

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND

BUILDING PERMIT

This is to certify that Roman Catholic Bishop of Portland Located At 695 STEVENS AVE

Job ID: 2012-07-4524-ALTCOMM

CBL: 144- D-003-001

has permission to build a 138 square foot (egress) stairwell addition.

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

Fire Prevention Officer

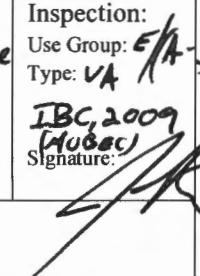
Code Enforcement Officer / Plan Reviewer

09/14/2012

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY
PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2012-07-4524-ALTCOMM	Date Applied: 7/23/2012	CBL: 144- D-003-001	
Location of Construction: 695 STEVENS AVE	Owner Name: ROMAN CATHOLIC BISHOP OF PORTLAND	Owner Address: 510 OCEAN AVE PORTLAND, ME 04103	Phone: 207-773-6471
Business Name:	Contractor Name: TBD	Contractor Address:	Phone:
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG - Building	Zone: R-5
Past Use: St. Brigid School – Father Hayes building	Proposed Use: Same – St. Brigid School – Father Hayes building – build 138 sf egress stair addition	Cost of Work: 75000.00	CEO District:
		Fire Dept: <input checked="" type="checkbox"/> Approved Per. Capt Pirone <input type="checkbox"/> Denied <input type="checkbox"/> N/A	Inspection: Use Group: E/A-3 Type: VA IBC, 2009 (MUSC) Signature: 
Proposed Project Description: 138 s.f. egress stair addition		Pedestrian Activities District (P.A.D.)	
Permit Taken By: Gayle		Zoning Approval	

Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input type="checkbox"/> Shoreland <input type="checkbox"/> Wetlands <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM Date: OK w 7/25/12 ARM	<input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<input checked="" type="checkbox"/> Not in Dist or Landmark <input type="checkbox"/> Does not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: JBN

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
 - **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
 - **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**
1. Footings/Setbacks prior to pouring concrete
 2. Close In Elec/Plmb/Frame prior to insulate or gypsum
 3. Final Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



PORTLAND MAINE

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Director of Planning and Urban Development
Jeff Levine

Job ID: 2012-07-4524-ALTCOMM

Located At: 695 STEVENS AVE

CBL: 144- D-003-001

Conditions of Approval:

Building

1. Separate permits are required for any electrical: plumbing, sprinkler, fire alarm, HVAC systems, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
2. Guards must be 42 inches in height with openings less than 4 inches. Graspable rails must be installed on both sides of the stair guard at 34" to 38". Stair treads shall not be less than 11". Stair risers shall not be more than 7".
3. A final special inspection report shall be submitted prior to issuance of a certificate of occupancy. This report must demonstrate all deficiencies and corrective measures that were taken.
4. A State Fire Marshal permit may be required for this project, contact at 207-626-3880 or http://www.maine.gov/dps/fmo/plans/about_permits.html
5. No permit shall be issued until the applicant has removed and disposed of all "friable asbestos" such material in accordance with applicable state and federal regulations.

Fire

1. Installation shall comply with City Code Chapter 10.
2. All construction shall comply with City Code Chapter 10.
3. <http://www.portlandmaine.gov/citycode/chapter010.pdf>
4. This permit is being approved on the basis of the plans submitted. Any deviation from the plans would require amendments and approval.
5. Application requires State Fire Marshal approval.
6. Street addresses shall be marked on the structure and shall be as approved by the City E-911 Addressing Officer. Contact Michelle Sweeney at 874-8682 for further information.
7. Any Fire alarm or Sprinkler systems shall be reviewed by a licensed contractor(s) for code compliance. Compliance letters are required.
8. A separate Fire Alarm Permit is required for new systems; or for work effecting more than 5 fire alarm devices; or replacement of a fire alarm panel with a different model. This review does not include approval of fire alarm system design or installation.
9. Fire Alarm system shall be maintained. If system is to be off line over 4 hours a fire watch shall be in place. Dispatch notification required 874-8576.

10. The fire alarm system shall comply with the City of Portland Fire Department Rules and Regulations. All fire alarm installation and servicing companies shall have a Certificate of Fitness from the Fire Department.
11. A separate Suppression System Permit is required for all new suppression systems or sprinkler work effecting more than 20 heads. This review does not include approval of sprinkler system design or installation.
12. Sprinkler protection shall be maintained. Where the system is to be shut down for maintenance or repair, the system shall be checked at the end of each day to insure the system has been placed back in service.
13. Fire extinguishers are required per NFPA 1.
14. All means of egress to remain accessible at all times.
15. No means of egress shall be affected by this renovation.
16. Emergency lights and exit signs are required. Emergency lights and exit signs are required to be labeled in relation to the panel and circuit and on the same circuit as the lighting for the area they serve.
17. Any cutting and welding done will require a Hot Work Permit from Fire Department.



General Building Permit Application

Location/Address of Construction: <u>FR. HAYES CENTER - ST. BRIGID SCHOOL</u> <u>695 STEVENS AVE, PORTLAND, ME. 04103</u>		
Total Square Footage of Proposed Structure/Area <u>138 S.F.</u>	Square Footage of Lot <u>115,937.67 S.F. = 2.66 ACRES</u>	
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>TM 144-D-1, 2, 3</u> <u>TM 143-A-32, 37</u>	Applicant * must be owner, Lessee or Buyer* Name <u>ROMAN CATHOLIC BISHOP</u> <u>OF PORTLAND, MAINE</u> Address <u>510 OCEAN AVE.</u> City, State & Zip <u>PORTLAND, ME 04103</u>	Telephone: <u>207-773-6471</u>
Lessee/DBA (If Applicable) <u>N/A</u>	Owner (if different from Applicant) Name <u>SAME AS ABOVE</u> Address City, State & Zip	Cost Of Work: \$ <u>75,000.00</u> C of O Fee: \$ <u>770.00</u> Total Fee: \$ <u>770.00</u>
Current legal use (i.e. single family) <u>EDUCATIONAL (ELEM. SCHOOL) AND ASSEMBLY</u> If vacant, what was the previous use? <u>N/A</u> Proposed Specific use: <u>EDUCATIONAL AND ASSEMBLY</u> Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>SEE ATTACHED PROJECT DESCRIPTION</u>		
Contractor's name: <u>HARDY PAWD CONSTRUCTION</u> Address: <u>7 TEE DRIVE</u> City, State & Zip <u>PORTLAND, ME. 04103</u> Telephone: <u>207-797-6066</u> Who should we contact when the permit is ready: <u>DAVID LEASURE, R.A.</u> Telephone: <u>207-841-8880</u> Mailing address: <u>24 SEA ROSE LAKE, FREEPORT, ME. 041032</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Mary Ann Russo Date: 8/17/12

This is not a permit; you may not commence ANY work until the permit is issued

Project Description

PROJECT: **FR. HAYES STAIR RETROFIT PROJECT FOR**
ST. BRIGID CATHOLIC SCHOOL
695 STEVENS AVENUE
PORTLAND, MAINE 04103

ARCHITECT: **David D. Leasure - Architectural Associates Inc.**
1344 Washington Ave.
Portland, Maine 04103
Tel. (207) 797-9661 Fax. (207) 797-8533
E-mail

Fr. Hayes Center Egress Stair Description:

The current project entails the addition of a 138 s.f. egress stair addition to the South side of the existing Gymnasium/Classroom Fr. Hayes Center Facility. The existing site is currently occupied with 4 buildings including St. Brigid School (2 buildings), St. Joseph Church, and St. Joseph Rectory. The school is in session Monday through Friday, 7:30 A.M. to 2:45 P.M. from September 1 to June 10 annually.

The remainder of the site is used for parking, an existing Drive-thru/ Drop-off Lane, school playgrounds and Godfrey Park (green space). A total of 55 parking spaces are provided on-site with dedicated parking for the school faculty and business office along the East and South sides of the rear parking lot. Parking for the Clergy is provided in the Rectory garage. Church patrons utilize street parking along Stevens Avenue and the school parking lot since Church masses are held on Saturday Evenings and Sunday mornings when school is not in session.

The proposed Fr. Hayes egress stair is necessary to meet egress and Life Safety Code requirements for the existing Gymnasium/Assembly first floor level. The new entrance location will also improve student flow during school hours.



Certificate of Design Application

From Designer: DAVID D. LEASURE - ARCHITECTURAL ASSOC. INC
 Date: JULY 17, 2012
 Job Name: FR. HAYES CENTER STAIR PROJECT (ST. BRIGID SCHOOL)
 Address of Construction: 695 STEVENS AVENUE, PORTLAND, ME. 04103

2003 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year IBC-2009 Use Group Classification (s) EDUCATIONAL (E), Assembly (A-3)
 Type of Construction TYPE VA
 Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC YES
 Is the Structure mixed use? ~~YES~~ NO If yes, separated or non separated or non separated (section 302.3) N/A
 Supervisory alarm System? YES Geotechnical/Soils report required? (See Section 1802.2) NO - SEEKING EXCEPTION 1803.2

Structural Design Calculations

Submitted for all structural members (106.1 - 106.11)

Design Loads on Construction Documents (1603)

Uniformly distributed floor live loads (7603.11, 1807)

Floor Area Use	Loads Shown
<u>STAIR/LANDING</u>	<u>100 PSF</u>

Wind loads (1603.1.4, 1609)

1609.1.1 Design option utilized (1609.1.1, 1609.6)
100 mph Basic wind speed (~~1809.3~~) 1609.3
II / 1.0 Building category and wind importance Factor, I_w table 1604.5, 1609.5)
B Wind exposure category (1609.4)
+ 0.18 Internal pressure coefficient (ASCE 7)
N/A Component and cladding pressures (1609.1.1, 1609.6.2.2)
20 PSF Main force wind pressures (7603.1.1, 1609.6.2.1)

Earth design data (1603.1.5, 1614-1623)

BEARING Design option utilized (1614.1)
B Seismic use group ("Category")
0.24/0.14 Spectral response coefficients, S_D & S_{D1} (1615.1)
C Site class (1615.1.5)

N/A Live load reduction
N/A Roof live loads (1603.1.2, 1607.11)
49 PSF Roof snow loads (1603.7.3, 1608)
70 PSF Ground snow load, P_g (1608.2)
49 PSF If $P_g > 10$ psf, flat-roof snow load P_f
1.0 If $P_g > 10$ psf, snow exposure factor, C_e
1.0 If $P_g > 10$ psf, snow load importance factor, I_s
1.0 Roof thermal factor, C_t (1608.4)
N/A Sloped roof snowload, R_s (1608.4)
B Seismic design category (1616.3)
SHEAR WALLS Basic seismic force resisting system (1617.6.2)
6 1/2 / 4 Response modification coefficient, R , and deflection amplification factor, C_d (1617.6.2)
STATIC Analysis procedure (1616.6, 1617.5)
1.74 KIP Design base shear (1617.4, 1617.5.1)

Flood loads (1803.1.6, 1612)

N/A Flood Hazard area (1612.3)
125.0 FT. Elevation of structure

Other loads

N/A Concentrated loads (1607.4)
N/A Partition loads (1607.5)
N/A Misc. loads (Table 1607.8, 1607.6.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404)



Certificate of Design

Date:

July 17, 2012

From:

DAVID D. LEASURE - ARCHITECTURAL ASSOC. INC.

These plans and / or specifications covering construction work on:

FR. HAYES CENTER - EXIT STAIR

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the ~~2003~~ 2009 *International Building Code* and local amendments.

Signature:


DAVID D. LEASURE

Title:

PRESIDENT

Firm:

ARCHITECTURAL ASSOC. INC.

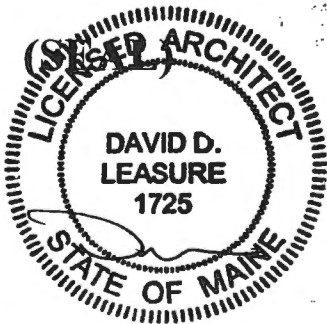
Address:

24 SEA ROSE LAJE

FREEPORT, ME. 04032

Phone:

207-841-8880



For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov




Accessibility Building Code Certificate

Designer: DAVID D. LEASURE - ARCHITECTURAL ASSOC. INC.
 Address of Project: FR. HAYES CENTER - ST. BRIGID SCHOOL
695 STEVENS AVENUE, PORTLAND, ME. 04103
 Nature of Project: ADDITION OF NEW EXIT STAIR ON SOUTH
SIDE OF EXISTING FR. HAYES CENTER

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.

NOTE: USE EXEMPT FROM ADA (28 CFR) - RELIGIOUS ENTITY

Signature: 
DAVID D LEASURE
 Title: PRESIDENT
 Firm: ARCHITECTURAL ASSOC. INC.
 Address: 24 SEA ROSE LAKE
FREEMONT, ME. 04032
 Phone: 207-841-8880



For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov

Jonathan Rioux - 695 Stevens Ave.

From: Jonathan Rioux
To: davidleasure@myfairpoint.net
Date: 9/12/2012 9:25 AM
Subject: 695 Stevens Ave.
CC: Pirone, Chris; Wallace, Benjamin

David,

Did the State Fire Marshals office review?

Can you provide a response, see comments below from Fire Prevention:

- The submission indicates the stair is to serve as a required means of egress but does not provide a life safety plan indicating occupant load of the space being served and how that's be accommodated. Need a complete seating plan and egress arrangement for the space. I don't believe the gym was approved for assembly use prior to this, and I think that change must be what has triggered the need for another exit and capacity.
- The headroom for the new stair does not comply with 101:43.8.1.1(1) and 101:7.1.5 for headroom at the top landing and door.

Jonathan Rioux
Code Enforcement Officer/ Plan Reviewer

City of Portland
Planning and Urban Development Department
Inspection Services Division
389 Congress St. Rm 315
Portland, ME 04101
Office: 207.874.8702
Support Staff: 207.874.8703
jrioux@portlandmaine.gov



Administrative Authorization Application

Portland, Maine

Planning and Urban Development Department, Planning Division

PROJECT NAME: St. Bruno Catholic School: Fr. Hayes Center Stair

PROJECT ADDRESS: 695 STEVENS AVENUE CHART/BLOCK/LOT: TM-144-D-1,2,3

APPLICATION FEE: _____ (\$50.00) TM-143-A-32,37
144-D-3

PROJECT DESCRIPTION: (Please Attach Sketch/Plan of the Proposal/Development)

Retrofit Stairs

CONTACT INFORMATION:

OWNER/APPLICANT

Name: ROMAN CATHOLIC BISHOP PORTLAND
Address: 510 OCEAN AVE
PORTLAND, ME. 04103
Work #: (207) 773-6471
Cell #: N/A
Fax #: N/A
Home #: N/A
E-mail: JAMES.LAFONTAINE@
PORTLANDDIOCESE.ORG

CONSULTANT/AGENT

Name: DAVID LEASURE - ARCHITECTURAL ASSOC. INC
Address: 24 SEA ROSE LAKE
FREEPORT, ME. 04032
Work #: (207) 797-8661
Cell #: (207) 841-8880
Fax #: (207) 865-9426
Home #: N/A
E-mail: DAVIDLEASURE@MYFAIRPORT.ME

Criteria for an Administrative Authorization:
(see section 14-523(4) on pg. 2 of this appl.)

- a) Is the proposal within existing structures?
- b) Are there any new buildings, additions, or demolitions?
- c) Is the footprint increase less than 500 sq. ft.?
- d) Are there any new curb cuts, driveways or parking areas?
- e) Are the curbs and sidewalks in sound condition?
- f) Do the curbs and sidewalks comply with ADA?
- g) Is there any additional parking?
- h) Is there an increase in traffic?
- i) Are there any known stormwater problems?
- j) Does sufficient property screening exist?
- k) Are there adequate utilities?
- l) Are there any zoning violations?
- m) Is an emergency generator located to minimize noise?
- n) Are there any noise, vibration, glare, fumes or other impacts?

Applicant's Assessment
Y(yes), N(no), N/A

N
Y
Y
N
Y
Y
N
N
N
Y
Y
N
N/A
N

RECEIVED

AUG 3 2012

City of Portland
Planning Division

Signature of Applicant:

May Ann Purcell

Date:

8/2/12

IMPORTANT NOTICE TO APPLICANT: The granting of an Administrative Authorization to exempt a development from site plan review does not exempt this proposal from other required approvals or permits, nor is it an authorization for construction. You should first check with the Building Inspections Office, Room 315, City Hall (207)874-8703, to determine what other City permits, such as a building permit, will be required.

Ann Machado - 695 Stevens Ave - St. Brigid's School

From: Ann Machado
To: Barbara Barhydt
Subject: 695 Stevens Ave - St. Brigid's School

Barbara -

David Leasure has applied for a permit to add a 138 sf egress stair to the Father Hayes building at the school. He told Gayle that he had been in contact with you but had not applied for an Administrative Authorization yet. I just wanted to let you know that he applied and I was wondering what kind of a review you were requiring?

Thanks.

Ann

RS.

2012 - 07 - 4524 06



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

144 D 003

Location/Address of Construction: <u>FR. HAYES CENTER - ST. BRIGID SCHOOL</u> <u>695 STEVENS AVENUE, PORTLAND, ME. 04103</u>		
Total Square Footage of Proposed Structure/Area <u>138 S.F.</u>	Square Footage of Lot <u>115,937.67 S.F. = 2.66 ACRES</u>	
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>TM 144-D-1, 2, 3</u> <u>TM 143-A-32, 37</u>	Applicant * <u>must</u> be owner, Lessee or Buyer* Name <u>ROMAN CATHOLIC BISHOP</u> Address <u>510 OCEAN AVE</u> City, State & Zip <u>PORTLAND, ME 04103</u>	Telephone: <u>207-773-6471</u>
Lessee/DBA (If Applicable) RECEIVED <u>JUL 23 2012</u> Dept. of Building Inspections City of Portland Maine	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>75,000.00</u> C of O Fee: \$ <u>770.00</u> Total Fee: \$ <u>770.00</u>
Current legal use (i.e. single family) <u>INSTITUTIONAL (ELEMENTARY SCHOOL), ASSEMBLY</u> If vacant, what was the previous use? <u>N/A</u> Proposed Specific use: <u>INSTITUTIONAL & ASSEMBLY</u> Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>SEE ATTACHED PROJECT DESCRIPTION</u>		
Contractor's name: <u>NOT SELECTED AT THIS TIME</u>		
Address: _____		
City, State & Zip: _____		Telephone: <u>call first</u>
Who should we contact when the permit is ready: <u>DAVID LEASURE, P.A.</u>		Telephone: <u>207-841-8880</u>
Mailing address: <u>24 SEA ROSE LAKE, FREEPORT, ME. 04103</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

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Signature: May Ann Russo Date: July 17, 2012

This is not a permit; you may not commence ANY work until the permit is issue



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Receipts Details:

Tender Information: Check , BusinessName: David D. Leasure, Check Number: 6620

Tender Amount: 770.00

Receipt Header:

Cashier Id: gguertin

Receipt Date: 7/24/2012

Receipt Number: 46285

Receipt Details:

Referance ID:	7377	Fee Type:	BP-Constr
Receipt Number:	0	Payment Date:	
Transaction Amount:	770.00	Charge Amount:	770.00
Job ID: Job ID: 2012-07-4524-ALTCOMM - addition of a 138 s.f. egress stair addition			
Additional Comments: 695 stevens Ave. David D. Leasure			

Thank You for your Payment!

**TRANSMITTAL
COVER SHEET**

DATE: July 17, 2012

TO: City of Portland, Maine
Building Inspections Division
389 Congress Street
Portland, Maine 04101

PROJECT: Fr. Hayes Stair Retrofit Project
St. Brigid Catholic School
695 Stevens Avenue
Portland, Maine 04103

TRANSMITTAL:

<u>Copies</u>	<u>Date</u>	<u>Description</u>	<u>Action Code</u>
1	06/25/12	Construction Documents (30 x 42 Drawings)	E
1	06/25/12	Reduced Construction Documents (11x17 color Dwgs.)	E
1	06/17/12	General Building Permit application	E
1	06/29/12	Application Fee (Ch. #6620 for \$770.00)	E
1	N/A	Project Description	E
1	N/A	Certificate of Design Application	E
1	N/A	Certificate of Design	E
1	N/A	Accessibility Building Code Certificate	E

Action A. Action Indicated on transmitted item. D. For Signature & forwarding as noted below
B. No Action Required. E. See Remarks below.
C. For Signature & return to this office.

SUBJECT: Fr. Hayes - Stair Retrofit Project: Building Permit Application

MEMORANDUM:

Dear Sir/Madam:

Enclosed please find an application for a Building Permit for the above referenced project. Please review the application and let me know if you need any additional materials. Thank you.

Best Regards,



DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.
24 SEA ROSE LANE FREEPORT, MAINE Ph. (207) 797-8661 Cell (207) 841-8880 Fax (207) 797-8533
Email davidleasure@myfairpoint.net

cc: Fr. James LaFontaine, S.J. - Pastor, Our Lady of Hope Parish
Mary Ann Russo - Dir. Of Operations and Development St. Brigid School
File

Project Description

PROJECT: **FR. HAYES STAIR RETROFIT PROJECT FOR**
ST. BRIGID CATHOLIC SCHOOL
695 STEVENS AVENUE
PORTLAND, MAINE 04103

ARCHITECT: **David D. Leasure - Architectural Associates Inc.**
1344 Washington Ave.
Portland, Maine 04103
Tel. (207) 797-8661 Fax. (207) 797-8533
E-mail

Fr. Hayes Center Egress Stair Description:

The current project entails the addition of a 138 s.f. egress stair addition to the South side of the existing Gymnasium/Classroom Fr. Hayes Center Facility. The existing site is currently occupied with 4 buildings including St. Brigid School (2 buildings), St. Joseph Church, and St. Joseph Rectory. The school is in session Monday through Friday, 7:30 A.M. to 2:45 P.M. from September 1 to June 10 annually.

The remainder of the site is used for parking, an existing Drive-thru/ Drop-off Lane, school playgrounds and Godfrey Park (green space). A total of 55 parking spaces are provided on-site with dedicated parking for the school faculty and business office along the East and South sides of the rear parking lot. Parking for the Clergy is provided in the Rectory garage. Church patrons utilize street parking along Stevens Avenue and the school parking lot since Church masses are held on Saturday Evenings and Sunday mornings when school is not in session.

The proposed Fr. Hayes egress stair is necessary to meet egress and Life Safety Code requirements for the existing Gymnasium/Assembly first floor level. The new entrance location will also improve student flow during school hours.

Administrative Authorization Decision

Name: St. Brigid's Catholic School, Fr. Hayes Center Stair
Address: 695 Stevens Avenue
Project Description: Retrofit Stairs

Criteria for an Administrative Authorizations:

(See Section 14-523 (4) on page 2 of this application)

Applicant's Assessment

Y(yes), N(no), N/A

Planning Division

Use Only

a) Is the proposal within existing structures?	N	N
b) Are there any new buildings, additions, or demolitions?	Y	Y
c) Is the footprint increase less than 500 sq. ft.?	Y	Y
d) Are there any new curb cuts, driveways or parking areas?	N	N
e) Are the curbs and sidewalks in sound condition?	Y	Y
f) Do the curbs and sidewalks comply with ADA?	Y	Y
g) Is there any additional parking?	N	N
h) Is there an increase in traffic?	N	N
i) Are there any known stormwater problems?	N	N
j) Does sufficient property screening exist?	Y	Y
k) Are there adequate utilities?	Y	Y
l) Are there any zoning violations?	N	N
m) Is an emergency generator located to minimize noise?	N/A	N/A
n) Are there any noise, vibration, glare, fumes or other impacts?	N	N

David Leasure and St. Brigid's School provided additional information (attached) that confirmed that the basement level has contained classrooms and thus, does not require a conditional use review of an institutional expansion.

The Administrative Authorization for the replacement stairs for egress was approved by Barbara Barhydt, Development Review Services Manager on August 17, 2012 with the following condition of approval listed below:

1. Standard Condition of Approval: The applicant shall obtain all required City Permits, including building permits from the Inspection Division (874-8703) and any other permits required from the Department of Public Services (874-8801) prior to the start of any construction.



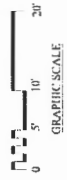
Barbara Barhydt
Development Review Services Manager
Date of Approval:



DATE	DESCRIPTION

DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.
 1344 WASHINGTON AVENUE PORTLAND, MAINE TEL (207) 797-8661 FAX (207) 793-4533
 PROJECT: ST. BRIGID SCHOOL RENOVATION
 SCALE: 3/16" = 1'-0" SHEET TITLE: LOWER LEVEL PLAN - FR. HAYES BLDG.

FR. HAYES BUILDING - LOWER LEVEL FLOOR PLAN
 3/16" = 1'-0"



- PLAN LEGEND**
- EXISTING WALL TO REMAIN
 - NEW REPARTED WALL
 - NEW PARTIAL STUD WALL
 - NEW CORNER STUD WALL
 - EXISTING BRICK WALL TO REMAIN
 - EXISTING BRICK WALL TO BE DEMOLISHED
 - NEW BRICK PARTIAL STUD WALL
 - NEW BRICK CORNER STUD WALL
 - NEW BRICK CORNER STUD WALL
 - NEW BRICK CORNER STUD WALL
 - NEW BRICK CORNER STUD WALL

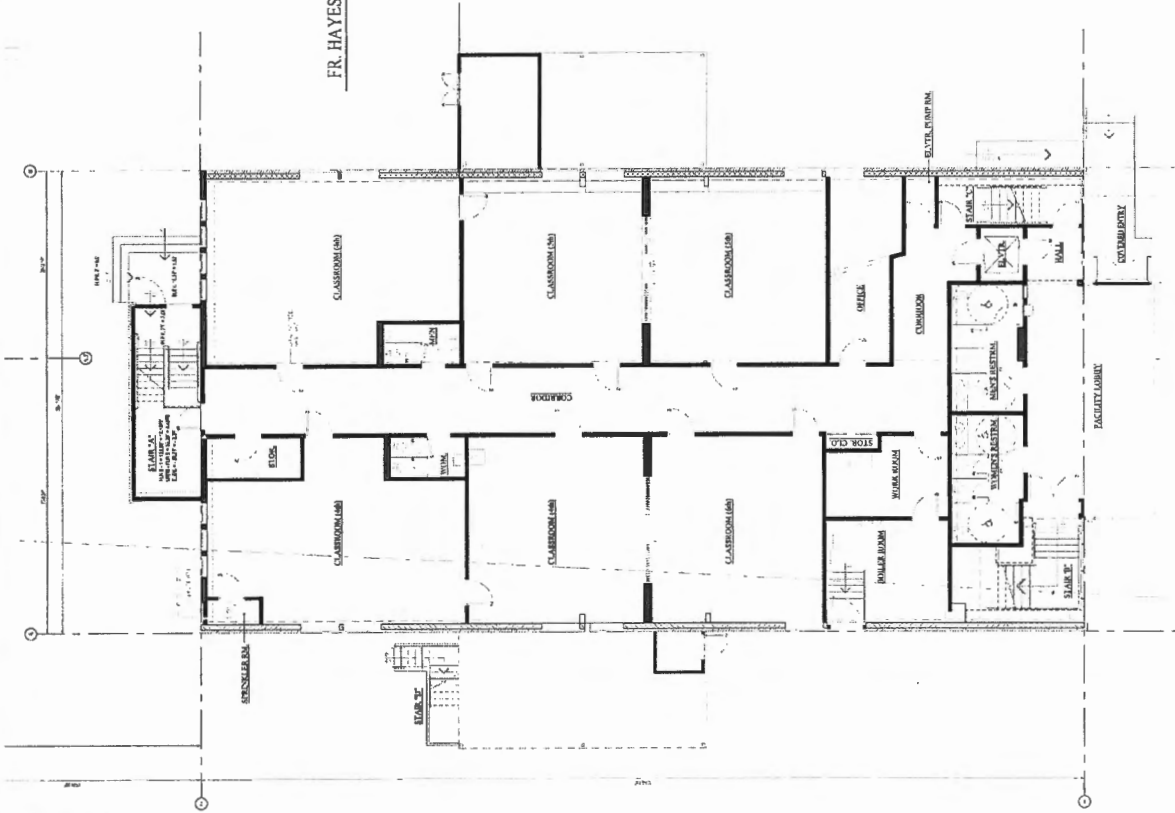
BUILDING AREA

FOR ALL BUILDING AREA

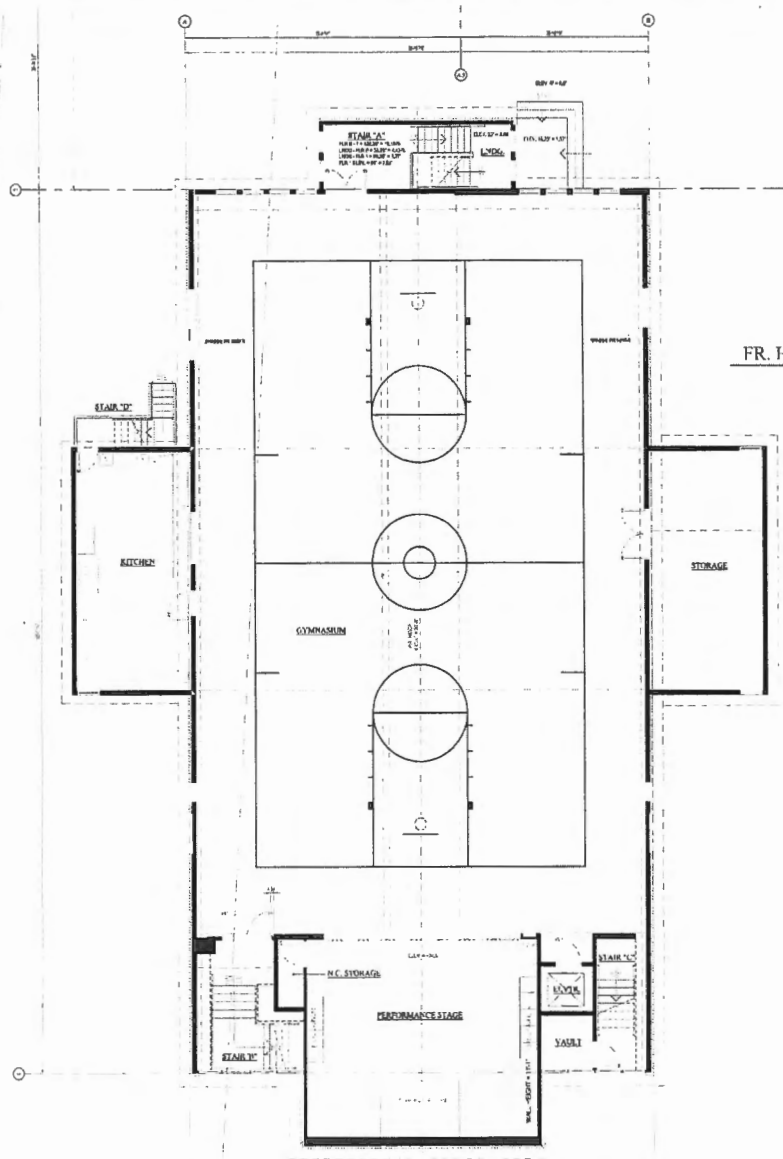
EXISTING CONDITIONS DRAWINGS - SEPTEMBER 16, 2011
 NOT FOR CONSTRUCTION

ST. BRIGID SCHOOL RENOVATION
 695 STEVENS AVENUE
 PORTLAND, MAINE 04103

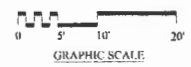
A-203 AS



NOT TO SCALE
 ALL DIMENSIONS ARE IN FEET AND INCHES
 UNLESS OTHERWISE SPECIFIED



FR. HAYES BUILDING - FIRST FLOOR PLAN
3/16" = 1'-0"



- PLAN LEGEND**
- EXISTING WALL TO REMAIN
 - NEW MASONRY WALL
 - NEW METAL STUD WALL
 - NEW METAL STUD WALL
 - 2x4 CONCRETE PANEL WALL
 - EXISTING WALL TO BE REMOVED
 - EXISTING BRICK WALL TO REMAIN
 - EXISTING MASONRY (CMU) WALL
 - NEW BUILDING ADVERTISEMENTS
- BUILDING AREA**
- (1) EXISTING BRICK CURB ELEMENT
 - (2) NEW BRICK CURB ELEMENT
 - (3) EXIST OR EQUIPMENT TO BE REINFORCED
- TOTAL BUILDING AREA

EXISTING CONDITIONS DRAWINGS - SEPTEMBER 16, 2011
NOT FOR CONSTRUCTION

ST. BRIGID SCHOOL RENOVATION
695 STEVENS AVENUE
PORTLAND, MAINE 04103

A-204 AS



DATE	DESCRIPTION

DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.
1344 WASHINGTON AVENUE PORTLAND, MAINE PH (207) 772-4661 FAX (207) 772-8833
PROJECT NO. 080111 PROJECT TITLE ST. BRIGID SCHOOL RENOVATION
SCALE: 1/8" = 1'-0" SHEET TITLE FIRST FLOOR PLAN - FR. HAYES BLDG.

Barbara Barhydt - St. Brigid Catholic School - Fr. Hayes Center Existing Conditions

From: "David Leasure" <davidleasure@myfairpoint.net>
To: "Barbara Barhydt" <bab@portlandmaine.gov>, "Marge Schmuckal" <mes@portla...>
Date: Monday, August 06, 2012 2:40 PM
Subject: St. Brigid Catholic School - Fr. Hayes Center Existing Conditions
CC: "Mary Ann Russo" <maryann.russo@portlanddiocese.org>, "Mary Gordon" <mar...>
Attachments: A204_AS_FR_HAYES_FIRST.pdf; A203_AS_FR_HAYES_BSMT.pdf; Site_Bldg_Fr_Hayes.pdf

Hi Barbara:

Per our conversation today with regard to the possibility that the Fr. Hayes Center did not secure a Conditional Use Permit (R5 Zone) when it was originally constructed, I have attached the Fr. Hayes Center - Existing Conditions Floor Plans which were prepared by my office in 2011. The current plans (Fr. Hayes Stair Retrofit Plans) that we recently submitted reflecting the addition of a new stair on the South side of the Fr. Hayes center do not require any changes to the building's interior on either floor.

I've also attached a scan of the original building Plan (Site_Bldg_Fr_Hayes.pdf) that was designed and prepared by Mr. Wilbur Ingalls, R.A. It is my understanding that the Fr. Hayes Center Facility was constructed in 1967. The original drawing indicates classrooms on the Lower Level and a Gymnasium (basket ball court) on the first floor. I am not privy to any permitting information. I have spoken with the School Development Officer and she is looking through her files to see if there is any documentation relevant to prior conditional use or building permitting.

I will forward you any relevant documentation that we find. Please let me know what your and Marge's findings are at your earliest convenience. If you have any additional questions, please don't hesitate to contact me.

Best regards,

David D. Leasure, R.A.
Architectural Associates Inc.
24 Sea Rose Lane
Freeport, Maine 04032
Off. 207-797-8661
Cell 207-841-8880
Fax 207-797-8533
E-mail davidleasure@myfairpoint.net

**TRANSMITTAL
COVER SHEET**

DATE: August 02, 2012

TO: Ms. Barbara Barhydt - Development Review Service Manager
City of Portland, Maine - Planning & Urban Development
389 Congress Street
Portland, Maine 04101

PROJECT: Fr. Hayes Stair Retrofit Project
St. Brigid Catholic School
695 Stevens Avenue
Portland, Maine 04103

TRANSMITTAL:

<u>Copies</u>	<u>Date</u>	<u>Description</u>	<u>Action Code</u>
1	06/25/12	Construction Documents (30 x 42 Drawings)	E
1	08/02/12	Administrative Authorization Application	E
1	07/31/12	Admin Authorization Fee (Ch. #6622 for \$50.00)	E
1	N/A	Project Description	E
1	N/A	Certificate of Design Application	E
1	N/A	Certificate of Design	E
1	N/A	Accessibility Building Code Certificate	E

Action A. Action Indicated on transmitted item. D. For Signature & forwarding as noted below
B. No Action Required. E. See Remarks below.
C. For Signature & return to this office.

SUBJECT: Fr. Hayes - Stair Retrofit Project: Administrative Authorization Application

MEMORANDUM:

Dear Barbara:

Enclosed please find an application for Administrative Authorization for the above referenced project. Please review the application and let me know if you need any additional materials. Thank you.

Best Regards,



DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.
24 SEA ROSE LANE FREEPORT, MAINE Ph. (207) 797-8661 Cell (207) 841-8880 Fax (207) 797-8533
Email davidleasure@myfairpoint.net

cc: Fr. James LaFontaine, S.J. - Pastor; Our Lady of Hope Parish
Mary Ann Russo - Dir. Of Operations and Development St. Brigid School
File

DAVID D. LEASURE
 ARCHITECTURAL ASSOCIATES, INC.
 1344 WASHINGTON AVE.
 PORTLAND, MAINE 04103
 207-797-8661

DATE	INVOICE	AMOUNT

EZShield™ Check Fraud
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6620

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PAY SEVEN THOUSAND AND SEVENTY AND 00/100 DOLLARS

DATE	TO THE ORDER OF	HRS	GROSS	F.I.C.A.	FED WITH	STATE	DISC.	CHECK NO.
7/17/12	City of Portland, ME.							6620
			FR. HAYES STAIR-PERMIT FEE					
			DESCRIPTION					

\$ 770.00

CUMBERLAND COUNTY
 FEDERAL CREDIT UNION

⑈006620⑈ ⑆211287696⑆10000377180088⑈

McBee® One-Writes

**TRANSMITTAL
COVER SHEET**DATE: July 17, 2012TO: City of Portland, Maine
Building Inspections Division
389 Congress Street
Portland, Maine 04101PROJECT: Fr. Hayes Stair Retrofit Project
St. Brigid Catholic School
695 Stevens Avenue
Portland, Maine 04103

TRANSMITTAL:

Copies	Date	Description	Action Code
1	06/25/12	Construction Documents (30 x 42 Drawings)	E
1	06/25/12	Reduced Construction Documents (11x17 color Dwgs.)	E
1	06/17/12	General Building Permit application	E
1	06/29/12	Application Fee (Ck. #6620 for \$770.00)	E
1	N/A	Project Description	E
1	N/A	Certificate of Design Application	E
1	N/A	Certificate of Design	E
1	N/A	Accessibility Building Code Certificate	E

Action A. Action Indicated on transmitted item.
B. No Action Required.
C. For Signature & return to this office.D. For Signature & forwarding as noted below
E. See Remarks below.SUBJECT: Fr. Hayes - Stair Retrofit Project: Building Permit Application

MEMORANDUM:

Dear Sir/Madam:

Enclosed please find an application for a Building Permit for the above referenced project. Please review the application and let me know if you need any additional materials. Thank you.

Best Regards,



DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.
24 SEA ROSE LANE FREEPORT, MAINE Ph. (207) 797-8661 Cell (207) 841-8880 Fax (207) 797-8533
Email davidleasure@myfairpoint.net
cc: Fr. James LaFontaine, S.J. - Pastor, Our Lady of Hope Parish
Mary Ann Russo - Dir. Of Operations and Development St. Brigid School
File

Barbara Barhydt - St. Brigid Catholic School - Fr. Hayes Center Existing Conditions

From: "David Leasure" <davidleasure@myfairpoint.net>
To: "Barbara Barhydt" <bab@portlandmaine.gov>, "Marge Schmuckal" <mes@portla...>
Date: Monday, August 06, 2012 2:40 PM
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CC: "Mary Ann Russo" <maryann.russo@portlanddiocese.org>, "Mary Gordon" <mar...>
Attachments: A204_AS_FR_HAYES_FIRST.pdf; A203_AS_FR_HAYES_BSMT.pdf; Site_Bldg_Fr_Hayes.pdf

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Best regards,

David D. Leasure, R.A.
Architectural Associates Inc.
24 Sea Rose Lane
Freeport, Maine 04032
Off. 207-797-8661
Cell 207-841-8880
Fax 207-797-8533
E-mail davidleasure@myfairpoint.net



Certificate of Design Application

From Designer: DAVID D. LEASURE - ARCHITECTURAL ASSOC. INC
 Date: JULY 17, 2012
 Job Name: FR. HAYES CENTER STAIR PROJECT (ST. BRIGID SCHOOL)
 Address of Construction: 695 STEVENS AVENUE, PORTLAND, ME. 04103

2003 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year IBC-2009 Use Group Classification (s) EDUCATIONAL (E), Assembly (A-3)
 Type of Construction Type VA
 Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC YES
 Is the Structure mixed use? ~~YES~~ NO If yes, separated or non separated or non separated (section 302.3) N/A
 Supervisory alarm System? YES Geotechnical/Soils report required? (See Section 1802.2) NO - SEEKING EXCEPTION 1803.2

Structural Design Calculations

Submitted for all structural members (106.1 - 106.11)

Design Loads on Construction Documents (1603)

Uniformly distributed floor live loads (7603.11, 1807)

Floor Area Use	Loads Shown
<u>STAIR/LANDING</u>	<u>100 PSF</u>

Wind loads (1603.1.4, 1609)

1609.1.1 Design option utilized (1609.1.1, 1609.6)
100 mph Basic wind speed (~~1809.2~~) 1609.3
II / 1.0 Building category and wind importance Factor, w table 1604.5, 1609.5)
B Wind exposure category (1609.4)
± 0.18 Internal pressure coefficient (ASCE 7)
N/A Component and cladding pressures (1609.1.1, 1609.6.2.2)
20 PSF Main force wind pressures (7603.1.1, 1609.6.2.1)

Earth design data (1603.1.5, 1614-1623)

BEARING Design option utilized (1614.1)
B Seismic use group ("Category")
0.24/0.14 Spectral response coefficients, S_D & S_{D1} (1615.1)
C Site class (1615.1.5)

N/A Live load reduction
N/A Roof live loads (1603.1.2, 1607.11)
49 PSF Roof snow loads (1603.7.3, 1608)
70 PSF Ground snow load, P_g (1608.2)
49 PSF If $P_g > 10$ psf, flat-roof snow load P_f
1.0 If $P_g > 10$ psf, snow exposure factor, C_e
1.0 If $P_g > 10$ psf, snow load importance factor, I_s
1.0 Roof thermal factor, C_t (1608.4)
N/A Sloped roof snowload, P_R (1608.4)
B Seismic design category (1616.3)
SHEAR WALLS Basic seismic force resisting system (1617.6.2)
6 1/2 / 4 Response modification coefficient, R , and deflection amplification factor, C_d (1617.6.2)
STATIC Analysis procedure (1616.6, 1617.5)
1.74 KIP Design base shear (1617.4, 1617.5.1)
Flood loads (1803.1.6, 1612)
N/A Flood Hazard area (1612.3)
125.0 FT. Elevation of structure
Other loads
N/A Concentrated loads (1607.4)
N/A Partition loads (1607.5)
N/A Misc. loads (Table 1607.8, 1607.6.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404)



Certificate of Design

Date: July 17, 2012

From: DAVID D. LEASURE - ARCHITECTURAL ASSOC. INC.

These plans and / or specifications covering construction work on:

FR. HAYES CENTER - EXIT STAIR

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the ~~2003~~ *International Building Code* and local amendments.
2009

Signature: 
DAVID D. LEASURE

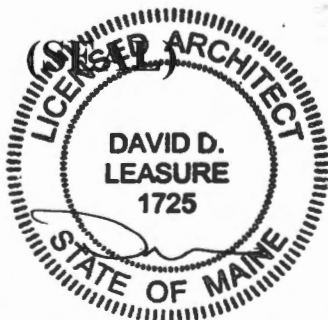
Title: PRESIDENT

Firm: ARCHITECTURAL ASSOC. INC.

Address: 24 SEA ROSE LAKE

FREEMONT, ME. 04032

Phone: 207-841-8880



For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov



Accessibility Building Code Certificate


Designer: DAVID D. LEASURE - ARCHITECTURAL ASSOC. INC.

Address of Project: FR. HAYES CENTER - ST. BRIGID SCHOOL
695 STEVENS AVENUE, PORTLAND, ME. 04103

Nature of Project: ADDITION OF NEW EXIT STAIR ON SOUTH
SIDE OF EXISTING FR. HAYES CENTER

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.

NOTE: USE EXEMPT FROM ADA (28 CFR) - RELIGIOUS ENTITY

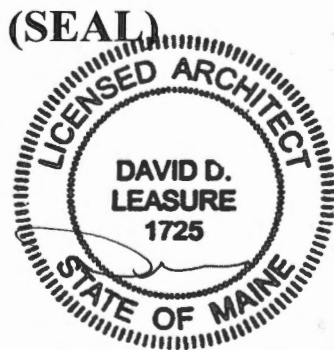
Signature: 
DAVID D LEASURE

Title: PRESIDENT

Firm: ARCHITECTURAL ASSOC. INC.

Address: 24 SEA ROSE LAKE
FREEMONT, ME. 04032

Phone: 207-841-8880



For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov

Assessor's Office | 389 Congress Street | Portland, Maine 04101 | Room 115 | (207) 874-8486

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Current Owner Information:

Services

Applications

Doing Business

Maps

Tax Relief

Tax Roll

Q & A

[browse city services a-z](#)

[browse facts and links a-z](#)

CBL 144 D003001
Land Use Type RELIGIOUS
Property Location 695 STEVENS AVE
Owner Information ROMAN CATHOLIC BISHOP OF PORTLAND
 PO BOX 11559
 PORTLAND ME 04104

Book and Page
Legal Description 144-D-3
 STEVENS AVE 695-699
 ELMWOOD ST 64-74
 11200 SF

Acres 0.2571

Current Assessed Valuation:

TAX ACCT NO. 21394 **OWNER OF RECORD AS OF APRIL 2012**
 ROMAN CATHOLIC BISHOP OF
 PORTLAND
 PO BOX 11559
 PORTLAND ME 04104

LAND VALUE \$83,600.00
BUILDING VALUE \$1,034,500.00
RELIGIOUS INSTITUTIONS (\$1,118,100.00)
NET TAXABLE - REAL ESTATE \$0.00
TAX AMOUNT \$0.00

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or [e-mailed](#).

Building Information:

Building 1
Year Built 1969
Style/Structure Type SCHOOL
Units 1
Building Num/Name 1 - FATHER HAYES CENTER
Square Feet 14472

[View Sketch](#) [View Map](#) [View Picture](#)



Exterior/Interior Information:

Building 1
Levels 01/01
Size 6794
Use SCHOOL
Height 10
Walls BRICK/STONE
Heating HW/STEAM
A/C NONE

Building 1
Levels 02/02
Size 7678
Use AUDITORIUM/THEATER
Height 15
Walls BRICK/STONE
Heating HW/STEAM
A/C CENTRAL

[New Search](#)



Best viewed at 800x600, with Internet Explorer

Assessor's Office | 389 Congress Street | Portland, Maine 04101 | Room 115 | (207) 874-8486

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Current Owner Information:

Services

Applications

Doing Business

Maps

Tax Relief

Tax Roll

Q & A

CBL 143 A037001
Land Use Type SINGLE FAMILY
Property Location 16 ST JOSEPH ST
Owner Information ROMAN CATHOLIC BISHOP OF PORTLAND
 PO BOX 11559
 PORTLAND ME 04104
Book and Page
Legal Description 143-A-37 144-D-1
 ST JOSEPH ST 10-20
Acres 0.2435

Current Assessed Valuation:

[browse city services a-z](#)

[browse facts and links a-z](#)

TAX ACCT NO. 21286 **OWNER OF RECORD AS OF APRIL 2012**
 ROMAN CATHOLIC BISHOP OF PORTLAND
 PO BOX 11559
 PORTLAND ME 04104
LAND VALUE \$66,000.00
BUILDING VALUE \$589,700.00
PARSONAGES (\$20,000.00)
NET TAXABLE - REAL ESTATE \$635,700.00
TAX AMOUNT \$11,963.88

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or [e-mailed](#).



Building Information:

Building 1

Year Built 1957
Style/Structure Type MANSION
Stories 2
Units 1
Bedrooms 8
Full Baths 4
Half Baths 3
Total Rooms 22
Attic FULL FINSH
Basement FULL
Square Feet 7138

[View Sketch](#) [View Map](#) [View Picture](#)



Best viewed at 800x600, with Internet Explorer

New Search

FR. HAYES STAIR RETROFIT PROJECT FOR ST. BRIGID CATHOLIC SCHOOL 695 STEVENS AVENUE PORTLAND, MAINE 04103

LIST OF CONSTRUCTION DOCUMENTS

COVER	TITLE SHEET & GENERAL NOTES
FH-C-100	SITE CONSTRUCTION & EROSION CONTROL NOTES, SITE LEGEND
FH-C-200	PROPOSED SITE LAYOUT & EROSION CONTROL PLAN
FH-C-201	SITE DETAILS
FH-F-200 R1	FOUNDATION PLAN & DETAILS
FH-A-200 R1	LOWER LEVEL FLOOR PLAN
FH-A-201 R1	FIRST FLOOR PLAN & DOOR SCHEDULE
FH-A-202 R1	ROOF PLAN & ROOF DETAILS
FH-ST-200 R1	ROOF STRUCTURAL FRAMING PLAN
FH-A-400 R1	STAIR - EXTERIOR ELEVATIONS
FH-A-500-1 R1	STAIR - BUILDING SECTIONS
N/A	PROJECT MANUAL DATED JUNE 01, 2012

GENERAL NOTES

<p>1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND REGULATIONS OF THE STATE OF MAINE.</p> <p>2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.</p> <p>3. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE CITY OF PORTLAND.</p> <p>4. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES.</p> <p>5. PROTECT ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN.</p> <p>6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL ADJACENT PROPERTIES AND UTILITIES.</p> <p>7. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.</p> <p>8. THE CONTRACTOR SHALL MAINTAIN A NEAT AND ORDERLY WORK SITE AT ALL TIMES.</p> <p>9. ALL MATERIALS SHALL BE STORED PROPERLY ON THE WORK SITE.</p> <p>10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.</p> <p>11. 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VENDOR DESIGNED/BUILD SYSTEMS/COMPONENTS

NOTE: THE FOLLOWING SYSTEMS WILL BE DESIGNED AND INSTALLED BY SEPARATE DESIGN-BUILD CONTRACTORS.

- STAIR HEATING
- STAIR ELECTRICAL POWER DISTRIBUTION AND LIGHTING
- FR. HAYES CENTER FIRE ALARM SYSTEM MODIFICATIONS

OWNER DESIGNED SYSTEMS/COMPONENTS

NOTE: THE FOLLOWING SYSTEMS WILL BE DESIGNED BY THE OWNER.

- NONE AT THIS TIME

PROJECT ALLOWANCES

- FIELD TESTING ALLOWANCE \$ 1,000.00

PROJECT ALTERNATES

- ALTERNATE 1: BELL TOWER
- ALTERNATE 2: DUROLAST WHITE REFLECTIVE PVC ROOF MEMBRANE

RECEIVED

JUL 23 2012

Dept. of Building Inspections
City of Portland Maine

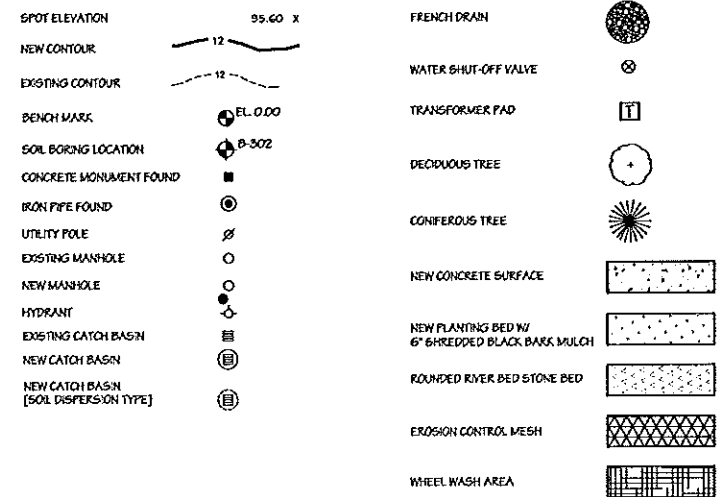
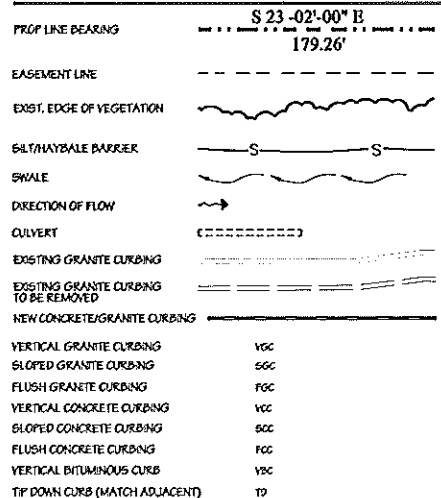
ARCHITECT:

DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.
1000 BROADWAY, PORTLAND, ME 04103
TEL: 603.761.1234 FAX: 603.761.1235

STRUCTURAL ENGINEER:

MFL ENGINEERING
1000 BROADWAY, PORTLAND, ME 04103
TEL: 603.761.1234 FAX: 603.761.1235

SITE LEGEND



SITE CONSTRUCTION AND EROSION CONTROL NOTES

GENERAL NOTES

1. PLAN OF THE ROMAN CATHOLIC CHURCH IN PORTLAND MAINE SURVEYED IN NOVEMBER 1928 BY E. C. JORDAN & CO. UNRECORDED.
2. THE CITY BLUE SHEETS FOR STEVENS AVE, ELMWOOD ST., ST. JOSEPH ST., AND TREMAYNE ST.
3. PLAN OF TREMAYNE STREET, RECORDED IN THE CLAMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 13 PAGE 17.
4. "PORTLAND WATER DISTRICT, PORTLAND SEWER SYSTEM INFILTRATION-FLOW ANALYSIS, SYSTEM BASE MAPPIING, STUDY AREA 1" BY HUNTER BALLEW ASSOCIATES DATED AUGUST 1976.

SITE NOTES:

1. OWNER OF RECORD: ROMAN CATHOLIC BISHOP OF PORTLAND
2. LOCUS IS SHOWN AS LOTS 144-D-1, 2, 3 AND 143-A-82, 37 ON CITY OF PORTLAND'S ASSESSORS MAPS.
3. BEARINGS ARE BASED ON MAINE STATE PLANE COORDINATE SYSTEM MAINE WEST ZONE 13.
4. BENCH MARK: MONUMENT BOLT 3' OFF SET EASTERLY SIDE STEVENS AVENUE, FIRST ANGLE SOUTHERLY OF ARBOR STREET, ELEVATION 127.26 NOV 0 1926.
5. BUILDING FOOTPRINTS SHOWN HEREON WERE PROVIDED BY CLIENT.
7. BOUNDARY AND TOPOGRAPHIC INFORMATION IS BASED ON "BOUNDARY & TOPOGRAPHIC SURVEY PLAN AT ST. JOSEPH ROMAN CATHOLIC CHURCH, STEVENS AVENUE, PORTLAND, MAINE" DRAWING PREPARED BY OWEN HASKELL, INC. FALMOUTH, MAINE DATED SEPTEMBER 10, 2011.
8. ALL MATERIALS AND INSTALLATION DETAILS SHALL MEET MDDOT AND THE CITY OF PORTLAND, MAINE'S TECHNICAL DESIGN STANDARDS.
9. THE SITE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AND KEEPING STREETS CLEAN AND FREE OF DIRT AND DEBRIS DURING ALL CONSTRUCTION PROCESSES. SEE THE EROSION CONTROL PLAN DWG. C-100 AND THE SPECIFICATION MANUAL. THE FINAL PLAN SHALL BE REVIEWED AND APPROVED BY THE CITY OF PORTLAND, MAINE.
10. SEE DRAWING C-100 FOR ADDITIONAL CONSTRUCTION AND EROSION CONTROL REQUIREMENTS.

UTILITY NOTES:

1. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEY FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED IN THIS PLAN OR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. CALL 480-0346 AT LEAST THREE BUSINESS DAYS BEFORE PERFORMING ANY CONSTRUCTION. DUE TO OSHA CONFINED SPACE REQUIREMENTS, ALL INVERTS AND PIPE SIZES MUST BE VERIFIED PRIOR TO ANY CONSTRUCTION.

1. THESE DRAWINGS DEPICT REQUIRED SOIL EROSION CONTROL MEASURES. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE CONSTRUCTION SITE IN SUCH A MANNER THAT:
 - A. SOIL EROSION IS KEPT TO A MINIMUM.
 - B. NO CONSTRUCTION SEDIMENT LEAVES THE CONSTRUCTION SITE PROPER.
 - C. ALL POSSIBLE MEASURES ARE EMPLOYED TO PREVENT SEDIMENT FROM ENTERING DRAINAGE COURSES AND METWAYS EVEN BEYOND THE DESIGN SLOPE ON THESE DRAWINGS.
2. GENERAL CONTRACTOR SHALL VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES BY CONTACTING "DIG SAVER" (1-888-344-7232) AND ALL UTILITY COMPANIES SERVING THE PROPERTY PRIOR TO BEGINNING EXCAVATION PROCEDURES.
3. PROVIDE SILT FENCING AROUND ALL EARTH MOVING OR DISTURBANCE ACTIVITIES. PROVIDE SILT SACKS IN ALL ON AND OFF-SITE CATCH BASINS DURING EARTH MOVING PROCEDURES. SEE SITE PLAN FOR PROPOSED SILT FENCE LOCATIONS.
4. GENERAL CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO COMMENCING CONSTRUCTION.
5. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A DEMOLITION, EARTH MOVING PERMIT AND CONSTRUCTION DEBRIS DISPOSAL PERMIT FROM THE CITY OF PORTLAND, MAINE PRIOR TO COMMENCING CONSTRUCTION.
6. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A ROAD OPENING PERMIT FROM THE CITY OF PORTLAND, MAINE FOR ANY UTILITY OR CURB WORK WITHIN THE CITY STREET RIGHT-OF-WAY.
7. SILTATION AND SOIL BARRIER SHALL BE INSTALLED AROUND ANY EARTH MOVING OR DISTURBANCE ACTIVITY TO PREVENT MOVEMENT OF SOIL INTO STREAMS, BROOKS, DRAINAGE AND ROAD DITCHES. DETENTION AND SEDIMENTATION POND, AND ON OFF-SITE PRIVATE AND MUNICIPAL CATCH BASINS.
8. GENERAL CONTRACTOR SHALL PROVIDE AND MAINTAIN ALL PEDESTRIAN AND VEHICULAR TRAFFIC CONTROL DEVICES DURING CONSTRUCTION, DELIVERIES, LOADING, AND ON STREET/ROAD OPENING PROCEDURES.
9. NOTIFY ARCHITECT IMMEDIATELY IF FIELD CONDITIONS ENCOUNTERED DIFFER FROM THOSE SHOWN ON THESE DRAWINGS.
10. PROVIDE SECONDARY PIPE BELLIES OF SIMILAR MATERIAL WHERE PIPING AND CONDUIT PASS THRU FOUNDATION WALLS AND SLABS.
11. GENERAL CONTRACTOR SHALL PERFORM ALL SITE WORK IN ACCORDANCE WITH THE STATE OF MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION, BEST MANAGEMENT PRACTICES - 147521. BEST PRACTICES PUBLISHED BY THE CLAMBERLAND COUNTY SOIL AND WATER CONTROL DISTRICT AND THE DEPARTMENT OF ENVIRONMENTAL PROTECTION, EPA.
12. NEW UNDERGROUND ELECTRICAL SERVICE CABLE TO BE INSTALLED IN 3/4" MIN. SCHEDULE 40 PVC AT 12" BELOW ROUGH GRADE ELEVATION. PROVIDE CAUTION TAPE AT 6" INCHES DIRECTLY ABOVE ELECTRICAL SERVICE CONDUIT, TYP.
13. ALL UNDERGROUND SITE LOCATING CONDUIT TO BE INSTALLED IN 1" MIN. SCHEDULE 40 PVC AT 12" BELOW ROUGH GRADE ELEVATION. PROVIDE CAUTION TAPE AT 6" INCHES DIRECTLY ABOVE ELECTRICAL SERVICE CONDUIT, TYP.
14. PLANTING BEDS SHALL BE PREPARED WITH 3" SHREDDED BLACK BARK MULCH OVERLANDSCAPING FABRIC AND 12" MIN. FINE LOW PLANTING MIXTURE. LOW MULCH SHALL BE TESTED AND BE COMPRISED OF 30% SILT, 30% CLAY AND 30% SAND.
15. USE PERMANENT SEED MIXTURES AND RATES BETWEEN MAY 15 AND SEPTEMBER 30.
16. USE TEMPORARY SEED MIXTURES FOR PERIODS LESS THAN 12 MONTHS. IF USING TEMPORARY SEED MIXTURES AND RATES BETWEEN OCTOBER 1 AND MAY 14, RE-SEED WITH PERMANENT SEED MIXTURES AFTER 5/16.
17. **SEED MIXTURES:**

PERMANENT SEED MIXTURE	APPLICATION RATE
KENTUCKY BLUEGRASS	20 LBS. PER ACRE
CREeping RED FESCUE	20 LBS. PER ACRE
PERENIAL RYEGRASS	8 LBS. PER ACRE
TOTAL SEED RATE	45 LBS. PER ACRE
TEMPORARY SEED MIXTURE	APPLICATION RATE
OATS	80 LBS. PER ACRE 401 - 5/14
ANNUAL RYEGRASS	40 LBS. PER ACRE
BROWN TOP	80 LBS. PER ACRE 5/15 - 8/14
ANNUAL RYEGRASS	80 LBS. PER ACRE 5/15 - 8/14
WINTER RYE	110 LBS. PER ACRE 8/15 - 9/30
WINTER RYE (PROTECT WITH MULCH COVER)	110 LBS. PER ACRE 9/31 - 1/31
18. **LIME AND FERTILIZER:**

LIME AND FERTILIZER RATES SHALL BE BASED ON FIELD SOIL TESTING OF ON-SITE TOPSOILS BY A CERTIFIED LABORATORY. SUBMIT TEST RESULTS TO ARCHITECT FOR DIRECTION.
19. **MULCH:**

STRAW OR HAY (4000-6000)	70 - 80 LBS. PROTECTED AREAS
STRAW OR HAY (4000-6000)	180 - 270 LBS. (W/OUT AREAS)
SHREDDED OR C-ROPPED	30 - 375 LBS.
LITE HEAVY EXCELSION MULCH	AS REQUIRED, BEYOND TO HIGH VELOCITY AS REQUIRED AREAS & STEEP SLOPES
20. **MULCH AND/OR FENCING:**

PER 8" TIME	LIQUID ASPHALT
MULCH MESHING	WOOD CELLULOSE FIBER
ASPHALT EMULSION	CEMENTAL SLACK
21. INSTALL NEW STAIR MULCH ON ALL NEW BEEDING TO PREVENT SOIL COMPACTION, LAKE RUNOFF, CONTROL WEEDS AND CONSERVE MOISTURE.
22. THE GENERAL CONTRACTOR SHALL NOT UNLOAD OR STORE HEAVY EQUIPMENT OR BUILDING SUPPLIES ON EXISTING PAVED SURFACES. ALL DAMAGE TO THE OWNERS OR ADJACENT PROPERTY SHALL BE IMMEDIATELY REPAIRED AND RETURNED TO THE ORIGINAL CONDITION AS DIRECTED BY THE ARCHITECT.
23. WASH CONSTRUCTION VEHICLE TIRES IN WHEELS TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC ROADS. PERFORM WASH AND ON AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN. PREVENT ALL SEDIMENT FROM ENTERING STORM DRAINS, DITCHES, OR WATERCOURSES THROUGH USE OF SAND BAGS, GRAVEL, BARRIERS, OR OTHER APPROVED METHODS. SEE SITE PLAN FOR PROPOSED SEDIMENT CONTROLS.
24. MAINTAIN THE CONSTRUCTION ENTRANCE IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS OF WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL CRUSHED STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANUP ANY MEASURED LINES TO TRAP SEDIMENT. ALL SEDIMENT, SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHTS OF WAY MUST BE REMOVED IMMEDIATELY.
 - * STONE SIZE: ASH TO DESIGNATION #14, SIZE (1/4" - 1 1/2") USE CRUSHED STONE
 - * LENGTH: AS EFFECTIVE BUT NOT LESS THAN 8' FT.
 - * THICKNESS: NOT LESS THAN 1"
 - * WIDTH: NOT LESS THAN FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS
25. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION, BEST MANAGEMENT PRACTICES PUBLISHED BY THE CLAMBERLAND COUNTY SOIL AND WATER CONSERVATION DISTRICT AND THE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 1991, REV. 2007.
26. THE CONTRACTOR IS RESPONSIBLE FOR ANY FINES RESULTING FROM EROSION OR SEDIMENTATION FROM THE SITE ON TO NEIGHBORING PROPERTIES, WATERBODIES OR METWAYS AS A RESULT OF CONSTRUCTION ACTIVITY AT THIS PROJECT SITE.
27. LOWEN AND SEED ALL DISTURBED AREAS AS SOON AS POSSIBLE AFTER DISTURBANCE, BUT NO LATER THAN 7 DAYS. USE WATER SEED NOTES AND SPECIFICATIONS IF APPROPRIATE.
28. INSPECT SOIL EROSION MEASURES WEEKLY AND DIRECTLY AFTER STORM EVENTS WITH RAINFALL GREATER THAN 1/4" INCH. MAKE ALL REPAIRS TO FACILITIES AND SEDIMENT CONTROL STRUCTURES AS SOON AS POSSIBLE, BUT NO LATER THAN 7 DAYS. CLEAN AND RESET FILTER BARRIERS, SILT FENCES, AND STONE CHECK DAMS, WHICH ACCUMULATE SEDIMENT AND DEBRIS.
29. PROTECT AND STABILIZE, OR RECONSTRUCT ALL AREAS NOT SCHEDULED FOR EROSION PROTECTION OR STABILIZATION BUT WITH SIGNIFICANT EROSION PROBLEM. NOTIFY OWNER AND ARCHITECT OF ANY SIGNIFICANT EROSION PROBLEM.
30. TEMPORARILY SEED WITHIN 7 DAYS AND AREAS WHICH WILL BE LEFT DISTURBED AND UNCOVERED FOR MORE THAN 90 DAYS WITH A TEMPORARY SEED MIX. LISTED BELOW. DO NOT USE PERMANENT SEED MIX AFTER SEPTEMBER 15.
 - * MULCH ALL AREAS SEEDING 90 DAY SOIL IS NOT VISIBLE THROUGH THE MULCH REGARDLESS OF THE APPLICATION RATE. DURING THE GROWING SEASON (APRIL 15 - SEPT. 30) USE MATS FOR MULCH AND NETTING ON:
 - SLOPES STEEPER THAN 15%
 - WITHIN 50' FT. OF STREAMS AND METWAYS
31. BETWEEN OCTOBER 1 AND APRIL 14, USE MATS FOR MULCH NETTING ON:
 - SIDES OF SLOPES ON GRASSSED WATERWAYS
 - SLOPES STEEPER THAN 15%
 INSTALL MATS IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS.
32. INSTALL EROSION CONTROL BLANKETS IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS. BLANKETS TO BE NORTH AMERICAN GREEN PRODUCT (CUSHN) OR APPROVED EQUAL. SEE SITE PLAN FOR REQUIRED LOCATIONS.
33. FOLLOW SILT FENCE MANUFACTURER'S WRITTEN INSTRUCTIONS FOR INSTALLATION OF SILT FENCE. SECURE ENTIRE BOTTOM OF FENCE TO EARTH BY BURYING BOTTOM OF FENCE IN A TRENCH. SEE SILT FENCE DETAILS.
34. PROVIDE AND MAINTAIN DUST CONTROL MEASURES AS NECESSARY TO PREVENT DUST FROM BLINDING ONTO NEIGHBORING PROPERTY OR TRACKING ONTO ADJACENT ROADS AND STREETS. GRADE AND SHAPE ROADS TO ALLOW DRAINAGE AND TO PREVENT PONDING. APPLY A 30% SOLUTION OF CALCIUM CHLORIDE AT A RATE NOT TO EXCEED 0.37 GALLONS PER SQUARE YARD (1.57 POUNDS OF DRY PRODUCT PER SQUARE YARD OR 1.5 POUNDS PER SQUARE YARD).
35. PROVIDE THE ARCHITECT WITH SHOP DRAWINGS AND OR TESTING DATA FOR ALL PROJECT COMPONENTS, FILL, CONCRETE, PRODUCTS, SYSTEMS, ETC. PRIOR TO ORDERING OR ACCEPTING THE SAME INTO THE PROJECT. SUBMIT A MINIMUM OF FOUR (4) ORIGINAL COPIES TO THE ARCHITECT FOR REVIEW AND WRITTEN APPROVAL. ALLOW 10 DAYS FOR ARCHITECT'S REVIEW AND APPROVAL. SEE PROJECT MANUAL SECTION 0300, SUBMITTALS.
36. PROVIDE TESTING REPORTS FOR ALL SOILS, FILLS, SAND, LOW AND CONCRETE USED OR INCORPORATED INTO THE PROJECT. OWNER WILL PAY THE COST FOR TESTING FROM A "TESTING ALLOWANCE" TO BE CARRIED BY THE RESPECTIVE BOOKER IN THEIR BASE BID. SEE TITLE SHEET AND SPECIFICATION MANUAL.

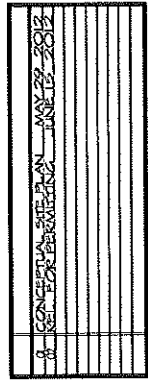
1. THESE SITE DRAWINGS ARE BASED ON BOUNDARY LINE SURVEY BY LEO TAYLOR & SONS SURVEY PREPARED BY FRANK H. EMERY, JR. DATED OCTOBER 10, 1889.
2. TOPOGRAPHIC INFORMATION IS BASED ON PLAN DEPICTING THE RESULTS OF A TOPOGRAPHIC SURVEY PREPARED BY JAMES D. MADOLE, ALL DATED JUNE 10, 2011.
3. THE LOCATIONS OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON ADJACENT SURVEYS, RECORD DRAWINGS, AND NOTES PROVIDED TO THE ARCHITECT. LOCATIONS OF UNDERGROUND UTILITIES AND STRUCTURES MAY VARY FROM THE LOCATIONS SHOWN HEREON. UNLESS SPECIFICALLY NOTED, NO EXCAVATIONS WERE MADE DURING THE PROCESS OF THE SURVEY UNDER WAREHOUSE, THIS MAY BE NOTICED PRIOR TO ANY EXCAVATION.
4. OWNER OF RECORD: ST. BRIGID SCHOOL, LLC IN THE YORK COUNTY RESISTOR OF DEEDS BOOK 104 PAGE 16.
5. BOUNDARIES OF THE TOP OF THE HILL CHANGING NEAR THE SOUTH BOUNDARY LINE WITH A LINE BOUNDARY ELEVATION IS 104.08' ELEVATION + 104.08'.
6. TOPOGRAPHIC INFORMATION IS BASED ON MAPS 103.
7. BOUNDARY LINE INFORMATION IS BASED ON PLAN OF LAND DRAWING PREPARED BY FRANK H. EMERY, JR. DATED OCTOBER 10, 1889.
8. TOPOGRAPHIC INFORMATION IS BASED ON PLAN DEPICTING THE RESULTS OF A TOPOGRAPHIC SURVEY PREPARED BY JAMES D. MADOLE, ALL DATED JUNE 10, 2011.
9. FINISH ELEVATIONS ON THE TOP OF ELEVATIONS WERE BASED ON THE SURVEY BY LEO TAYLOR & SONS SURVEY PREPARED BY FRANK H. EMERY, JR. DATED OCTOBER 10, 1889.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE STATE OF MAINE AND LOCAL UTILITY COMPANIES AT LEAST 3 BUSINESS DAYS, BUT NOT MORE THAN 10 BUSINESS DAYS, PRIOR TO THE COMMENCEMENT OF ANY EXCAVATION, AS IN ACCORDANCE WITH MAINE STATE LAW.
11. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL MEANS METHODS AND TECHNIQUES EMPLOYED TO PERFORM THE WORK SPECIFIED ON THESE DRAWINGS.
12. FINISH ELEVATIONS SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL SAFETY REGULATIONS.
13. ALL WORK SHALL BE PERFORMED IN STRICT CONFORMANCE WITH THE CITY OF PORTLAND, MAINE TECHNICAL DESIGN STANDARDS - LATEST EDITION AND THE TOWN OF BRIGID SCHOOL REQUIREMENT ALONG WITH THE RESPECTIVE UTILITY COMPANY'S REQUIREMENTS.
14. THE OWNER SHALL BE RESPONSIBLE AND PAY FOR ALL PERFORMANCE GUARANTEES SPECIFIED BY THE TOWN OF BRIGID, MAINE PRIOR TO COMMENCING CONSTRUCTION OPERATIONS.
15. THE CONTRACTOR SHALL VERIFY LOCATIONS AND DEPTHS OF ALL UTILITIES WITH THE RESPECTIVE UTILITY COMPANY PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. IF ANY DISCREPANCIES OR CONFLICTS ARE FOUND, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND OWNER PRIOR TO PROCEEDING.
16. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR THE WORK SHOWN ON THESE PLANS PRIOR TO COMMENCING CONSTRUCTION.
17. NO BLASTING WILL BE ALLOWED WITHIN 500' OF ANY UTILITY WITHOUT THE NOTIFICATION AND APPROVAL OF THE APPROPRIATE UTILITY COMPANY. NO LINGERING BLASTING WILL BE PERMITTED WITHIN 500' OF ANY UTILITY UNLESS A WRITTEN APPROVAL FROM THE UTILITY IS OBTAINED.
18. ALL PAVEMENT CUTS SHALL BE SHARPED TO RESULT IN CLEAN EDGES. A SHARP LAPPED JOINT SHALL BE PREPARED AS DETAILED ON THESE DRAWINGS. A BACK-COAT SHALL BE APPLIED ALONG THE SHARP LAPPED JOINTS AND NEW PAVEMENT APPLIED IN A SHARP LAPPED FASHION TO THE EXISTING CUT FASADINGS.
19. THE CONTRACTOR SHALL BE RESPONSIBLE TO RECLAIM OR PROPERLY DISPOSE OF ALL REMOVED BITUMINOUS MATERIALS.
20. INLET AND OUTLET OF ALL COLLECTORS SHALL BE SHARPENED UNLESS OTHERWISE NOTED ON THE PLANS OR DIRECTED BY THE ENGINEER.
21. CONDUIT SHALL BE PROVIDED FOR ALL ELECTRIC, TELEPHONE AND GAS LINES IN ACCORDANCE WITH THE ENGINEERING AND THE RESPECTIVE UTILITY COMPANY'S WRITTEN REQUIREMENTS.
22. THE APPLICANT AGREES TO MAINTAIN THE EXISTING VEGETATION IN THE NEARBY STATE BEYOND THE LIMIT OF WORK AREA.

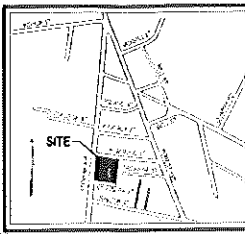
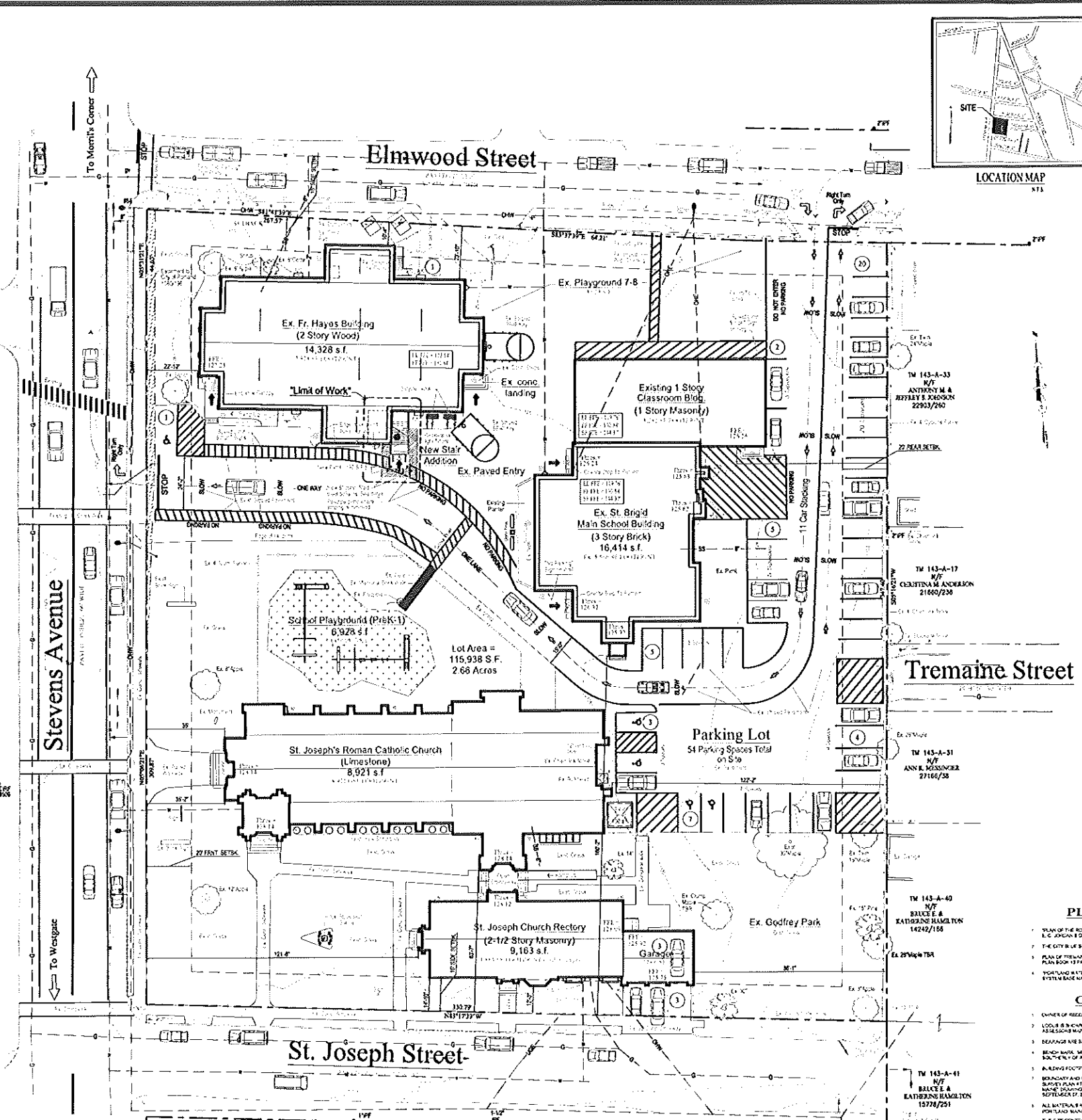
REL. FOR PRICING & PERMITTING - JUNE 25, 2012
NOT FOR CONSTRUCTION

ST. BRIGID CATHOLIC SCHOOL
FR. HAYES CENTER - STAIR ADDITION
695 STEVENS AVENUE
PORTLAND, MAINE 04103

FH-C-100

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SITE DESIGN DATA

- TOTAL LOT AREA:** 115,937 S.F. (2.68 ACRES)
- ZONING DISTRICT:** RS - RESIDENTIAL 5 ZONE
- BUILDING USES:**
 - (A) ST. BRIGID SCHOOL (INSTITUTIONAL CONDITIONAL USE - ELEMENTARY SCHOOL, BC-2012 USE E, EST. 1915 AS ST. JOSEPH'S CATHOLIC SCHOOL)
 - (B) FR. HAYES CENTER - ASSEMBLY & INSTITUTIONAL CONDITIONAL USE - GYMNASIUM W/O SPECTATOR SEATING & ELEMENTARY SCHOOL, BC-2012 USE A-3 & E, EST. 1907 AS FR. HAYES MULTIPURPOSE BUILDING
 - (C) ST. JOSEPH'S CHURCH - ASSEMBLY CONDITIONAL USE - RELIGIOUS WORSHIP, BC-2012 USE A-3, EST. 1929 AS ST. JOSEPH ROMAN CATHOLIC CHURCH
 - (D) ST. JOSEPH RECTORY (RESIDENTIAL USE - DORMITORY) BC-2012 USE R-2, BC-2012 USE A-3, EST. 1924 AS ST. JOSEPH RECTORY
- OWNER OF PROPERTY:** ROMAN CATHOLIC BISHOP OF PORTLAND, MAINE
613 OCEAN AVENUE
PORTLAND, MAINE 04102
BOOK 4245, PAGE 95
- PARKING REQUIRED - (ELEMENTARY SCHOOL):**
 - REQUIRED - PRE-DEVELOPMENT: 22 INSTRUCTION ROOMS AT 1 SPACE PER ROOM = 22 SPACES
 - REQUIRED - POST DEVELOPMENT: 53 SPACES PROVIDED INCL. 4 ACCESSIBLE SPACES
 - REQUIRED - TOTAL: 53 SPACES PROVIDED INCL. 4 ACCESSIBLE SPACES
- PARKING REQUIRED - (CHURCH) EST. 1929:**
 - REQUIRED EXIST. BLDG: 4,692 S.F. OF ASSEMBLY AREA AT 1 SPACE PER 125 S.F. = 37.5 SPACES REQD. INCL. 3 ACCESSIBLE SPACES
 - TOTAL REQUIRED: 37.5 SPACES REQUIRED
 - PROPOSED: 53 SPACES PROVIDED INCLUDING 4 ACCESSIBLE SPACES
- PARKING REQUIRED - (RECTORY) EST. 1927:**
 - REQUIRED - RECTORY: LOGGING (DORMITORY) FACILITY
 - ROOMING UNITS AT 1 SPACE PER 6 ROOMING UNITS = 12 SPACES REQD.
 - TOTAL REQUIRED: 8 SPACES REQUIRED
 - PROPOSED: 8 OFF-STREET SPACES (GARAGE & DRIVEWAY) PROVIDED INCL. 3 SPACES IN ENCLOSED GARAGE

50 SPACE AND BULK REQUIREMENTS FOR ST. BRIGID SCHOOL BUILDING - EST. 1915

	REQUIREMENT	PROPOSED
MINIMUM LOT AREA (ASSEMBLY & SCHOOL)	NONE EXISTING USE - JUNE 1, 1983	115,938 S.F. = 2.68 ACRES
MINIMUM STREET FRONTAGE	50 FT.	54.52 FEET
MINIMUM FLOOR AREA (ON COLLECTOR ST.)	NOT LIMITED	N/A
MINIMUM FRONT YARD SETBACK	20 FT.	22'-11" EXISTING
MINIMUM SIDE YARD (NORTH) SETBACK	15 FT.	10'-4" AND 23'-12" EXISTING
MINIMUM SIDE YARD (SOUTH) SETBACK	15 FT.	140'-2" EXISTING
MINIMUM REAR YARD SETBACK	20 FT.	87'-3" PROPOSED (REDUCED 17'-0")
MINIMUM LOT COVERAGE	45% (25.8% EXISTING)	28.97% PROPOSED
MINIMUM LOT WIDTH	60 FT.	347.40 FT.
MAXIMUM BUILDING HEIGHT:		
- MAIN SCHOOL BLDG.	35 FT.	38 FT. (EXISTING)
- FR. HAYES CENTER	35 FT.	24'-0" (EXISTING)
- ST. JOSEPH CHURCH	35 FT.	39'-4" (EXISTING)
- ST. JOSEPH RECTORY	35 FT.	32'-4" (EXISTING)
LOT DEPTH (MINIMUM)	NO REQUIREMENT	330.78 FT. MIN.

51 BUILDING SUMMARY

	PRE	POST
MAIN SCHOOL BLDG.		
BUILDING FOOTPRINT	5,569 GSF	5,569 GSF
TOTAL BUILDING SQUARE FOOTAGE	13,784 GSF	13,784 GSF
LOT COVERAGE (BUILDING)	5,569 S.F. (4.8%)	5,569 S.F. (4.8%) = (NO INCREASE)
FR. HAYES CENTER		
BUILDING FOOTPRINT	7,518 GSF	7,528 GSF
TOTAL BUILDING SQUARE FOOTAGE	15,218 GSF	15,318 GSF
LOT COVERAGE (BUILDING)	7,518 S.F. (6.5%)	7,528 S.F. (6.5%) = (0.12% INCREASE)
ST. JOSEPH CHURCH		
BUILDING FOOTPRINT	9,218 GSF	9,218 GSF
TOTAL BUILDING SQUARE FOOTAGE	12,118 GSF	12,118 GSF
LOT COVERAGE (BUILDING)	9,218 S.F. (7.9%)	9,218 S.F. (7.9%) = (NO INCREASE)
ST. JOSEPH RECTORY		
BUILDING FOOTPRINT	3,884 GSF	3,884 GSF
TOTAL BUILDING SQUARE FOOTAGE	8,185 GSF	8,185 GSF
LOT COVERAGE (BUILDING)	3,884 S.F. (3.3%)	3,884 S.F. (3.3%) = (NO INCREASE)
TOTAL SITE (ALL BUILDINGS)		
BUILDING FOOTPRINT	25,782 GSF	25,897 GSF
TOTAL BUILDING SQUARE FOOTAGE	56,274 GSF	56,524 GSF
TOTAL LOT COVERAGE (BUILDING)	25,782 S.F. (22.2%)	25,897 S.F. (22.34%) = 0.1% INCREASE
TOTAL SITE IMPERVIOUS AREA (PARKING LOT & BLDG.)		
SITE IMPERVIOUS AREA (PVT. & BLDG. - S.F.)	78,557 S.F.	78,833 S.F.
SITE IMPERVIOUS AREA RATIO (%)	(68.01%)	(68.11%) = 0.09% INCREASE

	PRE	POST
TOTAL SITE IMPERVIOUS AREA (PARKING LOT & BLDG.)		
BUILDING FOOTPRINTS	25,782 S.F.	25,897 S.F.
PAVEMENT & SIDEWALKS	47,416 S.F.	47,372 S.F.
GRASS AND MULCH	39,096 S.F.	38,078 S.F.
TOTALS	112,294 S.F.	111,347 S.F.

PLAN REFERENCES:

- PLAN OF THE ROMAN CATHOLIC CHURCH IN PORTLAND MAINE SUBMITTED AND APPROVED BY THE CITY OF PORTLAND IN 1908.
- THE CITY OF PORTLAND ZONING MAP AS AMENDED BY ST. JOSEPH ST. AND TREMAINE ST.
- PLAN OF PREVIOUS PLANETS REQUIRED BY THE CHAMBERLAIN COUNTY DEPARTMENT OF DEEDS IN PORTLAND, MAINE.
- PORTLAND WATER DEPARTMENT PORTLAND SEWER SYSTEM INFORMATION ANALYSIS SYSTEM BASE MAPS FOR THE AREA BY HANCOCK ASSOCIATES ENGINEERS ARCHITECTS.

GENERAL NOTES:

- OWNER OF RECORDS: ROMAN CATHOLIC BISHOP OF PORTLAND
- LOOK UP RECORDS IN THE CITY OF PORTLAND AND THE CITY OF PORTLAND
- REARRANGE AND REORDER AS SHOWN ON THIS PLAN
- BEFORE ANY CONSTRUCTION BEGINS, THE OWNER SHALL OBTAIN A PERMIT FROM THE CITY OF PORTLAND
- ALL MATERIALS AND INSTALLATION DETAILS SHALL MEET THE CITY OF PORTLAND MAINE BUILDING CODE
- BOUNDARY AND PROPERTY LINES ARE BASED ON BOUNDARY & PROPERTY SURVEY PLAN BY ST. JOSEPH ROMAN CATHOLIC CHURCH, 1908. THE PLAN SHOWS THE EXISTING LOT LINES AND THE PROPOSED LOT LINES. THE PLAN SHALL BE REVIEWED AND APPROVED BY THE CITY OF PORTLAND.
- ALL MATERIALS AND INSTALLATION DETAILS SHALL MEET THE CITY OF PORTLAND MAINE BUILDING CODE
- BOUNDARY AND PROPERTY LINES ARE BASED ON BOUNDARY & PROPERTY SURVEY PLAN BY ST. JOSEPH ROMAN CATHOLIC CHURCH, 1908. THE PLAN SHOWS THE EXISTING LOT LINES AND THE PROPOSED LOT LINES. THE PLAN SHALL BE REVIEWED AND APPROVED BY THE CITY OF PORTLAND.
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UTILITY NOTES:

- THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND ARE NOT GUARANTEED. THE SURVEYOR HAS NO LIABILITY FOR THE ACCURACY OF THE UTILITIES SHOWN ON THIS PLAN. THE USER SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES BEFORE ANY CONSTRUCTION BEGINS. SEE THE RECORD DRAWINGS FOR THE LOCATION AND DEPTH OF ALL UTILITIES. THE PLAN SHALL BE REVIEWED AND APPROVED BY THE CITY OF PORTLAND.
- ALL UTILITIES SHALL BE PROTECTED AND NOT DAMAGED BY ANY CONSTRUCTION.

CP41 BUILDING AREAS

EXISTING MAIN SCHOOL BUILDING	NEW CLASSROOM ADDITION	FR. HAYES GYMNASIUM BUILDING	ST. JOSEPH'S CATHOLIC CHURCH	ST. JOSEPH'S RECTORY
11,218 GSF	4,100 GSF	7,528 GSF	9,218 GSF	3,884 GSF
TOTAL EXISTING AREA	TOTAL NEW CLASSROOM ADDITION	TOTAL FR. HAYES GYMNASIUM BUILDING	TOTAL ST. JOSEPH'S CATHOLIC CHURCH	TOTAL ST. JOSEPH'S RECTORY
11,218 GSF	4,100 GSF	7,528 GSF	9,218 GSF	3,884 GSF
TOTAL EXISTING AREA	TOTAL NEW CLASSROOM ADDITION	TOTAL FR. HAYES GYMNASIUM BUILDING	TOTAL ST. JOSEPH'S CATHOLIC CHURCH	TOTAL ST. JOSEPH'S RECTORY
11,218 GSF	4,100 GSF	7,528 GSF	9,218 GSF	3,884 GSF
TOTAL EXISTING AREA	TOTAL NEW CLASSROOM ADDITION	TOTAL FR. HAYES GYMNASIUM BUILDING	TOTAL ST. JOSEPH'S CATHOLIC CHURCH	TOTAL ST. JOSEPH'S RECTORY
11,218 GSF	4,100 GSF	7,528 GSF	9,218 GSF	3,884 GSF

COMPOSITE SITE LAYOUT PLAN
GRAPHIC SCALE 1" = 20'-0"



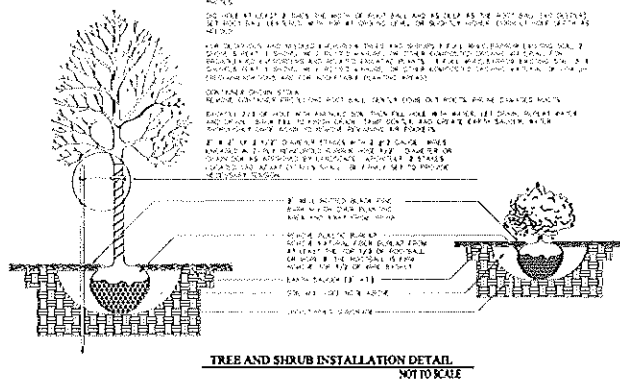
REL. FOR PRICING & PERMITTING - JUNE 25, 2012
NOT FOR CONSTRUCTION

DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.
1344 WASHINGTON AVENUE PORTLAND, MAINE PH. (207) 797-4661 FAX (207) 797-8533
PROJECT NO. 08011 PROJECT TITLE: ST. BRIGID SCHOOL RENOVATION
SCALE: 1" = 20'-0" SHEET TITLE: COMPOSITE SITE LAYOUT PLAN

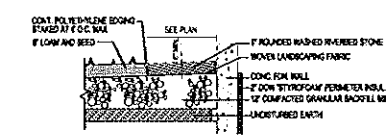
REL. FOR PRICING & PERMITTING - JUNE 25, 2012
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ST. BRIGID CATHOLIC SCHOOL
FR. HAYES CENTER - STAIR ADDITION
695 STEVENS AVENUE
PORTLAND, MAINE 04103

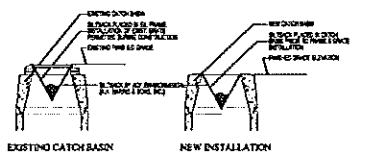
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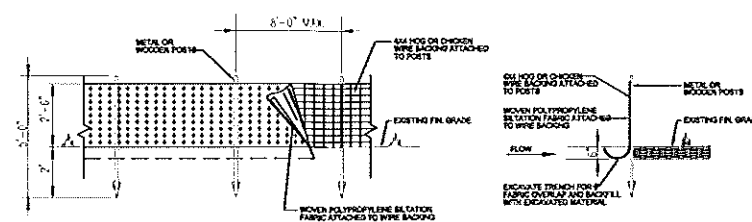
TREE AND SHRUB INSTALLATION DETAIL
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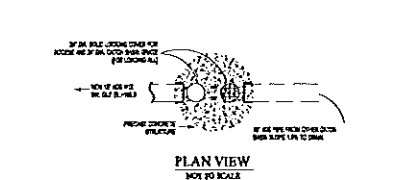
HAVE DRIP STONE BED DETAIL
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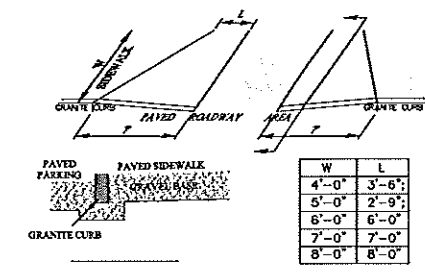
CATCH BASIN PROTECTION DETAIL (SILTSACK)
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SILTATION FENCE DETAIL
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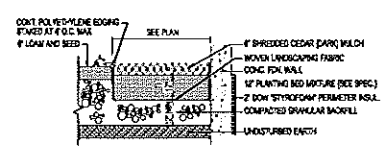


STORMWATER CONTROL STRUCTURE
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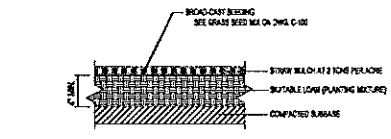


SIDEWALK TIP-DOWN DETAIL
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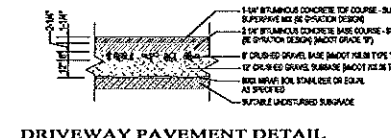
- 1) THE DIMENSIONS SHOWN AT ROADWAY EDGE ARE FIXED DISTANCES.
- 2) RAMP CROSS SECTION TO BE SAME AS ADJACENT SIDEWALK (DEPTH OF SURFACE AND FOUNDATION)
- 3) IN NO CASE ARE THE RAMPS TO BE PLACED BEHIND THIS STOP LINE.



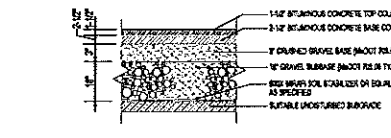
TYPICAL PLANTING BED DETAIL
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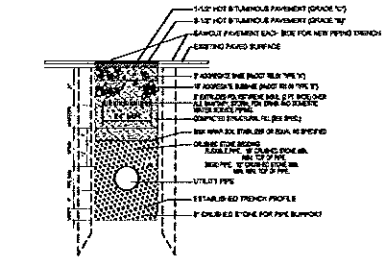
LOAM AND SBED DETAIL
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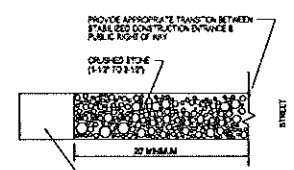
DRIVEWAY PAVEMENT DETAIL
NOT TO SCALE



COLLECTOR STREET DETAIL
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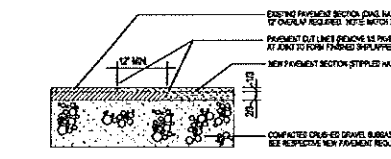


PUBLIC RIGHT OF WAY TRENCH DETAIL
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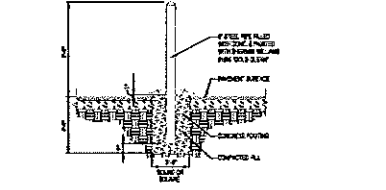


STABILIZED CONSTRUCTION ENTRANCE
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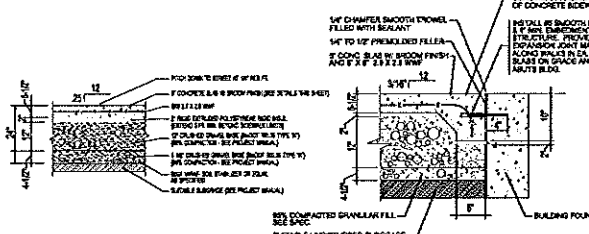
1. STONE SIZE - 1/4\"/>
2. LENGTH - AS EFFECTIVE & NOT LESS THAN 12'
3. THICKNESS - NOT LESS THAN 1\"/>
4. WIDTH - NOT LESS THAN FULL WIDTH OF ALL PORTS OF ACCESS OR EGRESS
5. FINISHING - WHEN NECESSARY, WHERE IT WILL BE OPENED TO REMOVE SEGMENT FROM TO INSTALLED ON TO THE REAR OF WAY, BEING REINFORCED BY REINFORCING STEEL. IT SHALL BE OPEN ON ALL SIDES AND BE PROTECTED FROM COLLAPSE BY BRICK OR CONCRETE AND AN APPROVED METHOD TO BE DETERMINED BY THE ENGINEER. ALL SEGMENTS SHALL BE PREVENTED FROM ENTERING ANY TRENCH OR FROM COLLAPSE BY BRICK OR CONCRETE THROUGH USE OF SAND BACK GRAVEL, BRICKS OR OTHER APPROVED METHOD.
6. MAINTENANCE - THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRIPPING OR FLOODING OF SEGMENT ON TO PUBLIC RIGHT OF WAY. THIS SHALL REQUIRE PROTECTIVE COVERING WITH ADOPTED LIFT LIDS AS CONDITION OF THE PLAN FOR CLEARANCE OF ANY MEASURED LIDS TO TRAFFIC. ALL SEGMENTS SHALL BE OPENED, REINFORCED, OR PACKED ON TO PUBLIC RIGHT OF WAY MUST BE REINFORCED IMMEDIATELY.



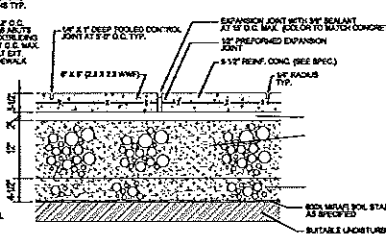
PAVEMENT SAWCUT JOINERY DETAIL
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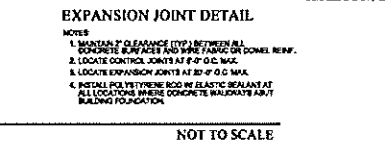
TYPICAL GUARD BOLLARD
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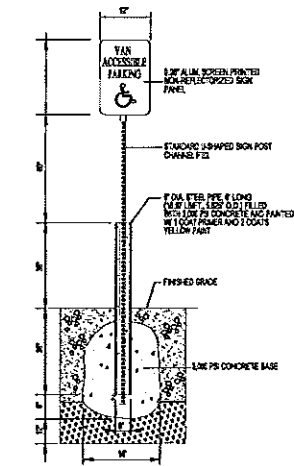
CONCRETE SIDEWALK DETAIL



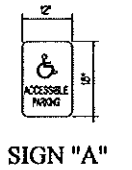
WALK/STRUCTURE JOINT DETAIL



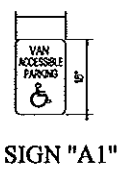
EXPANSION JOINT DETAIL
NOT TO SCALE



SIGN BOLLARD DETAIL
NOT TO SCALE



SIGN "A"



SIGN "A1"



SIGN "B"

REL. FOR PRICING & PERMITTING - JUNE 25, 2012
NOT FOR CONSTRUCTION

ST. BRIGID CATHOLIC SCHOOL
FR. HAYES CENTER - STAIR ADDITION
695 STEVENS AVENUE
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FH-C-202



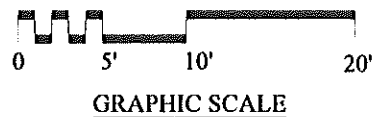
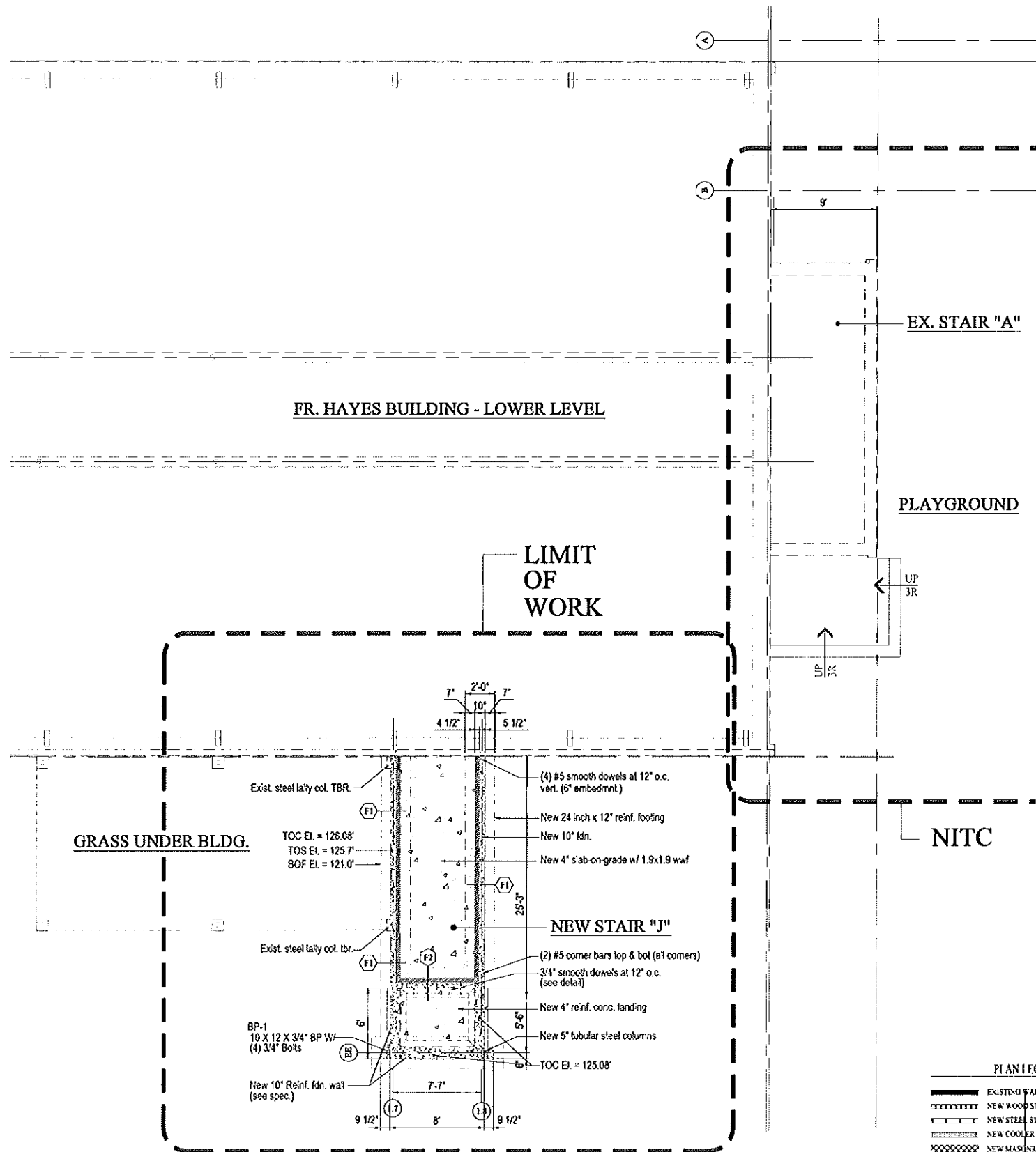
CONCEPTUAL SITE PLAN
DATE: JUNE 28, 2012

DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.
1344 WASHINGTON AVENUE PORTLAND, MAINE
PROJECT NO: 080111 PROJECT TITLE: ST. BRIGID SCHOOL RENOVATION
SCALE: NOT TO SCALE TITLE: SITE DETAILS
PH: (207) 797-8661 FAX: (207) 797-8633

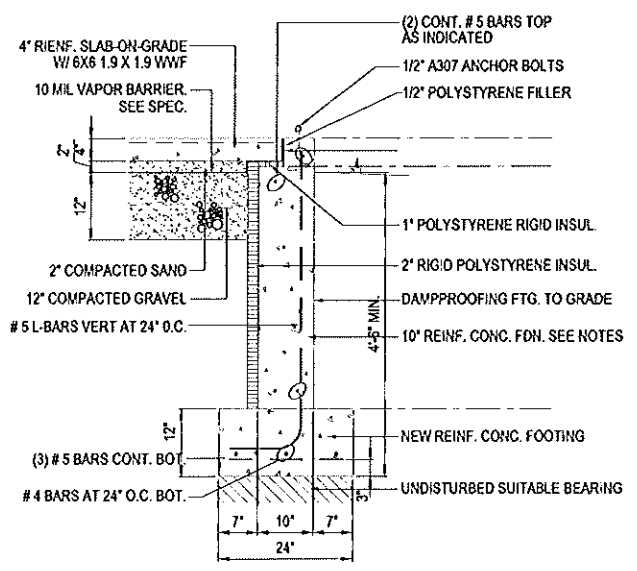
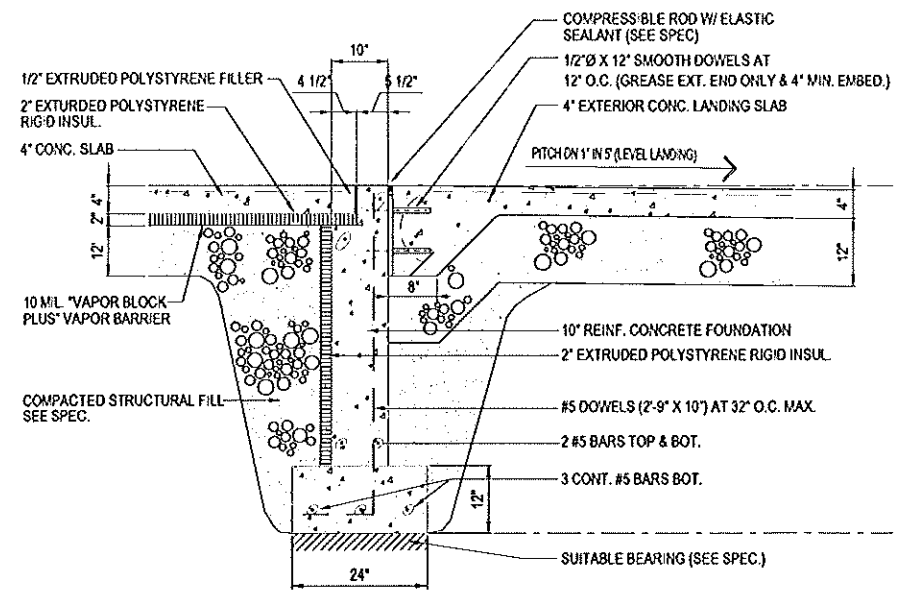
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1	CONSTRUCTION PLAN	MAY 08 2012
2	PROPOSED FOUNDATION PLAN	MAY 08 2012
3	FOUNDATION PLAN	MAY 08 2012
4	FOUNDATION PLAN	MAY 08 2012
5	FOUNDATION PLAN	MAY 08 2012
6	FOUNDATION PLAN	MAY 08 2012
7	FOUNDATION PLAN	MAY 08 2012
8	FOUNDATION PLAN	MAY 08 2012
9	FOUNDATION PLAN	MAY 08 2012
10	FOUNDATION PLAN	MAY 08 2012



- PLAN LEGEND**
- EXISTING WALL TO REMAIN
 - NEW WOOD STUD WALL
 - NEW STEEL STUD WALL
 - NEW COOLER PANEL WALL
 - NEW MASONRY (CMU) WALL
 - NEW BRICK VENEER/STEEL STUD WALL
 - EXISTING BRICK WALL TO REMAIN
 - EXISTING MASONRY (CMU) WALL
 - EXISTING WALL TO BE DEMOLISHED
 - NEW BUILDING ADDITIONS
 - (E) EXISTING DEVICE OR COMPONENT
 - (N) NEW DEVICE OR COMPONENT
 - (R) DEVICE OR COMPONENT TO BE REMOVED



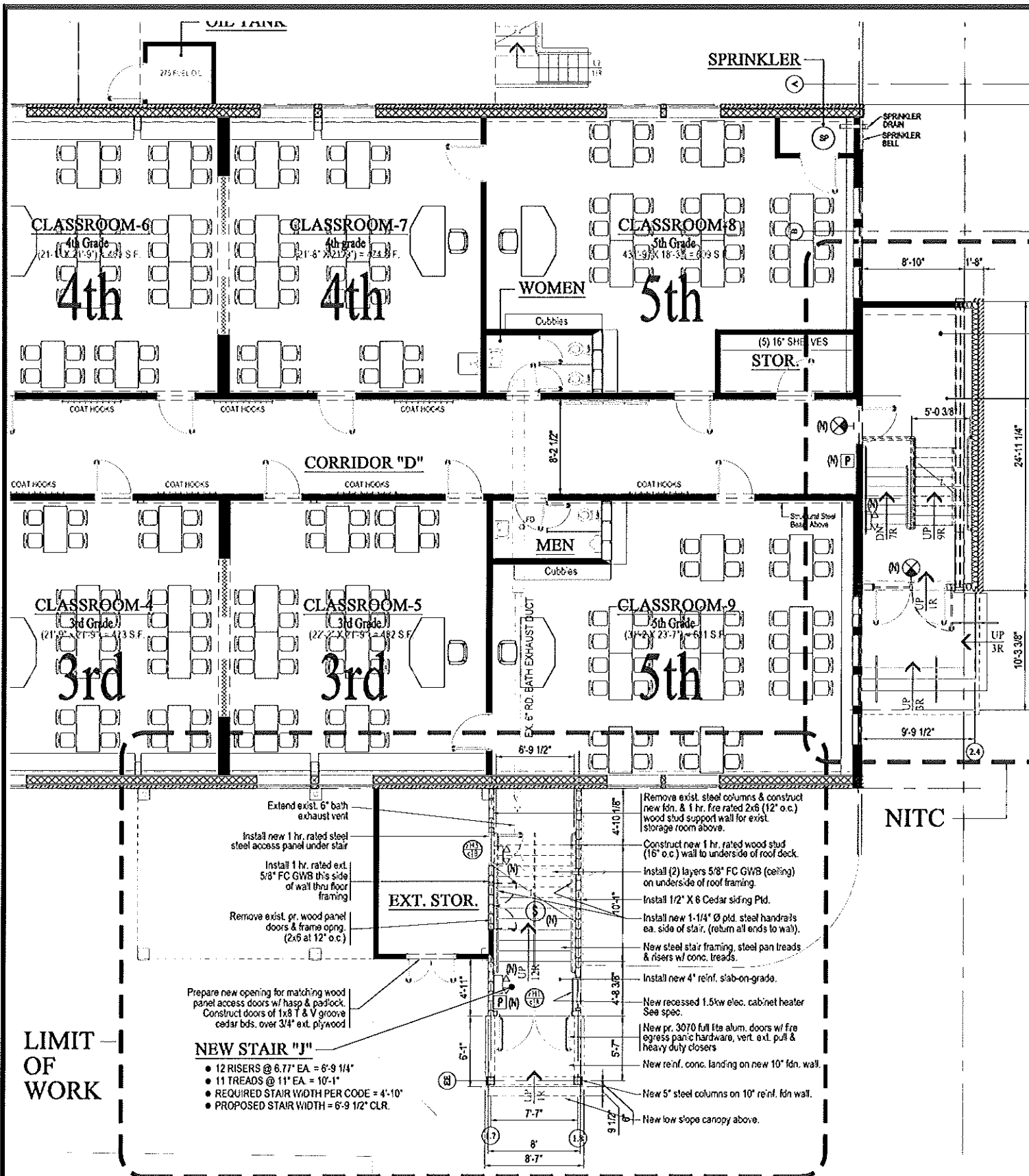
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FR. HAYES STAIR RETROFIT PROJECT
695 STEVENS AVENUE
PORTLAND, MAINE 04103

DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.
1344 WASHINGTON AVENUE PORTLAND, MAINE PH. (207) 797-8661 FAX (207) 797-8333
PROJECT NO: 08011 PROJECT TITLE: ST. BRIGID SCHOOL RENOVATION
SCALE: 1/4" = 1'-0" SHEET TITLE: FR. HAYES STAIR - FOUNDATION PLAN

FH-F-200 R1

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LIFE SAFETY DEVICE LEGEND

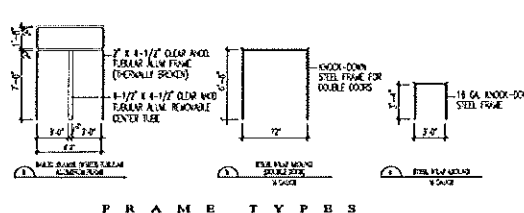
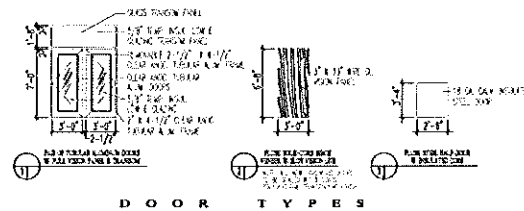
- K1 SYSTEM INTEGRATED EMERGENCY LIGHT (REMOTE HEAD)
- EL SYSTEM INTEGRATED EMERGENCY LIGHT (LAMP)
- NEW ILLUMINATED EXIT SIGN WITH DIRECTIONAL CHEVRON
- P SYSTEM INTEGRATED FIRE PULL STATION
- M SYSTEM INTEGRATED MAGNETIC DOOR HOLDBACK
- H SYSTEM INTEGRATED FIRE HORN (15 LB. HORNS) STROBE (S-S)
- S SYSTEM INTEGRATED PHOTOELECTRIC SMOKE DETECTOR
- 15 LB. ASIC TYPE EXTINGUISHER
- 1 HR. FIRE SEPARATION WALL RATING AS NOTATED
- TRAVEL DISTANCE = 77'
- (E) EXISTING COMPONENT OR DEVICE
- (N) NEW COMPONENT OR DEVICE
- (R) REMOVE EXISTING COMPONENT OR DEVICE

PLAN LEGEND

- EXISTING WALL TO REMAIN
- NEW WOOD STUD WALL
- NEW STEEL STUD WALL
- NEW COOLER PANEL WALL
- NEW MASONRY (CMU) WALL
- NEW BRICK VENEER / STEEL STUD WALL
- EXISTING BRICK WALL TO REMAIN
- EXISTING MASONRY (CMU) WALL
- EXISTING WALL TO BE DEMOLISHED
- NEW BUILDING ADDITIONS
- (E) EXISTING DEVICE OR COMPONENT
- (N) NEW DEVICE OR COMPONENT
- (R) DEVICE OR COMPONENT TO BE REMOVED



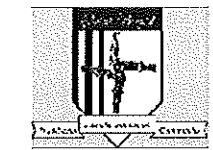
CONSTRUCTION PLAN MAY 08 2012
 ST. BRIGID SCHOOL RENOVATION
 FR. HAYES STAIR - LOWER LEVEL PLAN
 PROJECT NO. 080111 SHEET TITLE: FR. HAYES STAIR - LOWER LEVEL PLAN
 SCALE: 1/4" = 1'-0"



DOOR SCHEDULE								
NO.	DOOR SIZE	DOOR TYPE	JAMB TYPE	FRAME TYPE	RATING	CYLINDER CODE	HARDWARE	REMARKS
FH1	7' x 2 1/2' T&F EA	1	A	STEEL ALUM. M.	0 BNC	KEYS MARK CHK	1.5 KW CABINET HEATER	SEE SPEC.
FH2	7' x 3' 6" CE	2	B	STEEL BR	1 HR. UL LISTED	KEYS CHK	1.5 KW CABINET HEATER	SEE SPEC.
FH3	6' x 3' 6" CE	3	B	STEEL BR	1 HR. UL LISTED	KEYS CHK	1.5 KW CABINET HEATER	SEE SPEC.

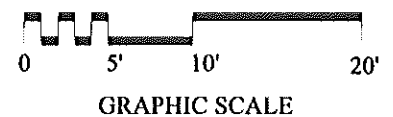
DOOR, FRAME & HARDWARE SCHEDULE
NOT TO SCALE

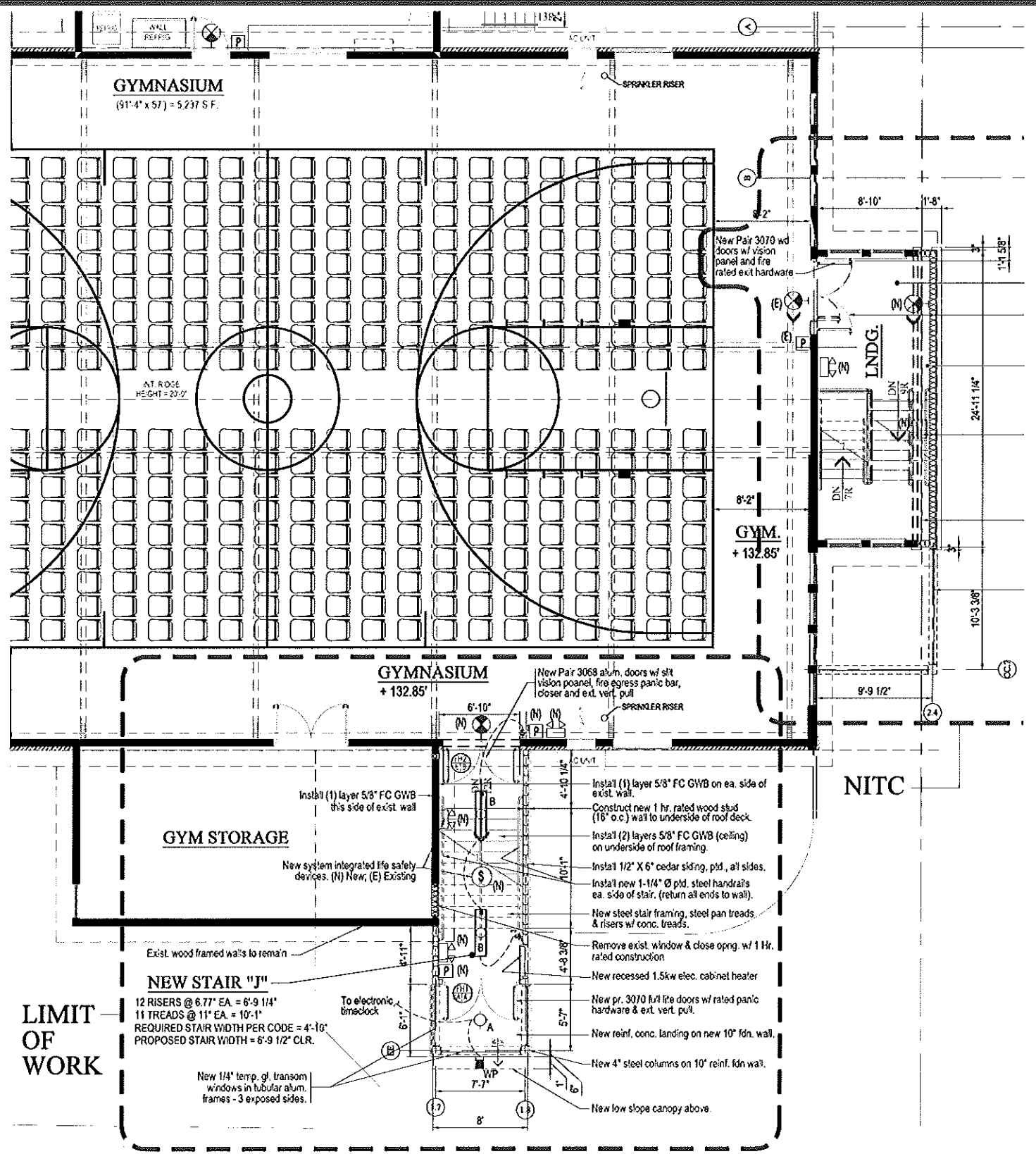
REL. FOR PRICING & PERMITTING - JUNE 25, 2012
NOT FOR CONSTRUCTION



FR. HAYES STAIR RETROFIT PROJECT
695 STEVENS AVENUE
PORTLAND, MAINE 04103

FH-A-200 R1



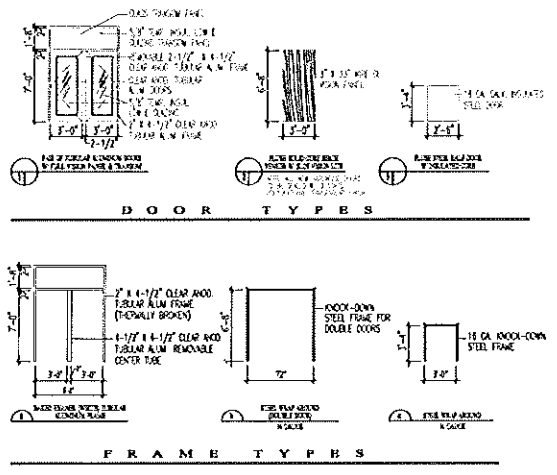


LIFE SAFETY DEVICE LEGEND

- (E) SYSTEM INTEGRATED EMERGENCY LIGHT (REMOTE HEAD)
- (E) SYSTEM INTEGRATED EMERGENCY LIGHT (2 LAMP)
- (H) NEW ILLUMINATED EXIT SIGN WITH DIRECTIONAL CHEVRON
- (P) SYSTEM INTEGRATED FIRE PULL STATION
- (M) SYSTEM INTEGRATED MAGNETIC DOOR HOLDBACK
- (H) SYSTEM INTEGRATED FIRE HORN (H), HORN/STROBE (HS)
- (S) SYSTEM INTEGRATED PHOTOELECTRIC SMOKE DETECTOR
- (E) 10 LB ABC TYPE EXTINGUISHER
- 1 HR --- FIRE SEPARATION WALL RATING AS INDICATED
- TRAVEL DISTANCE = 7' EXISTING COMPONENT OR DEVICE
- (R) REMOVE EXISTING COMPONENT OR DEVICE
- (N) NEW COMPONENT OR DEVICE

PLAN LEGEND

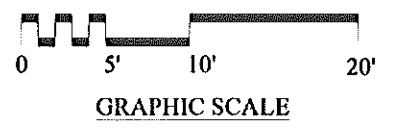
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- NEW WOOD STUD WALL
- NEW STEEL STUD WALL
- NEW COOLER PANEL WALL
- NEW MASONRY (CMU) WALL
- NEW BRICK VENEER / STEEL STUD WALL
- EXISTING BRICK WALL TO REMAIN
- EXISTING MASONRY (CMU) WALL
- EXISTING WALL TO BE DEMOLISHED
- NEW BUILDING ADDITIONS
- (E) EXISTING DEVICE OR COMPONENT
- (N) NEW DEVICE OR COMPONENT
- (R) DEVICE OR COMPONENT TO BE REMOVED



DOOR SCHEDULE									
NO.	DOOR SIZE	DOOR TYPE	JAMB TYPE	FRAME TYPE	RATING	CYLINDER CORE	HARDWARE	REMARKS	
FH1	7' 0" x 2' 0" ALUM	1	A	TUBULAR ALUM. SH	NO RING	4025 WBR CKE	4025 WBR CKE	1. ALL NEW DOORS TO BE INSTALLED TO THE EXISTING FRAME. 2. ALL NEW DOORS TO BE INSTALLED TO THE EXISTING FRAME. 3. ALL NEW DOORS TO BE INSTALLED TO THE EXISTING FRAME. 4. ALL NEW DOORS TO BE INSTALLED TO THE EXISTING FRAME.	
FH2	7' 0" x 3' 0" ALUM	2	B	STEEL SH	1 HR. UL 1059	4025 CKE	4025 CKE	1. ALL NEW DOORS TO BE INSTALLED TO THE EXISTING FRAME. 2. ALL NEW DOORS TO BE INSTALLED TO THE EXISTING FRAME. 3. ALL NEW DOORS TO BE INSTALLED TO THE EXISTING FRAME. 4. ALL NEW DOORS TO BE INSTALLED TO THE EXISTING FRAME.	
FH3	3' 0" x 3' 0" ALUM	3	B	STEEL SH	1 HR. UL 1059	4025 CKE	4025 CKE	1. ALL NEW DOORS TO BE INSTALLED TO THE EXISTING FRAME. 2. ALL NEW DOORS TO BE INSTALLED TO THE EXISTING FRAME. 3. ALL NEW DOORS TO BE INSTALLED TO THE EXISTING FRAME. 4. ALL NEW DOORS TO BE INSTALLED TO THE EXISTING FRAME.	

FIRST FLOOR PLAN - FR. HAYES STAIR

1/4" = 1'-0"



GRAPHIC SCALE

REL. FOR PRICING & PERMITTING - JUNE 25, 2012
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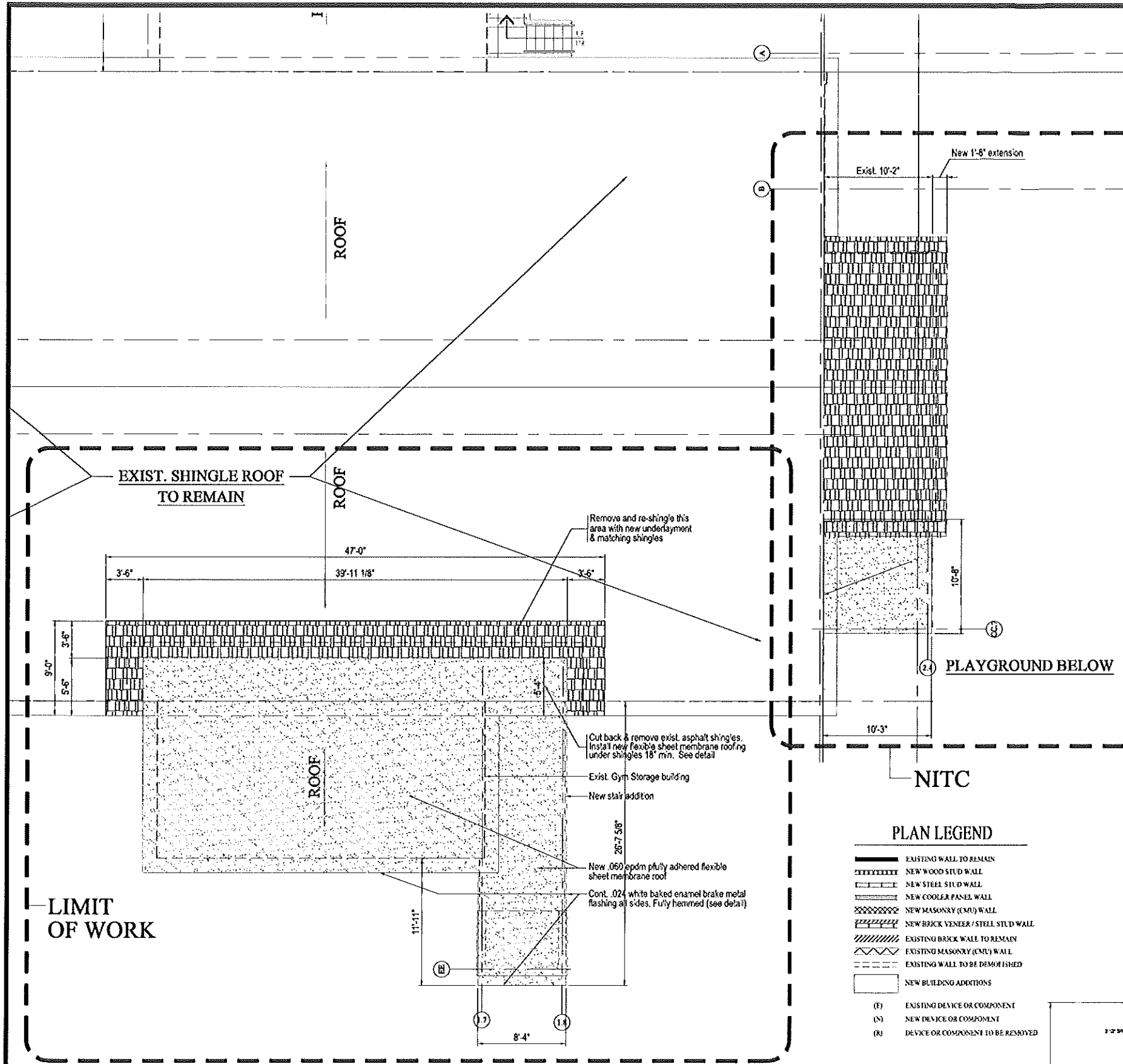
FR. HAYES STAIR RETROFIT PROJECT
695 STEVENS AVENUE
PORTLAND, MAINE 04103

FH-A-201 R1



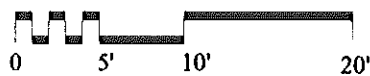
CONSTRUCTION PLAN: FR. HAYES STAIR RETROFIT PROJECT
DATE: MAY 15, 2012
BY: DAVID D. LEASURE
REV. PER ARCHITECT REVIEW: JUNE 25, 2012

DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.
1344 WASHINGTON AVENUE PORTLAND, MAINE PH. (207) 797-8661 FAX (207) 797-8533
PROJECT NO. 080111 PROJECT TITLE: ST. BRIGID SCHOOL RENOVATION
SCALE: 1/4" = 1'-0" SHEET TITLE: FR. HAYES STAIR - FIRST FLOOR PLAN



ROOF PLAN - FR. HAYES STAIR

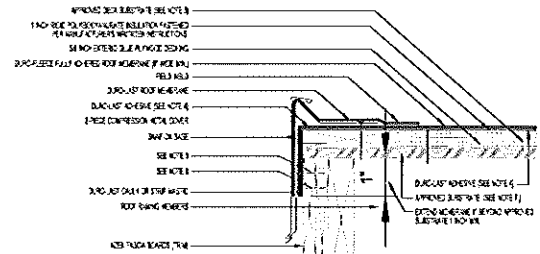
1/4" = 1'-0"



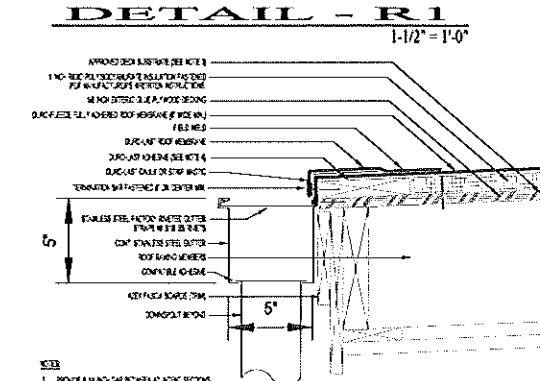
GRAPHIC SCALE

PLAN LEGEND

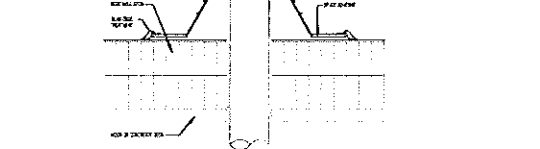
- EXISTING WALL TO REMAIN
- NEW WOOD STUD WALL
- NEW STEEL STUD WALL
- NEW COOLER PANEL WALL
- NEW MASONRY (CMU) WALL
- NEW BRICK VENEER / STEEL STUD WALL
- EXISTING BRICK WALL TO REMAIN
- EXISTING MASONRY (CMU) WALL
- EXISTING WALL TO BE DEMOLISHED
- NEW BUILDING ADDITIONS
- (E) EXISTING DEVICE OR COMPONENT
- (N) NEW DEVICE OR COMPONENT
- (R) DEVICE OR COMPONENT TO BE REMOVED



- DETAIL - R1**
1-1/2" = 1'-0"
1. PROVIDE A ROOF WALL FLASHING DETAIL AS SHOWN TO PREVENT WATER PENETRATION AT THE ROOF WALL JOINT.
 2. PROVIDE A ROOF WALL FLASHING DETAIL AS SHOWN TO PREVENT WATER PENETRATION AT THE ROOF WALL JOINT.
 3. PROVIDE A ROOF WALL FLASHING DETAIL AS SHOWN TO PREVENT WATER PENETRATION AT THE ROOF WALL JOINT.
 4. PROVIDE A ROOF WALL FLASHING DETAIL AS SHOWN TO PREVENT WATER PENETRATION AT THE ROOF WALL JOINT.
 5. PROVIDE A ROOF WALL FLASHING DETAIL AS SHOWN TO PREVENT WATER PENETRATION AT THE ROOF WALL JOINT.
 6. PROVIDE A ROOF WALL FLASHING DETAIL AS SHOWN TO PREVENT WATER PENETRATION AT THE ROOF WALL JOINT.



- DETAIL - R2**
1-1/2" = 1'-0"
1. PROVIDE A ROOF WALL FLASHING DETAIL AS SHOWN TO PREVENT WATER PENETRATION AT THE ROOF WALL JOINT.
 2. PROVIDE A ROOF WALL FLASHING DETAIL AS SHOWN TO PREVENT WATER PENETRATION AT THE ROOF WALL JOINT.
 3. PROVIDE A ROOF WALL FLASHING DETAIL AS SHOWN TO PREVENT WATER PENETRATION AT THE ROOF WALL JOINT.
 4. PROVIDE A ROOF WALL FLASHING DETAIL AS SHOWN TO PREVENT WATER PENETRATION AT THE ROOF WALL JOINT.



VENT PIPE FLASHING DETAIL
NO SCALE
ROOF DETAILS
1-1/2" = 1'-0" 1/4" = 1'-0"



CONSTRUCTION PLANS MAY BE USED FOR CONSTRUCTION OF THE PROJECT ONLY. ANY OTHER USE IS STRICTLY PROHIBITED. REVISED PER STRUCTURAL REVIEW - JUNE 25, 2012

DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.
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PROJECT NO. 080111 PROJECT TITLE: ST. BRIGID SCHOOL RENOVATION
SCALE: 1/4" = 1'-0" SHEET TITLE: FR. HAYES STAIR - ROOF PLAN

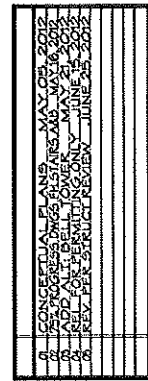
REL. FOR PRICING & PERMITTING - JUNE 25, 2012
NOT FOR CONSTRUCTION



FR. HAYES STAIR RETROFIT PROJECT
695 STEVENS AVENUE
PORTLAND, MAINE 04103

FH-A-202 R1

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STRUCTURAL NOTES:

1. PROVIDE SHOP DRAWINGS TO ARCHITECT FOR APPROVAL PRIOR TO FABRICATION OR ERECTION OF STEEL MEMBERS. CONTRACTOR SHALL BE RESPONSIBLE FOR REVISIONS IN THE WORK IF SHOP DRAWING REVIEW PROCEDURES ARE NOT STRICTLY ADHERED TO.
2. STRUCTURAL STEEL FABRICATION, ERECTION AND CONNECTION DESIGN SHALL CONFORM TO AISC SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL, 10TH EDITION EXCEPT WHERE SHOWN OTHERWISE OR STANDARD PRACTICE.
3. ALL STRUCTURAL STEEL SHALL BE A36 STEEL.
4. ALL PIPE COLUMNS SHALL BE ASTM A500 TYPE C OR S.
5. ALL PIPE COLUMN DESIGNATIONS ARE AS SHOWN.
6. ALL TUBE COLUMNS SHALL BE ASTM A500 GR. B.
7. FIELD CONNECTIONS SHALL BE BOLTED USING 3/4" DIA. ASTM A325 HIGH STRENGTH BOLTS EXCEPT AS NOTED OTHERWISE ON THE DRAWINGS.
8. ALL BEAM TO BEAM AND BEAM TO COLUMN CONNECTIONS SHALL BE DESIGNED FOR A REACTION OF 1/2L PER AISC SPECIFICATION REFERENCE ABOVE.
9. ALL WELDING SHALL BE PERFORMED BY A QUALIFIED WELDER AND SHALL CONFORM TO AWS D1.1 LATEST EDITION.
10. ALL STRUCTURAL DIMENSION LAMBER SHALL BE SPF NO. 2 OR BETTER.
11. ALL FRAMING LAMBER SHALL MAINTAIN A MINIMUM OF FIBER STRESS GRADE RATINGS OF F-1100 FOR SPAN.
12. PROVIDE SOLID BRACING (BROOKING) AT MIDSPAN OF ALL FLOOR JOISTS AND ROOF RAFTERS.
13. PROVIDE SOLID BRACING (BROOKING) AT MIDHEIGHT OF ALL STUD WALLS TALLER THAN 12'-0".
14. INSTALL SOLID OR CORRUGATED DOUBLE WALLED END BEAM AT 8'-0" O.C. ON ALL DIMENSION LAMBER FLOOR FRAMING.
15. PROVIDE AND INSTALL PROPERLY SIZED STEEL JOIST HANGERS AT ALL FLOOR FRAMING. SPECIAL HANGERS FOR HEAVY DUTY HANGERS ARE SHOWN ON THE DRAWINGS.
16. PROVIDE SIMPSON JOIST HANGERS AT ALL FLOOR FRAMING.
17. ALL LAMBER IN CONTACT WITH CONCRETE OR USED FOR ROOF DECK, GAVS, ETC. SHALL BE PRESURE TREATED 60 IMPREGNATION RATIO.
18. ALL PLYWOOD SHALL BE EXTERIOR GRADE. APART FROM INSTALL ALL ROOF PANELS WITH ADHESIVE, PERPENDICULAR TO FRAMING WITH BUZZLE HEAD SCREWS AT 8" O.C. MAX. ON PANEL EDGES AND 12" O.C. MAX. ON PANEL INTERIORS.

GENERAL NOTES:

1. Structural drawings shall be used in conjunction with job specifications and architectural, mechanical, electrical, plumbing, and etc. drawings. Consult these drawings for locations and dimensions of openings, chases, inserts, registers, sleeves, depressions, and other details not shown on structural drawings.
2. All dimensions and conditions must be verified in the field. Any discrepancies shall be brought to the attention of the engineer before proceeding with the affected part of the work.
3. Do not scale plans.
4. Sections and details shown on any structural drawings shall be considered typical for similar conditions.
5. All proprietary products shall be installed in accordance with the manufacturer's written instructions.
6. The structure is designed to be self supporting and stable after the erection is complete. It is the contractor's sole responsibility to determine erection procedures and sequencing to ensure the safety of the building and its components during erection. This includes the addition of necessary shoring, bracing, temporary bracing, guys or tie-downs. Such material shall remain the property of the contractor after completion of the project.
7. All applicable federal, state, and municipal regulations shall be followed, including the federal department of labor occupational safety and health act.

CONCRETE NOTES:

1. All concrete work shall conform to ACI 318-Latest Edition.
2. Concrete strength at 28 days shall be: See Specification Manual.
 - a) 3000 psi for footings, frost walls & exterior piers.
 - b) 3000 psi for all interior slabs-on-grade.
 - c) 3500 psi w/ #5 air entrapment for all exterior slabs-on-grade.
3. All concrete shall be air entrained 4% to 6%.
4. Concrete shall not be placed in water or on frozen ground.
5. Provide PVC sleeves where pipes pass through concrete walls or slabs.
6. Reinforcing bars shall conform to ASTM A615 Grade 60 deformed bars, and shall be detailed, fabricated and erected in accordance with ACI 318-Latest Edition.
7. Welded wire fabric shall be provided in flat slabs.
8. Fiber reinforced concrete shall conform to ASTM C-1116.
9. GC reviewed Submittals (shop drawings) and schedule of all reinforcing steel shall be prepared by the contractor and submitted to the Architect for review and approval prior to commencement of that portion of the work. All accessories must be indicated on the Submittals which shall be submitted as (4) copies to the Architect.
10. Splices of reinforcing bars shall be in accordance with ACI 318. Splices of WWF shall be 6' minimum.
11. Concrete finishes: See Architectural Drawings.
 - a) Interior slabs: Forming polished.
 - b) Exterior slabs: Wood float w/ broom finish.
12. Anchor bolts shall conform to ASTM A307 unless noted otherwise on plan. Anchor bolts at all bracing locations shall conform to ASTM A36.

DESIGN LOADS:

1. Building code: IBC-2009 - International Building Code (2009)
2. Design Live Loads:
 - Roof: 48 psf
 - New Landing & Stair: 100 psf
3. Design wind loads are based on 100 mph basic wind speed.
4. Seismic Design conforms to IBC-2009 & ASCE-2005.

FOUNDATION NOTES:

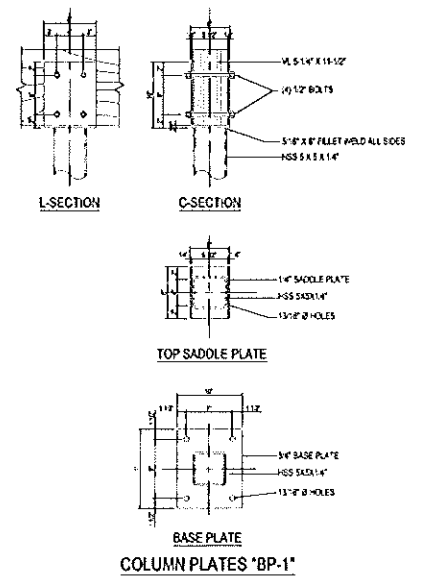
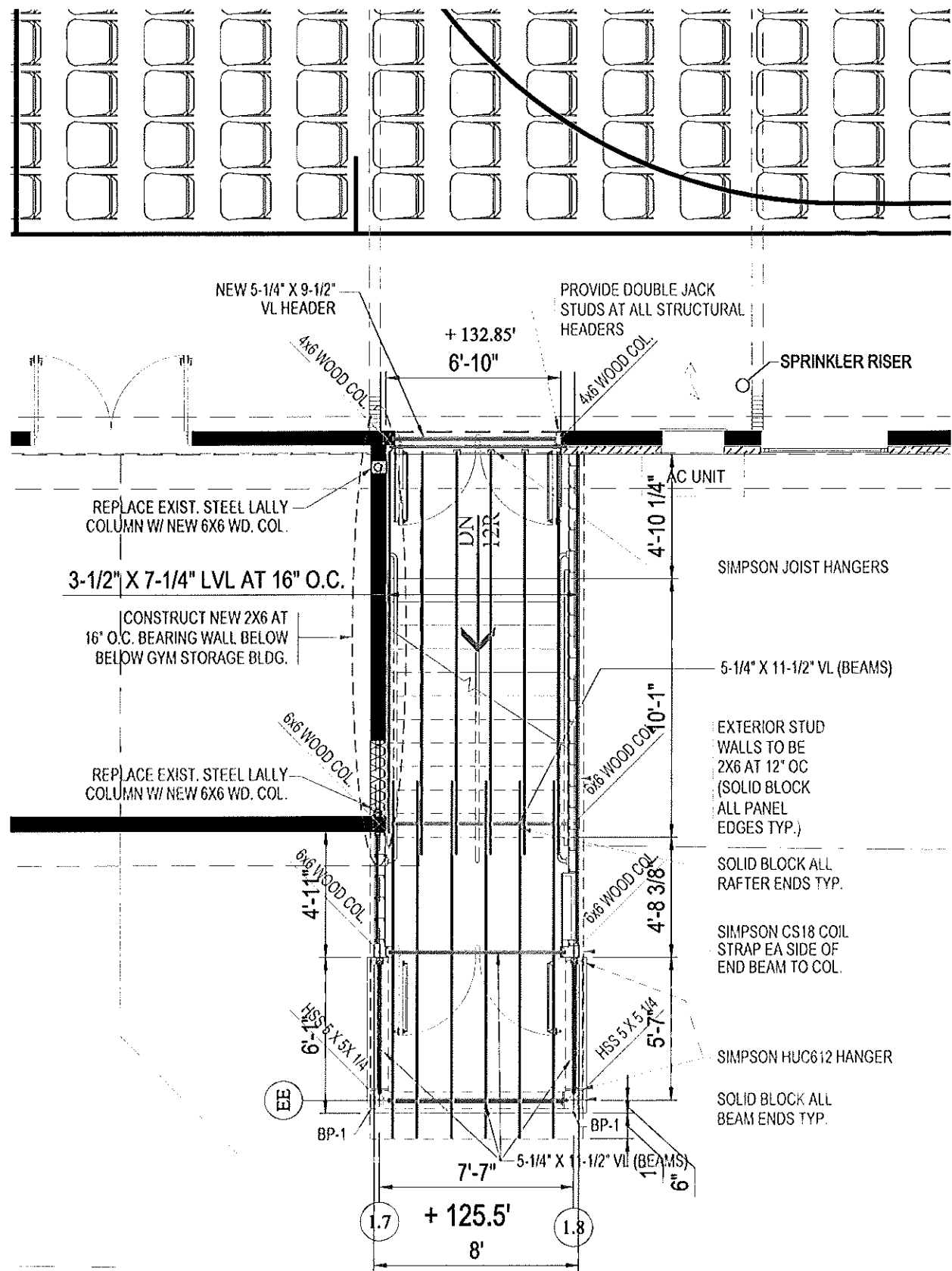
1. Foundations have been designed to conform with the requirements provided in IBC-2009.
2. Exterior footings shall be founded on compacted structural fill or native soil. Provide soil compaction testing prior to placement of footings. See Specification Manual.
3. Exterior strip and spread footings shall be founded a minimum of 4'-6" below finished grade.
4. Slabs on grade shall bear on a minimum of 12" of compacted structural fill overlaid with 4" sand. If loose or undesirable fill are encountered at the slab subgrade level, they shall be over excavated to the surface of the natural soil and replaced with structural fill. Refer to drawings and specifications for vapor barrier requirements.
5. Structural fill shall be used at all locations below footings and slabs and adjacent to the foundation walls. Prior to placement of structural fill, remove all topsoil and other unsuitable material. Compacted structural fill shall consist of clean granular material free of organics, loam, trash, snow, ice, frozen soil or any other objectionable material. It shall be well graded with the following limits:

SCREEN OR SIEVE SIZE	PERCENT FINER BY WEIGHT
8 inch	100
3 inch	70-100
NO. 4	35-70
NO. 40	5-35
No. 200	0-5

6. Structural fill beneath slabs shall be placed in layers not exceeding 8 inches in loose measure and compacted by self-propelled compaction equipment at approximate optimum moisture content to a dry density of at least 95% of the maximum in place dry density as determined by the modified proctor test (ASTM D-1557).
7. Exterior concrete slabs on grade, shall be undertaken by at least 4 feet of structural fill meeting gradation and compaction requirements noted above. Reinforce top of slabs with 6X6 - W1.4XW1.4 WWF.
8. Backfill both sides of foundation walls simultaneously.

METAL DECK NOTES:

1. Steel floor deck shall be as indicated on plan by Vulcraft or approved alternate. Steel deck units shall conform with the latest edition of the "Design Manual for floor and roof decks" by the steel deck institute. Steel floor deck shall be galvanized in accordance with ASTM A525 D60 coating.
2. Fasten steel decking to all steel supports with 5/8" diameter puddle welds at 12" o.c. unless otherwise indicated on plan. Provide welding washers on all deck units 24 gage and lighter.
3. All welding shall conform to AWS D1.3-Latest Edition. Welding electrodes shall be E70XX.



STRUCTURAL STEEL DETAILS
NOT TO SCALE

FR. HAYES STAIR - ROOF FRAMING PLAN

1/2" = 1'-0"

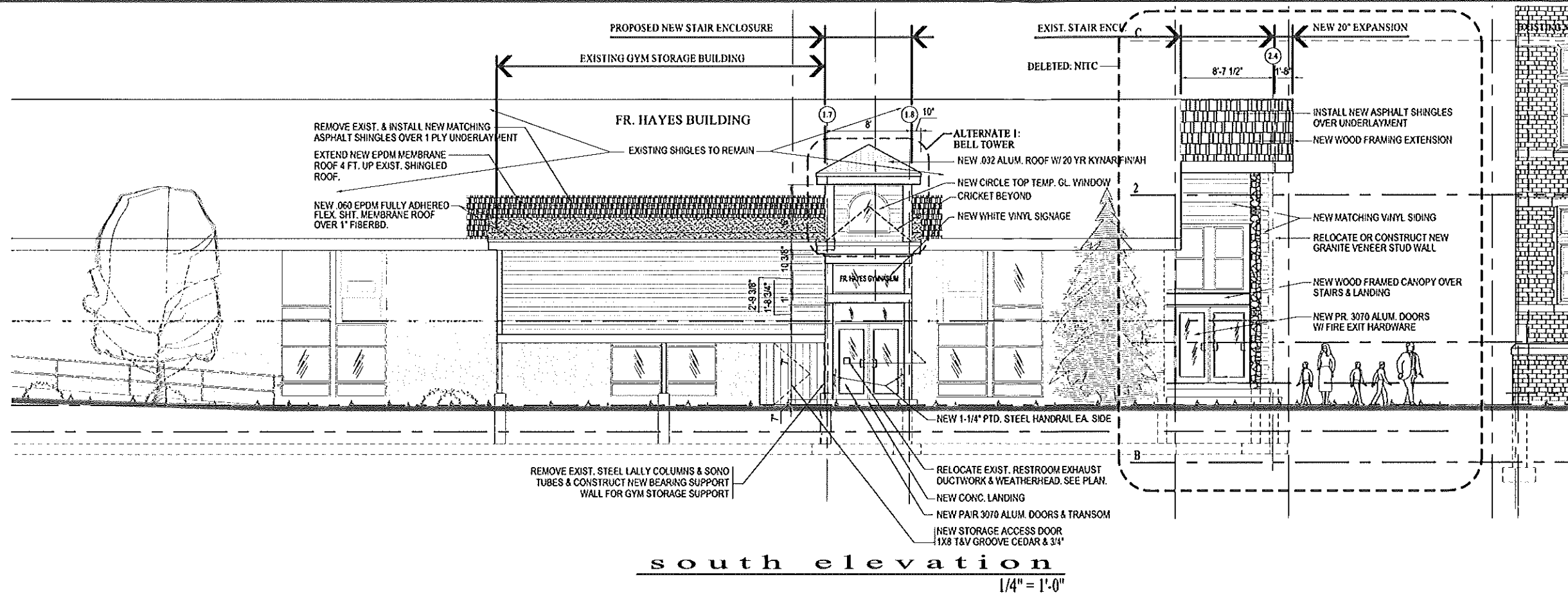
REL. FOR PRICING & PERMITTING - JUNE 25, 2012
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FR. HAYES STAIR RETROFIT PROJECT
695 STEVENS AVENUE
PORTLAND, MAINE 04103

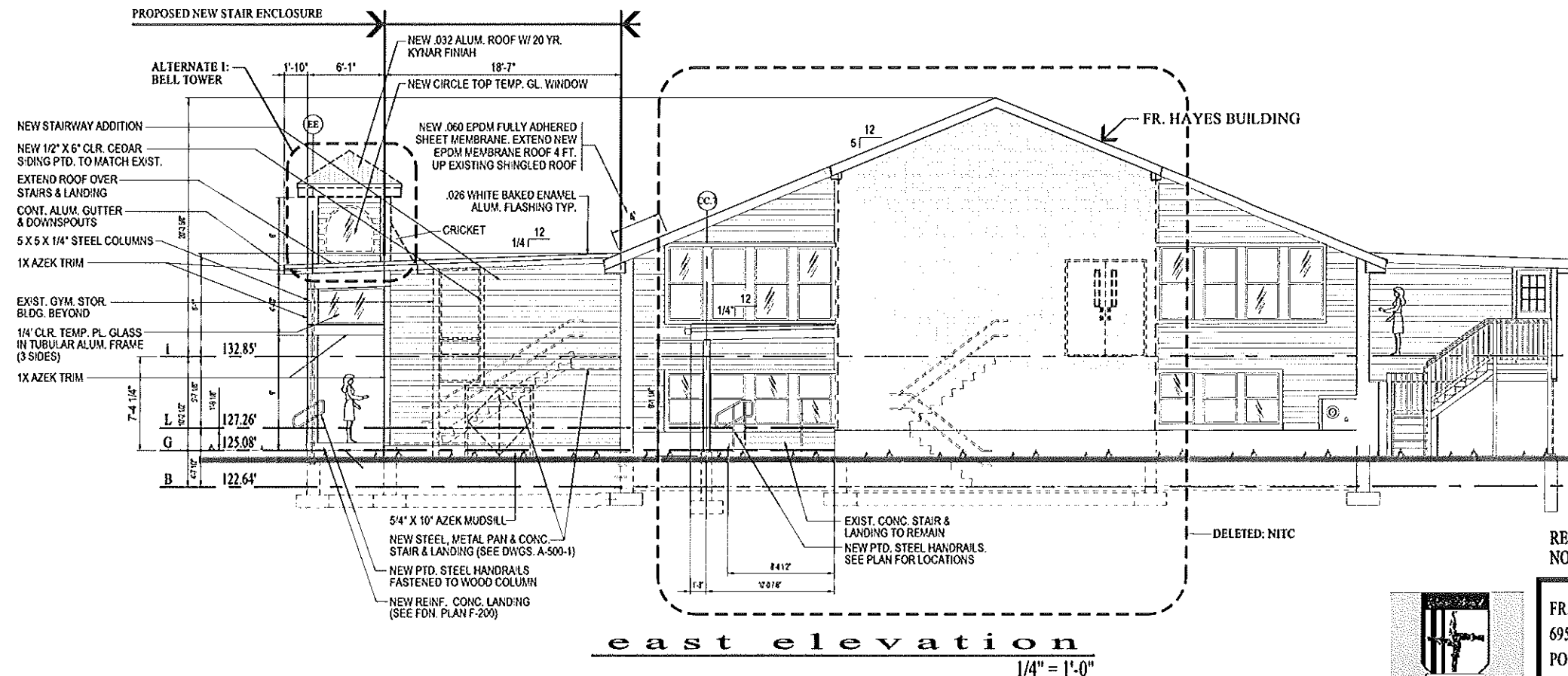
FH-ST-200 R1

DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.
 1344 WASHINGTON AVENUE PORTLAND, MAINE PH: (207) 797-8661 FAX: (207) 797-8533
 PROJECT NO.: 080111 PROJECT TITLE: ST. BRIGID SCHOOL RENOVATION
 SCALE: 1/2" = 1'-0" SHEET TITLE: STRUCTURAL FRAMING PLAN - FR. HAYES STAIR

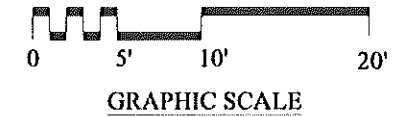
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south elevation
1/4" = 1'-0"

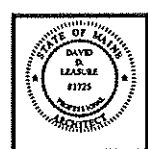


east elevation
1/4" = 1'-0"



PLAN LEGEND

	EXISTING WALL TO REMAIN
	NEW WOOD STUD WALL
	NEW STEEL STUD WALL
	NEW COOLER PANEL WALL
	NEW MASONRY (CMU) WALL
	NEW BRICK VENEER / STEEL STUD WALL
	EXISTING BRICK WALL TO REMAIN
	EXISTING MASONRY (CMU) WALL
	EXISTING WALL TO BE DEMOLISHED
	NEW BUILDING ADDITIONS
(E)	EXISTING DEVICE OR COMPONENT
(N)	NEW DEVICE OR COMPONENT
(R)	DEVICE OR COMPONENT TO BE REMOVED



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DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.
 1344 WASHINGTON AVENUE PORTLAND, MAINE PH. (207) 797-8661 FAX (207) 797-8533
 PROJECT NO. 08011 PROJECT TITLE: ST. BRIGID SCHOOL RENOVATION
 SCALE: 1/4" = 1'-0" SHEET TITLE: FR. HAYES STAIR ELEVATIONS

REL. FOR PRICING & PERMITTING - JUNE 25, 2012
NOT FOR CONSTRUCTION

FR. HAYES STAIR RETROFIT PROJECT
695 STEVENS AVENUE
PORTLAND, MAINE 04103

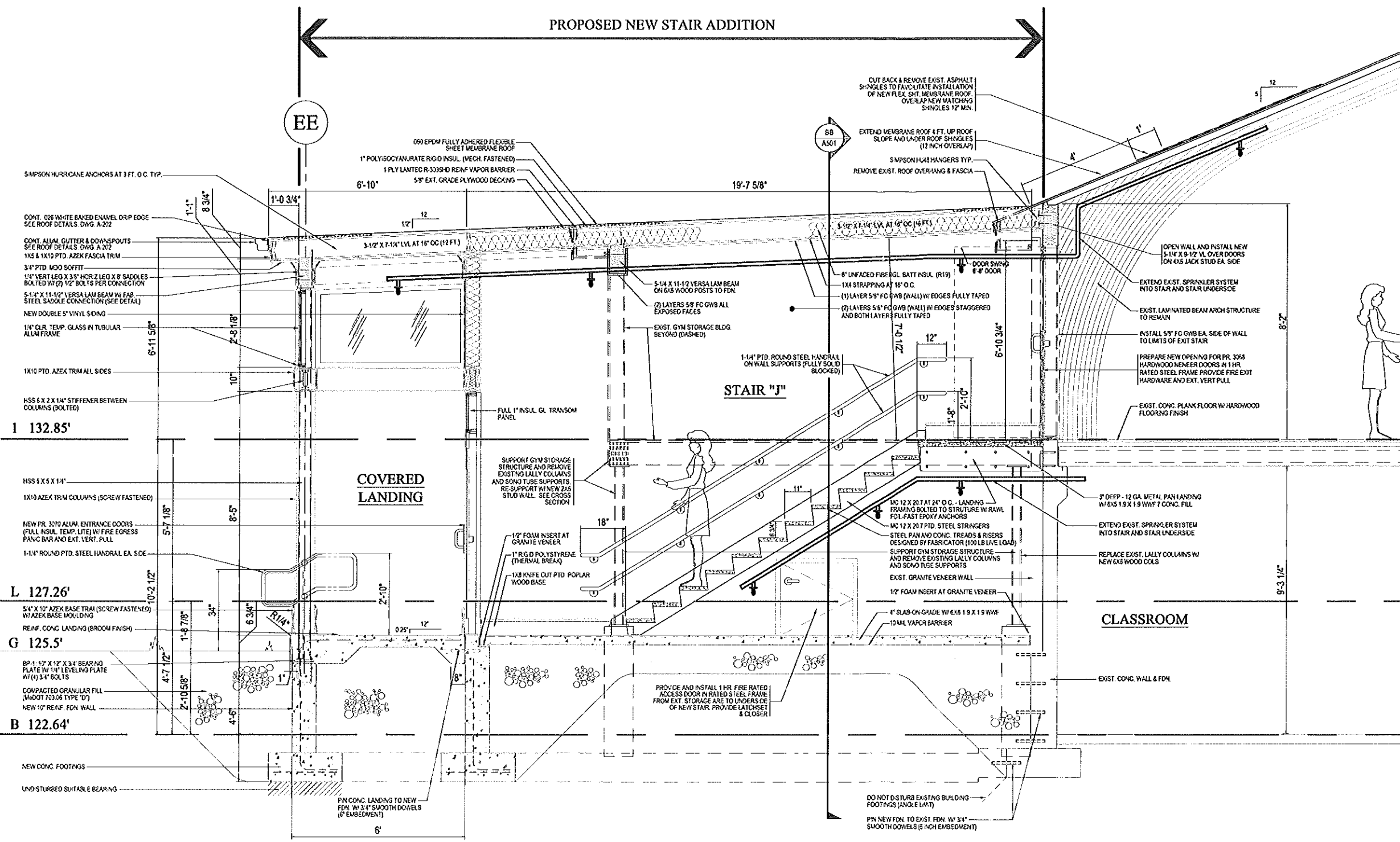


FH-A-400 R1

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CONCRETE FLOOR PLAN - MAY 28, 2012
 USE FOR PERMITTING - JUNE 25, 2012
 NEW PER STRAIGHTENING - JUNE 25, 2012



STAIR SECTION - "A-A"

3/4" = 1'-0"

REL. FOR PRICING & PERMITTING - JUNE 25, 2012
 NOT FOR CONSTRUCTION

DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.
 1344 WASHINGTON AVENUE PORTLAND, MAINE PH. (207) 797-8661 FAX (207) 797-8533
 PROJECT NO. 08011 PROJECT TITLE: ST. BRIGID SCHOOL RENOVATION
 SCALE: 3/4" = 1'-0" SHEET TITLE: STAIR SECTION A-A



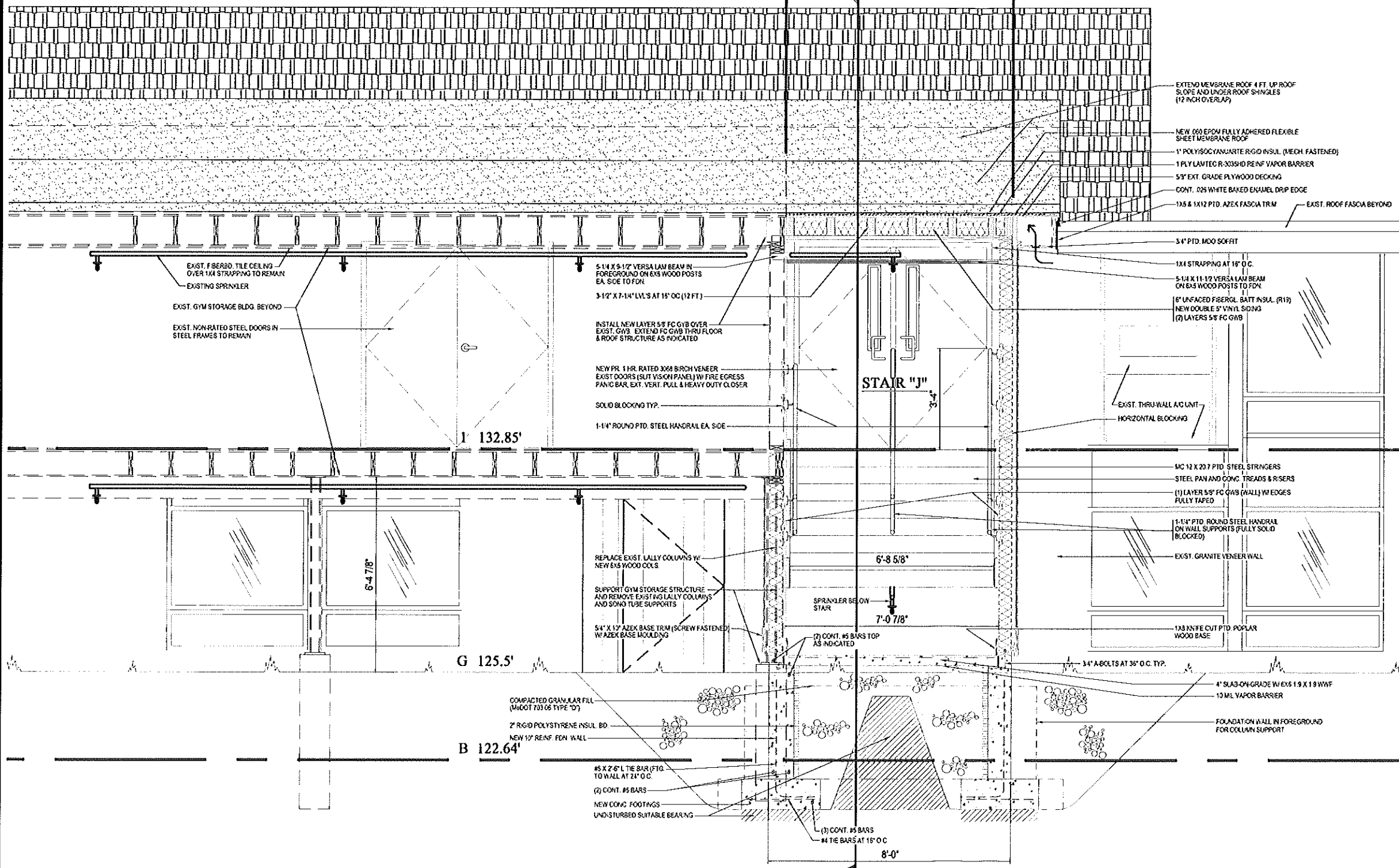
ST. BRIGID CATHOLIC SCHOOL
 FR. HAYES CENTER - STAIR ADDITION
 695 STEVENS AVENUE
 PORTLAND, MAINE 04103

FH-A-500 R1

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EXISTING GYM STORAGE ROOM

PROPOSED NEW STAIR ENCLOSURE



CONCEPTUAL SITE PLAN
 2. SET FOR PERMITTING - JUNE 25, 2012
 3. NEW ELECTRICAL NEW - JUNE 25, 2012

DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.
 1344 WASHINGTON AVENUE PORTLAND, MAINE PH. (207) 797-8661 FAX (207) 797-8533
 PROJECT NO. 08011 PROJECT TITLE: ST. BRIGID SCHOOL RENOVATION
 SCALE: 3/4" = 1'-0" SHEET TITLE: STAIR SECTION A-A

STAIR SECTION - "B-B"

3/4" = 1'-0"

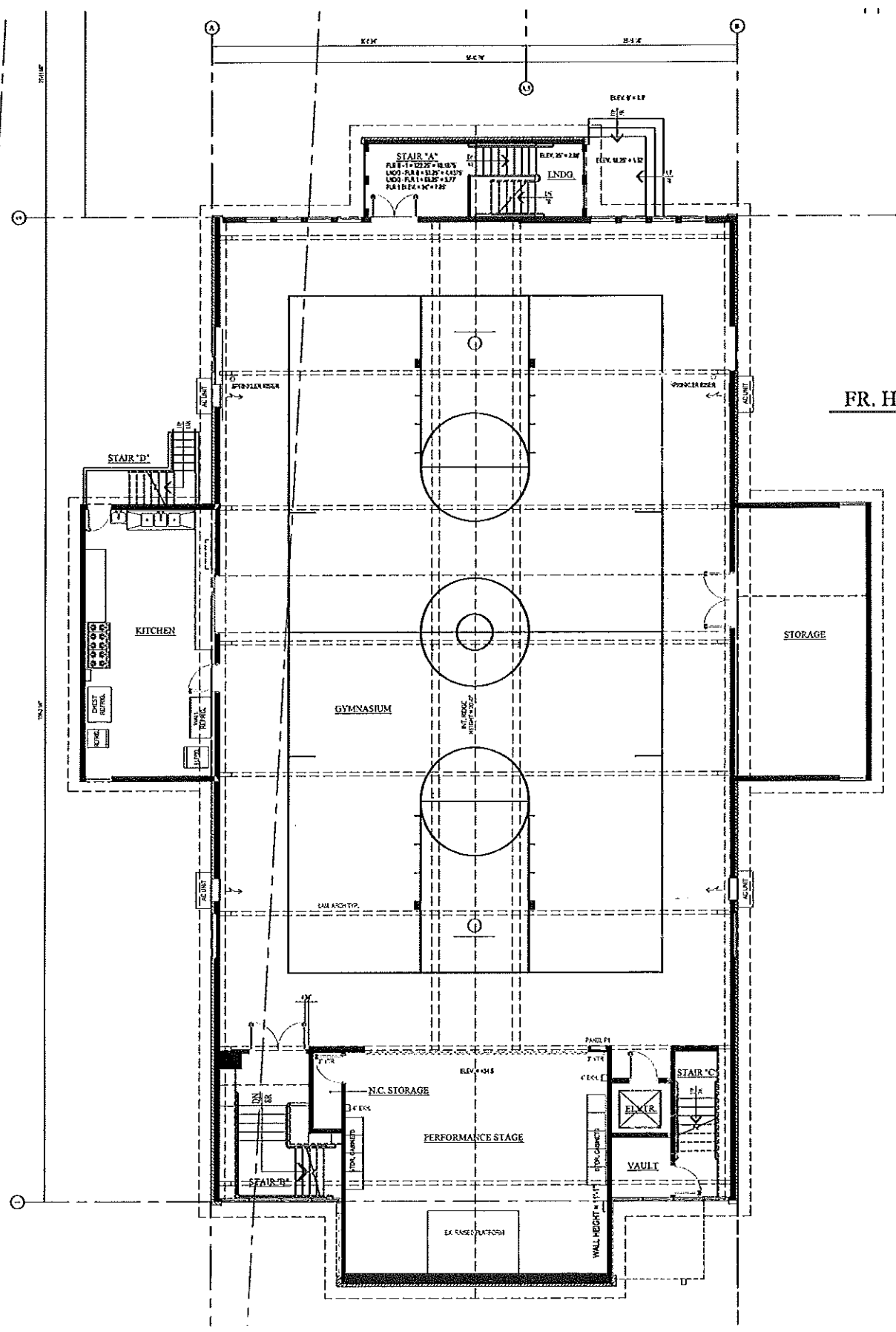
REL. FOR PRICING & PERMITTING - JUNE 25, 2012
 NOT FOR CONSTRUCTION



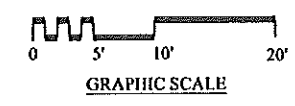
ST. BRIGID CATHOLIC SCHOOL
 FR. HAYES CENTER - STAIR ADDITION
 695 STEVENS AVENUE
 PORTLAND, MAINE 04103

FH-A-501 R1

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FR. HAYES BUILDING - FIRST FLOOR PLAN
3/16" = 1'-0"



- PLAN LEGEND**
- EXISTING WALL TO REMAIN
 - NEW WOOD STUD WALL
 - NEW STEEL STUD WALL
 - NEW COOLER PANEL WALL
 - EXISTING WALL TO BE REMOVED
 - EXISTING BRICK WALL TO REMAIN
 - EXISTING MASONRY (CMU) WALL
 - NEW BUILDING ADDITIONS
 - (E) EXISTING DEVICE OR COMPONENT
 - (N) NEW DEVICE OR COMPONENT
 - (R) DEVICE OR COMPONENT TO BE REMOVED

BUILDING AREA

TOTAL BUILDING AREA _____

EXISTING CONDITIONS DRAWINGS - SEPTEMBER 16, 2011
NOT FOR CONSTRUCTION

ST. BRIGID SCHOOL RENOVATION
695 STEVENS AVENUE
PORTLAND, MAINE 04103

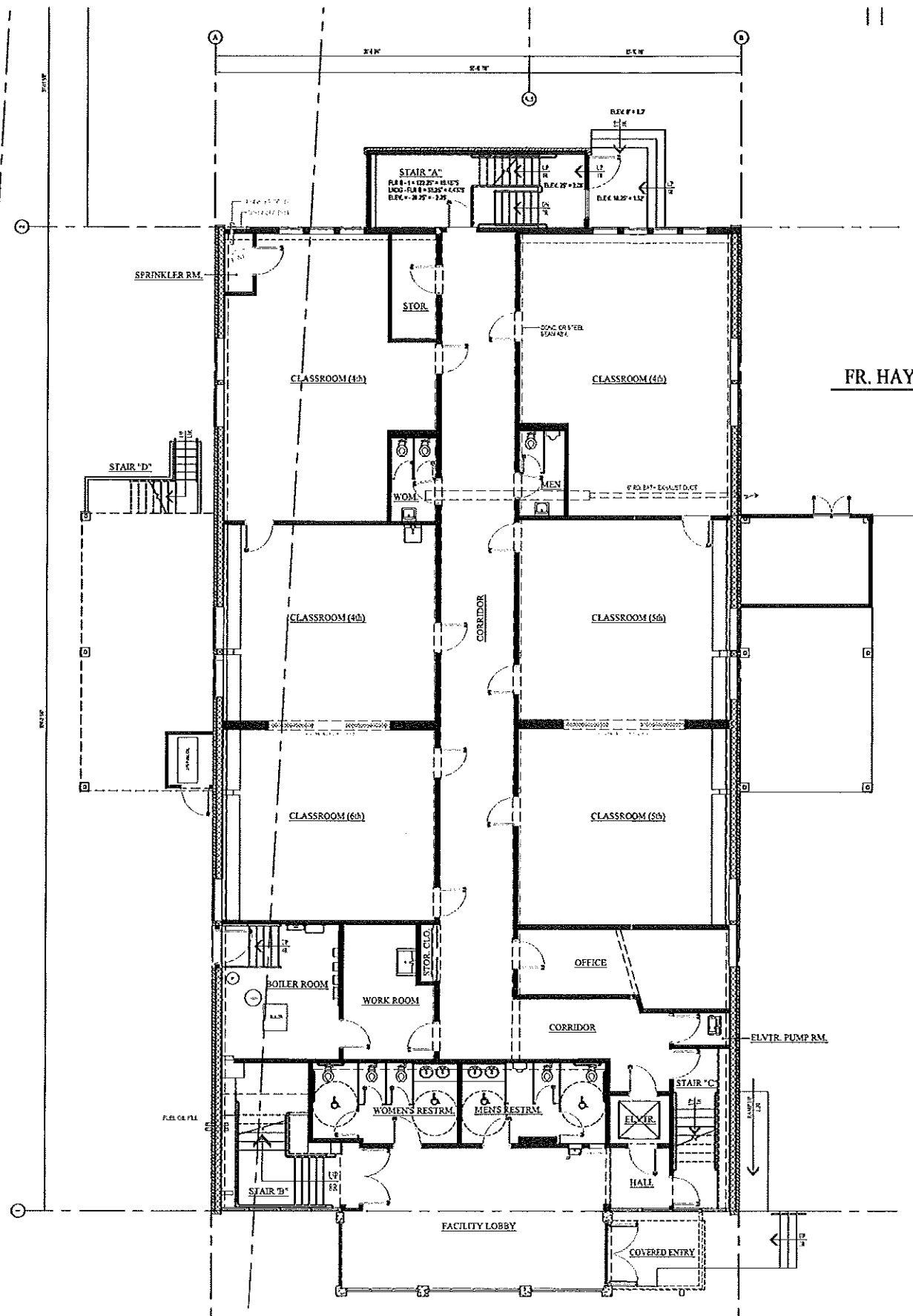
A-204 AS



1	EXISTING CONDITIONS DRAWINGS - SEPTEMBER 16, 2011
2	
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DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.
1344 WASHINGTON AVENUE PORTLAND, MAINE PH. (207) 791-8661 FAX (207) 791-8533
PROJECT NO. 080111 PROJECT TITLE: ST. BRIGID SCHOOL RENOVATION
SCALE: 1/8" = 1'-0" SHEET TITLE: FIRST FLOOR PLAN - FR. HAYES BLDG.

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FR. HAYES BUILDING - LOWER LEVEL FLOOR PLAN

3/16" = 1'-0"



- PLAN LEGEND**
- EXISTING WALL TO REMAIN
 - NEW WOOD STUD WALL
 - NEW STEEL STUD WALL
 - NEW COOLER PANEL WALL
 - EXISTING WALL TO BE REMOVED
 - EXISTING BRICK WALL TO REMAIN
 - EXISTING MASONRY (CMU) WALL
 - NEW BUILDING ADDITIONS
- (E) EXISTING DEVICE OR COMPONENT
(N) NEW DEVICE OR COMPONENT
(R) DEVICE OR COMPONENT TO BE REMOVED

BUILDING AREA

TOTAL BUILDING AREA _____

EXISTING CONDITIONS DRAWINGS - SEPTEMBER 16, 2011
NOT FOR CONSTRUCTION

ST. BRIGID SCHOOL RENOVATION
695 STEVENS AVENUE
PORTLAND, MAINE 04103

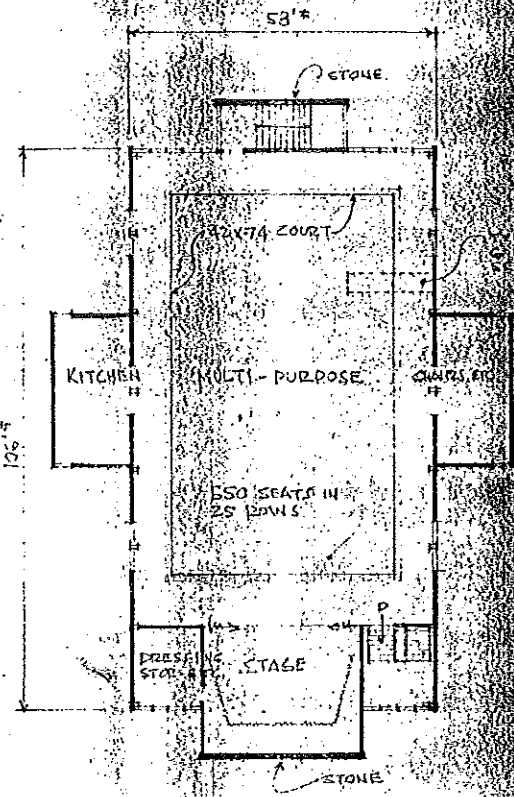
A-203 AS



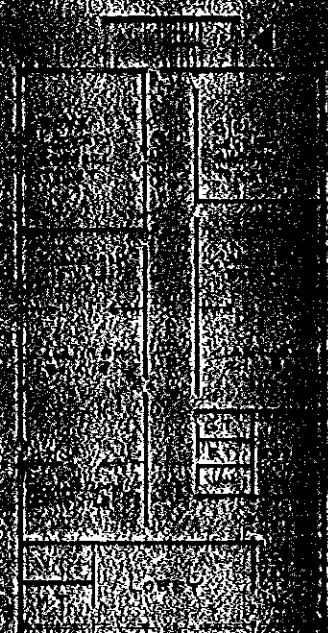
NO.	DATE	DESCRIPTION

DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.
1344 WASHINGTON AVENUE PORTLAND, MAINE PH. (207) 797-8661 FAX (207) 797-8533
PROJECT NO. 080111 PROJECT TITLE: ST. BRIGID SCHOOL RENOVATION
SCALE: 3/16" = 1'-0" SHEET TITLE: LOWER LEVEL PLAN - FR. HAYES BLDG.

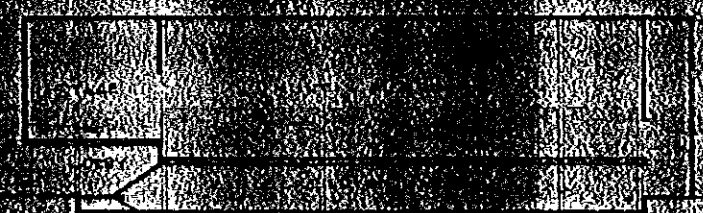
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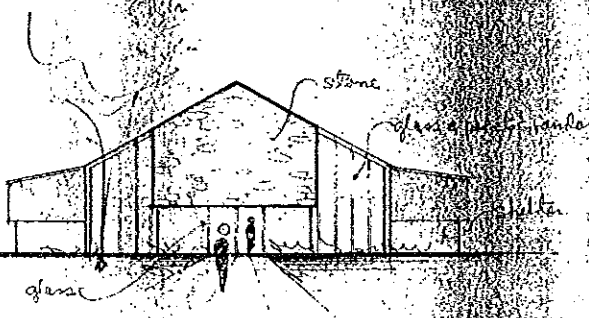
FIRST FLOOR PLAN
1/16" = 1'-0"



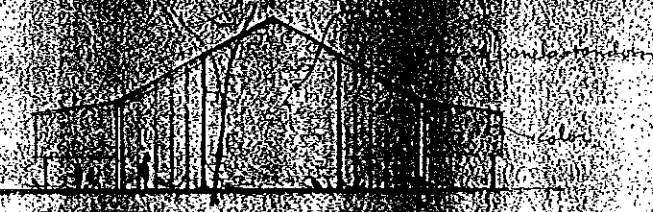
GROUND FLOOR PLAN



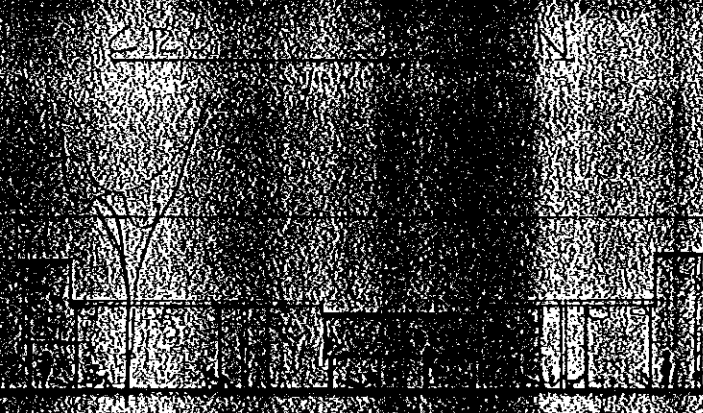
SECOND FLOOR PLAN



FRONT ELEVATION
1/16" = 1'-0"



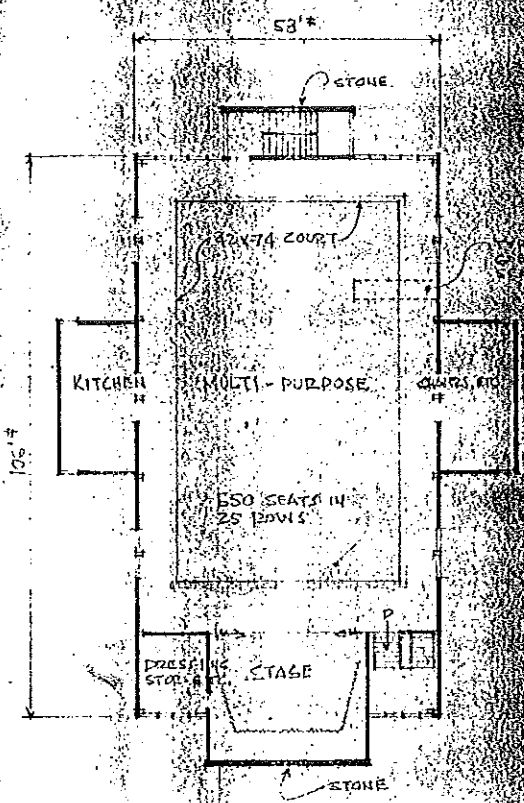
BACK ELEVATION



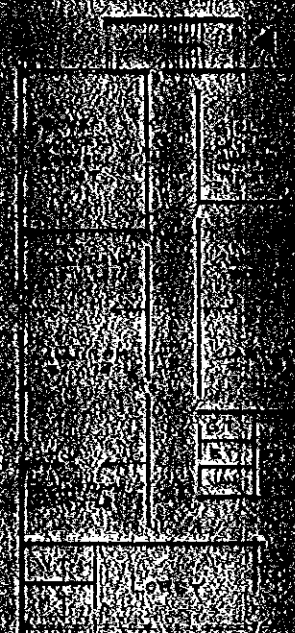
SIDE ELEVATIONS

PROPOSED ST. JOSEPH'S MULTI-PURPOSE BUILDING - PORTLAND

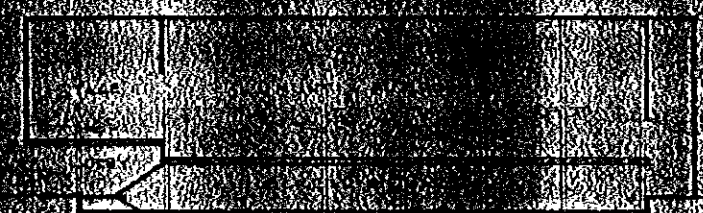
WILLIAM W. INSALL, ARCHITECT - PORTLAND, MAINE



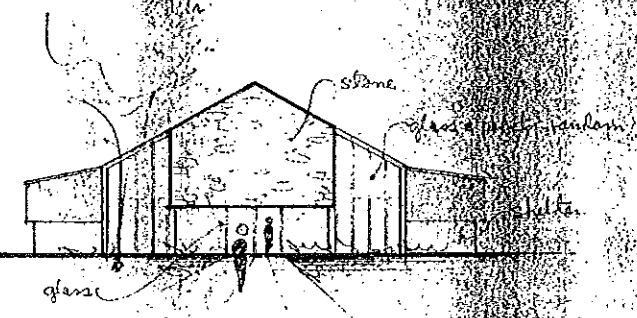
FIRST FLOOR PLAN
1/16" = 1'-0"



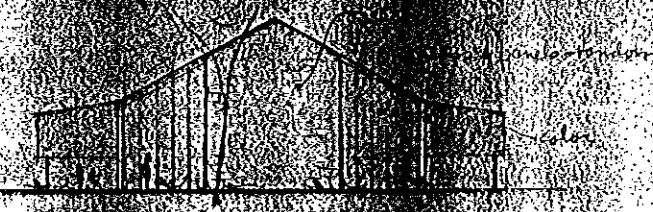
GROUND FLOOR PLAN



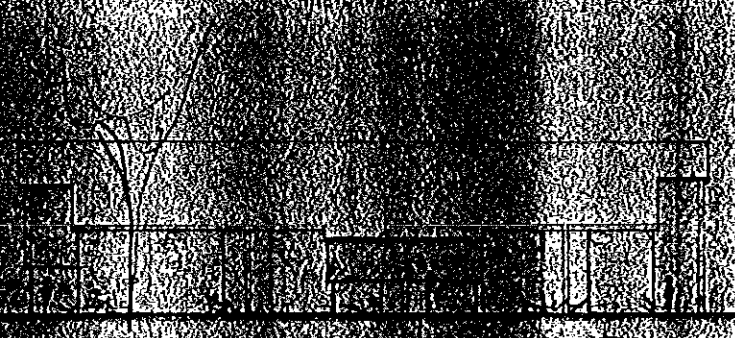
SECTION



FRONT ELEVATION
1/16" = 1'-0"



BACK ELEVATION



SIDE ELEVATIONS

PROPOSED ST. JOSEPH'S MULTI-PURPOSE BUILDING - PORTLAND

WHEELER CONSULTING ARCHITECT - PORTLAND, MAINE