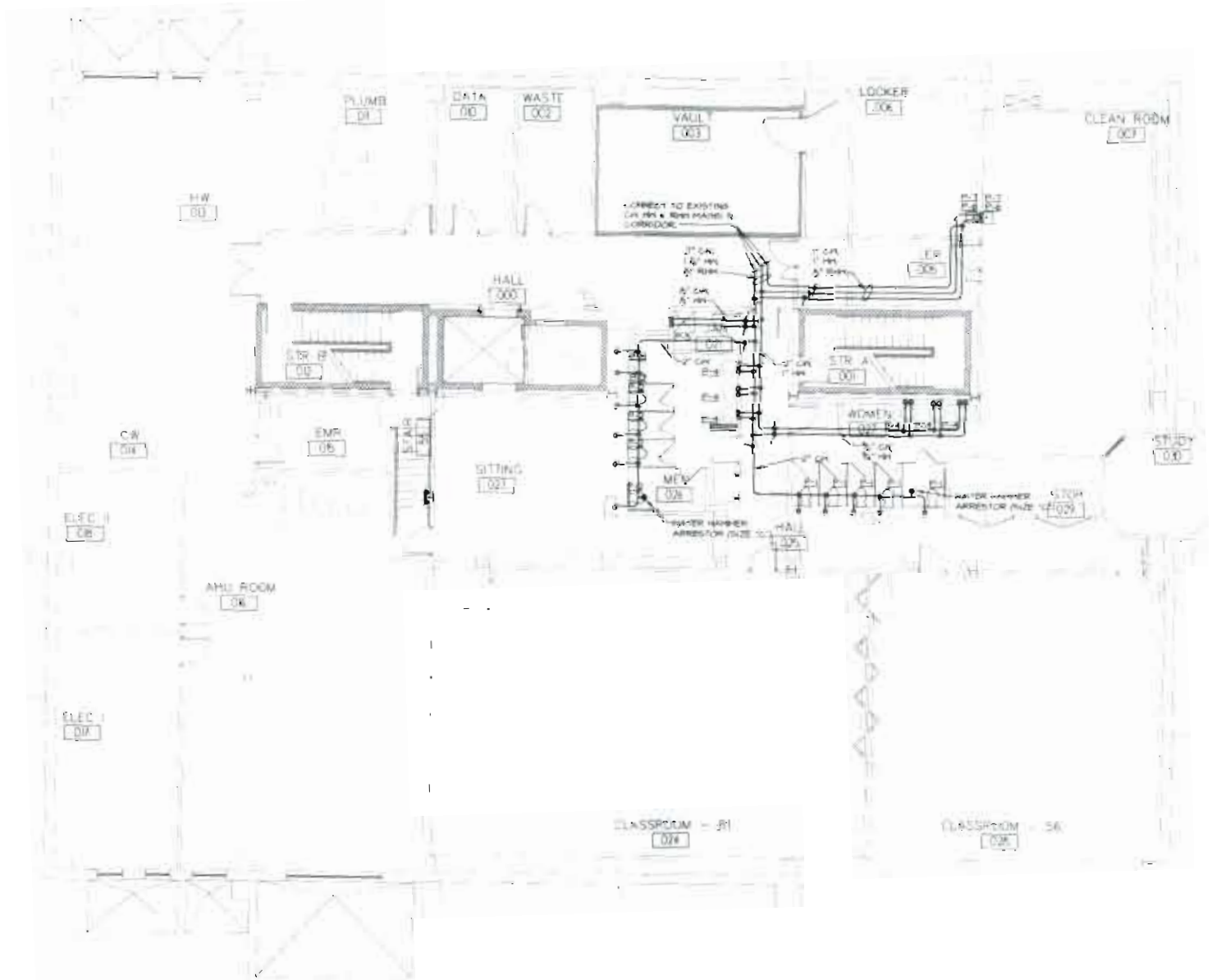
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COLLEGE OF  
PHARMACY  
CLASSROOMS**  
78 STEVENS AVENUE, PORTLAND, ME

DATE	DESCRIPTION
3/11/2009	Date Issued
0858	Project Number
SHEET NAME	
<b>ADA &amp; BATH INTERIOR ELV.</b>	
Drawn By EAC	LL
Checked By LAB	<b>A6.1</b>

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LOWER LEVEL DOMESTIC PLUMBING PLAN  
SCALE: 1/8" = 1'-0"

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65 NEWBURY STREET  
PORTLAND, ME 04101  
207.761.9000  
fax: 207.761.2010  
info@portcityarch.com

**Titan Mechanical, Inc.**  
Mechanical Engineering, Mechanical Contracting  
P.O. Box 3927, 232 Riverside Industrial Parkway  
Portland, Maine 04104  
PH: (207) 878-5223, FAX: (207) 878-5235

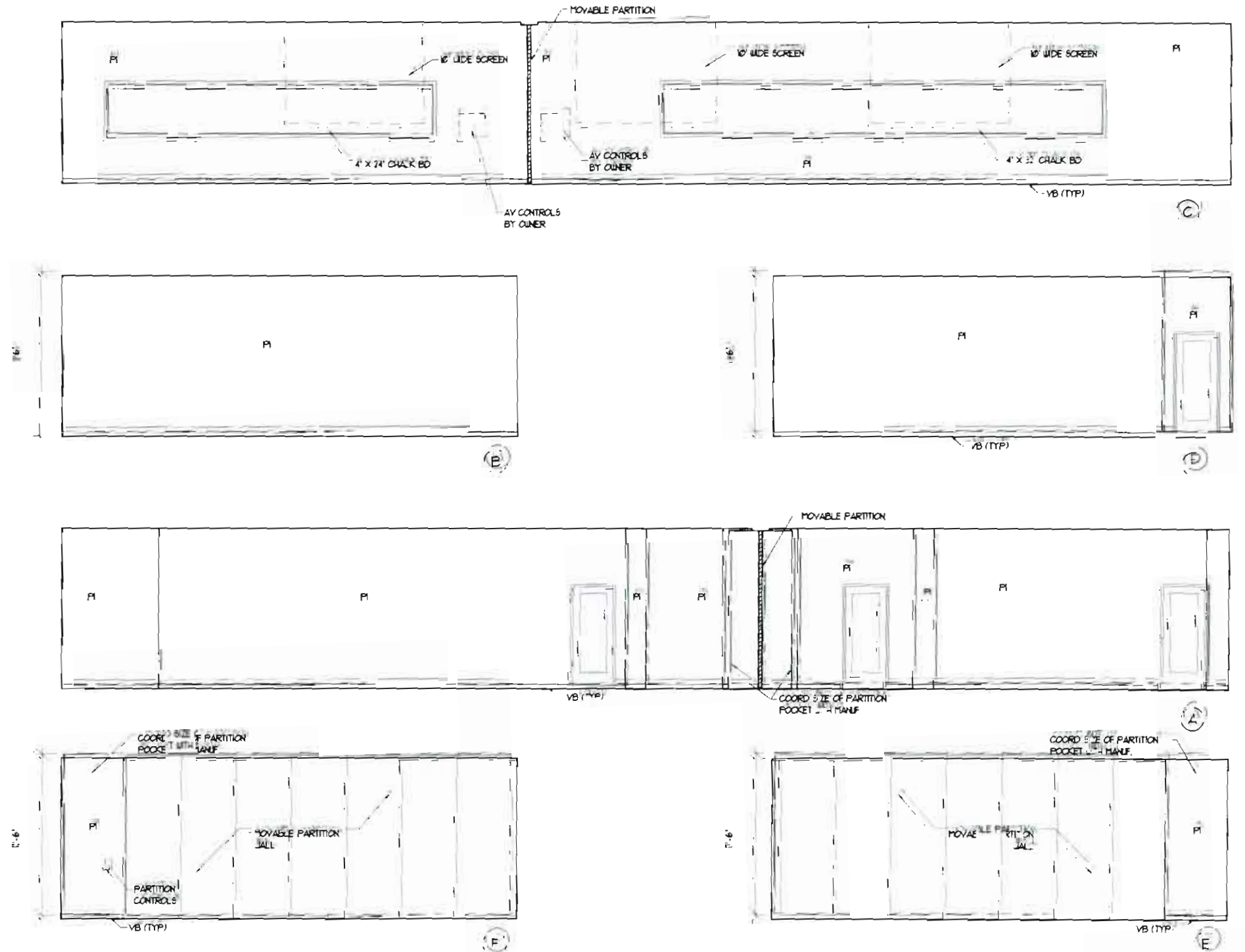
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COLLEGE OF PHARMACY  
CLASSROOMS  
76 STEVENS AVENUE, PORTLAND, ME

NO.	DATE	DESCRIPTION
1	3/1/03	ISSUED
2	08/05	REVISED

PROJECT NAME  
**LOWER LEVEL PLUMBING PLAN**  
SHEET NO.  
**M2.1**

REVISIONS

IF THE ARCHITECT HAS NOT SET A SCALE, THE ARCHITECT'S SCALE SHALL BE USED. SCALE ACCORDINGLY.



CLASSROOM ELEVATIONS  
SCALE: 1/4" = 1'-0"

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65 NEWBURY STREET  
PORTLAND, ME 04101  
207.761.9000  
fax: 207.761.2010  
info@portcityarch.com

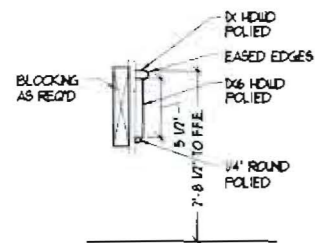
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NO.	DATE	DESCRIPTION
1	3/1/03	ISSUED
2	08/05	REVISED

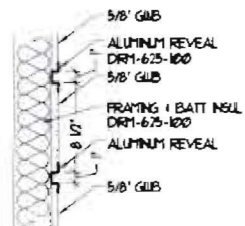
PROJECT NAME  
**INTERIOR ELEVATIONS**  
SHEET NO.  
**A6.2**

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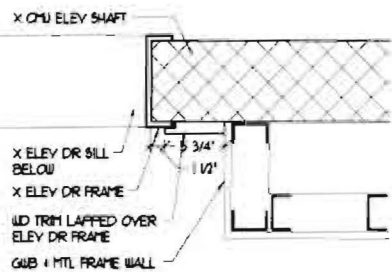
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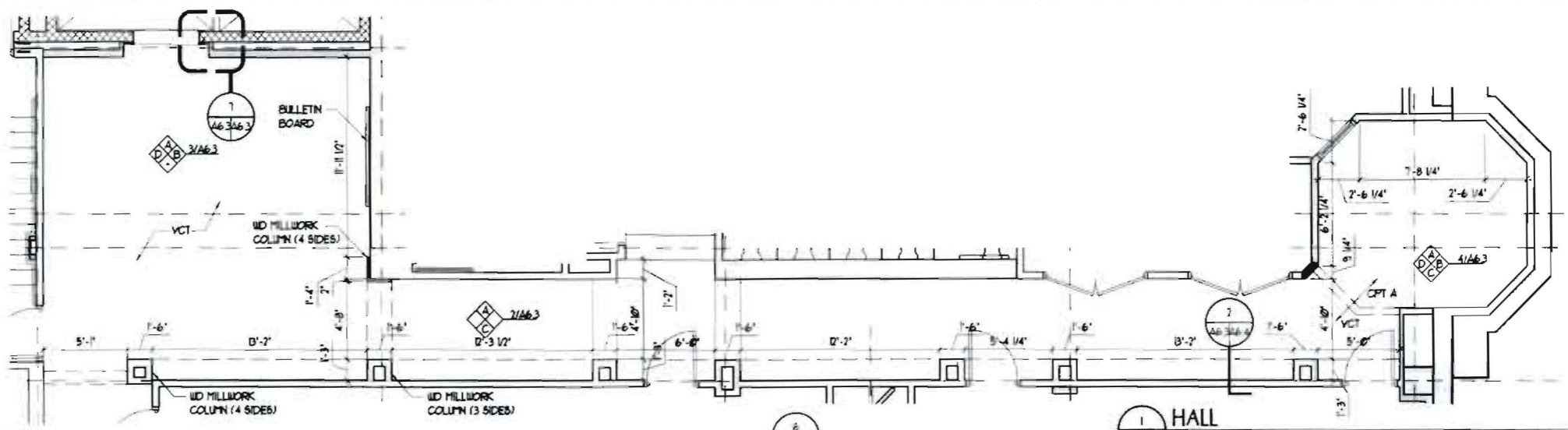
5 CHAIR RAIL DETAIL  
SCALE: 1/2" = 1'-0"



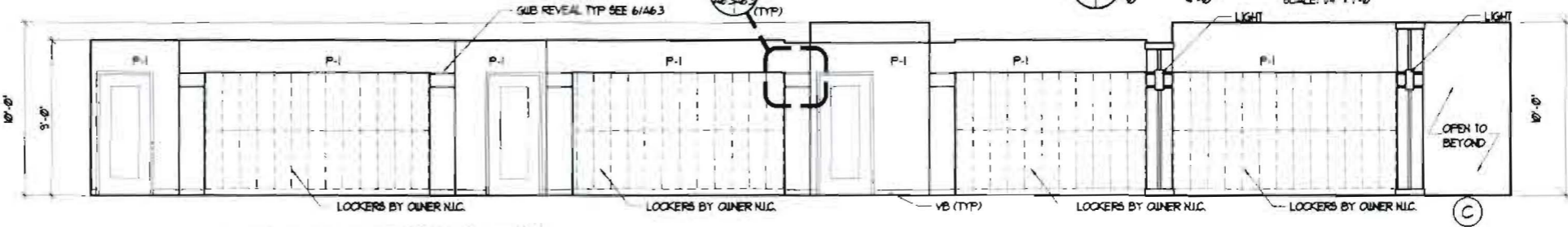
6 GWB REVEAL DETAIL  
SCALE: 1/2" = 1'-0"



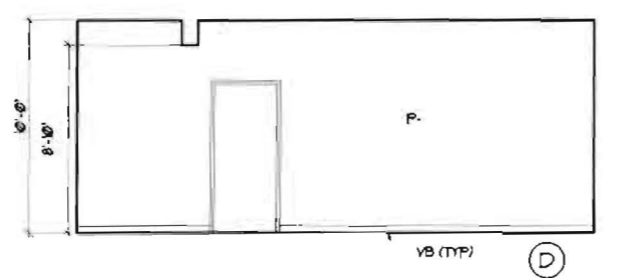
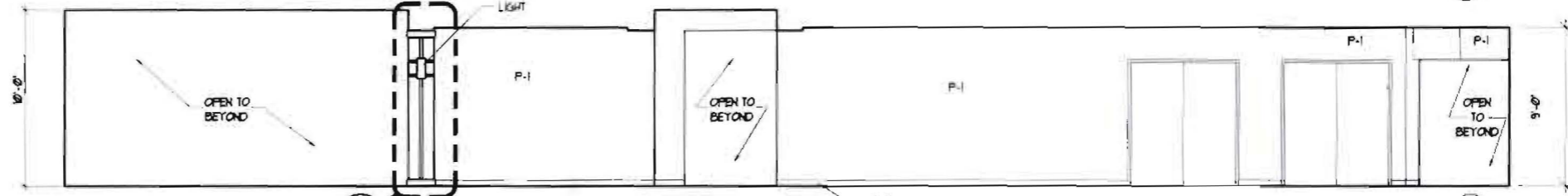
7 ELEV DOOR FRAME DETAIL  
SCALE: 1/2" = 1'-0"



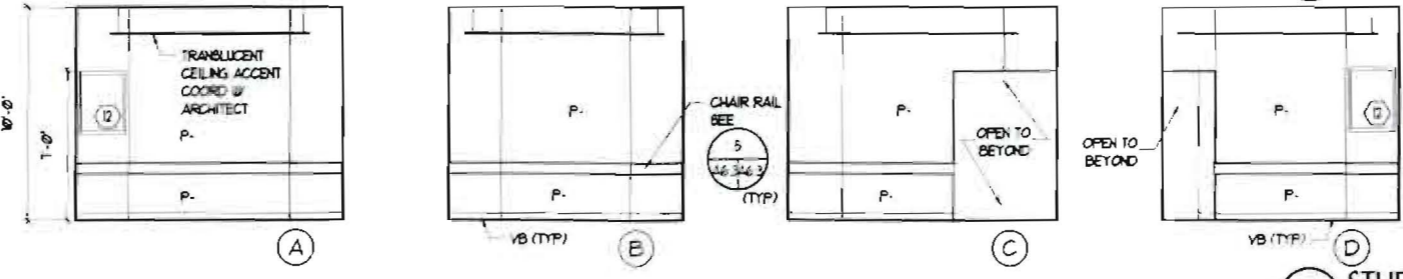
1 HALL  
SCALE: 1/4" = 1'-0"



2 HALL ELEVATIONS  
SCALE: 1/4" = 1'-0"



3 LOBBY ELEVATIONS  
SCALE: 1/4" = 1'-0"



4 STUDY ROOM ELEVATIONS  
SCALE: 1/4" = 1'-0"

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CLASSROOMS**  
75 STEVENS AVENUE, PORTLAND, ME

DATE	DESCRIPTION
3/1/2009	DATE ISSUED
00518	PROJECT NUMBER
	SHEET NAME

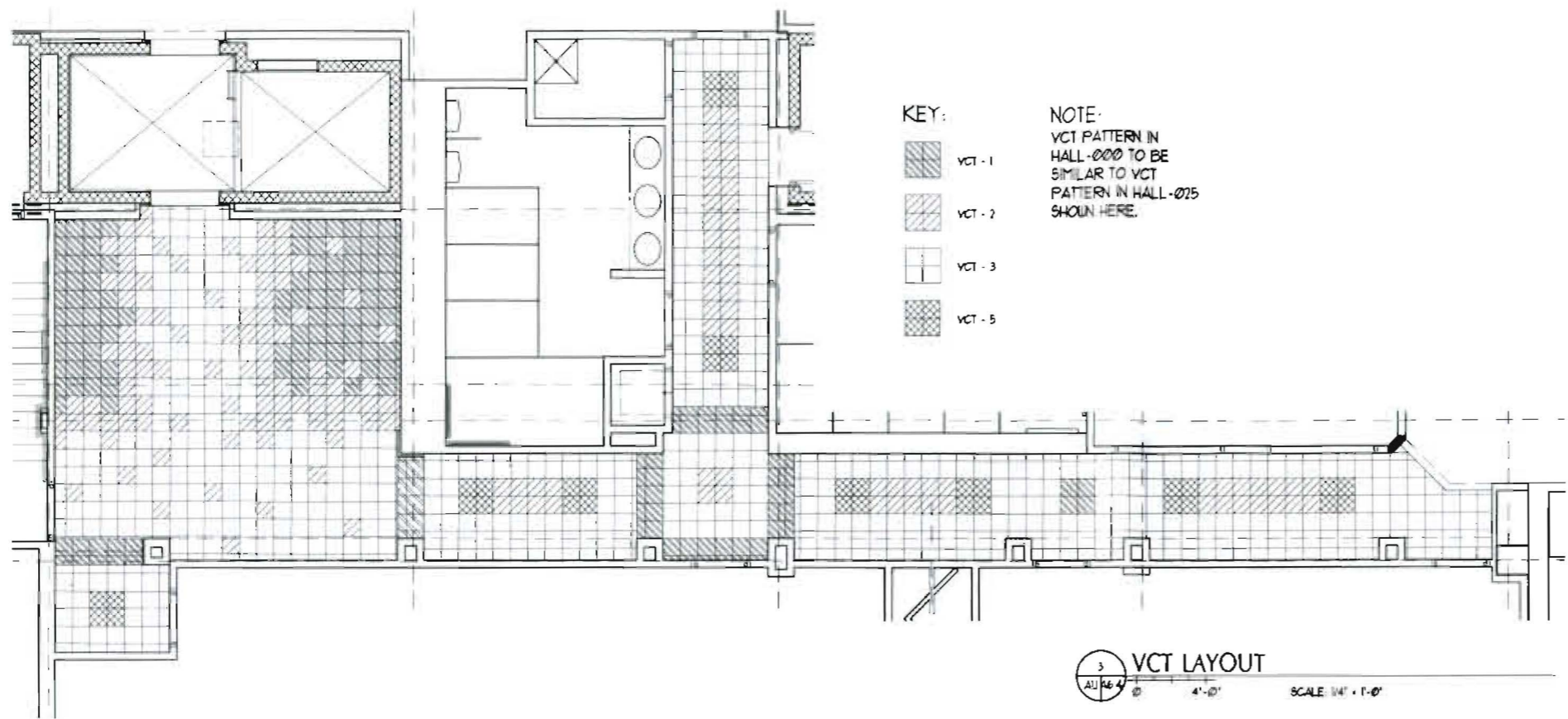
**INTERIOR ELEV.**  
Drawn By: EAC  
Checked By: LAB  
LL  
**A6.3**

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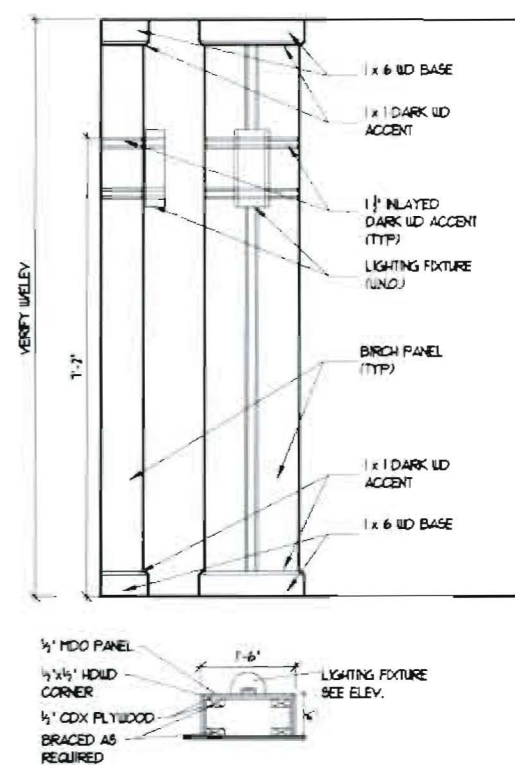
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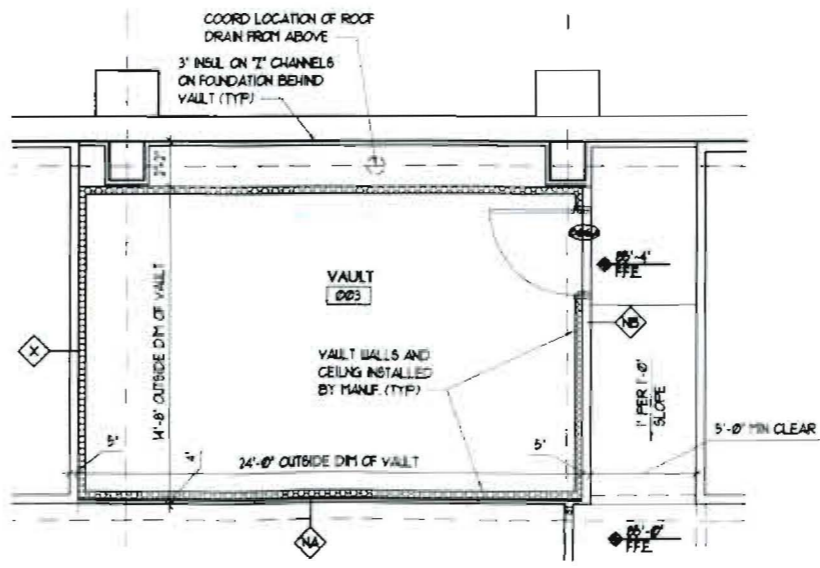
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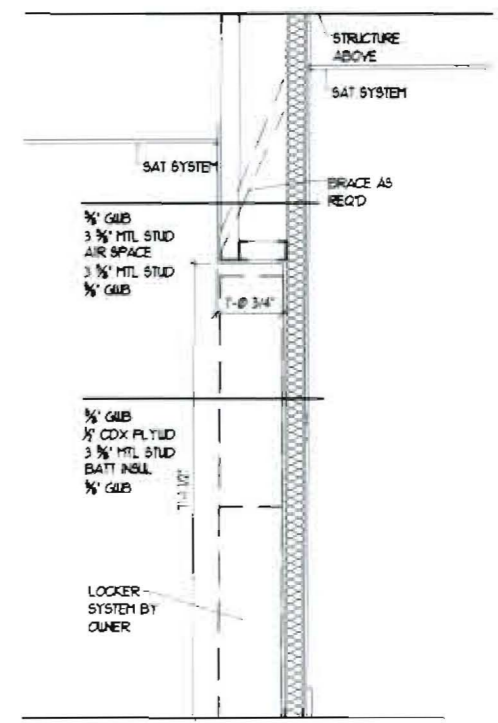
3 VCT LAYOUT  
SCALE: 1/4" = 1'-0"



1 COLUMN ELEVATION  
SCALE: 3/4" = 1'-0"



4 VAULT DETAIL PLAN  
SCALE: 1/4" = 1'-0"



2 LOCKER DETAIL  
SCALE: 3/4" = 1'-0"

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207.751.8000  
fax: 207.751.2010  
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76 SIBBDS AVENUE, PORTLAND, ME

DATE	DESCRIPTION
3/11/2009	Date Issued
00508	Project Number

SHEET NAME  
**INTERIOR ELEV.**

Drawn By: **LL**  
EAC  
Checked By: **A6.4**  
LAS

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7% STERNS AVENUE, PORTLAND, ME

DATE DESCRIPTION  
Date Issued 3/11/2009  
Project Number 020505

SHEET NAME  
SCHEDULES

Drawn By  
EAC  
Checked By  
LAB  
LL  
A7.1

### ROOM FINISH SCHEDULE

Num	Description	Floors		Wainscott			Walls						Ceiling		Notes		
		Floor	Color	Base	Mat	Height	N	Finish	E	Finish	S	Finish	W	Finish		Mat	Height
000	Hall	VCT		VB			GWB	PTD	GWB	PTD	GWB	PTD	GWB	PTD	SAT 1	9'-0"	
001	Stair A	x					x	x	x	x	x	x	x				
002	Waste	x					x	x	x	x	x	x	x				
003	Vault	VCT	1&2	VB			STRU	C	STRU	C	STRU	C	STRU	CT			B, D
004	NOT USED																
005	LER	VCT	1&2	VB			GWB	PTD 1	GWB	PTD 1	GWB	PTD 1	GWB	PTD 1	SAT 2	VARIE 5	D
006	Prep Room	VCT	1&2	VB			GWB	PTD 1	GWB	PTD 1	GWB	PTD 1	GWB	PTD 1	SAT 2	9'-6"	D
007	Clean Room	EPOXY		EPOXY			FRP		FRP		FRP		FRP		FRP	10'-6"	
008	NOT USED																
009	NOT USED																
010	Data	x															
011	Plumb	x															
012	Stair B	x															
013	HW	x															
014	CW	x															
015	EMR	x															
016	AHU Room	x															
017	Elec I	x															
018	Elec II	x															
019	Elev	x															
020	Elev	x															
021	Janitor	VCT		VB			GWB	PTD 1	GWB	PTD 1	GWB	PTD 1	GWB	PTD 1	STRU	CT	
022	Hall	VCT	1,2,3 5	VB			GWB	PTD	GWB	PTD	GWB	PTD	GWB	PTD	SAT 1	9'-0"	
023	Lobby	VCT	1,2,3 5	VB			GWB	PTD	GWB	PTD	GWB	PTD	GWB	PTD	SAT 1	10'-0"	
024	Classroom	CPT	C	VB			GWB	PTD	GWB	PTD	GWB	PTD	GWB	PTD	SAT 1	12'-6"	
025	Hall	VCT	1,2,3 5	VB			GWB	PTD	GWB	PTD	GWB	PTD	GWB	PTD	SAT 1	9'-0"	
026	Men	TILE		TILE		TILE	GWB	PTD	GWB	PTD	GWB	PTD	GWB	PTD	GWB	8'-0"	
027	Women	TILE		TILE		TILE	GWB	PTD	GWB	PTD	GWB	PTD	GWB	PTD	GWB	8'-0"	
028	Classroom	CPT	C	VB			GWB	PTD	GWB	PTD	GWB	PTD	GWB	PTD	SAT 1	11'-6"	
029	Storage	VCT		VB			GWB	PTD	GWB	PTD	GWB	PTD	GWB	PTD	SAT 1	9'-0"	
030	Study	CPT	A	VB			GWB	PTD	GWB	PTD	GWB	PTD	GWB	PTD	SAT 1	10'-0"	C
055	Stair	x					x	x	x	x	x	x	x				

NOTES:  
 A. Seal Conc Floor  
 B. Vault to be installed by other  
 C. Chair Rail  
 D. VCT to be checker-board pattern

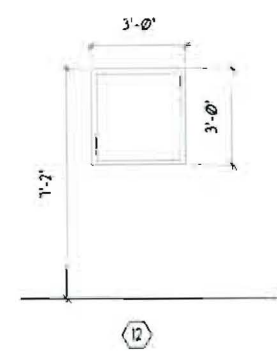
### DOOR SCHEDULE

Num	Description	Size	Door		Ratin	Frame	Note
			Mat	Type			
000A	Hall to Hall	3'0" x 7'0"	WD	9	N/A	MTL	B
003A	Lab to Vault	42"x78"					A
005A	Hall to LER	3'0" x 7'0" & 1'6" x 7'0"	WD	13	N/A	MTL	H
007A	LER to Fill Room	3'0" x 7'0" & 1'6" x 7'0"	WD	13	N/A	MTL	B
012A	Stair to Hall	Existing					B
021A	Hall to Janitor	3'0" x 7'0"	WD	5	N/A	MTL	
024A	Hall to Classroom	3'0" x 7'0"	WD	3	N/A	MTL	
024B	Hall to Classroom	3'0" x 7'0"	WD	3	N/A	MTL	
026A	Hall to Men	3'0" x 7'0"	WD	5	N/A	MTL	
027A	Hall to Women	3'0" x 7'0"	WD	5	N/A	MTL	
028A	Hall to Classroom	3'0" x 7'0"	WD	3	N/A	MTL	
028B	Hall to Classroom	3'0" x 7'0"	WD	3	N/A	MTL	
029A	Hall to Storage	(2) 3'6" x 7'0"	WD	6	N/A	MTL	
029B	Hall to Storage	(2) 3'6" x 7'0"	WD	6	N/A	MTL	

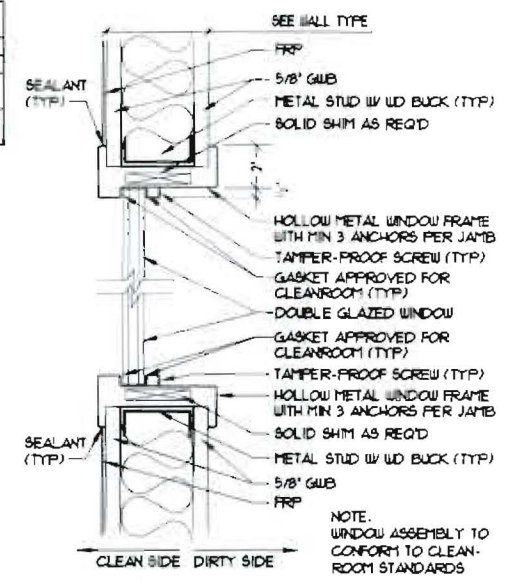
NOTES:  
 A. Provided by Manufacturer  
 B. Provide security swipe card  
 C. Automatic door opener  
 D. Sliding  
 E. ADD ALT #  
 F. Overhead door  
 G. Provide blocking for future door - see add alter  
 H. MTL door frame only  
 J. Provide red film at door window  
 K. Undercut doors 3/4"  
 L. Provide Blue Light and 2-way Radio

### WINDOW SCHEDULE

TYPE	SIZE W x H	WINDOW		DETAILS		
		MAT	OPERATION	HEAD	JAMB	SILL
1	SEE COP SET DATED 3/1/08					
2	3'-0" x 3'-0"	MTL	FIXED	4/A1J	4/A1J	4/A1J



5 WINDOWS  
SCALE: 3/8" = 1'-0"

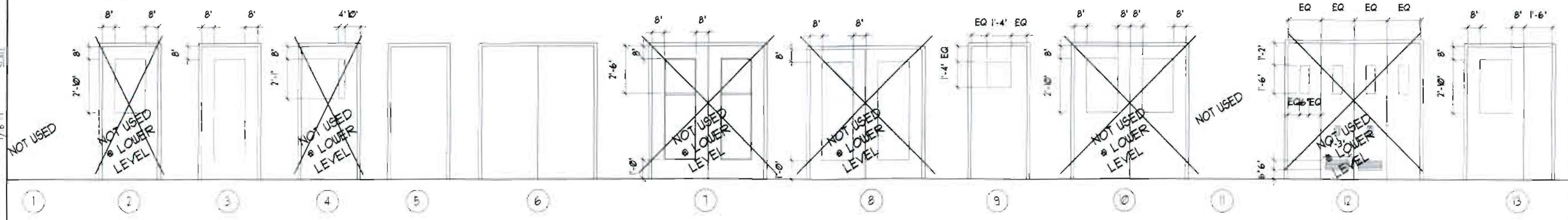


4 METAL WINDOW DETAIL  
SCALE: 3" = 1'-0"

3 NOT USED  
SCALE: 3/8" = 1'-0"

2 DOOR FRAME DETAILS  
SCALE: 3" = 1'-0"

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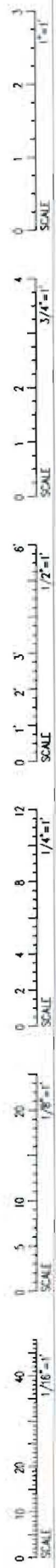


1 DOORS  
SCALE: 3/8" = 1'-0"

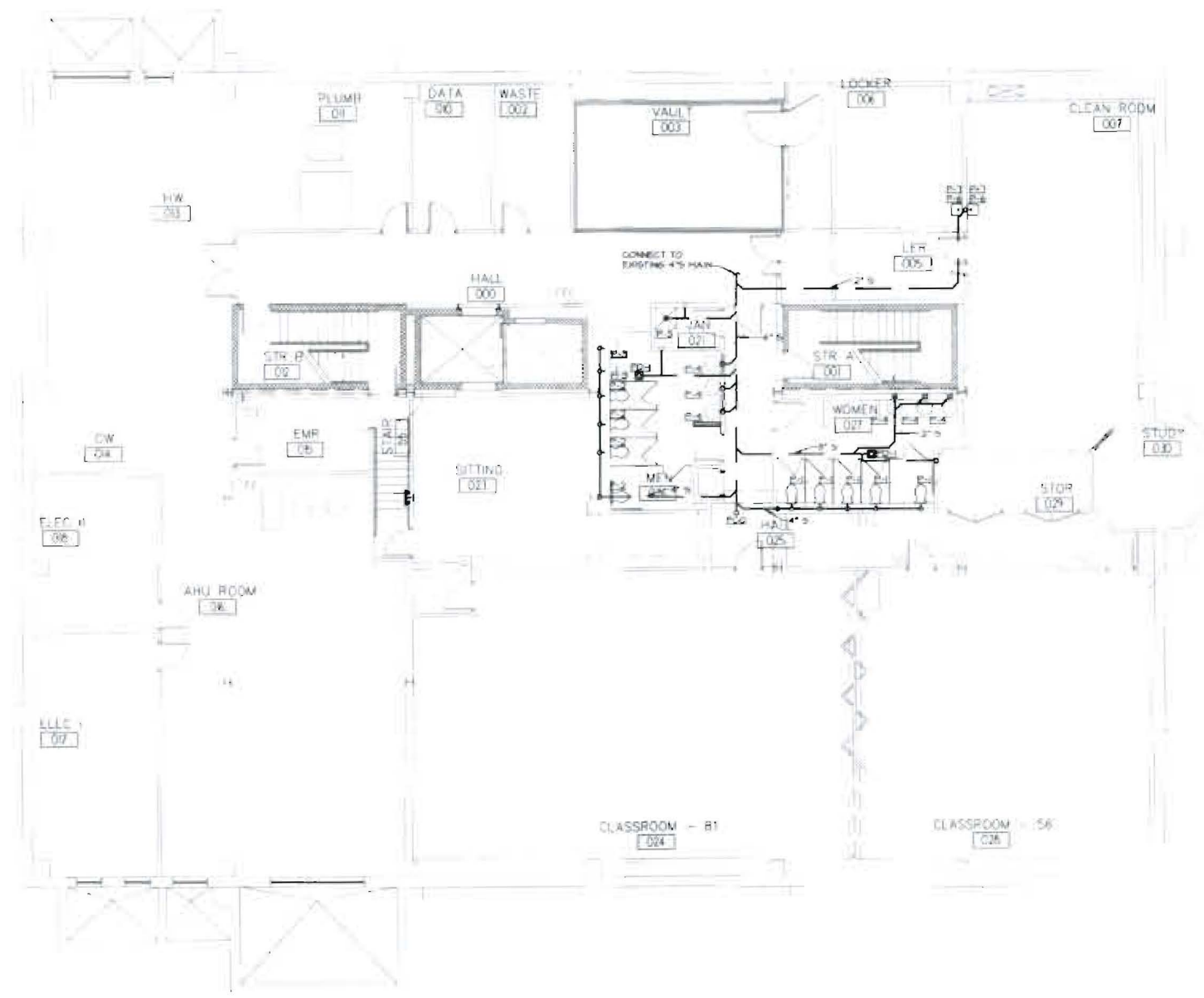
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PLUMBING FIXTURE SCHEDULE						
TAG	FIXTURE	CR	HR	WASTE	VENT	REMARKS
P-1	WALL HUNG TOILET	1/2"	---	4"	2"	ZURN Z560 TOILET W/ ZURN Z5000V-CP DUAL FLUSH VALVE & Z560 ELONGATED OPEN FRONT SEAT
P-2	WALL HUNG TOILET	1/2"	---	4"	2"	ZURN Z560-21 1.28 GPF TOILET W/ EQUIVANTAGE HARDENED SENSOR FLUSH VALVE & Z560 OPEN FRONT SEAT
P-3	URINAL	1/2"	---	2"	2"	ZURN Z5750 15" HALL PINT & GPF URINAL W/ HARDENED SENSOR FLUSH VALVE
P-4	UNDERCOUNTER LAVATORY	1/2"	1/2"	15"	15"	KOHLER E-221 UNDERCOUNTER LAVATORY W/ ZURN Z26RT-CP AGAISENSE SENSOR FAUCET
P-5	MOP SINK	1/2"	1/2"	8"	2"	SIFERHILLARS HL-1000 24"x24" W/ ZURN E-2605-BC "AGASENSE" MOP SINK FAUCET
P-6	WALL HUNG LAVATORY	1/2"	1/2"	15"	15"	ZURN Z5500 W/ ZURN Z26RT-CP AGAISENSE SENSOR FAUCET
P-7	EYE WASH	1/2"	1/2"	15"	15"	GUARDIAN 5854 WALL MOUNTED STAINLESS STEEL BOWL W/ THERMOSTATIC MIXING VALVE



**LOWER LEVEL SANITARY PLUMBING PLAN**  
SCALE: 1/8" = 1'-0"



**PORT CITY ARCHITECTURE**  
65 NEWBURY STREET  
PORTLAND, ME 04101  
207.761.9000  
fax: 207.761.2010  
lita@portcityarch.com

**Titan Mechanical, Inc.**  
Design Build Engineering - Mechanical Contracting  
P.O. Box 3927 / 232 Riverside Industrial Parkway  
Portland, Maine 04104  
Ph. (207) 878-5223 Fax. (207) 878-5235

UNIVERSITY OF NEW ENGLAND  
COLLEGE OF PHARMACY  
CLASSROOMS  
716 STEVENS AVENUE, PORTLAND, ME

#	DATE	DESCRIPTION

DATE ISSUED: 3/10/09  
PROJECT NAME: 065B

SHEET NAME:  
**LOWER LEVEL SAN. PLUMB. PLAN**

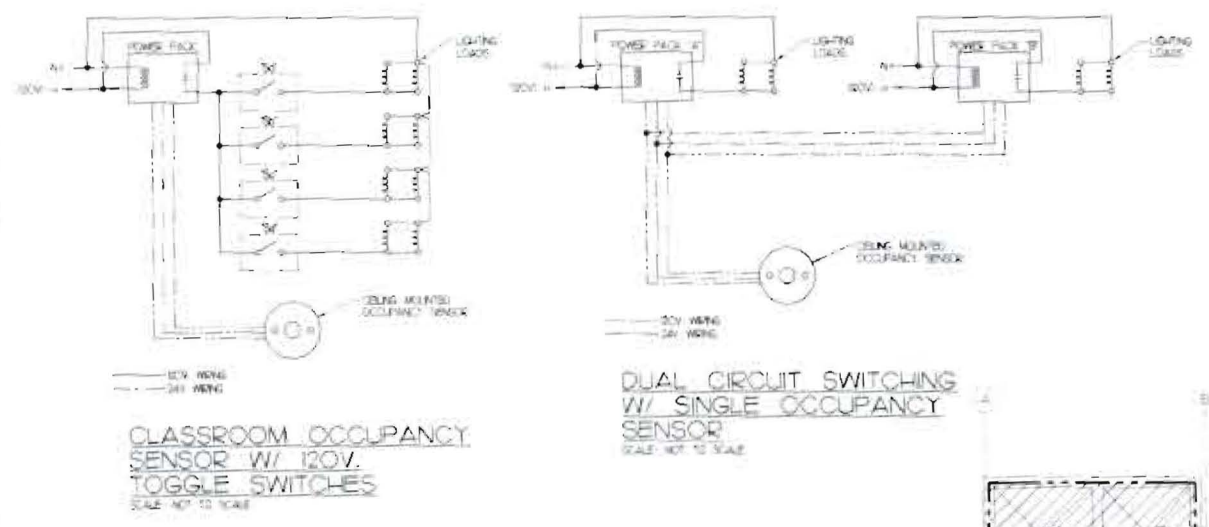
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Checked by: JPM  
**M2.0**

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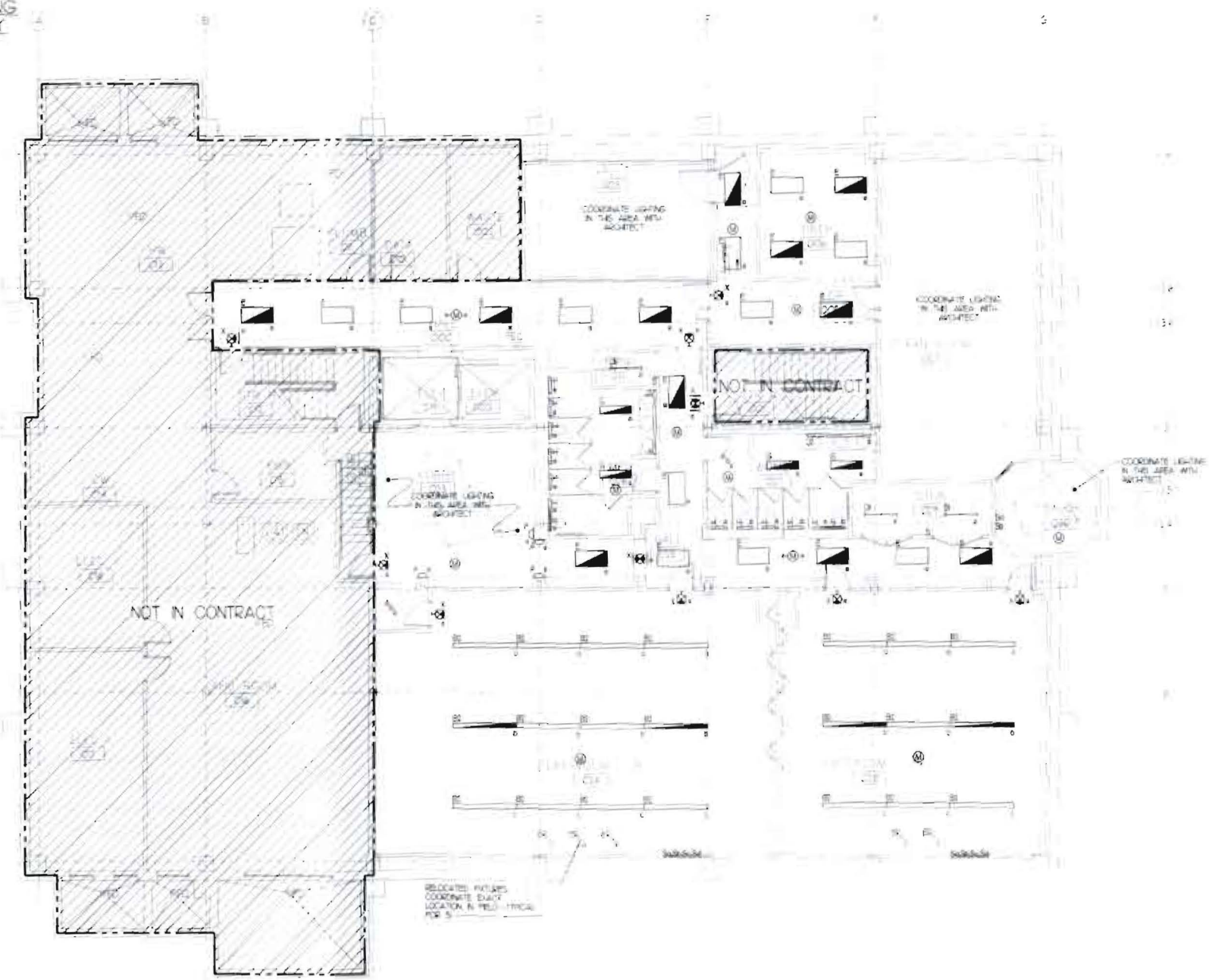




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**MECHANICAL SPACE LIGHTING PLAN**  
SCALE: 1/8" = 1'-0"



**LOWER LEVEL LIGHTING PLAN**  
SCALE: 1/8" = 1'-0"

**PORT CITY ARCHITECTURE**  
85 NEWBURY STREET  
PORTLAND, ME 04101  
Tel: 207.761.9000  
info@portcityarch.com

**VINCENT A. DIORIO, INC.**  
CONSTRUCTIVE ENGINEERS  
76 STEVENS AVENUE, PORTLAND, ME 04101

**UNIVERSITY OF NEW ENGLAND  
COLLEGE OF PHARMACY  
CLASSROOMS**  
76 STEVENS AVENUE, PORTLAND, ME

#	DATE	DESCRIPTION

Drawn By: CDD  
Checked By: JAC  
**E02**

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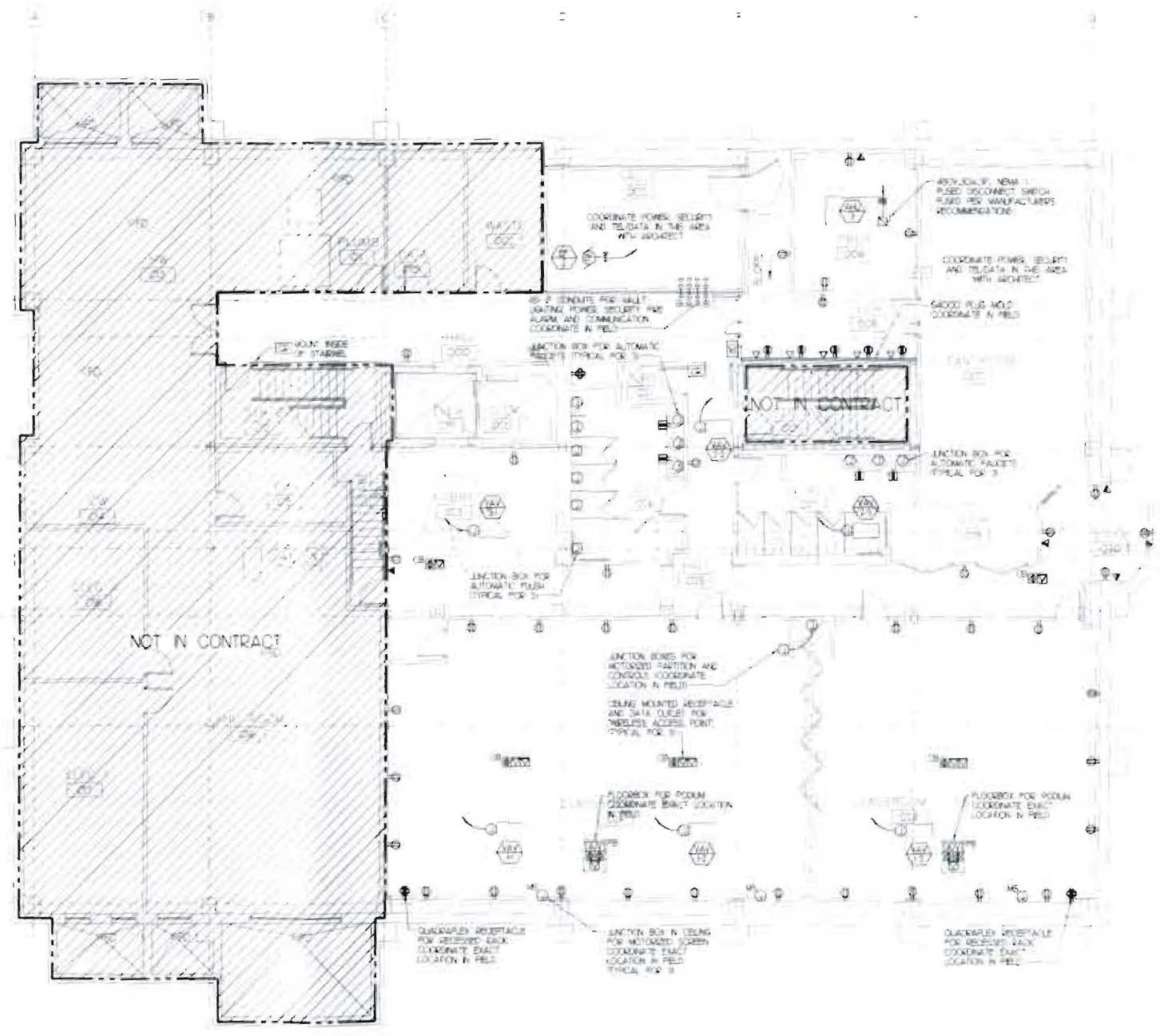
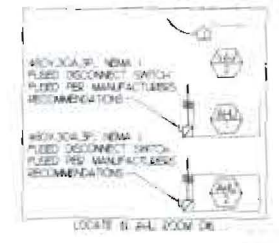
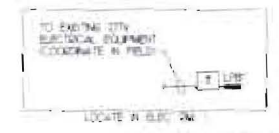
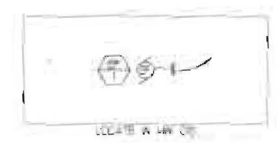
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**MECHANICAL SPACE  
POWER PLAN**  
SCALE: 1/4" = 1'-0"



**LOWER LEVEL POWER PLAN**  
SCALE: 1/4" = 1'-0"



**PORT CITY  
ARCHITECTURE**

85 NEWBURY STREET  
PORTLAND, ME 04101  
207.761.3000  
100 207.761.2010  
info@portcityarch.com



**VINCENT A. DIORIO, INC.**  
CONSULTING ENGINEERS

UNIVERSITY OF NEW ENGLAND  
COLLEGE OF  
PHARMACY  
CLASSROOMS

716 STEVENS AVENUE, PORTLAND, ME

DATE	DESCRIPTION

Drawn By: JY/DR  
Project Number: C24C6

SHEET NAME  
**ELECTRICAL  
LOWER FLOOR  
POWER PLAN**

Checked By: EOD  
VAD

**E03**

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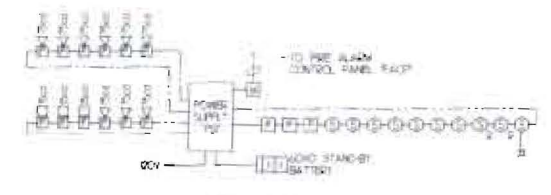


**FIRE ALARM LEGEND**

- FIRE ALARM SYSTEM FOR THE 2ND/3RD/4TH/5TH/6TH/7TH/8TH/9TH/10TH FLOOR ONLY WALL MOUNTED 80' ABOVE FINISHED FLOOR OR 4' BELOW FINISHED CEILING MINIMUM 5' LONG
- FIRE ALARM SYSTEM FOR THE 2ND/3RD/4TH/5TH/6TH/7TH/8TH/9TH/10TH FLOOR ONLY WALL MOUNTED 4' ABOVE FINISHED FLOOR OR 4' BELOW FINISHED CEILING MINIMUM 5' LONG
- MANUAL PULL STATION MOUNTED 48" ABOVE FINISHED FLOOR
- CEILING MOUNTED PHOTOELECTRIC SYSTEM FOR SMOKE DETECTOR
- CEILING MOUNTED PHOTOELECTRIC SYSTEM FOR SMOKE DETECTOR FOR ELEVATOR LOBBY. ELEVATOR SHALL PERFORM REGULAR UPON ACTIVATION OF RESPECTIVE DEVICE
- AUTOMATIC HEAT DETECTOR IN STAIRCASE. TWO TEMPERATURE WITH ONE ADDRESSABLE MODULE
- FIRE ALARM SYSTEM MASTER BOX
- FIRE ALARM CONTROL PANEL
- FIRE ALARM ANNUNCIATOR
- FIRE ALARM HEAT-RESISTANT DEVICE
- FIRE ALARM SYSTEM DOOR HOLDERS
- FIRE ALARM SYSTEM FLOOR SWITCH. FINISHED BY THE SPRINKLER CONTRACTOR. WIRE BY ELECTRICAL CONTRACTOR
- FIRE ALARM SYSTEM TAMPER SWITCH OR VALVE. FINISHED BY SPRINKLER CONTRACTOR. WIRE BY ELECTRICAL CONTRACTOR
- FIRE ALARM SYSTEM TAMPER SWITCH OR VALVE. FINISHED BY SPRINKLER CONTRACTOR. WIRE BY ELECTRICAL CONTRACTOR
- REMOTE INDICATOR
- REMOTE INDICATOR WITH TEST STATION
- ADDRESSABLE MONITOR MODULE
- ADDRESSABLE CONTROL MODULE
- 4-1/2 HOUR BATTERY
- ALARM POWER SUPPLY. 4 AMPS - 24 VOLTS WITH A NOTIFICATION CIRCUIT. NOTIFIER CAT NO. FUS-2405 WITH BATTERY BACKUP AND RECHARGE

**FIRE ALARM NOTES**

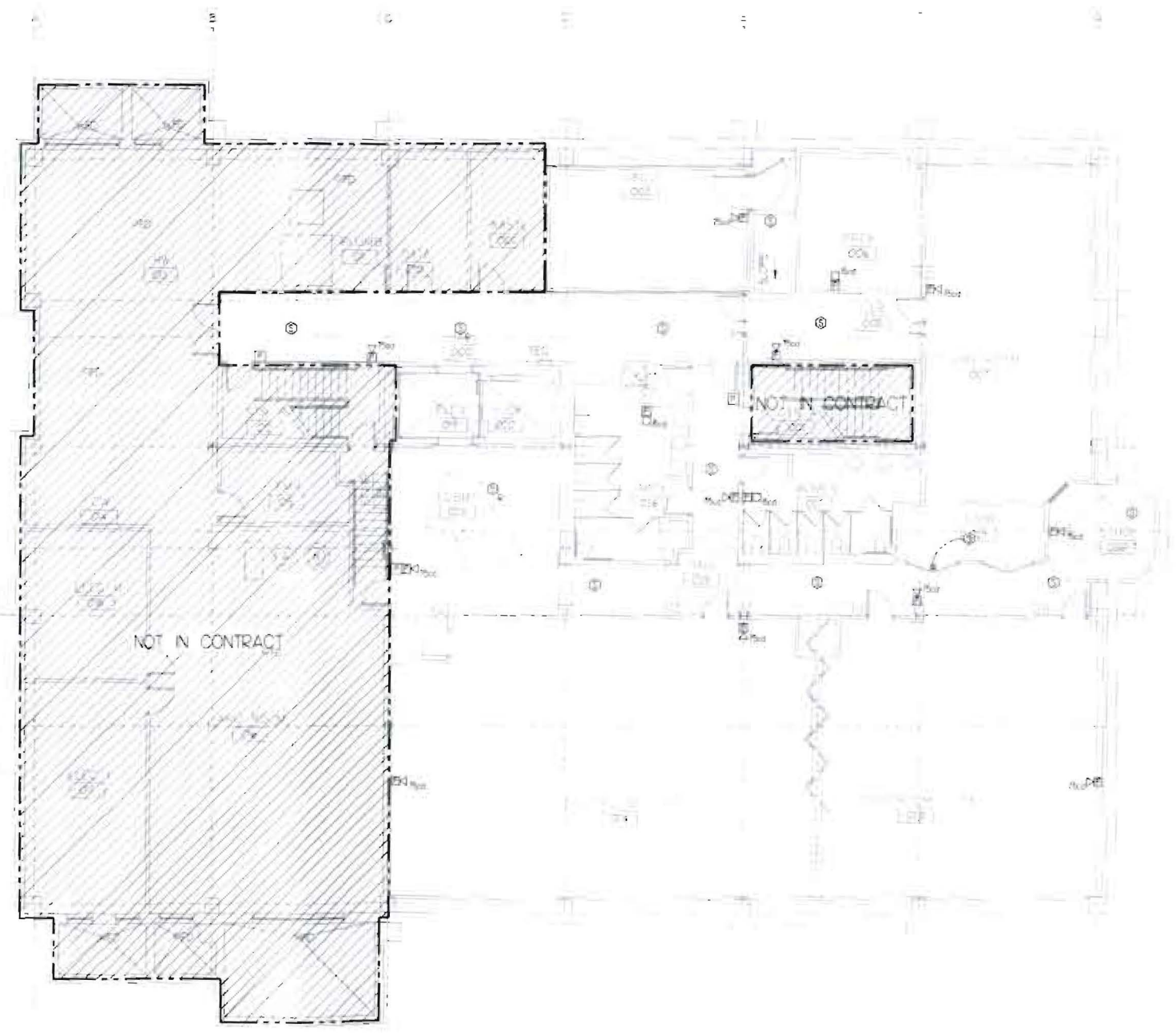
1. ELECTRICAL CONTRACTOR SHALL FURNISH AND RETAIL A COMPLETE ANALOG ADDRESSABLE MICROPROCESSOR BASED FIRE ALARM SYSTEM AS INDICATED AND AS SPECIFIED. ALL FIRE ALARM CIRCUIT WIRING SHALL BE POWER LIMITED FIRE ALARM CABLE. ADDITIONAL CIRCUITS SHALL BE 30V POWER LIMITED FIRE ALARM CABLE. AS MENTIONED ABOVE CIRCUITS SHALL BE ARRANGED CLASS "F"
2. ELECTRICAL CONTRACTOR SHALL UTILIZE ALARM VENTILATION AS A STANDARD FEATURE FOR ALL ADDRESSABLE SMOKE DETECTORS
3. THE CONTRACTOR BEFORE INSTALLATION OR RELOCATION OF EQUIPMENT SHALL SUBMIT A SHOP DRAWING OF ALL THE DEVICES BEING SUPPLIED FOR THE PROJECT. THE SHOP DRAWING PROVIDING A DIAGRAM INDICATING HOW THE SYSTEM WILL OPERATE IS REQUIRED AS A PART OF THE SUBMITTAL PACKAGE
4. ALL PULL AND JUNCTION BOXES AS WELL AS E-OF-ANY CIRCUIT EXISTING OR LEAVING ANY PULL OR JUNCTION BOX SHALL BE PAINTED RED
5. FIRE ALARM SYSTEM SHALL BE MANUFACTURED BY GANNETT OR EQUAL
6. E.C. TO PROVIDE CONDUIT AND CABLE AS REQUIRED BY ELEVATOR RETAILER TO FACILITATE ELEVATOR REGULAR UPON ACTIVATION OF FIRE ALARM SYSTEM
7. UPON ACTIVATION OF AN HANGING (NOT DUCT) SMOKE DETECTOR THE RESPECTIVE UNIT AND ASSOCIATED SMOKE AND FIRE DAMPERS SHALL BE DEACTIVATED
8. UPON ACTIVATION OF ANY OF THE ELEVATOR LOBBY SMOKE DETECTORS OR ELEVATOR CONTROL MODULES, THE ELEVATORS SHALL GO UP TO THE MAIN FLOOR IF THE MAIN FLOOR IS IN AN ALARM CONDITION. THE ELEVATOR SHALL SEND AN ALTERNATE FLOOR NOT IN ALARM. THE ELEVATOR SHALL BE PROGRAMMED TO SEARCH FOR A FLOOR NOT IN ALARM
9. UPON ACTIVATION OF THE FIRE ALARM SYSTEM ALL THE MAGNETO DOOR HOLDERS SHALL BE DEENERGIZED TO ALLOW DOORS TO SWING CLOSED
10. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR A SET OF AS-BUILT DRAWINGS OF THE FIRE ALARM SYSTEM. AS-BUILT DRAWINGS SHALL INDICATE THE LOCATION OF THE CONTROL PANEL. ALL FIRE ALARM DEVICES AND WIRING INSTALLED. AS-BUILT DRAWINGS SHALL BE TURNED OVER TO THE OWNER'S PROJECT REPRESENTATIVE
11. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR CONNECTING THE FIRE ALARM SYSTEM MASTERBOX TO THE CAMPUS LOOP LENGTH 200' OR 2" DIA. W/ SILENT CONDUCTORS FOR UNDERGROUND SERVICE OR 2" DIA. 20' DIA. W/ SILENT CONDUCTORS FOR AERIAL SERVICE
12. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AN ANNUNCIATOR THAT INDICATES ALL ADDRESSABLE DEVICES TO BE RETAIRED AT THE MAIN ENTRANCE
13. THE FIRE ALARM SYSTEM SHALL BE IN ACCORDANCE WITH NFPA 72. ANY CHANGES TO THE SYSTEM DESIGN SHALL BE PRE-APPROVED BY THE LOCAL FIRE DEPARTMENT AND AGENT'S OFFICE INC.
14. FIRE ALARM WIRE DIAGRAM IS ONLY DIAGRAMATIC. REFER TO FIRE ALARM PLAN FOR EXACT NUMBER OF DEVICES
15. ALL ADDITIONAL DEVICES SHALL BE INDICATED ON THE 1" DIMENSIONAL PATTERN



**PARTIAL FIRE ALARM ONE-LINE**  
SCALE: NOT TO SCALE



**MECHANICAL SPACE FIRE ALARM PLAN**  
SCALE: 1/8" = 1'-0"



**LOWER LEVEL FIRE ALARM PLAN**  
SCALE: 1/8" = 1'-0"



**PORT CITY ARCHITECTURE**

45 NEWBURY STREET  
PORTLAND, ME 04101  
TEL: 207.761.9010  
FAX: 207.761.2010  
info@portcityarch.com



**VINCENT A. DI DORO, INC.**  
CONSULTING ENGINEERS  
UNIVERSITY OF NEW ENGLAND  
COLLEGE OF PHARMACY  
CLASSROOMS

716 STEVENS AVENUE, PORTLAND, ME

DATE	DESCRIPTION

DATE PLOTTED: 3/11/09  
PROJECT NUMBER: 06806

SHEET NAME  
**FIRE ALARM LOWER FLOOR PLAN**

Drawn By: CCG  
Checked By: JAD  
**FA01**

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