



Administrative Authorization Application

Portland, Maine
Planning and Urban Development Department, Planning Division

PROJECT NAME: ST. BRIGID CATHOLIC SCHOOL: FR. HAYES COSTEN STAIN
 PROJECT ADDRESS: 695 STEVENS AVENUE CHART/BLOCK/LOT: TM-144-D-1,2,3
 APPLICATION FEE: _____ (\$50.00) TM-143-A-32,37
 PROJECT DESCRIPTION: (Please Attach Sketch/Plan of the Proposal/Development) 144-D-3

Retrofit Stairs

CONTACT INFORMATION:

OWNER/APPLICANT

Name: ROMAN CATHOLIC BISHOP PORTLAND
 Address: 510 OCEAN AVE
PORTLAND, ME. 04103
 Work #: (207) 773-6471
 Cell #: N/A
 Fax #: N/A
 Home #: N/A
 E-mail: JAMES.LAFONTAINE@
PORTLANDDIOCESE.ORG

CONSULTANT/AGENT

Name: DAVID LEASURE - ARCHITECTURAL ASSOC. INC.
 Address: 24 SEA ROSE LAKE
FREEPORT, ME. 04032
 Work #: (207) 797-8661
 Cell #: (207) 841-8880
 Fax #: (207) 865-9426
 Home #: N/A
 E-mail: DAVIDLEASURE@MYFAIRPOINT.NET

Criteria for an Administrative Authorization:
 (see section 14-523(4) on pg. 2 of this appl.)

Applicant's Assessment
 Y(Yes), N(no), N/A

- | | |
|---|------------|
| a) Is the proposal within existing structures? | <u>N</u> |
| b) Are there any new buildings, additions, or demolitions? | <u>Y</u> |
| c) Is the footprint increase less than 500 sq. ft.? | <u>Y</u> |
| d) Are there any new curb cuts, driveways or parking areas? | <u>N</u> |
| e) Are the curbs and sidewalks in sound condition? | <u>Y</u> |
| f) Do the curbs and sidewalks comply with ADA? | <u>Y</u> |
| g) Is there any additional parking? | <u>N</u> |
| h) Is there an increase in traffic? | <u>N</u> |
| i) Are there any known stormwater problems? | <u>N</u> |
| j) Does sufficient property screening exist? | <u>Y</u> |
| k) Are there adequate utilities? | <u>Y</u> |
| l) Are there any zoning violations? | <u>N</u> |
| m) Is an emergency generator located to minimize noise? | <u>N/A</u> |
| n) Are there any noise, vibration, glare, fumes or other impacts? | <u>N</u> |

RECEIVED

AUG 3 2012

City of Portland
Planning Division

Signature of Applicant: <u>May Ann Purcell</u>	Date: <u>8/2/12</u>
--	---------------------

IMPORTANT NOTICE TO APPLICANT: The granting of an Administrative Authorization to exempt a development from site plan review does not exempt this proposal from other required approvals or permits, nor is it an authorization for construction. You should first check with the Building Inspections Office, Room 315, City Hall (207)874-8703, to determine what other City permits, such as a building permit, will be required.

Administrative Authorization Decision

Name: St. Brigid's Catholic School, Fr. Hayes Center Stair
Address: 695 Stevens Avenue
Project Description: Retrofit Stairs

Criteria for an Administrative Authorizations:

(See Section 14-523 (4) on page 2 of this application)

Applicant's Assessment

Y(yes), N(no), N/A

Planning Division

Use Only

a) Is the proposal within existing structures?	N	N
b) Are there any new buildings, additions, or demolitions?	Y	Y
c) Is the footprint increase less than 500 sq. ft.?	Y	Y
d) Are there any new curb cuts, driveways or parking areas?	N	N
e) Are the curbs and sidewalks in sound condition?	Y	Y
f) Do the curbs and sidewalks comply with ADA?	Y	Y
g) Is there any additional parking?	N	N
h) Is there an increase in traffic?	N	N
i) Are there any known stormwater problems?	N	N
j) Does sufficient property screening exist?	Y	Y
k) Are there adequate utilities?	Y	Y
l) Are there any zoning violations?	N	N
m) Is an emergency generator located to minimize noise?	N/A	N/A
n) Are there any noise, vibration, glare, fumes or other impacts?	N	N

David Leasure and St. Brigid's School provided additional information (attached) that confirmed that the basement level has contained classrooms and thus, does not require a conditional use review of an institutional expansion.

The Administrative Authorization for the replacement stairs for egress was approved by Barbara Barhydt, Development Review Services Manager on August 17, 2012 with the following condition of approval listed below:

1. Standard Condition of Approval: The applicant shall obtain all required City Permits, including building permits from the Inspection Division (874-8703) and any other permits required from the Department of Public Services (874-8801) prior to the start of any construction.



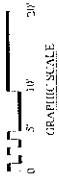
Barbara Barhydt
Development Review Services Manager
Date of Approval:



DATE	DESCRIPTION

DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.
 1344 WASHINGTON AVENUE PORTLAND, MAINE PH: (207) 763-8664 FAX: (207) 763-8533
 PROJECT NO. 080111 ST. BRIGID SCHOOL RENOVATION
 SHEET TITLE LOWER LEVEL PLAN - FR. HAYES BLDG.
 SCALE 3/16" = 1'-0"

FR. HAYES BUILDING - LOWER LEVEL FLOOR PLAN
 3/16" = 1'-0"



- PLAN LEGEND**
- EXISTING WALL TO REMAIN
 - NEW WALL TO REMAIN
 - NEW WALL TO BE DEMOLISHED
 - NEW WALL TO BE CONSTRUCTED
 - EXISTING DOOR TO REMAIN
 - NEW DOOR TO BE CONSTRUCTED
 - EXISTING WINDOW TO REMAIN
 - NEW WINDOW TO BE CONSTRUCTED
 - EXISTING WINDOW TO BE DEMOLISHED
 - NEW WINDOW TO BE CONSTRUCTED
 - EXISTING FLOOR TO REMAIN
 - NEW FLOOR TO BE CONSTRUCTED
 - EXISTING CEILING TO REMAIN
 - NEW CEILING TO BE CONSTRUCTED
 - EXISTING ROOF TO REMAIN
 - NEW ROOF TO BE CONSTRUCTED
 - EXISTING MECHANICAL TO REMAIN
 - NEW MECHANICAL TO BE CONSTRUCTED
 - EXISTING ELECTRICAL TO REMAIN
 - NEW ELECTRICAL TO BE CONSTRUCTED
 - EXISTING PLUMBING TO REMAIN
 - NEW PLUMBING TO BE CONSTRUCTED
 - EXISTING PAINT TO REMAIN
 - NEW PAINT TO BE CONSTRUCTED
 - EXISTING FINISH TO REMAIN
 - NEW FINISH TO BE CONSTRUCTED
 - EXISTING LANDSCAPE TO REMAIN
 - NEW LANDSCAPE TO BE CONSTRUCTED
 - EXISTING SITEWORK TO REMAIN
 - NEW SITEWORK TO BE CONSTRUCTED
 - EXISTING UTILITIES TO REMAIN
 - NEW UTILITIES TO BE CONSTRUCTED
 - EXISTING STRUCTURE TO REMAIN
 - NEW STRUCTURE TO BE CONSTRUCTED
 - EXISTING FOUNDATION TO REMAIN
 - NEW FOUNDATION TO BE CONSTRUCTED
 - EXISTING EXTERIOR FINISH TO REMAIN
 - NEW EXTERIOR FINISH TO BE CONSTRUCTED
 - EXISTING INTERIOR FINISH TO REMAIN
 - NEW INTERIOR FINISH TO BE CONSTRUCTED
 - EXISTING MECHANICAL EQUIPMENT TO REMAIN
 - NEW MECHANICAL EQUIPMENT TO BE CONSTRUCTED
 - EXISTING ELECTRICAL EQUIPMENT TO REMAIN
 - NEW ELECTRICAL EQUIPMENT TO BE CONSTRUCTED
 - EXISTING PLUMBING EQUIPMENT TO REMAIN
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 - EXISTING FOUNDATION TO REMAIN
 - NEW FOUNDATION TO BE CONSTRUCTED
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 - NEW MECHANICAL EQUIPMENT TO BE CONSTRUCTED
 - EXISTING ELECTRICAL EQUIPMENT TO REMAIN
 - NEW ELECTRICAL EQUIPMENT TO BE CONSTRUCTED
 - EXISTING PLUMBING EQUIPMENT TO REMAIN
 - NEW PLUMBING EQUIPMENT TO BE CONSTRUCTED

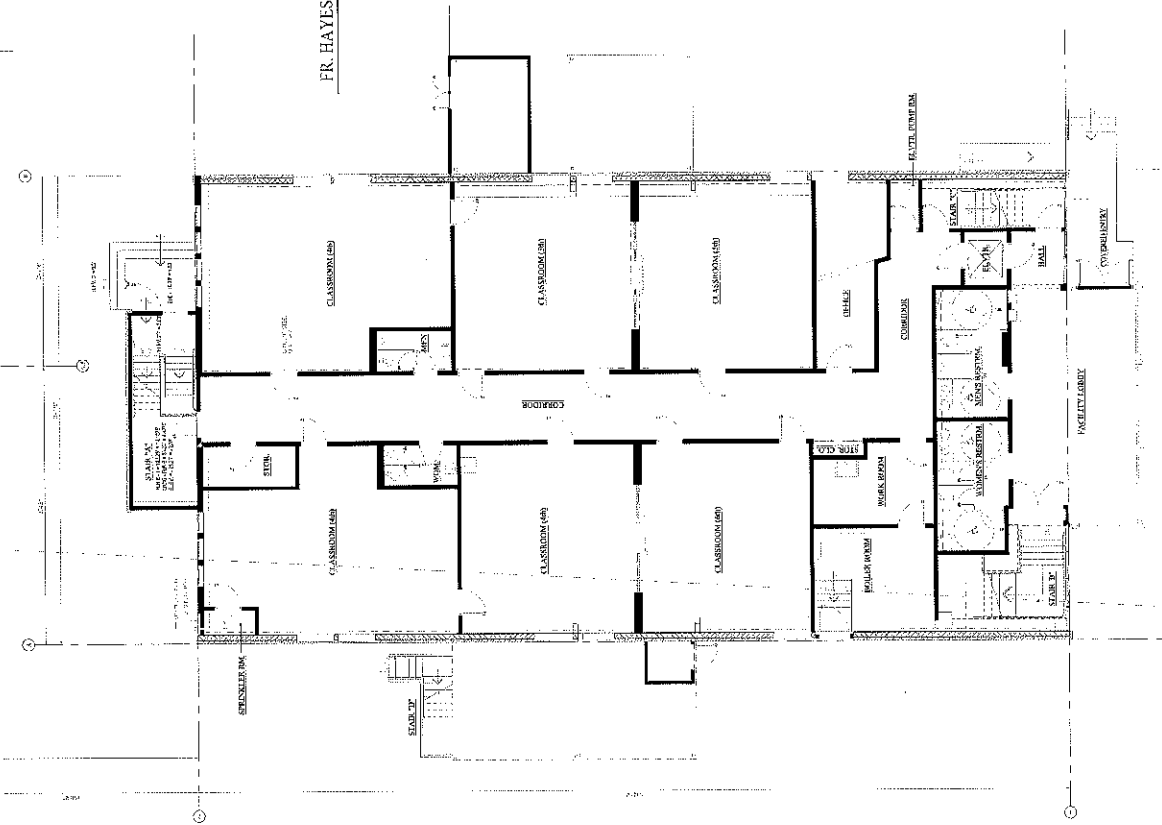
BUILDING AREA

TOTAL BUILDING AREA

EXISTING CONDITIONS DRAWINGS - SEPTEMBER 16, 2001
 NOT FOR CONSTRUCTION

ST. BRIGID SCHOOL RENOVATION
 695 STEVENS AVENUE
 PORTLAND, MAINE 04103

A-203 AS



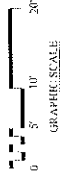
NOT FOR CONSTRUCTION



1	EXISTING BUILDING DRAWING	SEP. 16, 2011
2	EXISTING BUILDING DRAWING	SEP. 16, 2011

DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.
144 WASHINGTON AVENUE PORTLAND, MAINE 04107-3753
PROJECT NO. 09011 PROJECT: ST. BRIGID SCHOOL RENOVATION
SCALE: 1/8" = 1'-0" SHEET: FR. HAYES BLDG.

FR. HAYES BUILDING - FIRST FLOOR PLAN
3/16" = 1'-0"



- PLAN LEGEND**
- EXISTING WALL MARKINGS
 - NEW STUDY CORRIDOR
 - NEW STUDY CORRIDOR
 - NEW STUDY CORRIDOR
 - EXISTING WALL TO BE REMOVED
 - EXISTING BRICK WALL TO REMAIN
 - EXISTING MASSIVE CEMENT BLOCK
 - NEW PERIPHERAL AREA
 - EXISTING STUDY CORRIDOR
 - NEW STUDY CORRIDOR
 - NEW STUDY CORRIDOR

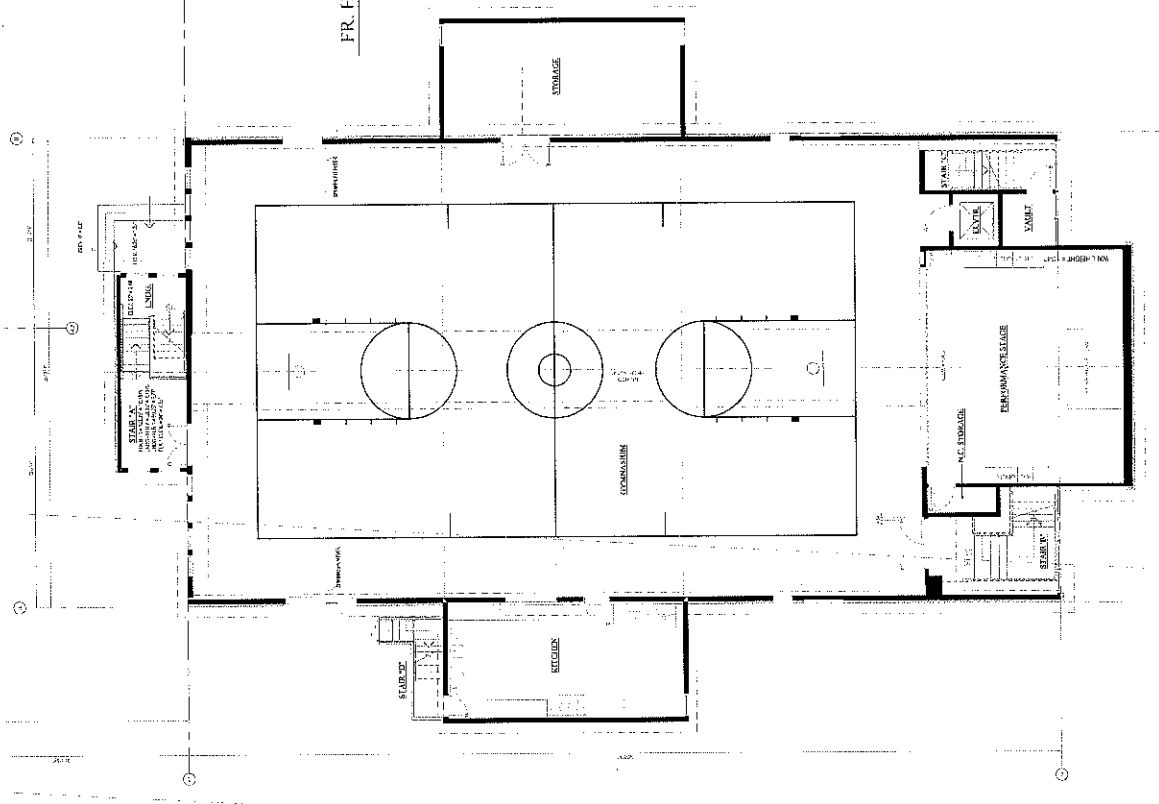
BUILDING AREA

TOTAL LEGIBLE AREA

EXISTING CONDITIONS DRAWINGS - SEPTEMBER 16, 2011
NOT FOR CONSTRUCTION

ST BRIGID SCHOOL RENOVATION
695 STEVENS AVENUE
PORTLAND, MAINE 04105

A-204 AS



THIS DRAWING IS THE PROPERTY OF DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY REUSE OR REPRODUCTION OF THIS DRAWING WITHOUT THE WRITTEN PERMISSION OF DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC. IS STRICTLY PROHIBITED.

Barbara Barhydt - St. Brigid Catholic School - Fr. Hayes Center Existing Conditions

From: "David Leasure" <davidleasure@myfairpoint.net>
To: "Barbara Barhydt" <bab@portlandmaine.gov>, "Marge Schmuckal" <mes@portla...>
Date: Monday, August 06, 2012 2:40 PM
Subject: St. Brigid Catholic School - Fr. Hayes Center Existing Conditions
CC: "Mary Ann Russo" <maryann.russo@portlanddiocese.org>, "Mary Gordon" <mar...>
Attachments: A204_AS_FR_HAYES_FIRST.pdf; A203_AS_FR_HAYES_BSMT.pdf;
Site_Bldg_Fr_Hayes.pdf

Hi Barbara:

Per our conversation today with regard to the possibility that the Fr. Hayes Center did not secure a Conditional Use Permit (R5 Zone) when it was originally constructed, I have attached the Fr. Hayes Center - Existing Conditions Floor Plans which were prepared by my office in 2011. The current plans (Fr. Hayes Stair Retrofit Plans) that we recently submitted reflecting the addition of a new stair on the South side of the Fr. Hayes center do not require any changes to the building's interior on either floor.

I've also attached a scan of the original building Plan (Site_Bldg_Fr_Hayes.pdf) that was designed and prepared by Mr. Wilbur Ingalls, R.A. It is my understanding that the Fr. Hayes Center Facility was constructed in 1967. The original drawing indicates classrooms on the Lower Level and a Gymnasium (basket ball court) on the first floor. I am not privy to any permitting information. I have spoken with the School Development Officer and she is looking through her files to see if there is any documentation relevant to prior conditional use or building permitting.

I will forward you any relevant documentation that we find. Please let me know what your and Marge's findings are at your earliest convenience. If you have any additional questions, please don't hesitate to contact me.

Best regards,

David D. Leasure, R.A.
Architectural Associates Inc.
24 Sea Rose Lane
Freeport, Maine 04032
Off. 207-797-8661
Cell 207-841-8880
Fax 207-797-8533
E-mail davidleasure@myfairpoint.net

**TRANSMITTAL
COVER SHEET**

DATE: August 02, 2012

TO: Ms. Barbara Barhydt - Development Review Service Manager
City of Portland, Maine - Planning & Urban Development
389 Congress Street
Portland, Maine 04101

PROJECT: Fr. Hayes Stair Retrofit Project
St. Brigid Catholic School
695 Stevens Avenue
Portland, Maine 04103

TRANSMITTAL:

<u>Copies</u>	<u>Date</u>	<u>Description</u>	<u>Action Code</u>
1	06/25/12	Construction Documents (30 x 42 Drawings)	E
1	08/02/12	Administrative Authorization Application	E
1	07/31/12	Admin Authorization Fee (Chk. #6622 for \$50.00)	E
1	N/A	Project Description	E
1	N/A	Certificate of Design Application	E
1	N/A	Certificate of Design	E
1	N/A	Accessibility Building Code Certificate	E

Action A. Action Indicated on transmitted item. D. For Signature & forwarding as noted below
B. No Action Required. E. See Remarks below.
C. For Signature & return to this office.

SUBJECT: Fr. Hayes - Stair Retrofit Project: Administrative Authorization Application

MEMORANDUM:

Dear Barbara:

Enclosed please find an application for Administrative Authorization for the above referenced project. Please review the application and let me know if you need any additional materials. Thank you.

Best Regards,



DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.
24 SEA ROSE LANE FREEPORT, MAINE Ph. (207) 797-8661 Cell (207) 841-8880 Fax (207) 797-8533
Email davidleasure@myfairpoint.net

cc: Fr. James LaFontaine, S.J. - Pastor; Our Lady of Hope Parish
Mary Ann Russo - Dir. Of Operations and Development St. Brigid School
File

DAVID D. LEASURE
 ARCHITECTURAL ASSOCIATES, INC.
 1344 WASHINGTON AVE.
 PORTLAND, MAINE 04103
 207-797-9661

DATE	INVOICE	AMOUNT

52 **ESB** Electronic Check Fraud
Protection for Business
 52-8769-2112
 6620

McBee® One-Writes

PAY SEVEN THOUSAND AND SEVENTY AND 00/100 DOLLARS

DATE	TO THE ORDER OF	HRS	GROSS	F.I.C.A.	FED WITH	STATE	DISC.	CHECK NO.
7/17/12	City of Portland, Me.							60620

DESCRIPTION: FE. HAYES SPAN PERMIT FEE

CHECK AMOUNT **770.00**

Amount in Words

CUMBERLAND COUNTY
 FEDERAL CREDIT UNION



⑈006620⑈ ⑆211287695⑆10000377180088⑈

**TRANSMITTAL
COVER SHEET**DATE: July 17, 2012TO: City of Portland, Maine
Building Inspections Division
389 Congress Street
Portland, Maine 04101PROJECT: Fr. Hayes Stair Retrofit Project
St. Brigid Catholic School
695 Stevens Avenue
Portland, Maine 04103

TRANSMITTAL:

Copies	Date	Description	Action Code
1	06/25/12	Construction Documents (30 x 42 Drawings)	E
1	06/25/12	Reduced Construction Documents (11x17 color Dwgs.)	E
1	06/17/12	General Building Permit application	E
1	06/29/12	Application Fee (Ch. #6620 for \$770.00)	E
1	N/A	Project Description	E
1	N/A	Certificate of Design Application	E
1	N/A	Certificate of Design	E
1	N/A	Accessibility Building Code Certificate	E

Action A. Action Indicated on transmitted item.
B. No Action Required.
C. For Signature & return to this office.D. For Signature & forwarding as noted below
E. See Remarks below.SUBJECT: Fr. Hayes - Stair Retrofit Project: Building Permit Application

MEMORANDUM:

Dear Sir/Madam:

Enclosed please find an application for a Building Permit for the above referenced project. Please review the application and let me know if you need any additional materials. Thank you.

Best Regards,



DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.
 24 SEA ROSE LANE FREEPORT, MAINE Ph. (207) 797-8661 Cell (207) 841-8880 Fax (207) 797-8533
 Email davidleasure@myfairpoint.net
cc: Fr. James LaFontaine, S.J. - Pastor, Our Lady of Hope Parish
Mary Ann Russo - Dir. Of Operations and Development St. Brigid School
File



General Building Permit Application

Location/Address of Construction: <u>FR. HAYES CENTER - ST. BRIGID SCHOOL</u> <u>695 STEVENS AVE, PORTLAND, ME. 04103</u>		
Total Square Footage of Proposed Structure/Area <u>138 S.F.</u>	Square Footage of Lot <u>115,937.67 S.F. = 2.66 ACRES</u>	
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>TM 144-D-1, 2, 3</u> <u>TM 143-A-32, 37</u>	Applicant * <u>must be owner, Lessee or Buyer</u> * Name <u>ROMAN CATHOLIC BISHOP</u> <u>OF PORTLAND, MAINE</u> Address <u>510 OCEAN AVE.</u> City, State & Zip <u>PORTLAND, ME 04103</u>	Telephone: <u>207-773-6471</u>
Lessee/DBA (If Applicable) <u>N/A</u>	Owner (if different from Applicant) Name <u>SAME AS ABOVE</u> Address City, State & Zip	Cost Of Work: \$ <u>75,000.00</u> C of O Fee: \$ <u>770.00</u> Total Fee: \$ <u>770.00</u>
Current legal use (i.e. single family) <u>EDUCATIONAL (ELEM. SCHOOL) AND ASSEMBLY</u> If vacant, what was the previous use? <u>N/A</u> Proposed Specific use: <u>EDUCATIONAL AND ASSEMBLY</u> Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>SEE ATTACHED PROJECT DESCRIPTION</u>		
Contractor's name: <u>HARDY PAWD CONSTRUCTION</u> Address: <u>7 TEE DRIVE</u> City, State & Zip <u>PORTLAND, ME 04103</u> Telephone: <u>207-797-6066</u> Who should we contact when the permit is ready: <u>DAVID LEASURE, R.A.</u> Telephone: <u>207-841-8880</u> Mailing address: <u>24 SEA ROSE LAKE, FREEPORT, ME. 04102</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Mary Ann Russo Date: 8/11/07

This is not a permit; you may not commence ANY work until the permit is issue

Project Description

PROJECT: **FR. HAYES STAIR RETROFIT PROJECT FOR
ST. BRIGID CATHOLIC SCHOOL
695 STEVENS AVENUE
PORTLAND, MAINE 04103**

ARCHITECT: **David D. Leasure - Architectural Associates Inc.
1344 Washington Ave.
Portland, Maine 04103
Tel. (207) 797-8661 Fax. (207) 797-8533
E-mail**

Fr. Hayes Center Egress Stair Description:

The current project entails the addition of a 138 s.f. egress stair addition to the South side of the existing Gymnasium/Classroom Fr. Hayes Center Facility. The existing site is currently occupied with 4 buildings including St. Brigid School (2 buildings), St. Joseph Church, and St. Joseph Rectory. The school is in session Monday through Friday, 7:30 A.M. to 2:45 P.M. from September 1 to June 10 annually.

The remainder of the site is used for parking, an existing Drive-thru/ Drop-off Lane, school playgrounds and Godfrey Park (green space). A total of 55 parking spaces are provided on-site with dedicated parking for the school faculty and business office along the East and South sides of the rear parking lot. Parking for the Clergy is provided in the Rectory garage. Church patrons utilize street parking along Stevens Avenue and the school parking lot since Church masses are held on Saturday Evenings and Sunday mornings when school is not in session.

The proposed Fr. Hayes egress stair is necessary to meet egress and Life Safety Code requirements for the existing Gymnasium/Assembly first floor level. The new entrance location will also improve student flow during school hours.



Certificate of Design Application

From Designer: DAVID D. LEASURE - ARCHITECTURAL ASSOC. INC
 Date: JULY 17, 2012
 Job Name: FR. HAYES CATER STAIR PROJECT (ST. BRIGID SCHOOL)
 Address of Construction: 695 STEVENS AVENUE, PORTLAND, ME. 04103

2003 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year IBC-2009 Use Group Classification (s) EDUCATIONAL (E), Assembly (A-3)
 Type of Construction TYPE VA
 Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC YES
 Is the Structure mixed use? ~~YES~~ NO If yes, separated or non separated or non separated (section 302.3) N/A
 Supervisory alarm System? YES Geotechnical/Soils report required? (See Section 1802.2) NO - SEEKING EXCEPTION 1803.2

Structural Design Calculations

Submitted for all structural members (106.1 - 106.11)

Design Loads on Construction Documents (1603)

Uniformly distributed floor live loads (7603.11, 1807)

Floor Area Use	Loads Shown
<u>STAIR/LANDING</u>	<u>100 PSF</u>

Wind loads (1603.1.4, 1609)

1609.1.1 Design option utilized (1609.1.1, 1609.6)
100 MPH Basic wind speed (~~1809.3~~) 1609.3
II / 1.0 Building category and wind importance Factor, w_b table 1604.5, 1609.5)
B Wind exposure category (1609.4)
+ 0.18 Internal pressure coefficient (ASCE 7)
N/A Component and cladding pressures (1609.1.1, 1609.6.2.2)
20 PSF Main force wind pressures (7603.1.1, 1609.6.2.1)

Earth design data (1603.1.5, 1614-1623)

BEARING Design option utilized (1614.1)
B Seismic use group ("Category")
0.24/0.14 Spectral response coefficients, S_D & S_{D1} (1615.1)
C Site class (1615.1.5)

N/A Live load reduction
N/A Roof live loads (1603.1.2, 1607.11)
49 PSF Roof snow loads (1603.7.3, 1608)
70 PSF Ground snow load, P_g (1608.2)
49 PSF If $P_g > 10$ psf, flat-roof snow load P_f
1.0 If $P_g > 10$ psf, snow exposure factor, C_e
1.0 If $P_g > 10$ psf, snow load importance factor, I_s
1.0 Roof thermal factor, C_t (1608.4)
N/A Sloped roof snowload, P_R (1608.4)
B Seismic design category (1616.3)
SHEAR WALLS Basic seismic force resisting system (1617.6.2)
6 1/2 / 4 Response modification coefficient, R_d and deflection amplification factor C_d (1617.6.2)
STATIC Analysis procedure (1616.6, 1617.5)
1.74 KIP Design base shear (1617.4, 16175.5.1)

Flood loads (1803.1.6, 1612)

N/A Flood Hazard area (1612.3)
125.0 FT. Elevation of structure

Other loads

N/A Concentrated loads (1607.4)
N/A Partition loads (1607.5)
N/A Misc. loads (Table 1607.8, 1607.6.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404)



Certificate of Design

Date:

July 17, 2012

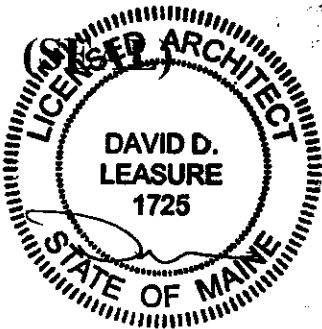
From:

DAVID D. LEASURE - ARCHITECTURAL ASSOC. INC.

These plans and / or specifications covering construction work on:

FR. HAYES CENTER - EXIT STAIR

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the ~~2003~~ **2009** *International Building Code* and local amendments.



Signature:

DAVID D. LEASURE

Title:

PRESIDENT

Firm:

ARCHITECTURAL ASSOC. INC.

Address:

24 SEA ROSE LAKE

FREEDPORT, ME 04032

Phone:

207-841-8880

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov



Accessibility Building Code Certificate


Designer: DAVID D. LEASURE - ARCHITECTURAL ASSOC. INC.

Address of Project: FR. HAYES CENTER - ST. BRIGID SCHOOL
695 STEVENS AVENUE, PORTLAND, ME. 04103

Nature of Project: ADDITION OF NEW EXIT STAIR ON SOUTH
SIDE OF EXISTING FR. HAYES CENTER

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.

NOTE: USE EXEMPT FROM ADA (28 CFR) - RELIGIOUS ENTITY

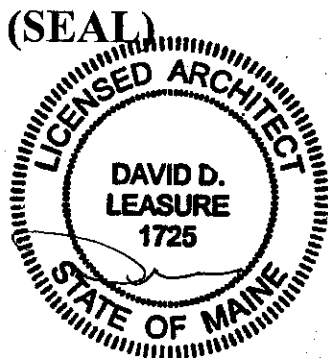
Signature: 
DAVID D LEASURE

Title: PRESIDENT

Firm: ARCHITECTURAL ASSOC. INC.

Address: 24 SEA ROSE LAKE
FREEMPORT, ME. 04032

Phone: 207-841-8880



For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov

Barbara Barhydt - St. Brigid Catholic School - Fr. Hayes Center Existing Conditions

From: "David Leasure" <davidleasure@myfairpoint.net>
To: "Barbara Barhydt" <bab@portlandmaine.gov>, "Marge Schmuckal" <mes@portla...>
Date: Monday, August 06, 2012 2:40 PM
Subject: St. Brigid Catholic School - Fr. Hayes Center Existing Conditions
CC: "Mary Ann Russo" <maryann.russo@portlanddiocese.org>, "Mary Gordon" <mar...>
Attachments: A204_AS_FR_HAYES_FIRST.pdf; A203_AS_FR_HAYES_BSMT.pdf; Site_Bldg_Fr_Hayes.pdf

Hi Barbara:

Per our conversation today with regard to the possibility that the Fr. Hayes Center did not secure a Conditional Use Permit (R5 Zone) when it was originally constructed, I have attached the Fr. Hayes Center - Existing Conditions Floor Plans which were prepared by my office in 2011. The current plans (Fr. Hayes Stair Retrofit Plans) that we recently submitted reflecting the addition of a new stair on the South side of the Fr. Hayes center do not require any changes to the building's interior on either floor.

I've also attached a scan of the original building Plan (Site_Bldg_Fr_Hayes.pdf) that was designed and prepared by Mr. Wilbur Ingalls, R.A. It is my understanding that the Fr. Hayes Center Facility was constructed in 1967. The original drawing indicates classrooms on the Lower Level and a Gymnasium (basket ball court) on the first floor. I am not privy to any permitting information. I have spoken with the School Development Officer and she is looking through her files to see if there is any documentation relevant to prior conditional use or building permitting.

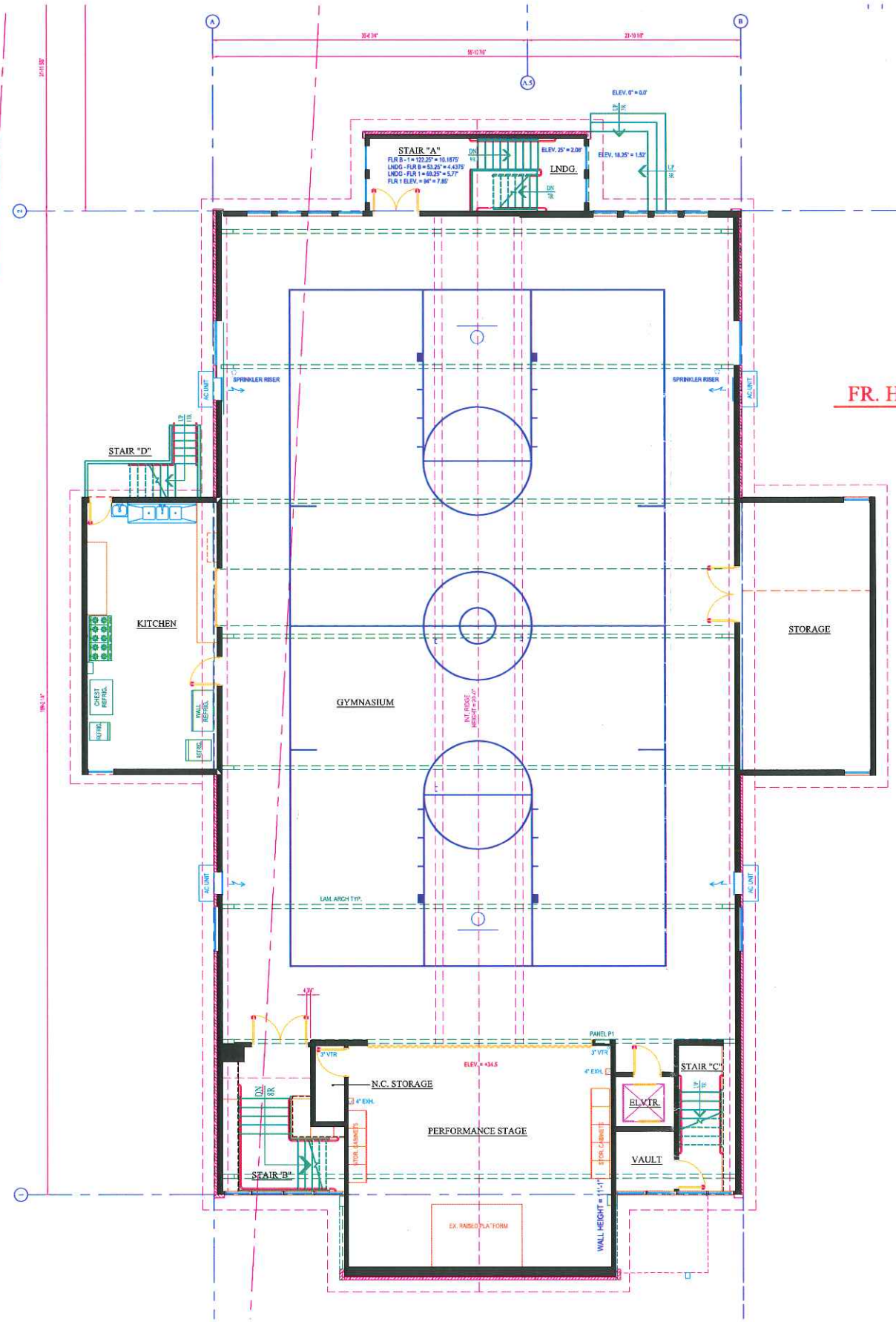
I will forward you any relevant documentation that we find. Please let me know what your and Marge's findings are at your earliest convenience. If you have any additional questions, please don't hesitate to contact me.

Best regards,

David D. Leasure, R.A.
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EXISTING CONDITIONS DWGS - SEPT. 16, 2011



FR. HAYES BUILDING - FIRST FLOOR PLAN
3/16" = 1'-0"



PLAN LEGEND

	EXISTING WALL TO REMAIN
	NEW WOOD STUD WALL
	NEW STEEL STUD WALL
	NEW COOLER PANEL WALL
	EXISTING WALL TO BE REMOVED
	EXISTING BRICK WALL TO REMAIN
	EXISTING MASONRY (CMU) WALL
	NEW BUILDING ADDITIONS
(E)	EXISTING DEVICE OR COMPONENT
(N)	NEW DEVICE OR COMPONENT
(R)	DEVICE OR COMPONENT TO BE REMOVED

BUILDING AREA

_____	TOTAL BUILDING AREA
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EXISTING CONDITIONS DRAWINGS - SEPTEMBER 16, 2011
NOT FOR CONSTRUCTION

ST. BRIGID SCHOOL RENOVATION
695 STEVENS AVENUE
PORTLAND, MAINE 04103

A-204 AS

DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.
1344 WASHINGTON AVENUE PORTLAND, MAINE
TEL (207) 797-8661 FAX (207) 797-8533
PROJECT NO: 080111 PROJECT TITLE: ST. BRIGID SCHOOL RENOVATION
SCALE: 1/8" = 1'-0" SHEET TITLE: FIRST FLOOR PLAN - FR. HAYES BLDG.

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01	EXISTING CONDITIONS DWGS - SEPT. 16, 2011
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FR. HAYES BUILDING - LOWER LEVEL FLOOR PLAN
3/16" = 1'-0"



- PLAN LEGEND**
- EXISTING WALL TO REMAIN
 - NEW WOOD STUD WALL
 - NEW STEEL STUD WALL
 - NEW COOLER PANEL WALL
 - EXISTING WALL TO BE REMOVED
 - EXISTING BRICK WALL TO REMAIN
 - EXISTING MASONRY (CMU) WALL
 - NEW BUILDING ADDITIONS
 - (E) EXISTING DEVICE OR COMPONENT
 - (N) NEW DEVICE OR COMPONENT
 - (R) DEVICE OR COMPONENT TO BE REMOVED

BUILDING AREA

TOTAL BUILDING AREA

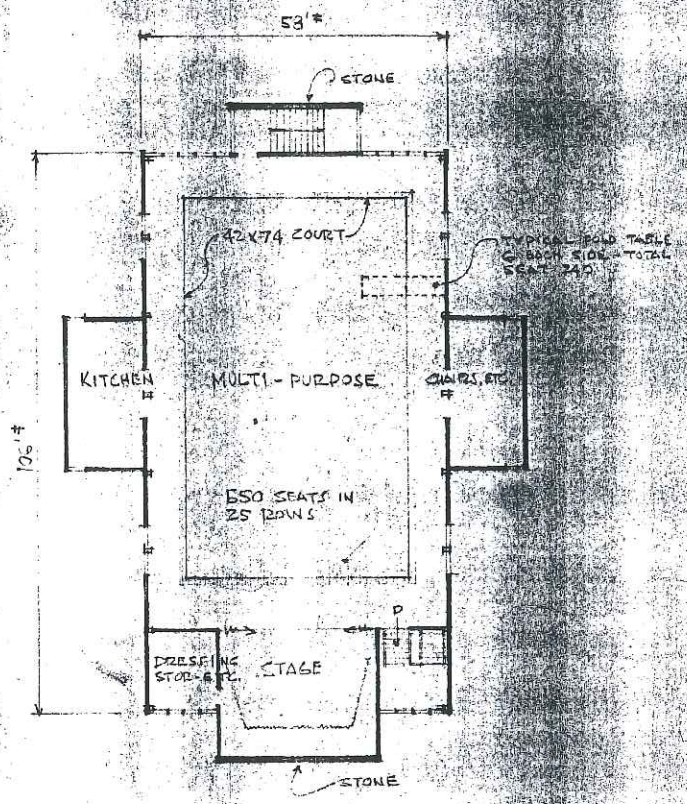
EXISTING CONDITIONS DRAWINGS - SEPTEMBER 16, 2011
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ST. BRIGID SCHOOL RENOVATION
695 STEVENS AVENUE
PORTLAND, MAINE 04103

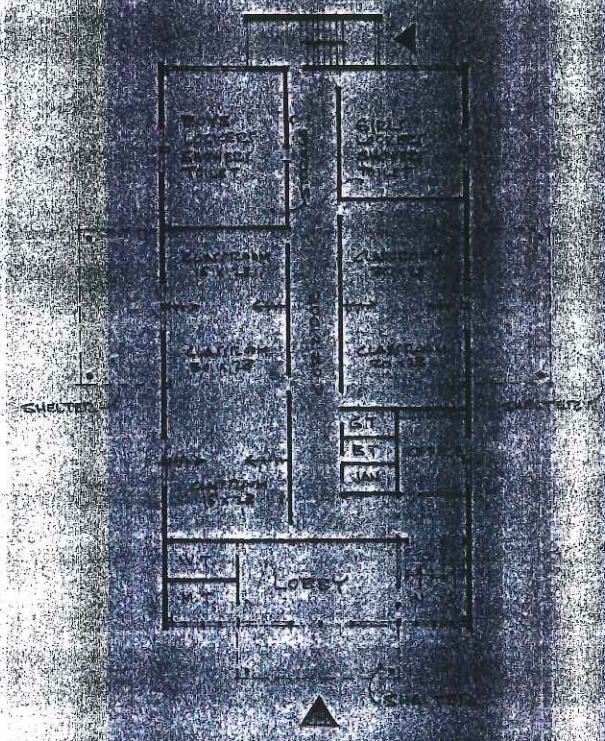
A-203 AS

DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.
1344 WASHINGTON AVENUE PORTLAND, MAINE PH. (207) 797-8661 FAX (207) 797-8533
PROJECT NO: 080111 PROJECT TITLE: **ST. BRIGID SCHOOL RENOVATION**
SCALE: 3/16" = 1'-0" SHEET TITLE: **LOWER LEVEL PLAN - FR. HAYES BLDG.**

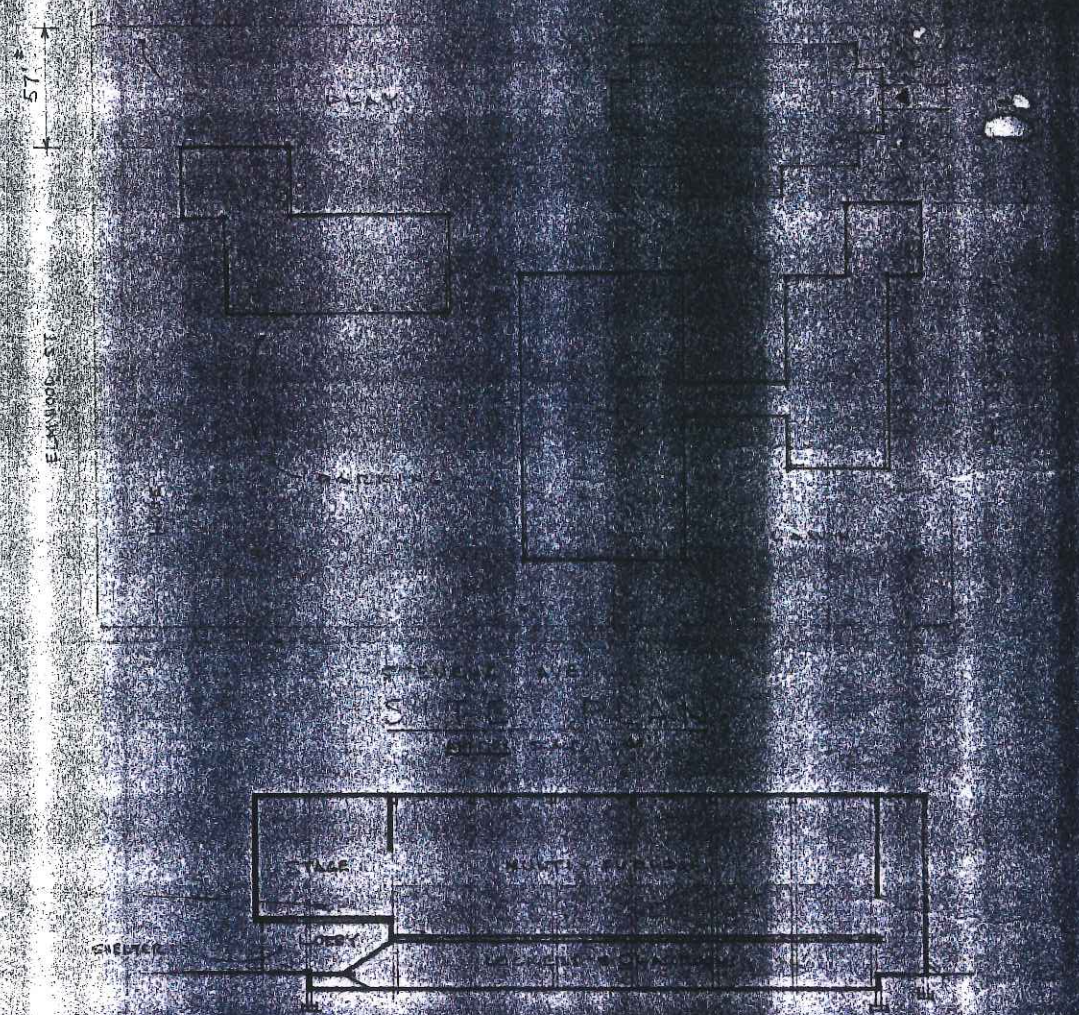
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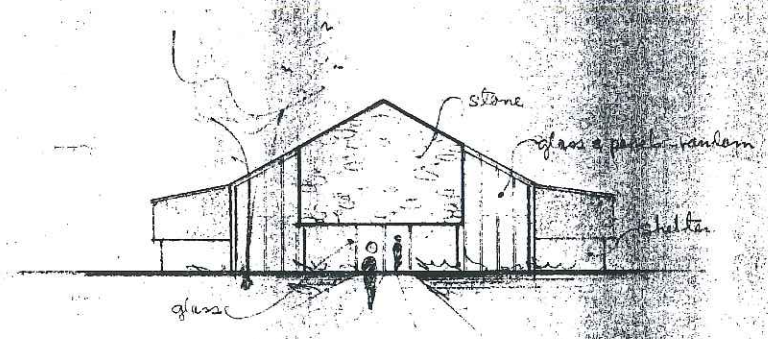
FIRST FLOOR PLAN
1/16" = 1'-0"



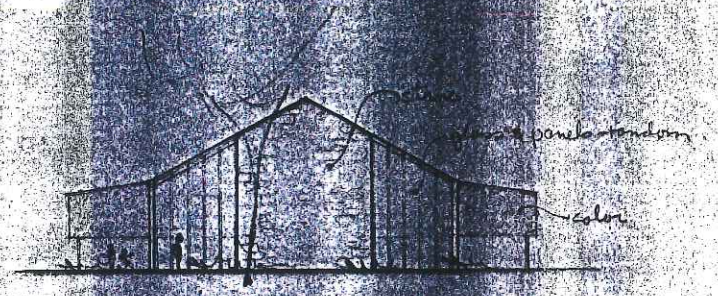
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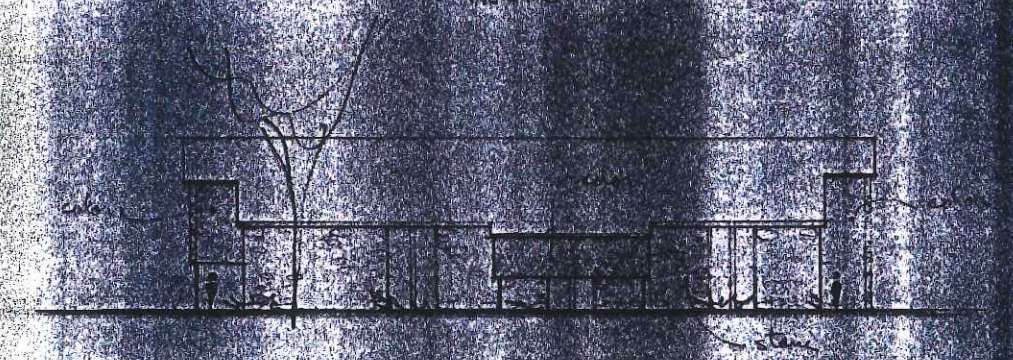
CROSS SECTION
1/16" = 1'-0"



FRONT ELEVATION
1/16" = 1'-0"



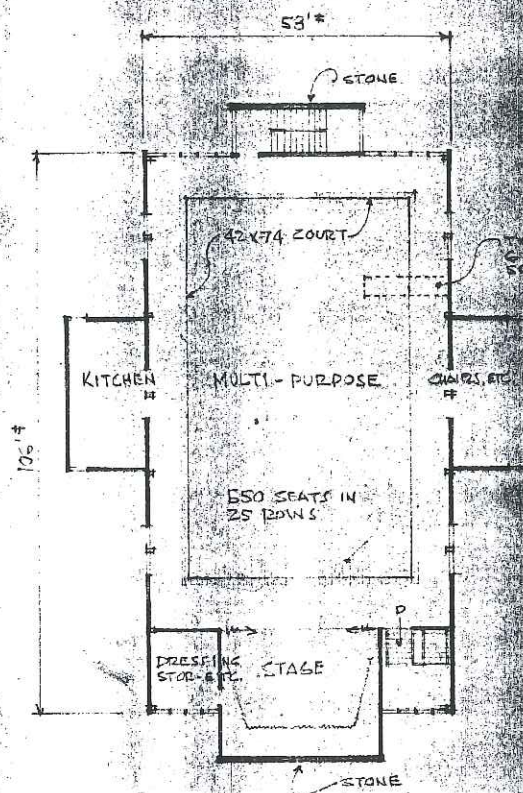
BACK ELEVATION
1/16" = 1'-0"



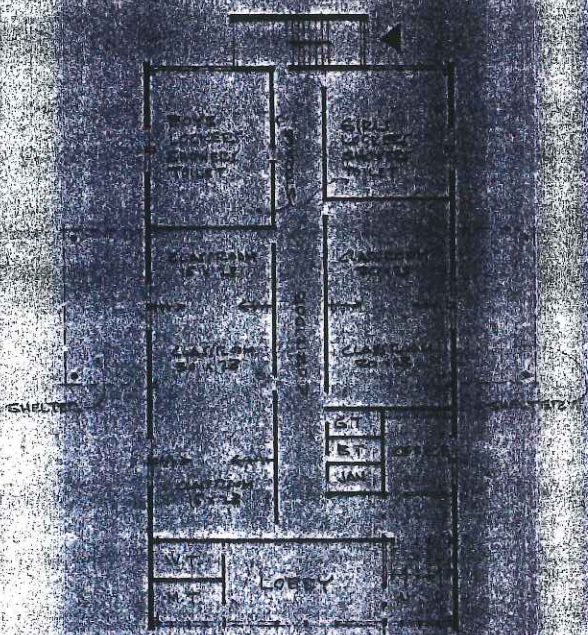
SIDE ELEVATIONS
1/16" = 1'-0"

PROPOSED ST JOSEPH'S MULTI-PURPOSE BUILDING - PORTLAND

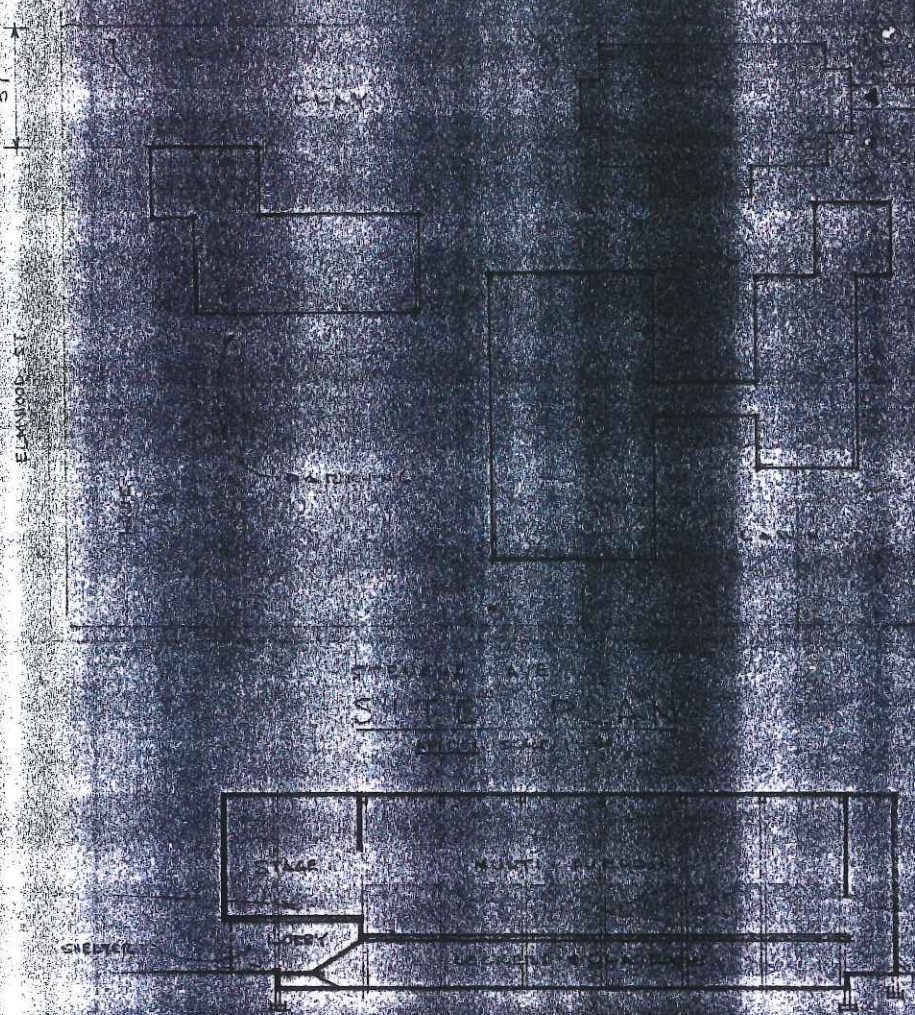
WILBUR & INGALLS ARCHITECTS - PORTLAND, MAINE



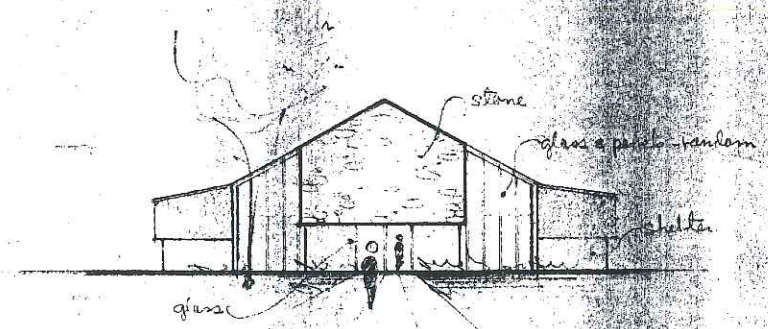
FIRST FLOOR PLAN
1/16" = 1'-0"



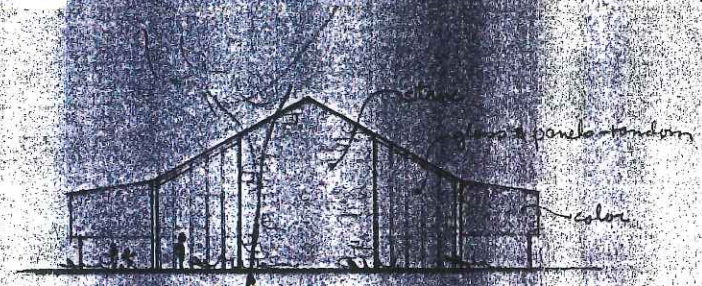
GROUND FLOOR PLAN
1/16" = 1'-0"



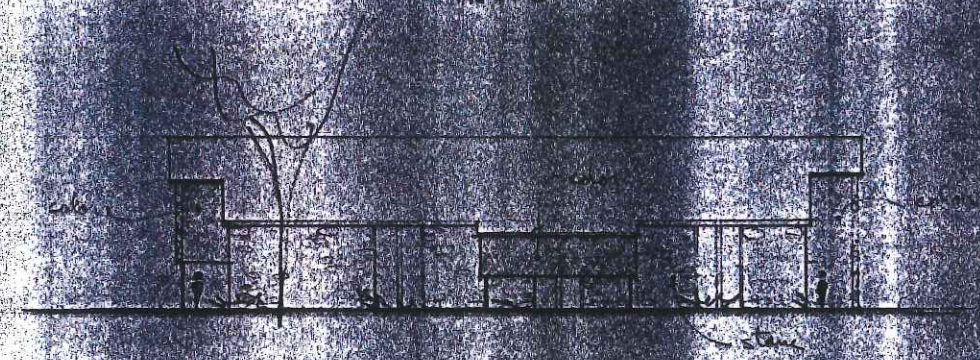
SECTION
1/16" = 1'-0"



FRONT ELEVATION
1/16" = 1'-0"



BACK ELEVATION
1/16" = 1'-0"



SIDE ELEVATIONS
1/16" = 1'-0"

PROPOSED ST JOSEPH'S MULTI-PURPOSE BUILDING - PORTLAND

WILBUR R. INGALLS, ARCHITECT - PORTLAND, ME.