

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND

BUILDING PERMIT

This is to certify that Roman Catholic Bishop of Portland Located At 695 STEVENS AVE

Job ID: 2012-07-4524-ALTCOMM

CBL: 144- D-003-001

has permission to build a 138 square foot (egress) stairwell addition.

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

Fire Prevention Officer

Code Enforcement Officer / Plan Reviewer

09/14/2012

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY
PENALTY FOR REMOVING THIS CARD

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
 - **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
 - **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**
1. Footings/Setbacks prior to pouring concrete
 2. Close In Elec/Plmb/Frame prior to insulate or gypsum
 3. Final Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Director of Planning and Urban Development
Jeff Levine

Job ID: 2012-07-4524-ALTCOMM

Located At: 695 STEVENS AVE

CBL: 144- D-003-001

Conditions of Approval:

Building

1. Separate permits are required for any electrical: plumbing, sprinkler, fire alarm, HVAC systems, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
2. Guards must be 42 inches in height with openings less than 4 inches. Graspable rails must be installed on both sides of the stair guard at 34" to 38". Stair treads shall not be less than 11". Stair risers shall not be more than 7".
3. A final special inspection report shall be submitted prior to issuance of a certificate of occupancy. This report must demonstrate all deficiencies and corrective measures that were taken.
4. A State Fire Marshal permit may be required for this project, contact at 207-626-3880 or http://www.maine.gov/dps/fmo/plans/about_permits.html
5. No permit shall be issued until the applicant has removed and disposed of all "friable asbestos" such material in accordance with applicable state and federal regulations.

Fire

1. Installation shall comply with City Code Chapter 10.
2. All construction shall comply with City Code Chapter 10.
3. <http://www.portlandmaine.gov/citycode/chapter010.pdf>
4. This permit is being approved on the basis of the plans submitted. Any deviation from the plans would require amendments and approval.
5. Application requires State Fire Marshal approval.
6. Street addresses shall be marked on the structure and shall be as approved by the City E-911 Addressing Officer. Contact Michelle Sweeney at 874-8682 for further information.
7. Any Fire alarm or Sprinkler systems shall be reviewed by a licensed contractor(s) for code compliance. Compliance letters are required.
8. A separate Fire Alarm Permit is required for new systems; or for work effecting more than 5 fire alarm devices; or replacement of a fire alarm panel with a different model. This review does not include approval of fire alarm system design or installation.
9. Fire Alarm system shall be maintained. If system is to be off line over 4 hours a fire watch shall be in place. Dispatch notification required 874-8576.

10. The fire alarm system shall comply with the City of Portland Fire Department Rules and Regulations. All fire alarm installation and servicing companies shall have a Certificate of Fitness from the Fire Department.
11. A separate Suppression System Permit is required for all new suppression systems or sprinkler work effecting more than 20 heads. This review does not include approval of sprinkler system design or installation.
12. Sprinkler protection shall be maintained. Where the system is to be shut down for maintenance or repair, the system shall be checked at the end of each day to insure the system has been placed back in service.
13. Fire extinguishers are required per NFPA 1.
14. All means of egress to remain accessible at all times.
15. No means of egress shall be affected by this renovation.
16. Emergency lights and exit signs are required. Emergency lights and exit signs are required to be labeled in relation to the panel and circuit and on the same circuit as the lighting for the area they serve.
17. Any cutting and welding done will require a Hot Work Permit from Fire Department.



General Building Permit Application

Location/Address of Construction: <u>FR. HAYES CENTER - ST. BRIGID SCHOOL</u> <u>695 STEVENS AVE, PORTLAND, ME. 04103</u>		
Total Square Footage of Proposed Structure/Area <u>138 S.F.</u>	Square Footage of Lot <u>115,937.67 S.F. = 2.66 ACRES</u>	
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>TM 144-D-1, 2, 3</u> <u>TM 143-A-32, 37</u>	Applicant * must be owner, Lessee or Buyer* Name <u>ROMAN CATHOLIC BISHOP</u> <u>OF PORTLAND, MAINE</u> Address <u>510 OCEAN AVE.</u> City, State & Zip <u>PORTLAND, ME 04103</u>	Telephone: <u>207-773-6471</u>
Lessee/DBA (If Applicable) <u>N/A</u>	Owner (if different from Applicant) Name <u>SAME AS ABOVE</u> Address City, State & Zip	Cost Of Work: \$ <u>75,000.00</u> C of O Fee: \$ <u>770.00</u> Total Fee: \$ <u>770.00</u>
Current legal use (i.e. single family) <u>EDUCATIONAL (ELEM. SCHOOL) AND ASSEMBLY</u> If vacant, what was the previous use? <u>N/A</u> Proposed Specific use: <u>EDUCATIONAL AND ASSEMBLY</u> Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>SEE ATTACHED PROJECT DESCRIPTION</u>		
Contractor's name: <u>HARDY PAID CONSTRUCTION</u> Address: <u>7 TEE DRIVE</u> City, State & Zip <u>PORTLAND, ME. 04103</u> Telephone: <u>207-797-6066</u> Who should we contact when the permit is ready: <u>DAVID LEASURE, R.A.</u> Telephone: <u>207-841-8880</u> Mailing address: <u>24 SEA ROSE LAKE, FREEPORT, ME. 04102</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Mary Ann Russo Date: 8/17/07

This is not a permit; you may not commence ANY work until the permit is issued

Project Description

PROJECT: **FR. HAYES STAIR RETROFIT PROJECT FOR
ST. BRIGID CATHOLIC SCHOOL
695 STEVENS AVENUE
PORTLAND, MAINE 04103**

ARCHITECT: **David D. Leasure - Architectural Associates Inc.
1344 Washington Ave.
Portland, Maine 04103
Tel. (207) 797-9661 Fax. (207) 797-8533
E-mail**

Fr. Hayes Center Egress Stair Description:

The current project entails the addition of a 138 s.f. egress stair addition to the South side of the existing Gymnasium/Classroom Fr. Hayes Center Facility. The existing site is currently occupied with 4 buildings including St. Brigid School (2 buildings), St. Joseph Church, and St. Joseph Rectory. The school is in session Monday through Friday, 7:30 A.M. to 2:45 P.M. from September 1 to June 10 annually.

The remainder of the site is used for parking, an existing Drive-thru/ Drop-off Lane, school playgrounds and Godfrey Park (green space). A total of 55 parking spaces are provided on-site with dedicated parking for the school faculty and business office along the East and South sides of the rear parking lot. Parking for the Clergy is provided in the Rectory garage. Church patrons utilize street parking along Stevens Avenue and the school parking lot since Church masses are held on Saturday Evenings and Sunday mornings when school is not in session.

The proposed Fr. Hayes egress stair is necessary to meet egress and Life Safety Code requirements for the existing Gymnasium/Assembly first floor level. The new entrance location will also improve student flow during school hours.



Certificate of Design Application

From Designer: DAVID D. LEASURE - ARCHITECTURAL ASSOC. INC
 Date: JULY 17, 2012
 Job Name: FR. HAYES CENTER STAIR PROJECT (ST. BRIGID SCHOOL)
 Address of Construction: 695 STEVENS AVENUE, PORTLAND, ME. 04103

2003 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year IBC-2009 Use Group Classification (s) EDUCATIONAL (E), Assembly (A-3)
 Type of Construction TYPE VA
 Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC YES
 Is the Structure mixed use? ~~YES~~ NO If yes, separated or non separated or non separated (section 302.3) N/A
 Supervisory alarm System? YES Geotechnical/Soils report required? (See Section 1802.2) NO - SEEKING EXCEPTION 1803.2

Structural Design Calculations

Submitted for all structural members (106.1 - 106.11)

Design Loads on Construction Documents (1603)

Uniformly distributed floor live loads (7603.11, 1807)

Floor Area Use	Loads Shown
<u>STAIR/LANDING</u>	<u>100 PSF</u>

<u>N/A</u>	Live load reduction
<u>N/A</u>	Roof live loads (1603.1.2, 1607.11)
<u>49 PSF</u>	Roof snow loads (1603.7.3, 1608)
<u>70 PSF</u>	Ground snow load, P_g (1608.2)
<u>49 PSF</u>	If $P_g > 10$ psf, flat-roof snow load P_f
<u>1.0</u>	If $P_g > 10$ psf, snow exposure factor, C_e
<u>1.0</u>	If $P_g > 10$ psf, snow load importance factor, I_s
<u>1.0</u>	Roof thermal factor, C_t (1608.4)
<u>N/A</u>	Sloped roof snowload, R_s (1608.4)
<u>B</u>	Seismic design category (1616.3)
<u>SHEAR WALLS</u>	Basic seismic force resisting system (1617.6.2)
<u>6 1/2 / 4</u>	Response modification coefficient, R , and deflection amplification factor, C_d (1617.6.2)
<u>STATIC</u>	Analysis procedure (1616.6, 1617.5)
<u>1.74 KIP</u>	Design base shear (1617.4, 1617.5.1)

Wind loads (1603.1.4, 1609)

1609.1.1 Design option utilized (1609.1.1, 1609.6)
100 mph Basic wind speed (~~1809.3~~) 1609.3
II / 1.0 Building category and wind importance Factor, I_w table 1604.5, 1609.5)
B Wind exposure category (1609.4)
+ 0.18 Internal pressure coefficient (ASCE 7)
N/A Component and cladding pressures (1609.1.1, 1609.6.2.2)
20 PSF Main force wind pressures (7603.1.1, 1609.6.2.1)

Flood loads (1803.1.6, 1612)

N/A Flood Hazard area (1612.3)
125.0 FT. Elevation of structure

Earth design data (1603.1.5, 1614-1623)

BEARING Design option utilized (1614.1)
B Seismic use group ("Category")
0.24 / 0.14 Spectral response coefficients, S_D & S_{D1} (1615.1)
C Site class (1615.1.5)

Other loads

N/A Concentrated loads (1607.4)
N/A Partition loads (1607.5)
N/A Misc. loads (Table 1607.8, 1607.6.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404)



Certificate of Design

Date:

July 17, 2012

From:

DAVID D. LEASURE - ARCHITECTURAL ASSOC. INC.

These plans and / or specifications covering construction work on:

FR. HAYES CENTER - EXIT STAIR

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the ~~2003~~ 2009 *International Building Code* and local amendments.

Signature:


DAVID D. LEASURE

Title:

PRESIDENT

Firm:

ARCHITECTURAL ASSOC. INC.

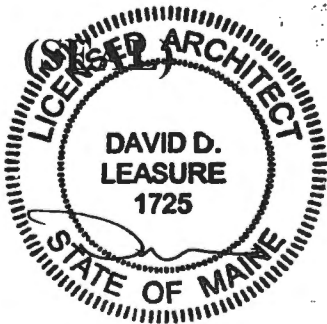
Address:

24 SEA ROSE LAJE

FREEPORT, ME. 04032

Phone:

207-841-8880



For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov



Accessibility Building Code Certificate

Designer: DAVID D. LEASURE - ARCHITECTURAL ASSOC. INC.
 Address of Project: FR. HAYES CENTER - ST. BRIGID SCHOOL
695 STEVENS AVENUE, PORTLAND, ME. 04103
 Nature of Project: ADDITION OF NEW EXIT STAIR ON SOUTH
SIDE OF EXISTING FR. HAYES CENTER

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.

NOTE: USE EXEMPT FROM ADA (28 CFR) - RELIGIOUS ENTITY

Signature: _____

DAVID D LEASURE

Title: _____

PRESIDENT

Firm: _____

ARCHITECTURAL ASSOC. INC.

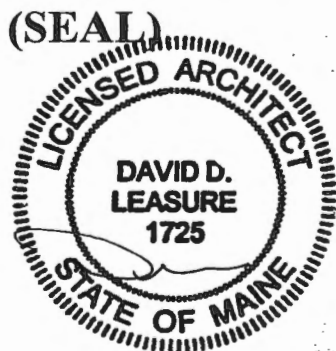
Address: _____

24 SEA ROSE LAKE

FREEMONT, ME. 04032

Phone: _____

207-841-8880



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Jonathan Rioux - 695 Stevens Ave.

From: Jonathan Rioux
To: davidleasure@myfairpoint.net
Date: 9/12/2012 9:25 AM
Subject: 695 Stevens Ave.
CC: Pirone, Chris; Wallace, Benjamin

David,

Did the State Fire Marshals office review?

Can you provide a response, see comments below from Fire Prevention:

- The submission indicates the stair is to serve as a required means of egress but does not provide a life safety plan indicating occupant load of the space being served and how that's be accommodated. Need a complete seating plan and egress arrangement for the space. I don't believe the gym was approved for assembly use prior to this, and I think that change must be what has triggered the need for another exit and capacity.
- The headroom for the new stair does not comply with 101:43.8.1.1(1) and 101:7.1.5 for headroom at the top landing and door.

Jonathan Rioux
Code Enforcement Officer/ Plan Reviewer

City of Portland
Planning and Urban Development Department
Inspection Services Division
389 Congress St. Rm 315
Portland, ME 04101
Office: 207.874.8702
Support Staff: 207.874.8703
jrioux@portlandmaine.gov



Administrative Authorization Application

Portland, Maine

Planning and Urban Development Department, Planning Division

PROJECT NAME: St. Bruno Catholic School: Fr. Hayes Center Stair

PROJECT ADDRESS: 695 STEVENS AVENUE CHART/BLOCK/LOT: TM-144-D-1,2,3

APPLICATION FEE: _____ (\$50.00) TM-143-A-32,37
144-D-3

PROJECT DESCRIPTION: (Please Attach Sketch/Plan of the Proposal/Development)

Retrofit Stairs

CONTACT INFORMATION:

OWNER/APPLICANT

Name: ROMAN CATHOLIC BISHOP PORTLAND
Address: 510 OCEAN AVE
PORTLAND, ME. 04103
Work #: (207) 773-6471
Cell #: N/A
Fax #: N/A
Home #: N/A
E-mail: JAMES.LAFONTAINE@
PORTLANDDIOCESE.ORG

CONSULTANT/AGENT

Name: DAVID LEASURE - ARCHITECTURAL ASSOC. INC
Address: 24 SEA ROSE LAKE
FREEPORT, ME. 04032
Work #: (207) 797-8661
Cell #: (207) 841-8880
Fax #: (207) 865-9426
Home #: N/A
E-mail: DAVIDLEASURE@MYFAIRPORT.ME

Criteria for an Administrative Authorization:
(see section 14-523(4) on pg. 2 of this appl.)

- a) Is the proposal within existing structures?
- b) Are there any new buildings, additions, or demolitions?
- c) Is the footprint increase less than 500 sq. ft.?
- d) Are there any new curb cuts, driveways or parking areas?
- e) Are the curbs and sidewalks in sound condition?
- f) Do the curbs and sidewalks comply with ADA?
- g) Is there any additional parking?
- h) Is there an increase in traffic?
- i) Are there any known stormwater problems?
- j) Does sufficient property screening exist?
- k) Are there adequate utilities?
- l) Are there any zoning violations?
- m) Is an emergency generator located to minimize noise?
- n) Are there any noise, vibration, glare, fumes or other impacts?

Applicant's Assessment
Y(yes), N(no), N/A

N
Y
Y
N
Y
Y
N
N
N
Y
Y
N
N/A
N

RECEIVED

AUG 3 2012

City of Portland
Planning Division

Signature of Applicant:

May Ann Purcell

Date:

8/2/12

IMPORTANT NOTICE TO APPLICANT: The granting of an Administrative Authorization to exempt a development from site plan review does not exempt this proposal from other required approvals or permits, nor is it an authorization for construction. You should first check with the Building Inspections Office, Room 315, City Hall (207)874-8703, to determine what other City permits, such as a building permit, will be required.

Ann Machado - 695 Stevens Ave - St. Brigid's School

From: Ann Machado
To: Barbara Barhydt
Subject: 695 Stevens Ave - St. Brigid's School

Barbara -

David Leasure has applied for a permit to add a 138 sf egress stair to the Father Hayes building at the school. He told Gayle that he had been in contact with you but had not applied for an Administrative Authorization yet. I just wanted to let you know that he applied and I was wondering what kind of a review you were requiring?

Thanks.

Ann

RS.

2012 - 07 - 4524 06



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

144 D 003

Location/Address of Construction: <u>FR. HAYES CENTER - ST. BRIGID SCHOOL</u> <u>695 STEVENS AVENUE, PORTLAND, ME. 04103</u>		
Total Square Footage of Proposed Structure/Area <u>138 S.F.</u>	Square Footage of Lot <u>115,937.67 S.F. = 2.66 ACRES</u>	
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>TM 144-D-1, 2, 3</u> <u>TM 143-A-32, 37</u>	Applicant * <u>must</u> be owner, Lessee or Buyer* Name <u>ROMAN CATHOLIC BISHOP</u> Address <u>510 OCEAN AVE</u> City, State & Zip <u>PORTLAND, ME 04103</u>	Telephone: <u>207-773-6471</u>
Lessee/DBA (If Applicable) RECEIVED <u>JUL 23 2012</u> Dept. of Building Inspections City of Portland Maine	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>75,000.00</u> C of O Fee: \$ <u>770.00</u> Total Fee: \$ <u>770.00</u>
Current legal use (i.e. single family) <u>INSTITUTIONAL (ELEMENTARY SCHOOL), ASSEMBLY</u> If vacant, what was the previous use? <u>N/A</u> Proposed Specific use: <u>INSTITUTIONAL & ASSEMBLY</u> Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>SEE ATTACHED PROJECT DESCRIPTION</u>		
Contractor's name: <u>NOT SELECTED AT THIS TIME</u>		
Address: _____ City, State & Zip _____ Telephone: <u>call first</u>		
Who should we contact when the permit is ready: <u>DAVID LEASURE, P.A.</u> Telephone: <u>207-841-8880</u>		
Mailing address: <u>24 SEA ROSE LAKE, FREEPORT, ME. 041032</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: May Ann Russo Date: July 17, 2012

This is not a permit; you may not commence ANY work until the permit is issue



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Receipts Details:

Tender Information: Check , BusinessName: David D. Leasure, Check Number: 6620

Tender Amount: 770.00

Receipt Header:

Cashier Id: gguertin

Receipt Date: 7/24/2012

Receipt Number: 46285

Receipt Details:

Referance ID:	7377	Fee Type:	BP-Constr
Receipt Number:	0	Payment Date:	
Transaction Amount:	770.00	Charge Amount:	770.00
Job ID: Job ID: 2012-07-4524-ALTCOMM - addition of a 138 s.f. egress stair addition			
Additional Comments: 695 stevens Ave. David D. Leasure			

Thank You for your Payment!

**TRANSMITTAL
COVER SHEET**

DATE: July 17, 2012

TO: City of Portland, Maine
Building Inspections Division
389 Congress Street
Portland, Maine 04101

PROJECT: Fr. Hayes Stair Retrofit Project
St. Brigid Catholic School
695 Stevens Avenue
Portland, Maine 04103

TRANSMITTAL:

<u>Copies</u>	<u>Date</u>	<u>Description</u>	<u>Action Code</u>
1	06/25/12	Construction Documents (30 x 42 Drawings)	E
1	06/25/12	Reduced Construction Documents (11x17 color Dwgs.)	E
1	06/17/12	General Building Permit application	E
1	06/29/12	Application Fee (Ch. #6620 for \$770.00)	E
1	N/A	Project Description	E
1	N/A	Certificate of Design Application	E
1	N/A	Certificate of Design	E
1	N/A	Accessibility Building Code Certificate	E

Action A. Action Indicated on transmitted item. D. For Signature & forwarding as noted below
B. No Action Required. E. See Remarks below.
C. For Signature & return to this office.

SUBJECT: Fr. Hayes - Stair Retrofit Project: Building Permit Application

MEMORANDUM:

Dear Sir/Madam:

Enclosed please find an application for a Building Permit for the above referenced project. Please review the application and let me know if you need any additional materials. Thank you.

Best Regards,



DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.
24 SEA ROSE LANE FREEPORT, MAINE Ph. (207) 797-8661 Cell (207) 841-8880 Fax (207) 797-8533
Email davidleasure@myfairpoint.net

cc: Fr. James LaFontaine, S.J. - Pastor, Our Lady of Hope Parish
Mary Ann Russo - Dir. Of Operations and Development St. Brigid School
File

Project Description

PROJECT: **FR. HAYES STAIR RETROFIT PROJECT FOR**
ST. BRIGID CATHOLIC SCHOOL
695 STEVENS AVENUE
PORTLAND, MAINE 04103

ARCHITECT: **David D. Leasure - Architectural Associates Inc.**
1344 Washington Ave.
Portland, Maine 04103
Tel. (207) 797-8661 Fax. (207) 797-8533
E-mail

Fr. Hayes Center Egress Stair Description:

The current project entails the addition of a 138 s.f. egress stair addition to the South side of the existing Gymnasium/Classroom Fr. Hayes Center Facility. The existing site is currently occupied with 4 buildings including St. Brigid School (2 buildings), St. Joseph Church, and St. Joseph Rectory. The school is in session Monday through Friday, 7:30 A.M. to 2:45 P.M. from September 1 to June 10 annually.

The remainder of the site is used for parking, an existing Drive-thru/ Drop-off Lane, school playgrounds and Godfrey Park (green space). A total of 55 parking spaces are provided on-site with dedicated parking for the school faculty and business office along the East and South sides of the rear parking lot. Parking for the Clergy is provided in the Rectory garage. Church patrons utilize street parking along Stevens Avenue and the school parking lot since Church masses are held on Saturday Evenings and Sunday mornings when school is not in session.

The proposed Fr. Hayes egress stair is necessary to meet egress and Life Safety Code requirements for the existing Gymnasium/Assembly first floor level. The new entrance location will also improve student flow during school hours.

Barbara Barhydt - St. Brigid Catholic School - Fr. Hayes Center Existing Conditions

From: "David Leasure" <davidleasure@myfairpoint.net>
To: "Barbara Barhydt" <bab@portlandmaine.gov>, "Marge Schmuckal" <mes@portla...>
Date: Monday, August 06, 2012 2:40 PM
Subject: St. Brigid Catholic School - Fr. Hayes Center Existing Conditions
CC: "Mary Ann Russo" <maryann.russo@portlanddiocese.org>, "Mary Gordon" <mar...>
Attachments: A204_AS_FR_HAYES_FIRST.pdf; A203_AS_FR_HAYES_BSMT.pdf;
Site_Bldg_Fr_Hayes.pdf

Hi Barbara:

Per our conversation today with regard to the possibility that the Fr. Hayes Center did not secure a Conditional Use Permit (R5 Zone) when it was originally constructed, I have attached the Fr. Hayes Center - Existing Conditions Floor Plans which were prepared by my office in 2011. The current plans (Fr. Hayes Stair Retrofit Plans) that we recently submitted reflecting the addition of a new stair on the South side of the Fr. Hayes center do not require any changes to the building's interior on either floor.

I've also attached a scan of the original building Plan (Site_Bldg_Fr_Hayes.pdf) that was designed and prepared by Mr. Wilbur Ingalls, R.A. It is my understanding that the Fr. Hayes Center Facility was constructed in 1967. The original drawing indicates classrooms on the Lower Level and a Gymnasium (basket ball court) on the first floor. I am not privy to any permitting information. I have spoken with the School Development Officer and she is looking through her files to see if there is any documentation relevant to prior conditional use or building permitting.

I will forward you any relevant documentation that we find. Please let me know what your and Marge's findings are at your earliest convenience. If you have any additional questions, please don't hesitate to contact me.

Best regards,

David D. Leasure, R.A.
Architectural Associates Inc.
24 Sea Rose Lane
Freeport, Maine 04032
Off. 207-797-8661
Cell 207-841-8880
Fax 207-797-8533
E-mail davidleasure@myfairpoint.net

**TRANSMITTAL
COVER SHEET**

DATE: August 02, 2012

TO: Ms. Barbara Barhydt - Development Review Service Manager
City of Portland, Maine - Planning & Urban Development
389 Congress Street
Portland, Maine 04101

PROJECT: Fr. Hayes Stair Retrofit Project
St. Brigid Catholic School
695 Stevens Avenue
Portland, Maine 04103

TRANSMITTAL:

<u>Copies</u>	<u>Date</u>	<u>Description</u>	<u>Action Code</u>
1	06/25/12	Construction Documents (30 x 42 Drawings)	E
1	08/02/12	Administrative Authorization Application	E
1	07/31/12	Admin Authorization Fee (Ch. #6622 for \$50.00)	E
1	N/A	Project Description	E
1	N/A	Certificate of Design Application	E
1	N/A	Certificate of Design	E
1	N/A	Accessibility Building Code Certificate	E

Action A. Action Indicated on transmitted item. D. For Signature & forwarding as noted below
B. No Action Required. E. See Remarks below.
C. For Signature & return to this office.

SUBJECT: Fr. Hayes - Stair Retrofit Project: Administrative Authorization Application

MEMORANDUM:

Dear Barbara:

Enclosed please find an application for Administrative Authorization for the above referenced project. Please review the application and let me know if you need any additional materials. Thank you.

Best Regards,



DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.
24 SEA ROSE LANE FREEPORT, MAINE Ph. (207) 797-8661 Cell (207) 841-8880 Fax (207) 797-8533
Email davidleasure@myfairpoint.net

cc: Fr. James LaFontaine, S.J. - Pastor; Our Lady of Hope Parish
Mary Ann Russo - Dir. Of Operations and Development St. Brigid School
File

DAVID D. LEASURE
 ARCHITECTURAL ASSOCIATES, INC.
 1344 WASHINGTON AVE.
 PORTLAND, MAINE 04103
 207-797-8661

DATE	INVOICE	AMOUNT

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DATE	TO THE ORDER OF	HRS	GROSS	F.I.C.A.	FED WITH	STATE	DISC.	CHECK NO.
7/17/12	City of Portland, ME.							6620
			FR. HAYES STAIR-PERMIT FEE					
			DESCRIPTION					

\$ 770.00

CUMBERLAND COUNTY
 FEDERAL CREDIT UNION

⑈006620⑈ ⑆211287696⑆ 10000377180088⑈

McBee® One-Writes

**TRANSMITTAL
COVER SHEET**DATE: July 17, 2012TO: City of Portland, Maine
Building Inspections Division
389 Congress Street
Portland, Maine 04101PROJECT: Fr. Hayes Stair Retrofit Project
St. Brigid Catholic School
695 Stevens Avenue
Portland, Maine 04103

TRANSMITTAL:

Copies	Date	Description	Action Code
1	06/25/12	Construction Documents (30 x 42 Drawings)	E
1	06/25/12	Reduced Construction Documents (11x17 color Dwgs.)	E
1	06/17/12	General Building Permit application	E
1	06/29/12	Application Fee (Ck. #6620 for \$770.00)	E
1	N/A	Project Description	E
1	N/A	Certificate of Design Application	E
1	N/A	Certificate of Design	E
1	N/A	Accessibility Building Code Certificate	E

Action A. Action Indicated on transmitted item.
B. No Action Required.
C. For Signature & return to this office.D. For Signature & forwarding as noted below
E. See Remarks below.SUBJECT: Fr. Hayes - Stair Retrofit Project: Building Permit Application

MEMORANDUM:

Dear Sir/Madam:

Enclosed please find an application for a Building Permit for the above referenced project. Please review the application and let me know if you need any additional materials. Thank you.

Best Regards,



DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.
24 SEA ROSE LANE FREEPORT, MAINE Ph. (207) 797-8661 Cell (207) 841-8880 Fax (207) 797-8533
Email davidleasure@myfairpoint.net
cc: Fr. James LaFontaine, S.J. - Pastor, Our Lady of Hope Parish
Mary Ann Russo - Dir. Of Operations and Development St. Brigid School
File

Barbara Barhydt - St. Brigid Catholic School - Fr. Hayes Center Existing Conditions

From: "David Leasure" <davidleasure@myfairpoint.net>
To: "Barbara Barhydt" <bab@portlandmaine.gov>, "Marge Schmuckal" <mes@portla...>
Date: Monday, August 06, 2012 2:40 PM
Subject: St. Brigid Catholic School - Fr. Hayes Center Existing Conditions
CC: "Mary Ann Russo" <maryann.russo@portlanddiocese.org>, "Mary Gordon" <mar...>
Attachments: A204_AS_FR_HAYES_FIRST.pdf; A203_AS_FR_HAYES_BSMT.pdf; Site_Bldg_Fr_Hayes.pdf

Hi Barbara:

Per our conversation today with regard to the possibility that the Fr. Hayes Center did not secure a Conditional Use Permit (R5 Zone) when it was originally constructed, I have attached the Fr. Hayes Center - Existing Conditions Floor Plans which were prepared by my office in 2011. The current plans (Fr. Hayes Stair Retrofit Plans) that we recently submitted reflecting the addition of a new stair on the South side of the Fr. Hayes center do not require any changes to the building's interior on either floor.

I've also attached a scan of the original building Plan (Site_Bldg_Fr_Hayes.pdf) that was designed and prepared by Mr. Wilbur Ingalls, R.A. It is my understanding that the Fr. Hayes Center Facility was constructed in 1967. The original drawing indicates classrooms on the Lower Level and a Gymnasium (basket ball court) on the first floor. I am not privy to any permitting information. I have spoken with the School Development Officer and she is looking through her files to see if there is any documentation relevant to prior conditional use or building permitting.

I will forward you any relevant documentation that we find. Please let me know what your and Marge's findings are at your earliest convenience. If you have any additional questions, please don't hesitate to contact me.

Best regards,

David D. Leasure, R.A.
Architectural Associates Inc.
24 Sea Rose Lane
Freeport, Maine 04032
Off. 207-797-8661
Cell 207-841-8880
Fax 207-797-8533
E-mail davidleasure@myfairpoint.net



Certificate of Design Application

From Designer: DAVID D. LEASURE - ARCHITECTURAL ASSOC. INC
 Date: JULY 17, 2012
 Job Name: FR. HAYES CENTER STAIR PROJECT (ST. BRIGID SCHOOL)
 Address of Construction: 695 STEVENS AVENUE, PORTLAND, ME. 04103

2003 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year IBC-2009 Use Group Classification (s) EDUCATIONAL (E), Assembly (A-3)
 Type of Construction Type VA
 Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC YES
 Is the Structure mixed use? ~~YES~~ NO If yes, separated or non separated or non separated (section 302.3) N/A
 Supervisory alarm System? YES Geotechnical/Soils report required? (See Section 1802.2) NO - SEEKING EXCEPTION 1803.2

Structural Design Calculations

_____ Submitted for all structural members (106.1 - 106.11)

Design Loads on Construction Documents (1603)

Uniformly distributed floor live loads (7603.11, 1807)

Floor Area Use	Loads Shown
<u>STAIR/LANDING</u>	<u>100 PSF</u>
_____	_____
_____	_____
_____	_____

Wind loads (1603.1.4, 1609)

1609.1.1 Design option utilized (1609.1.1, 1609.6)
100 mph Basic wind speed (~~1809.2~~) 1609.3
II / 1.0 Building category and wind importance Factor, w table 1604.5, 1609.5)
B Wind exposure category (1609.4)
± 0.18 Internal pressure coefficient (ASCE 7)
N/A Component and cladding pressures (1609.1.1, 1609.6.2.2)
20 PSF Main force wind pressures (7603.1.1, 1609.6.2.1)

Earth design data (1603.1.5, 1614-1623)

BEARING Design option utilized (1614.1)
B Seismic use group ("Category")
0.24/0.14 Spectral response coefficients, S_D & S_{D1} (1615.1)
C Site class (1615.1.5)

N/A Live load reduction
N/A Roof live loads (1603.1.2, 1607.11)
49 PSF Roof snow loads (1603.7.3, 1608)
70 PSF Ground snow load, P_g (1608.2)
49 PSF If $P_g > 10$ psf, flat-roof snow load P_f
1.0 If $P_g > 10$ psf, snow exposure factor, C_e
1.0 If $P_g > 10$ psf, snow load importance factor, I_s
1.0 Roof thermal factor, C_t (1608.4)
N/A Sloped roof snowload, P_R (1608.4)
B Seismic design category (1616.3)
SHEAR WALLS Basic seismic force resisting system (1617.6.2)
6 1/2 / 4 Response modification coefficient, R , and deflection amplification factor, C_d (1617.6.2)
STATIC Analysis procedure (1616.6, 1617.5)
1.74 KIP Design base shear (1617.4, 1617.5.1)
Flood loads (1803.1.6, 1612)
N/A Flood Hazard area (1612.3)
125.0 FT. Elevation of structure
Other loads
N/A Concentrated loads (1607.4)
N/A Partition loads (1607.5)
N/A Misc. loads (Table 1607.8, 1607.6.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404)



Certificate of Design

Date: July 17, 2012

From: DAVID D. LEASURE - ARCHITECTURAL ASSOC. INC.

These plans and / or specifications covering construction work on:

FR. HAYES CENTER - EXIT STAIR

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the ~~2003~~ 2009 *International Building Code* and local amendments.

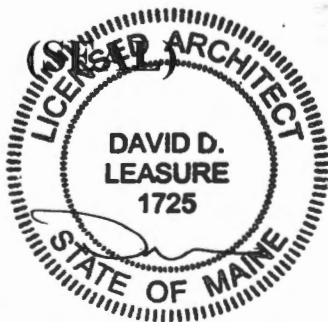
Signature: 
DAVID D. LEASURE

Title: PRESIDENT

Firm: ARCHITECTURAL ASSOC. INC.

Address: 24 SEA ROSE LAKE
FREEMONT, ME. 04032

Phone: 207-841-8880



For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov



Accessibility Building Code Certificate


Designer: DAVID D. LEASURE - ARCHITECTURAL ASSOC. INC.

Address of Project: FR. HAYES CENTER - ST. BRIGID SCHOOL
695 STEVENS AVENUE, PORTLAND, ME. 04103

Nature of Project: ADDITION OF NEW EXIT STAIR ON SOUTH
SIDE OF EXISTING FR. HAYES CENTER

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.

NOTE: USE EXEMPT FROM ADA (28 CFR) - RELIGIOUS ENTITY

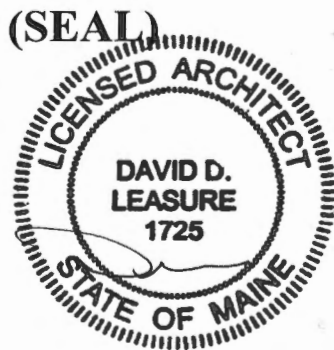
Signature: 
DAVID D LEASURE

Title: PRESIDENT

Firm: ARCHITECTURAL ASSOC. INC.

Address: 24 SEA ROSE LAKE
FREEMONT, ME. 04032

Phone: 207-841-8880



For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov

Assessor's Office | 389 Congress Street | Portland, Maine 04101 | Room 115 | (207) 874-8486

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Current Owner Information:

Services

Applications

Doing Business

Maps

Tax Relief

Tax Roll

Q & A

[browse city services a-z](#)

[browse facts and links a-z](#)

CBL 144 D003001
Land Use Type RELIGIOUS
Property Location 695 STEVENS AVE
Owner Information ROMAN CATHOLIC BISHOP OF PORTLAND
 PO BOX 11559
 PORTLAND ME 04104

Book and Page
Legal Description 144-D-3
 STEVENS AVE 695-699
 ELMWOOD ST 64-74
 11200 SF

Acres 0.2571

Current Assessed Valuation:

TAX ACCT NO. 21394 **OWNER OF RECORD AS OF APRIL 2012**
 ROMAN CATHOLIC BISHOP OF
 PORTLAND
 PO BOX 11559
 PORTLAND ME 04104

LAND VALUE \$83,600.00
BUILDING VALUE \$1,034,500.00
RELIGIOUS INSTITUTIONS (\$1,118,100.00)
NET TAXABLE - REAL ESTATE \$0.00
TAX AMOUNT \$0.00

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or [e-mailed](#).

Building Information:

Building 1
Year Built 1969
Style/Structure Type SCHOOL
Units 1
Building Num/Name 1 - FATHER HAYES CENTER
Square Feet 14472

[View Sketch](#) [View Map](#) [View Picture](#)



Exterior/Interior Information:

Building 1
Levels 01/01
Size 6794
Use SCHOOL
Height 10
Walls BRICK/STONE
Heating HW/STEAM
A/C NONE

Building 1
Levels 02/02
Size 7678
Use AUDITORIUM/THEATER
Height 15
Walls BRICK/STONE
Heating HW/STEAM
A/C CENTRAL

[New Search](#)



Best viewed at 800x600, with Internet Explorer

Assessor's Office | 389 Congress Street | Portland, Maine 04101 | Room 115 | (207) 874-8486

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This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information:

Services

Applications

Doing Business

Maps

Tax Relief

Tax Roll

Q & A

CBL 143 A037001
Land Use Type SINGLE FAMILY
Property Location 16 ST JOSEPH ST
Owner Information ROMAN CATHOLIC BISHOP OF PORTLAND
 PO BOX 11559
 PORTLAND ME 04104
Book and Page
Legal Description 143-A-37 144-D-1
 ST JOSEPH ST 10-20
Acres 0.2435

Current Assessed Valuation:

browse city services a-z

browse facts and links a-z

TAX ACCT NO. 21286 **OWNER OF RECORD AS OF APRIL 2012**
 ROMAN CATHOLIC BISHOP OF PORTLAND
 PO BOX 11559
 PORTLAND ME 04104
LAND VALUE \$66,000.00
BUILDING VALUE \$589,700.00
PARSONAGES (\$20,000.00)
NET TAXABLE - REAL ESTATE \$635,700.00
TAX AMOUNT \$11,963.88

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or [e-mailed](#).



Building Information:

Building 1

Year Built 1957
Style/Structure Type MANSION
Stories 2
Units 1
Bedrooms 8
Full Baths 4
Half Baths 3
Total Rooms 22
Attic FULL FINSH
Basement FULL
Square Feet 7138

[View Sketch](#) [View Map](#) [View Picture](#)



Best viewed at 800x600, with Internet Explorer

New Search

FR. HAYES STAIR RETROFIT PROJECT FOR ST. BRIGID CATHOLIC SCHOOL 695 STEVENS AVENUE PORTLAND, MAINE 04103

LIST OF CONSTRUCTION DOCUMENTS

COVER	TITLE SHEET & GENERAL NOTES
FH-C-100	SITE CONSTRUCTION & EROSION CONTROL NOTES, SITE LEGEND
FH-C-200	PROPOSED SITE LAYOUT & EROSION CONTROL PLAN
FH-C-201	SITE DETAILS
FH-F-200 R1	FOUNDATION PLAN & DETAILS
FH-A-200 R1	LOWER LEVEL FLOOR PLAN
FH-A-201 R1	FIRST FLOOR PLAN & DOOR SCHEDULE
FH-A-202 R1	ROOF PLAN & ROOF DETAILS
FH-ST-200 R1	ROOF STRUCTURAL FRAMING PLAN
FH-A-400 R1	STAIR - EXTERIOR ELEVATIONS
FH-A-500-1 R1	STAIR - BUILDING SECTIONS
N/A	PROJECT MANUAL DATED JUNE 01, 2012

GENERAL NOTES

<p>1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.</p> <p>2. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES.</p> <p>3. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN.</p> <p>4. THE CONTRACTOR SHALL MAINTAIN THE EXISTING CURB AND SIDEWALKS TO REMAIN.</p> <p>5. THE CONTRACTOR SHALL MAINTAIN THE EXISTING DRIVEWAY AND PAVEMENT TO REMAIN.</p> <p>6. THE CONTRACTOR SHALL MAINTAIN THE EXISTING FOUNDATION AND FOOTINGS TO REMAIN.</p> <p>7. THE CONTRACTOR SHALL MAINTAIN THE EXISTING ROOF STRUCTURE TO REMAIN.</p> <p>8. THE CONTRACTOR SHALL MAINTAIN THE EXISTING STAIR STRUCTURE TO REMAIN.</p> <p>9. THE CONTRACTOR SHALL MAINTAIN THE EXISTING EXTERIOR FINISHES TO REMAIN.</p> <p>10. THE CONTRACTOR SHALL MAINTAIN THE EXISTING INTERIOR FINISHES TO REMAIN.</p> <p>11. THE CONTRACTOR SHALL MAINTAIN THE EXISTING MECHANICAL SYSTEMS TO REMAIN.</p> <p>12. 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ACCESSIBILITY NOTES

<p>1. THE CONTRACTOR SHALL PROVIDE ACCESSIBLE ROUTES TO ALL ENTRANCES AND EXITS.</p> <p>2. THE CONTRACTOR SHALL PROVIDE ACCESSIBLE ROUTES TO ALL ELEVATORS AND STAIRS.</p> <p>3. THE CONTRACTOR SHALL PROVIDE ACCESSIBLE ROUTES TO ALL RESTROOMS AND CHANGING ROOMS.</p> <p>4. THE CONTRACTOR SHALL PROVIDE ACCESSIBLE ROUTES TO ALL OFFICES AND CLASSROOMS.</p> <p>5. THE CONTRACTOR SHALL PROVIDE ACCESSIBLE ROUTES TO ALL STORAGE AND LOCKERS.</p> <p>6. THE CONTRACTOR SHALL PROVIDE ACCESSIBLE ROUTES TO ALL SERVICE COUNTERS.</p> <p>7. THE CONTRACTOR SHALL PROVIDE ACCESSIBLE ROUTES TO ALL INFORMATION KIOSKS.</p> <p>8. THE CONTRACTOR SHALL PROVIDE ACCESSIBLE ROUTES TO ALL SIGNAGE.</p> <p>9. THE CONTRACTOR SHALL PROVIDE ACCESSIBLE ROUTES TO ALL TELEPHONE BOOTHS.</p> <p>10. THE CONTRACTOR SHALL PROVIDE ACCESSIBLE ROUTES TO ALL VOTING STATIONS.</p> <p>11. THE CONTRACTOR SHALL PROVIDE ACCESSIBLE ROUTES TO ALL PUBLIC ARTWORK.</p> <p>12. THE CONTRACTOR SHALL PROVIDE ACCESSIBLE ROUTES TO ALL PUBLIC SEATING.</p> <p>13. THE CONTRACTOR SHALL PROVIDE ACCESSIBLE ROUTES TO ALL PUBLIC TOILETS.</p> <p>14. THE CONTRACTOR SHALL PROVIDE ACCESSIBLE ROUTES TO ALL PUBLIC FOUNTAINS.</p> <p>15. THE CONTRACTOR SHALL PROVIDE ACCESSIBLE ROUTES TO ALL PUBLIC BENCHES.</p> <p>16. THE CONTRACTOR SHALL PROVIDE ACCESSIBLE ROUTES TO ALL PUBLIC BICYCLE RACKS.</p> <p>17. THE CONTRACTOR SHALL PROVIDE ACCESSIBLE ROUTES TO ALL PUBLIC BICYCLE REPAIR STATIONS.</p> <p>18. THE CONTRACTOR SHALL PROVIDE ACCESSIBLE ROUTES TO ALL PUBLIC BICYCLE STORAGE.</p> <p>19. THE CONTRACTOR SHALL PROVIDE ACCESSIBLE ROUTES TO ALL PUBLIC BICYCLE REPAIR STATIONS.</p> <p>20. THE CONTRACTOR SHALL PROVIDE ACCESSIBLE ROUTES TO ALL PUBLIC BICYCLE STORAGE.</p>	<p>1. THE CONTRACTOR SHALL PROVIDE ACCESSIBLE ROUTES TO ALL ENTRANCES AND EXITS.</p> <p>2. THE CONTRACTOR SHALL PROVIDE ACCESSIBLE ROUTES TO ALL ELEVATORS AND STAIRS.</p> <p>3. THE CONTRACTOR SHALL PROVIDE ACCESSIBLE ROUTES TO ALL RESTROOMS AND CHANGING ROOMS.</p> <p>4. THE CONTRACTOR SHALL PROVIDE ACCESSIBLE ROUTES TO ALL OFFICES AND CLASSROOMS.</p> <p>5. THE CONTRACTOR SHALL PROVIDE ACCESSIBLE ROUTES TO ALL STORAGE AND LOCKERS.</p> <p>6. THE CONTRACTOR SHALL PROVIDE ACCESSIBLE ROUTES TO ALL SERVICE COUNTERS.</p> <p>7. THE CONTRACTOR SHALL PROVIDE ACCESSIBLE ROUTES TO ALL INFORMATION KIOSKS.</p> <p>8. THE CONTRACTOR SHALL PROVIDE ACCESSIBLE ROUTES TO ALL SIGNAGE.</p> <p>9. THE CONTRACTOR SHALL PROVIDE ACCESSIBLE ROUTES TO ALL TELEPHONE BOOTHS.</p> <p>10. THE CONTRACTOR SHALL PROVIDE ACCESSIBLE ROUTES TO ALL VOTING STATIONS.</p> <p>11. THE CONTRACTOR SHALL PROVIDE ACCESSIBLE ROUTES TO ALL PUBLIC ARTWORK.</p> <p>12. THE CONTRACTOR SHALL PROVIDE ACCESSIBLE ROUTES TO ALL PUBLIC SEATING.</p> <p>13. THE CONTRACTOR SHALL PROVIDE ACCESSIBLE ROUTES TO ALL PUBLIC TOILETS.</p> <p>14. THE CONTRACTOR SHALL PROVIDE ACCESSIBLE ROUTES TO ALL PUBLIC FOUNTAINS.</p> <p>15. THE CONTRACTOR SHALL PROVIDE ACCESSIBLE ROUTES TO ALL PUBLIC BENCHES.</p> <p>16. THE CONTRACTOR SHALL PROVIDE ACCESSIBLE ROUTES TO ALL PUBLIC BICYCLE RACKS.</p> <p>17. THE CONTRACTOR SHALL PROVIDE ACCESSIBLE ROUTES TO ALL PUBLIC BICYCLE REPAIR STATIONS.</p> <p>18. THE CONTRACTOR SHALL PROVIDE ACCESSIBLE ROUTES TO ALL PUBLIC BICYCLE STORAGE.</p> <p>19. THE CONTRACTOR SHALL PROVIDE ACCESSIBLE ROUTES TO ALL PUBLIC BICYCLE REPAIR STATIONS.</p> <p>20. THE CONTRACTOR SHALL PROVIDE ACCESSIBLE ROUTES TO ALL PUBLIC BICYCLE STORAGE.</p>
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VENDOR DESIGNED/BUILD SYSTEMS/COMPONENTS

NOTE: THE FOLLOWING SYSTEMS WILL BEEN DESIGNED AND INSTALLED BY SEPARATE DESIGN-BUILD CONTRACTORS.

- STAIR HEATING
- STAIR ELECTRICAL POWER DISTRIBUTION AND LIGHTING
- FR. HAYES CENTER FIRE ALARM SYSTEM MODIFICATIONS

OWNER DESIGNED SYSTEMS/COMPONENTS

NOTE: THE FOLLOWING SYSTEMS WILL BE DESIGNED BY THE OWNER.

- NONE AT THIS TIME

PROJECT ALLOWANCES

- FIELD TESTING ALLOWANCE \$ 1,000.00

PROJECT ALTERNATES

- ALTERNATE 1: BELL TOWER
- ALTERNATE 2: DUROLAST WHITE REFLECTIVE PVC ROOF MEMBRANE

RECEIVED

JUL 23 2012

Dept. of Building Inspections
City of Portland Maine

ARCHITECT:

DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.
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STRUCTURAL ENGINEER:

MFL ENGINEERING
1000 BROADWAY, PORTLAND, ME 04103
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SITE LEGEND

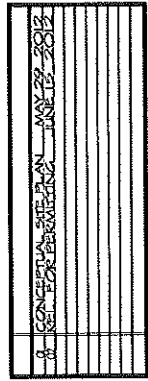
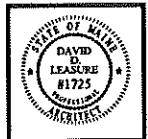
PROP. LINE BEARING	S 23-02'-00" E 179.26'
EASEMENT LINE	---
EXIST. EDGE OF VEGETATION	~
GALVANIZED BARRIER	S S
SWALE	~
DIRECTION OF FLOW	→
CULVERT	---
EXISTING GRANITE CURBING	---
EXISTING GRANITE CURBING TO BE REMOVED	---
NEW CONCRETE/GRAVITY CURBING	---
VERTICAL GRANITE CURBING	VGC
SLOPED GRANITE CURBING	SGC
FLUSH GRANITE CURBING	FGC
VERTICAL CONCRETE CURBING	VCC
SLOPED CONCRETE CURBING	SCC
FLUSH CONCRETE CURBING	FGC
VERTICAL BITUMINOUS CURB	VCB
TIP DOWN CURB (MATCH ADJACENT)	TD

SPOT ELEVATION	95.60 X
NEW CONTOUR	12
EXISTING CONTOUR	12
BENCH MARK	EL. 0.00
SOIL BORING LOCATION	B-502
CONCRETE MONUMENT FOUND	■
IRON PIPE FOUND	⊙
UTILITY POLE	⊙
EXISTING MANHOLE	⊙
NEW MANHOLE	⊙
HYDRANT	⊙
EXISTING CATCH BASIN	⊙
NEW CATCH BASIN	⊙
NEW CATCH BASIN (SOIL DISPERSION TYPE)	⊙

FRENCH DRAIN	⊙
WATER SHUT-OFF VALVE	⊙
TRANSFORMER PAD	⊙
DECIDUOUS TREE	⊙
CONIFEROUS TREE	⊙
NEW CONCRETE SURFACE	⊙
NEW PLANTING BED W/ 6" SHREDED BLACK BARK MULCH	⊙
ROUNDED RIVER BED STONE BED	⊙
EROSION CONTROL MESH	⊙
WHEEL WASH AREA	⊙

NEW PAVED AREA	⊙
OVERHEAD ELEC. LINE	---
OVERHEAD TELEPHONE	---
OVERHEAD CATV	---
UNDERGROUND ELEC.	---
UNDERGROUND TEL.	---
UNDERGROUND CATV	---
STORM SEWER	---
SANITARY SEWER	---
HOUSE SANITARY SEWER	---
KITCHEN SANITARY SEWER	---
WATER SERVICE	---

PERMETER FDN. DRAIN	---
UNDERDRAIN	---
UNDERGRD. ELECTRIC POWER IN 1" PVC CONDUIT	---
SANITARY SEWER FORCE MAIN	---
EXISTING COMPONENT TO REMAIN	(E)
COMPONENT TO BE REMOVED	(R)
NEW COMPONENT OR DEVICE	(N)



PLAN REFERENCES:

- PLAN OF THE ROMAN CATHOLIC CHURCH IN PORTLAND MAINE SURVEYED IN NOVEMBER 1928 BY E. C. JORDAN & CO. UNRECORDED.
- THE CITY BLUE SHEETS FOR STEVENS AVE, ELWOOD ST., ST. JOSEPH ST., AND TREMAYNE ST.
- PLAN OF TREMAYNE STREET, RECORDED IN THE CLAMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 13 PAGE 17.
- PORTLAND WATER DISTRICT, PORTLAND SEWER SYSTEM INFILTRATION-FLOW ANALYSIS, SYSTEM BASE MAPPIING, STUDY AREA 1 BY HUNTER BALLEW ASSOCIATES DATED AUGUST 1978.

SITE NOTES:

- OWNER OF RECORD: ROMAN CATHOLIC BISHOP OF PORTLAND
- LOCUS IS SHOWN AS LOTS 144-D-1, 2, 3 AND 143-A-32, 37 ON CITY OF PORTLAND'S ASSESSORS MAPS.
- BEARINGS ARE BASED ON MAINE STATE PLANE COORDINATE SYSTEM MAINE WEST NAD 83.
- BENCH MARK: MONUMENT BOLT 3' OFF SET EASTERLY SIDE STEVENS AVENUE, FIRST ANGLE SOUTHERLY OF ARBOR STREET, ELEVATION 127.26 NOV 0 1928.
- BUILDING FOOTPRINTS SHOWN HEREON WERE PROVIDED BY CLIENT.
- BOUNDARY AND TOPOGRAPHIC INFORMATION IS BASED ON BOUNDARY & TOPOGRAPHIC SURVEY PLAN AT ST. JOSEPH ROMAN CATHOLIC CHURCH, STEVENS AVENUE, PORTLAND, MAINE DRAWING PREPARED BY GUYTON HASKELL, INC. FALMOUTH, MAINE DATED SEPTEMBER 18, 2011.
- ALL MATERIALS AND INSTALLATION DETAILS SHALL MEET MAADOT AND THE CITY OF PORTLAND, MAINE'S TECHNICAL DESIGN STANDARDS.
- THE SITE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AND KEEPING STREETS CLEAN AND FREE OF DIRT AND DEBRIS DURING ALL CONSTRUCTION PROCEDURES. SEE THE EROSION CONTROL PLAN DWG. C-100 AND THE SPECIFICATION MANUAL. THE FINAL PLAN SHALL BE REVIEWED AND APPROVED BY THE CITY OF PORTLAND, MAINE.
- SEE DRAWING C-100 FOR ADDITIONAL CONSTRUCTION AND EROSION CONTROL REQUIREMENTS.

UTILITY NOTES:

- THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEY FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED IN THE DRAWING OR DOES GUARANTEE THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. CALL 480-0346 AT LEAST THREE BUSINESS DAYS BEFORE PERFORMING ANY CONSTRUCTION. DUE TO OS&A CONFINED SPACE REQUIREMENTS, ALL INVERTS AND PIPE SIZES MUST BE VERIFIED PRIOR TO ANY CONSTRUCTION.

SITE CONSTRUCTION AND EROSION CONTROL NOTES

- THESE DRAWINGS DEPICT REQUIRED SOIL EROSION CONTROL MEASURES. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE CONSTRUCTION SITE IN SUCH A MANNER THAT:
 - A. SOIL EROSION IS KEPT TO A MINIMUM.
 - B. NO CONSTRUCTION SEDIMENT LEAVES THE CONSTRUCTION SITE PROPER.
 - C. ALL POSSIBLE MEASURES ARE EMPLOYED TO PREVENT SEDIMENT FROM ENTERING DRAINAGE COURSES AND METWAYS EVEN BEYOND THE DESIGN BOUNDARY OF THESE DRAWINGS.
- GENERAL CONTR. SHALL VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES BY CONTACTING "DOWNSAY" (488-3447) AND ALL UTILITY COMPANIES SERVING THE PROPERTY PRIOR TO BEGINNING EXCAVATION PROCEDURES.
- PROVIDE SILT FENCING AROUND ALL EXISTING MOVING OR DISTURBANCE ACTIVITIES. PROVIDE SILT SACKS IN ALL ON AND OFF-SITE CATCH BASINS DURING EXCAVATION PROCEDURES. SEE SITE PLAN FOR PROPOSED SILT FENCE LOCATIONS.
- GENERAL CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO COMMENCING CONSTRUCTION.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A DEMOLITION, EXCAVATION PERMIT AND CONSTRUCTION DRAIN DISPOSAL PERMIT FROM THE CITY OF PORTLAND, MAINE PRIOR TO COMMENCING CONSTRUCTION.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A ROAD OPENING PERMIT FROM THE CITY OF PORTLAND, MAINE FOR ANY UTILITY OR CURB WORK WITHIN THE CITY STREET RIGHT-OF-WAY.
- SILTATION AND SILT BARRIER SHALL BE INSTALLED AROUND ANY EXISTING POND OR DISTURBANCE ACTIVITY TO PREVENT MOVEMENT OF SILT INTO STREAMS, BROOKS, DRAINAGE AND ROAD DITCHES. DETENTION AND SEDIMENTATION PONDS, AND ON OFF-SITE PRIVATE AND MUNICIPAL CATCH BASINS.
- GENERAL CONTRACTOR SHALL PROVIDE AND MAINTAIN ALL PEDESTRIAN AND VEHICULAR TRAFFIC CONTROL DEVICES DURING CONSTRUCTION, DELIVERIES, LOADING, AND ON STREET/ROAD OPENING PROCEDURES.
- NOTIFY ARCHITECT IMMEDIATELY IF FIELD CONDITIONS ENCOUNTERED DIFFER FROM THOSE SHOWN ON THESE DRAWINGS.
- PROVIDE SECONDARY PIPE BELLIES OF SIMILAR MATERIAL WHERE PIPING AND CONDUIT PASS THRU FOUNDATION WALLS AND SLABS.
- GENERAL CONTRACTOR SHALL PERFORM ALL SITE WORK IN ACCORDANCE WITH THE STATE OF MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION, BEST MANAGEMENT PRACTICES - 14-1531 REV. 01, PUBLISHED BY THE CLAMBERLAND COUNTY SOIL AND WATER CONTROL DISTRICT AND THE DEPARTMENT OF ENVIRONMENTAL PROTECTION, EPA.
- NEW UNDERGROUND ELECTRICAL SERVICE CABLE TO BE INSTALLED IN 3/4" MIN. SCHEDULE 40 PVC AT 12" BELOW ROUGH GRADE ELEVATION. PROVIDE CAUTION TAPE AT 6" INCHES DIRECTLY ABOVE ELECTRICAL SERVICE CONDUIT, TYP.
- ALL UNDERGROUND SITE LOCATIONS ORIENTED TO BE INSTALLED IN 1" MIN. SCHEDULE 40 PVC AT 12" BELOW ROUGH GRADE ELEVATION. PROVIDE CAUTION TAPE AT 6" INCHES DIRECTLY ABOVE ELECTRICAL SERVICE CONDUIT, TYP.
- PLANTING BEDS SHALL BE PREPARED WITH 6" SHREDED BLACK BARK MULCH OVERLANDSCAPING FABRIC AND 12" MIN. FIBER LOW PLANTING MIXTURE. LOW MULCH SHALL BE TESTED AND BE COMPOSED OF 30% SILT, 30% CLAY AND 30% SAND.
- USE PERMANENT SEED MIXTURES AND RATES BETWEEN MAY 15 AND SEPTEMBER 30.
- USE TEMPORARY SEED MIXTURES FOR PERIODS LESS THAN 12 MONTHS. IF USING TEMPORARY SEED MIXTURES AND RATES BETWEEN OCTOBER 1 AND MAY 14, RE-SEED WITH PERMANENT SEED MIXTURES AFTER 5/16.
- SEED MIXTURES:**

PERMANENT SEED MIXTURE	APPLICATION RATE
KENTUCKY BLUEGRASS	20 LBS. PER ACRE
CREeping RED FESCUE	20 LBS. PER ACRE
PERENNIAL RYEGRASS	8 LBS. PER ACRE
TOTAL SEED RATE	48 LBS. PER ACRE

TEMPORARY SEED MIXTURE	APPLICATION RATE
GRASS	80 LBS. PER ACRE 401-5/14
ANNUAL RYEGRASS	40 LBS. PER ACRE
PERENNIAL RYEGRASS	40 LBS. PER ACRE 5/15-8/14
ANNUAL RYEGRASS	40 LBS. PER ACRE 5/15-8/14
WINTER RYE	12 LBS. PER ACRE 8/15-9/30
WINTER RYE (PROTECT WITH MULCH COVER)	12 LBS. PER ACRE 9/31-3/31
- LIME AND FERTILIZER:**

LIME AND FERTILIZER RATES SHALL BE BASED ON FIELD SOIL TESTING OF ON-SITE TOPSOIL BY A CERTIFIED LABORATORY. SUBMIT TEST RESULTS TO ARCHITECT FOR DIRECTION.
- MULCH:**

STRAW OR HAY (NO MORE)	70-80 LBS. PROTECTED AREAS
STRAW OR HAY (NO MORE)	180-270 LBS. (NO PROTECTED AREAS)
SHREDED OR CHIPPED	180-270 LBS.
LITE HEAVY EXCELSION MULCH	AS REQUIRED. BE MODERATE TO HIGH VELOCITY AS REQUIRED AREAS & STEEP SLOPES
- MULCH AND/OR CURBING:**

PER & TRIME	LIQUID ASPHALT
MULCH MELTING	WOOD CELLULOSE FIBER
ASPHALT EMULSION	ASPHALT TACK

GENERAL NOTES

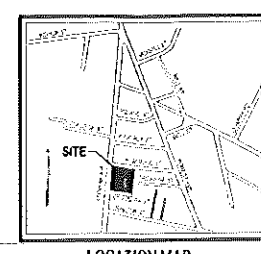
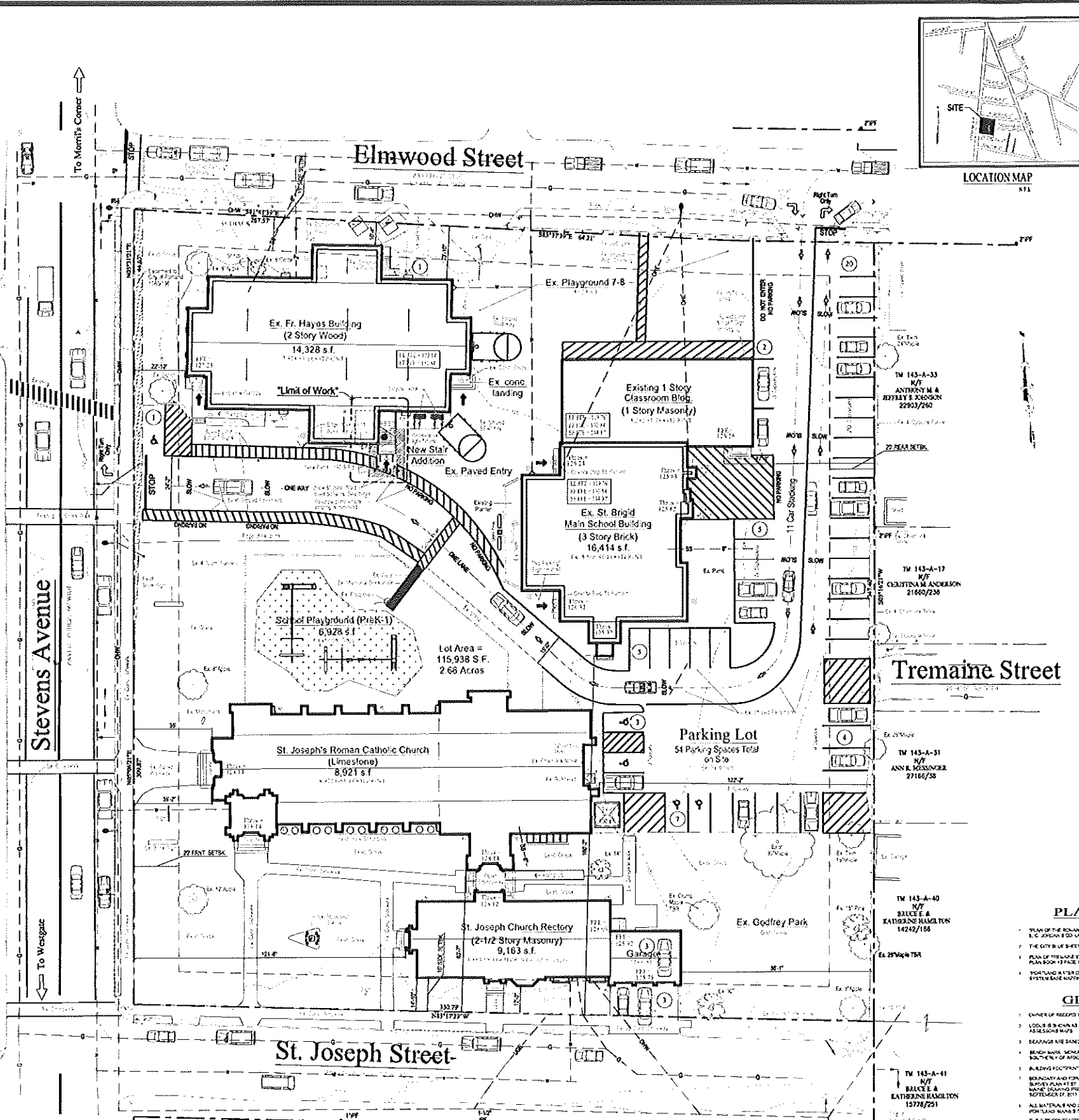
- THESE SITE DRAWINGS ARE BASED ON BOUNDARY LINE SURVEY BY LEO BLUM OF LEO BLUM SURVEYING PREPARED BY FRANK H. EMERY, JR. DATED OCTOBER 10, 1989.
- TOPOGRAPHIC INFORMATION IS BASED ON PLAN DEPICTING THE RESULTS OF A TOPOGRAPHIC SURVEY PREPARED BY JAMES D. MADOLE, ALL DATED JUNE 18, 2011.
- THE LOCATIONS OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON AVAILABLE RECORDS, RECORD DRAWINGS, AND BARRIERS PROVIDED TO THE APPLICANT. LOCATIONS OF UNDERGROUND UTILITIES AND STRUCTURES MAY VARY FROM THE LOCATIONS SHOWN HEREON. UNLESS SPECIFICALLY NOTED, NO EXCAVATIONS WERE MADE DURING THE PROCESS OF THE SURVEY. UNDERGROUND UTILITIES MAY BE NOTICED PRIOR TO ANY EXCAVATION.
- OWNER OF RECORD: ST. BRIGID SCHOOL REALTY, LLC IN THE YORK COUNTY RESISTOR OF DEEDS BOOK 104 PAGE 18.
- BOUNDARY LINE INFORMATION IS BASED ON THE SOUTH BOUNDARY LINE WITH A LINE BENCHMARK ELEVATION IS 104.000 ELEVATION + 0.000.
- TOPOGRAPHIC INFORMATION IS BASED ON RECORDS.
- BOUNDARY LINE INFORMATION IS BASED ON PLAN DRAWING PREPARED BY FRANK H. EMERY, JR. DATED OCTOBER 10, 1989.
- TOPOGRAPHIC INFORMATION IS BASED ON PLAN DEPICTING THE RESULTS OF A TOPOGRAPHIC SURVEY PREPARED BY JAMES D. MADOLE, ALL DATED JUNE 18, 2011.
- PROVIDE 8" SQUARE ON THE TOWN OF ELDT, MAINE ASSESSORS TAX MAP AS LOTS 1 & 2 BOOK 104 PAGE 18.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE STATE OF MAINE AND LOCAL UTILITY COMPANIES AT LEAST 3 BUSINESS DAYS, BUT NOT MORE THAN 10 BUSINESS DAYS, PRIOR TO THE COMMENCEMENT OF ANY EXCAVATION, AS IN ACCORDANCE WITH MAINE STATE LAW.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL MEANS METHODS AND TECHNIQUES EMPLOYED TO PERFORM THE WORK SPECIFIED ON THESE DRAWINGS.
- ALL WORK SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL SAFETY REGULATIONS.
- ALL WORK SHALL BE PERFORMED IN STRICT CONFORMANCE WITH THE CITY OF PORTLAND, MAINE TECHNICAL DESIGN STANDARDS - LATEST EDITION AND THE TOWN OF ELDT WORKS REQUIREMENT ALONG WITH THE RESPECTIVE UTILITY COMPANIES REQUIREMENTS.
- THE OWNER SHALL BE RESPONSIBLE AND PAY FOR ALL PERFORMANCE GUARANTEES SPECIFIED BY THE TOWN OF ELDT, MAINE PRIOR TO COMMENCING CONSTRUCTION OPERATIONS.
- THE CONTRACTOR SHALL VERIFY LOCATIONS AND DEPTHS OF ALL UTILITIES WITH THE RESPECTIVE UTILITY COMPANY PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. IF ANY DISCREPANCY OR CONFLICT IS FOUND, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND OWNER PRIOR TO PROCEEDING.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR THE WORK SHOWN ON THESE PLANS PRIOR TO COMMENCING CONSTRUCTION.
- NO BLASTING WILL BE ALLOWED WITHIN 50 FT OF ANY UTILITY WITHOUT THE NOTIFICATION AND APPROVAL OF THE APPROPRIATE UTILITY COMPANY. NO LINGERING BASTING WILL BE PERMITTED WITHIN 50 FEET OF ANY UTILITY UNLESS WRITTEN APPROVAL FROM THE UTILITY IS OBTAINED.
- ALL FOUNDATION CURB SHALL BE SHOWN TO RESULT IN CLEAN EDGES. A SHIP LAPPED JOINT SHALL BE PREPARED AS DETAILED ON THE SITE DRAWINGS. A BACK COAT SHALL BE APPLIED ALONG THE SHIP LAPPED JOINT EDGES AND NEW FOUNDATION SHALL BE SHIP LAPPED FABRICATION TO THE EXISTING CURB FACE.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO RECLAIM OR PROPERLY DISPOSE OF ALL REMOVED MATERIALS.
- METS AND CUTTERS OF ALL COLLECTORS SHALL BE SHIPPED UNLESS OTHERWISE NOTED ON THE PLANS OR DIRECTED BY THE ENGINEER.
- CONDUIT SHALL BE PROVIDED FOR ALL ELECTRIC, TELEPHONE AND GAS DRAINAGE IN ACCORDANCE WITH THE SPECIFICATION AND THE RESPECTIVE UTILITY COMPANY WRITTEN REQUIREMENTS.
- THE APPLICANT AGREES TO MAINTAIN THE EXISTING VEGETATION IN THE NATURE STATE BEYOND THE LIMIT OF WORK AREA.

REL. FOR PRICING & PERMITTING - JUNE 25, 2012
NOT FOR CONSTRUCTION

ST. BRIGID CATHOLIC SCHOOL
FR. HAYES CENTER - STAIR ADDITION
695 STEVENS AVENUE
PORTLAND, MAINE 04103

FH-C-100

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SITE DESIGN DATA

1. TOTAL LOT AREA:	115,937 S.F. (2.66 ACRES)
2. ZONING DISTRICT:	RS - RESIDENTIAL 5 ZONE
3. BUILDING USES:	(A) ST. BRIGID SCHOOL (INSTITUTIONAL CONDITIONAL USE - ELEMENTARY SCHOOL, BC-2012 USE E, EST. 1915 AS ST. JOSEPH'S CATHOLIC SCHOOL) (B) FR. HAYES CENTER - ASSEMBLY & INSTITUTIONAL CONDITIONAL USE - GYMNASIUM W/O SPECTATOR SEATING & ELEMENTARY SCHOOL, BC-2012 USE A-3 & E, EST. 1907 AS FR. HAYES MULTIPURPOSE BUILDING (C) ST. JOSEPH'S CHURCH - ASSEMBLY CONDITIONAL USE - RELIGIOUS WORSHIP, BC-2012 USE A-3, EST. 1929 AS ST. JOSEPH ROMAN CATHOLIC CHURCH (D) ST. JOSEPH RECTORY (RESIDENTIAL USE - DORMITORY) BC-2012 USE R-2, BC-2012 USE A-3, EST. 1924 AS ST. JOSEPH RECTORY
4. OWNER OF PROPERTY:	ROMAN CATHOLIC BISHOP OF PORTLAND, MAINE 613 OCEAN AVENUE PORTLAND, MAINE 04102 BOOK 4245, PAGE 95
5. PARKING REQUIRED - (ELEMENTARY SCHOOL):	22 INSTRUCTION ROOMS AT 1 SPACE PER ROOM = 22 SPACES 53 SPACES PROVIDED INCL. 4 ACCESSIBLE SPACES
6. REQUIRED POST DEVELOPMENT:	22 INSTRUCTION ROOMS AT 1 SPACE PER ROOM = 22 SPACES 53 SPACES PROVIDED INCL. 4 ACCESSIBLE SPACES
7. TOTAL REQUIRED:	22 SPACES REQUIRED
8. PROPOSED:	53 SPACES PROVIDED INCLUDING 4 ACCESSIBLE SPACES
9. PARKING REQUIRED (CHURCH) EST. 1929:	4,692 S.F. OF ASSEMBLY AREA AT 1 SPACE PER 125 S.F. = 37.5 SPACES REQ'D INCL. 3 ACCESSIBLE SPACES
10. REQUIRED EXIST. BLDG:	4,692 S.F. OF ASSEMBLY AREA AT 1 SPACE PER 125 S.F. = 37.5 SPACES REQ'D INCL. 3 ACCESSIBLE SPACES
11. TOTAL REQUIRED:	37.5 SPACES REQUIRED
12. PROPOSED (SHARED):	53 SPACES PROVIDED AT OFF-HOUR SCHOOL TIMES (INCLUDING 4 ACCESSIBLE SPACES) ST. BRIGID SCHOOL SPACES AND ON-STREET PARKING AVAILABLE DURING SATURDAY NIGHT & SUNDAY MORNING SERVICES
13. PARKING REQUIRED (RECTORY) EST. 1927:	LOGGING (DORMITORY) FACILITY 8 ROOMING UNITS AT 1 SPACE PER 6 ROOMING UNITS = 1.3 SPACES REQ'D
14. TOTAL REQUIRED:	1.3 SPACES REQUIRED
15. PROPOSED:	0 OFF-STREET SPACES (GARAGE & DRIVEWAY) PROVIDED INCL. 3 SPACES IN ENCLOSED GARAGE
16. SPACE AND BULK REQUIREMENTS FOR ST. BRIGID SCHOOL BUILDING - EST. 1915:	
17. MINIMUM LOT AREA (ASSEMBLY & SCHOOL):	NONE EXISTING USE - JUNE 1, 1985 118,938 S.F. = 2.66 ACRES
18. MINIMUM STREET FRONTAGE:	50 FT.
19. MAXIMUM FLOOR AREA (ON COLLECTOR ST):	NOT LIMITED
20. MINIMUM FRONT YARD SETBACK:	20 FT.
21. MINIMUM SIDE YARD (NORTH) SETBACK:	15 FT.
22. MINIMUM SIDE YARD (SOUTH) SETBACK:	15 FT.
23. MINIMUM REAR YARD SETBACK:	15 FT.
24. MAXIMUM LOT COVERAGE:	45% (25.81% EXISTING) 28.97% PROPOSED
25. MAXIMUM LOT WIDTH:	60 FT.
26. MAXIMUM BUILDING HEIGHT:	NO REQ'T.
27. MAIN SCHOOL BLDG.:	35 FT.
28. FR. HAYES CENTER:	35 FT.
29. ST. JOSEPH CHURCH:	35 FT.
30. ST. JOSEPH RECTORY:	35 FT.
31. LOT DEPTH (MINIMUM):	330.78 FT. MIN.
32. BUILDING SUMMARY:	
33. MAIN SCHOOL BLDG.:	PRE
34. BUILDING FOOTPRINT:	5,569 GSF
35. TOTAL BUILDING SQUARE FOOTAGE:	13,784 GSF
36. LOT COVERAGE (BUILDING):	5,569 S.F. (4.8%)
37. FR. HAYES CENTER:	POST
38. BUILDING FOOTPRINT:	7,258.4 GSF
39. TOTAL BUILDING SQUARE FOOTAGE:	15,318 GSF
40. LOT COVERAGE (BUILDING):	7,258.4 S.F. (6.26%) = (0.12% INCREASE)
41. ST. JOSEPH CHURCH:	PRE
42. BUILDING FOOTPRINT:	9,218 GSF
43. TOTAL BUILDING SQUARE FOOTAGE:	12,118 GSF
44. LOT COVERAGE (BUILDING):	9,218 S.F. (7.95%)
45. ST. JOSEPH RECTORY:	PRE
46. BUILDING FOOTPRINT:	3,854 GSF
47. TOTAL BUILDING SQUARE FOOTAGE:	8,183 GSF
48. LOT COVERAGE (BUILDING):	3,854 S.F. (3.3%) = (NO INCREASE)
49. TOTAL SITE (ALL BUILDINGS):	25,782.8 GSF
50. BUILDING FOOTPRINT:	25,897.4 GSF
51. TOTAL BUILDING SQUARE FOOTAGE:	56,274.8 GSF
52. LOT COVERAGE (BUILDING):	25,782.8 S.F. (22.24%) = (0.1% INCREASE)
53. TOTAL SITE IMPERVIOUS AREA (PARKING LOT & BLDG.):	PRE
54. SITE IMPERVIOUS AREA (PVT. & BLDG. - S.F.):	78,551 S.F.
55. SITE IMPERVIOUS AREA (PVT. & BLDG. - %):	(68.01%)
56. SITE IMPERVIOUS AREA (PVT. & BLDG. - %):	(66.14%) 0.09% INCREASE
57. SITE AREAS (BUILDINGS, PAVEMENT & SIDEWALKS, GRASS & MULCH):	
58. BUILDING FOOTPRINTS:	PRE 28,115 S.F. POST 29,260 S.F.
59. PAVEMENT & SIDEWALKS:	PRE 47,416 S.F. POST 47,372 S.F.
60. GRASS AND MULCH:	PRE 39,098 S.F. POST 38,078 S.F.
61. TOTALS:	PRE 114,629 S.F. POST 114,710 S.F.

PLAN REFERENCES:

1. PLAN OF THE ROMAN CATHOLIC CHURCH IN PORTLAND MAINE, REVISED AND APPROVED BY B.C. JORDAN & CO. ARCHITECTS
2. THE CITY OF PORTLAND ZONING ORDINANCES, AS AMENDED BY ST. JOSEPH ST. AND TREMAINE ST.
3. PLAN OF PREVIOUS PLANET, REQUIRED BY THE CHAMBERLAIN COUNTY DEPARTMENT OF DEEDS IN PORTLAND, MAINE
4. PORTLAND WATER DEPARTMENT, PORTLAND SEWER SYSTEM, PORTLAND, MAINE, SYSTEM MAP NUMBER 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100

GENERAL NOTES:

1. OWNER OF RECORDS: ROMAN CATHOLIC BISHOP OF PORTLAND
2. LOCUS IS ON A LOT IN THE CITY OF PORTLAND
3. REARRANGE AND REDESIGN AS SHOWN ON THIS PLAN
4. BRIDGE OVER PORTLAND RIVER SYSTEM IS OWNED BY PORTLAND WATER DEPARTMENT
5. ALL BUILDING FOOTPRINTS SHOWN HEREIN WERE PROVIDED BY CLIENT
6. BOUNDARY AND PROPERTY LINE INFORMATION IS BASED ON BOUNDARY & PROPERTY LINE SURVEY PLAN BY ST. JOSEPH ROMAN CATHOLIC CHURCH, TRUSTEES, 1915, AND THE PLAN SHOWING PREPARED BY OWEN HANSELL, INC., PORTLAND, MAINE DATED REFERENCE TO 2011
7. ALL MATERIALS AND INSTALLATION DETAILS SHALL MEET SHOWN AND THE CITY OF PORTLAND MAINE'S REGULATORY DESIGN REQUIREMENTS
8. THE SITE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, CLEARANCES AND FEES OF CITY AND STATE DURING ALL CONSTRUCTION PHASES. SEE THE EXISTING UTILITIES MAP FOR THE LOCATION OF ALL UTILITIES. THE FINAL PLAN SHALL BE REVIEWED AND APPROVED BY THE CITY OF PORTLAND MAINE
9. ALL UTILITIES SHALL BE DEEPER THAN THE EXISTING UTILITIES. THE EXISTING UTILITIES SHALL BE DEEPER THAN THE EXISTING UTILITIES. THE EXISTING UTILITIES SHALL BE DEEPER THAN THE EXISTING UTILITIES.
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UTILITY NOTES:

1. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND ARE NOT GUARANTEED. THE SURVEYOR HAS NO LIABILITY FOR THE ACCURACY OF THE UTILITIES SHOWN ON THIS PLAN. THE SURVEYOR HAS NO LIABILITY FOR THE ACCURACY OF THE UTILITIES SHOWN ON THIS PLAN. THE SURVEYOR HAS NO LIABILITY FOR THE ACCURACY OF THE UTILITIES SHOWN ON THIS PLAN.
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CP41	BUILDING AREAS	PRE	POST
	EXISTING MAIN SCHOOL BUILDING	5,569 GSF	5,569 GSF
	NEW CLASSROOM ADDITION	7,258.4 GSF	7,258.4 GSF
	FR. HAYES GYMNASIUM BUILDING	9,218 GSF	9,218 GSF
	ST. JOSEPH'S CATHOLIC CHURCH	3,854 GSF	3,854 GSF
	ST. JOSEPH'S RECTORY	8,183 GSF	8,183 GSF
	TOTAL BUILDING AREAS ABOVE	25,782.8 GSF	25,897.4 GSF

COMPOSITE SITE LAYOUT PLAN
GRAPHIC SCALE 1" = 20'-0"



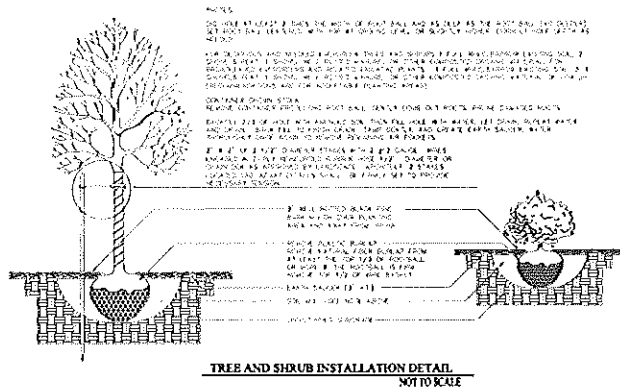
REL. FOR PRICING & PERMITTING - JUNE 25, 2012
NOT FOR CONSTRUCTION

DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.
1344 WASHINGTON AVENUE PORTLAND, MAINE PH. (207) 797-4661 FAX (207) 797-3533
PROJECT NO. 08011 PROJECT TITLE: ST. BRIGID SCHOOL RENOVATION
SCALE: 1" = 20'-0" SHEET TITLE: COMPOSITE SITE LAYOUT PLAN

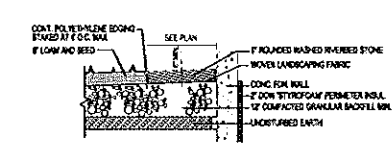
REL. FOR PRICING & PERMITTING - JUNE 25, 2012
NOT FOR CONSTRUCTION

ST. BRIGID CATHOLIC SCHOOL
FR. HAYES CENTER - STAIR ADDITION
695 STEVENS AVENUE
PORTLAND, MAINE 04103

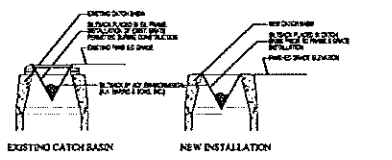
FH-C-200



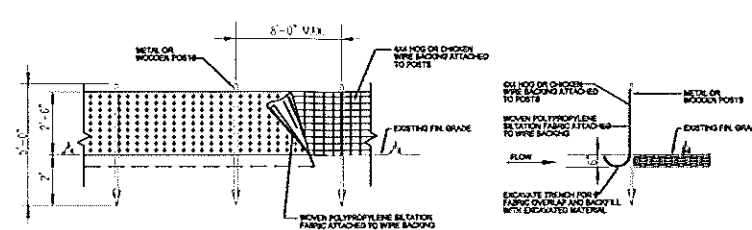
TREE AND SHRUB INSTALLATION DETAIL
NOT TO SCALE



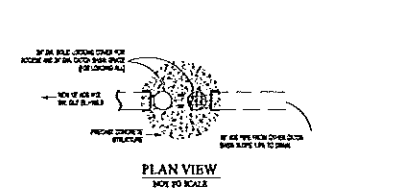
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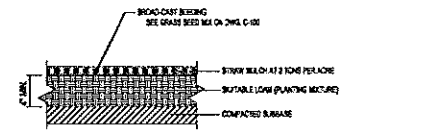
CATCH BASIN PROTECTION DETAIL (SILTSACK)
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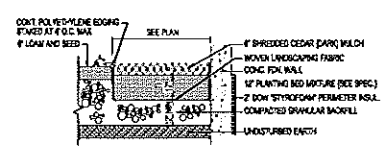
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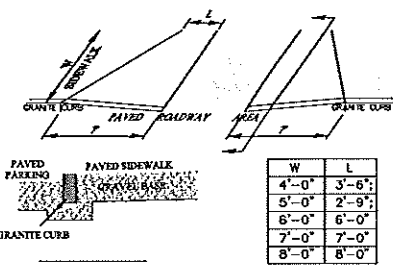
STORMWATER CONTROL STRUCTURE
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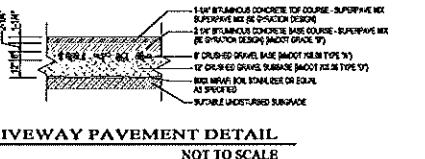
LOAM AND SBED DETAIL
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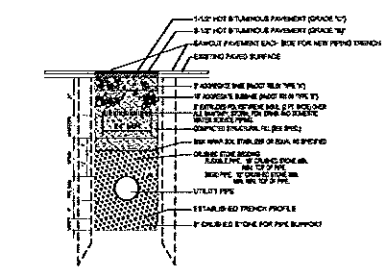
TYPICAL PLANTING BED DETAIL
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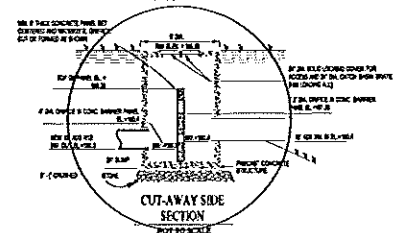
SIDEWALK TIP-DOWN DETAIL
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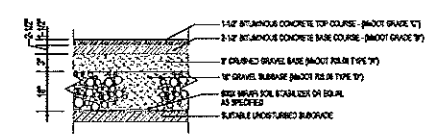
DRIVEWAY PAVEMENT DETAIL
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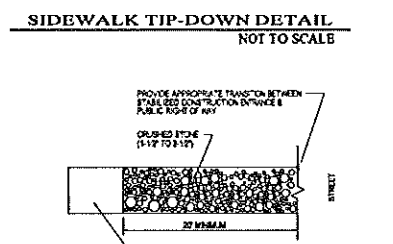
PUBLIC RIGHT OF WAY TRENCH DETAIL
NOT TO SCALE



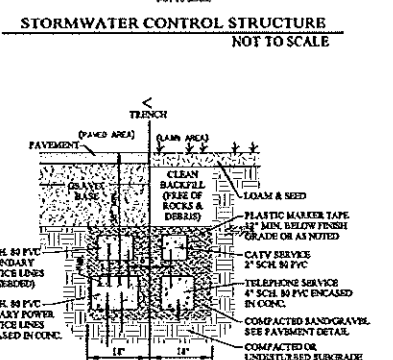
CUT-AWAY SIDE SECTION
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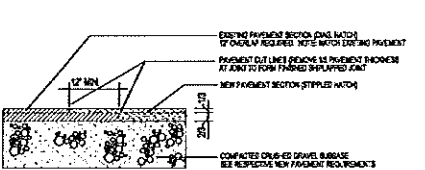
COLLECTOR STREET DETAIL
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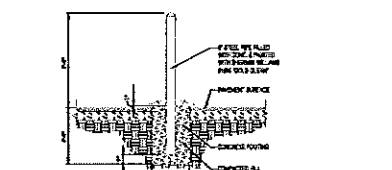
STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE



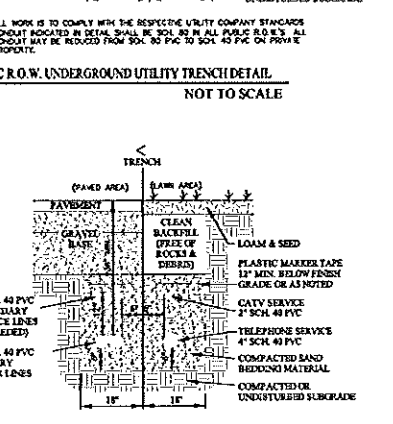
PUBLIC R.O.W. UNDERGROUND UTILITY TRENCH DETAIL
NOT TO SCALE



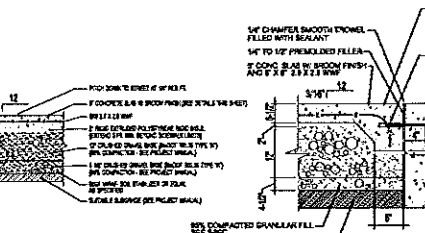
PAVEMENT SAWCUT JOINERY DETAIL
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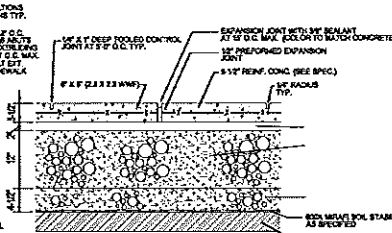
TYPICAL GUARD BOLLARD
NOT TO SCALE



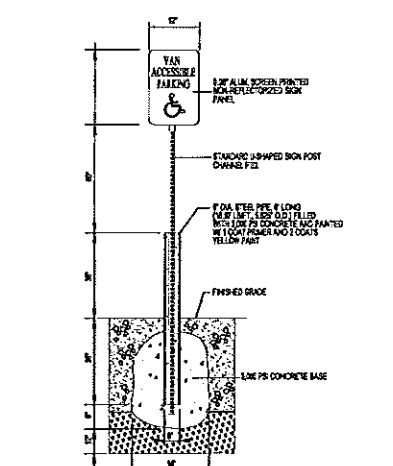
PRIVATE PROPERTY UNDERGROUND UTILITY TRENCH DETAIL
NOT TO SCALE



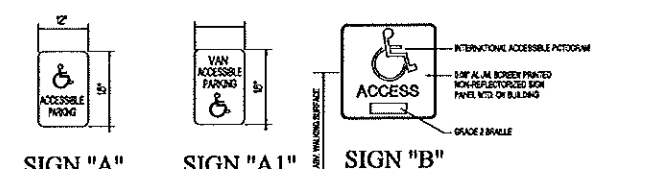
WALK/STRUCTURE JOINT DETAIL
NOT TO SCALE



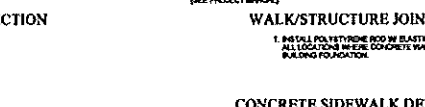
EXPANSION JOINT DETAIL
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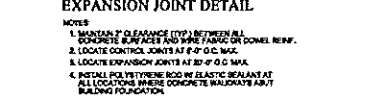
SIGN BOLLARD DETAIL
NOT TO SCALE



SIGN "A" SIGN "A1" SIGN "B"

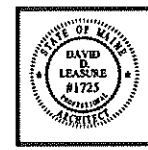


CONCRETE SIDEWALK DETAIL
NOT TO SCALE



CONCRETE SIDEWALK DETAIL
NOT TO SCALE

SITE DETAILS
AS NOTED



CONCEPTUAL SITE PLAN
DATE: MAY 29, 2012
PROJECT: ST. BRIGID SCHOOL RENOVATION

DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.
1344 WASHINGTON AVENUE PORTLAND, MAINE
PROJECT NO: 080111 PROJECT TITLE: ST. BRIGID SCHOOL RENOVATION
SCALE: NOT TO SCALE
PH: (207) 797-8661 FAX: (207) 797-8633

REL. FOR PRICING & PERMITTING - JUNE 25, 2012
NOT FOR CONSTRUCTION

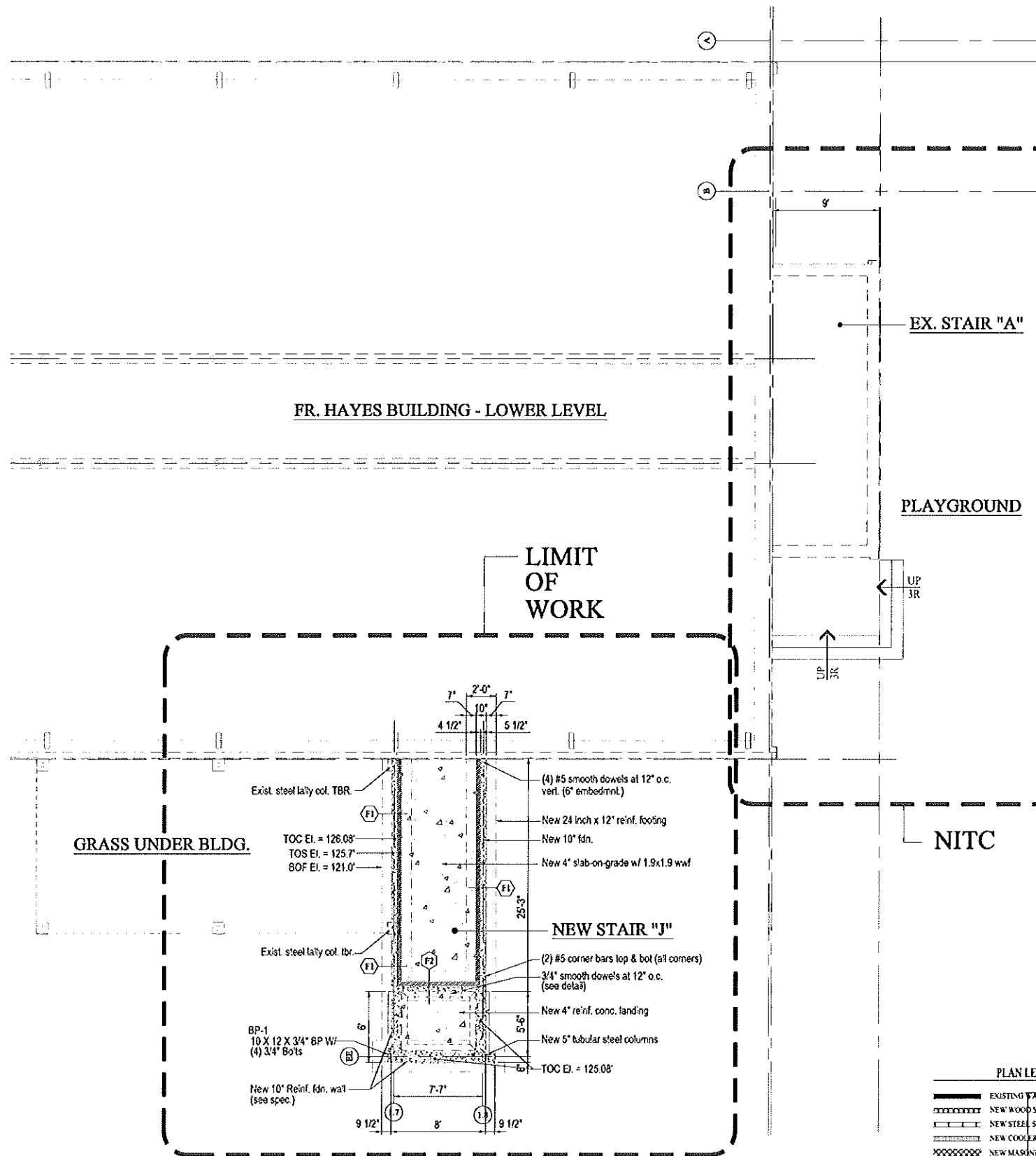
ST. BRIGID CATHOLIC SCHOOL
FR. HAYES CENTER - STAIR ADDITION
695 STEVENS AVENUE
PORTLAND, MAINE 04103

FH-C-202

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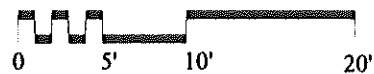


1	CONCEPTUAL PLAN MAY 2012
2	PROPOSED PLAN FOR PERMITTING JUNE 2012
3	REV. FOR PERMITTING JUNE 2012
4	REV. FOR PERMITTING JUNE 2012



FOUNDATION PLAN - FR. HAYES STAIR

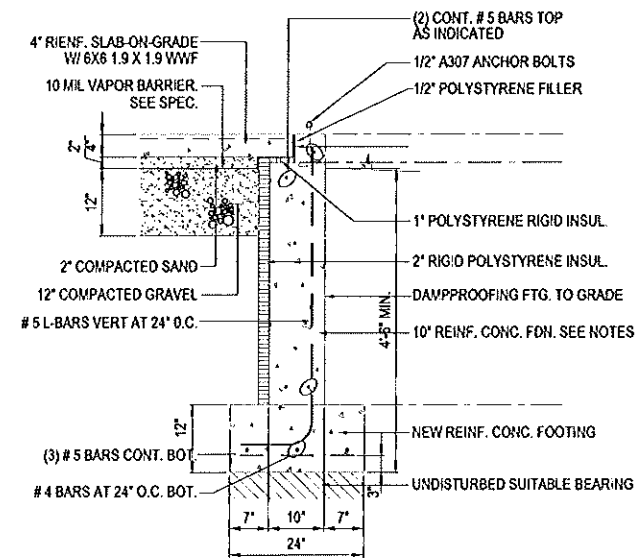
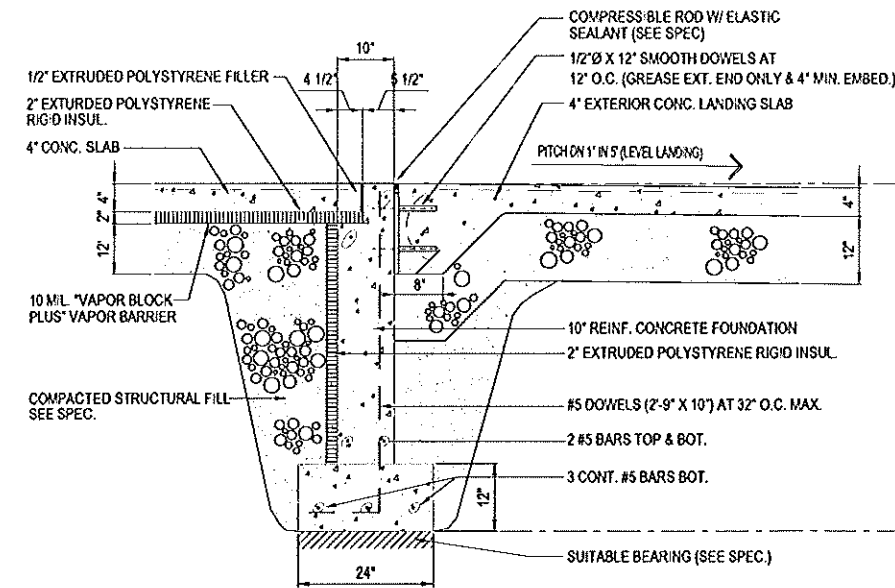
1/4" = 1'-0"



GRAPHIC SCALE

PLAN LEGEND

	EXISTING WALL TO REMAIN
	NEW WOOD STUD WALL
	NEW STEEL STUD WALL
	NEW COOLER PANEL WALL
	NEW MASONRY (CMU) WALL
	NEW BRICK VENEER/STEEL STUD WALL
	EXISTING BRICK WALL TO REMAIN
	EXISTING MASONRY (CMU) WALL
	EXISTING WALL TO BE DEMOLISHED
	NEW BUILDING ADDITIONS
(E)	EXISTING DEVICE OR COMPONENT
(N)	NEW DEVICE OR COMPONENT
(R)	DEVICE OR COMPONENT TO BE REMOVED



REL. FOR PRICING & PERMITTING - JUNE 25, 2012
NOT FOR CONSTRUCTION

FR. HAYES STAIR RETROFIT PROJECT
695 STEVENS AVENUE
PORTLAND, MAINE 04103

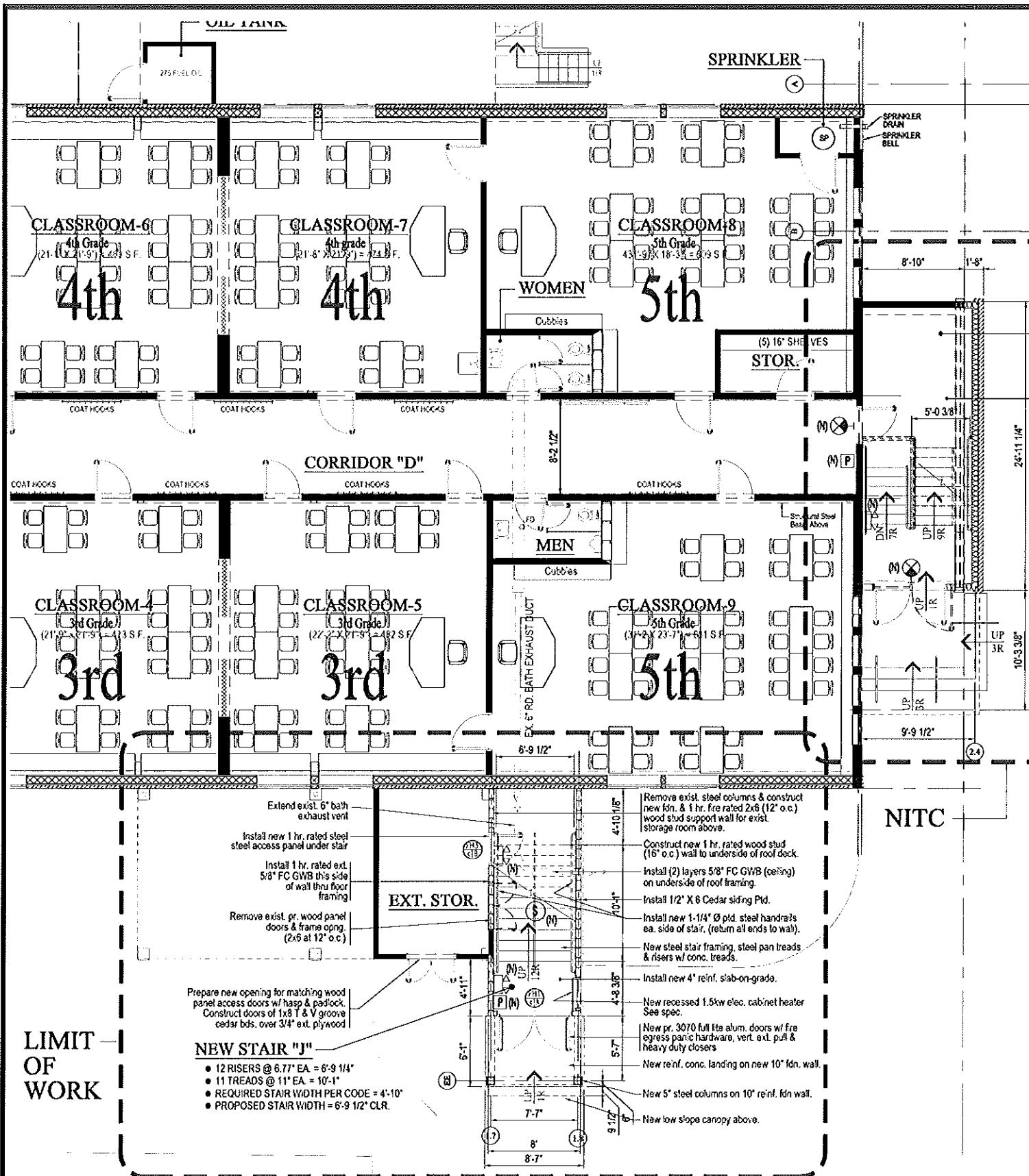
DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.

1344 WASHINGTON AVENUE PORTLAND, MAINE PH. (207) 797-8661 FAX (207) 797-8533

PROJECT NO. 08011 PROJECT TITLE: ST. BRIGID SCHOOL RENOVATION
SCALE: 1/4" = 1'-0" SHEET TITLE: FR. HAYES STAIR - FOUNDATION PLAN

FH-F-200 R1

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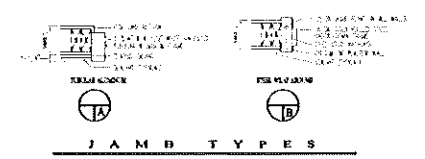
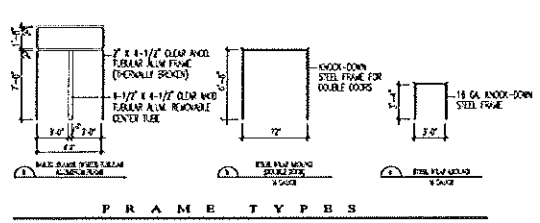
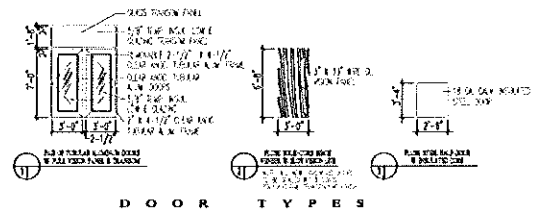
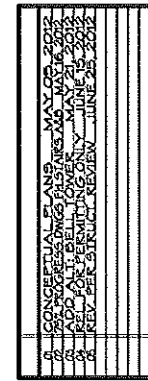


LIFE SAFETY DEVICE LEGEND

- K1 SYSTEM INTEGRATED EMERGENCY LIGHT (REMOTE HEAD)
- E SYSTEM INTEGRATED EMERGENCY LIGHT (LAMP)
- NEW ILLUMINATED EXIT SIGN WITH DIRECTIONAL CHEVRON
- P SYSTEM INTEGRATED FIRE PULL STATION
- M SYSTEM INTEGRATED MAGNETIC DOOR HOLDBACK
- S SYSTEM INTEGRATED FIRE HORN (15 HORN STROBE (S-S))
- PH SYSTEM INTEGRATED PHOTOELECTRIC SMOKE DETECTOR
- 15 LB ABC TYPE EXTINGUISHER
- 1 HR FIRE SEPARATION WALL RATING AS NOTATED
- TRAVEL DISTANCE = 77
- (E) EXISTING COMPONENT OR DEVICE
- (N) NEW COMPONENT OR DEVICE
- (R) REMOVE EXISTING COMPONENT OR DEVICE

PLAN LEGEND

- EXISTING WALL TO REMAIN
- NEW WOOD STUD WALL
- NEW STEEL STUD WALL
- NEW COOLER PANEL WALL
- NEW MASONRY (CMU) WALL
- NEW BRICK VENEER / STEEL STUD WALL
- EXISTING BRICK WALL TO REMAIN
- EXISTING MASONRY (CMU) WALL
- EXISTING WALL TO BE DEMOLISHED
- NEW BUILDING ADDITIONS
- (E) EXISTING DEVICE OR COMPONENT
- (N) NEW DEVICE OR COMPONENT
- (R) DEVICE OR COMPONENT TO BE REMOVED



DOOR SCHEDULE								
NO.	DOOR SIZE	DOOR TYPE	JAMB TYPE	FRAME TYPE	RATING	CYLINDER CORE	HARDWARE	REMARKS
FH1	7' x 2 1/2' T&F EA	1	A	STEEL ALUM M	1 HR	KEYS	KEYS	1. SEE SPEC FOR HARDWARE SCHEDULE. 2. SEE SPEC FOR HARDWARE SCHEDULE. 3. SEE SPEC FOR HARDWARE SCHEDULE.
FH2	7' x 3' T&F EA	2	B	STEEL	1 HR	KEYS	KEYS	1. SEE SPEC FOR HARDWARE SCHEDULE. 2. SEE SPEC FOR HARDWARE SCHEDULE. 3. SEE SPEC FOR HARDWARE SCHEDULE.
FH3	7' x 3' T&F EA	3	B	STEEL	1 HR	KEYS	KEYS	1. SEE SPEC FOR HARDWARE SCHEDULE. 2. SEE SPEC FOR HARDWARE SCHEDULE. 3. SEE SPEC FOR HARDWARE SCHEDULE.

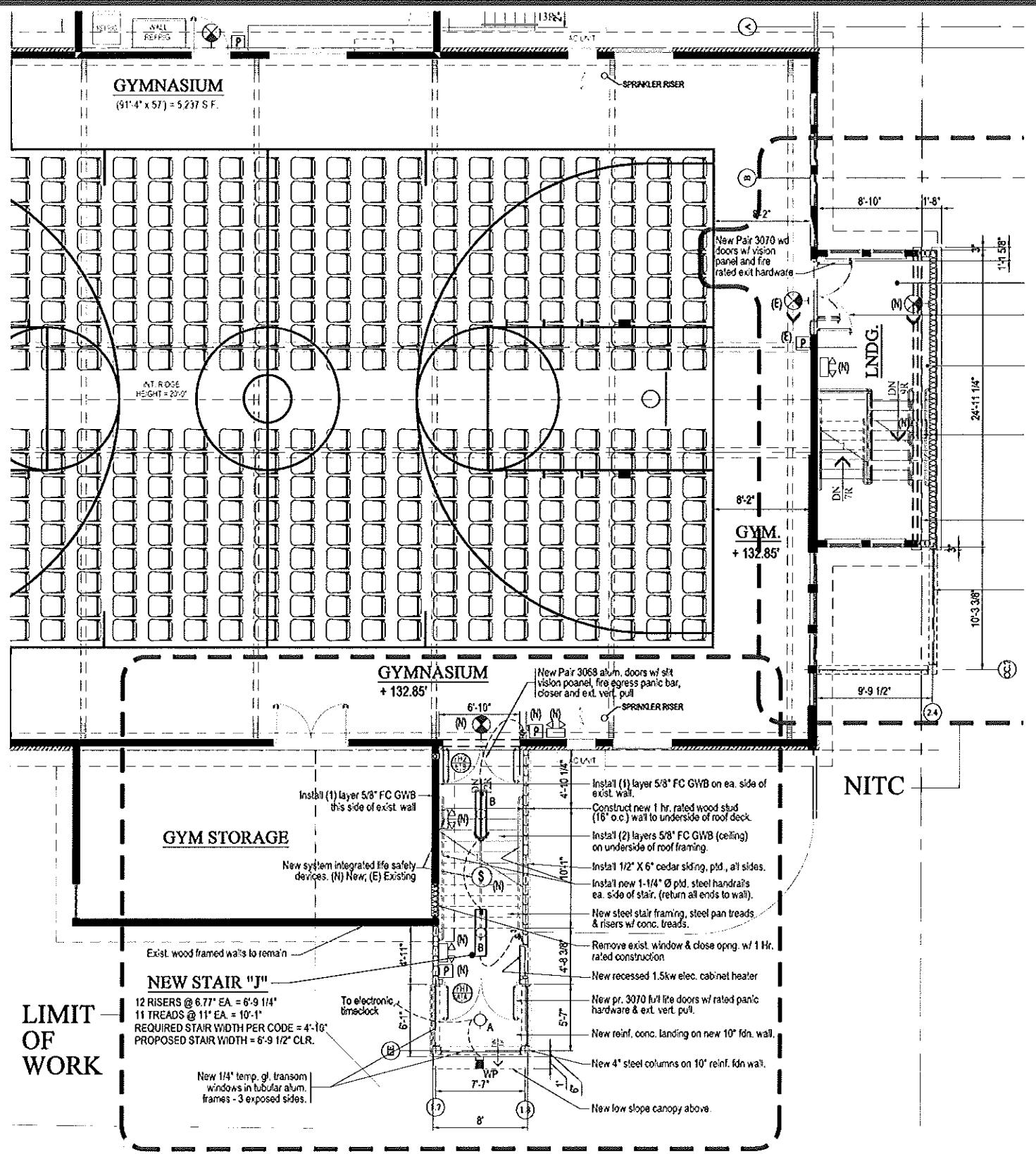
DOOR, FRAME & HARDWARE SCHEDULE
NOT TO SCALE

REL. FOR PRICING & PERMITTING - JUNE 25, 2012
NOT FOR CONSTRUCTION

FR. HAYES STAIR RETROFIT PROJECT
695 STEVENS AVENUE
PORTLAND, MAINE 04103

FH-A-200 R1

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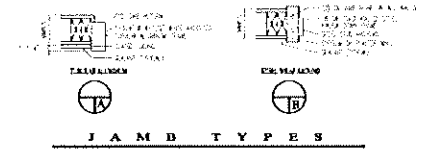
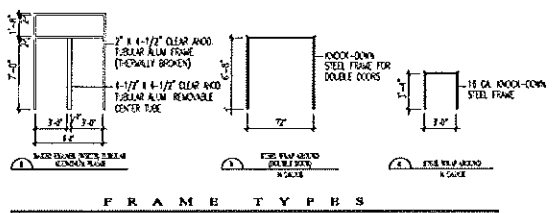
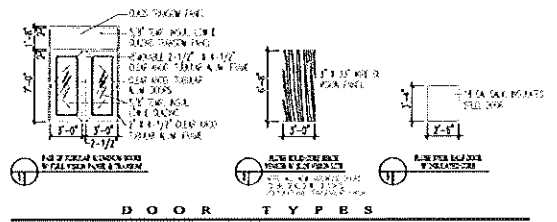


LIFE SAFETY DEVICE LEGEND

- (E) SYSTEM INTEGRATED EMERGENCY LIGHT (REMOTE HEAD)
- (E) SYSTEM INTEGRATED EMERGENCY LIGHT (2 LAMP)
- (H) NEW ILLUMINATED EXIT SIGN WITH DIRECTIONAL CHEVRON
- (P) SYSTEM INTEGRATED FIRE PULL STATION
- (M) SYSTEM INTEGRATED MAGNETIC DOOR HOLDBACK
- (H) SYSTEM INTEGRATED FIRE HORN (H), HORN/STROBE (HS)
- (S) SYSTEM INTEGRATED PHOTOELECTRIC SMOKE DETECTOR
- (E) 10 LB ABC TYPE EXTINGUISHER
- 1 HR --- FIRE SEPARATION WALL RATING AS INDICATED
- TRAVEL DISTANCE = 7' EXISTING COMPONENT OR DEVICE
- (R) REMOVE EXISTING COMPONENT OR DEVICE
- (N) NEW COMPONENT OR DEVICE

PLAN LEGEND

- EXISTING WALL TO REMAIN
- NEW WOOD STUD WALL
- NEW STEEL STUD WALL
- NEW COOLER PANEL WALL
- NEW MASONRY (CMU) WALL
- NEW BRICK VENEER / STEEL STUD WALL
- EXISTING BRICK WALL TO REMAIN
- EXISTING MASONRY (CMU) WALL
- EXISTING WALL TO BE DEMOLISHED
- NEW BUILDING ADDITIONS
- (E) EXISTING DEVICE OR COMPONENT
- (N) NEW DEVICE OR COMPONENT
- (R) DEVICE OR COMPONENT TO BE REMOVED

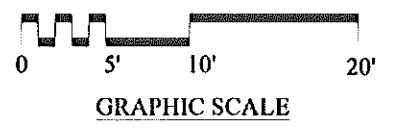


DOOR SCHEDULE

NO.	DOOR SIZE	DOOR TYPE	JAMB TYPE	FRAME TYPE	RATING	CYLINDER CORE	HARDWARE	REMARKS
FH1	10' 0" x 7' 0"	1	A	TUBULAR ALUM. FR.	1 HR. 1 1/2"	4000-3000	4000-3000	1. ALL NEW DOORS TO BE INSTALLED PER 2012 IBC. 2. ALL NEW DOORS TO BE INSTALLED PER 2012 IBC. 3. ALL NEW DOORS TO BE INSTALLED PER 2012 IBC. 4. ALL NEW DOORS TO BE INSTALLED PER 2012 IBC.
FH2	10' 0" x 7' 0"	2	B	STEEL FR.	1 HR. 1 1/2"	4000-3000	4000-3000	1. ALL NEW DOORS TO BE INSTALLED PER 2012 IBC. 2. ALL NEW DOORS TO BE INSTALLED PER 2012 IBC. 3. ALL NEW DOORS TO BE INSTALLED PER 2012 IBC. 4. ALL NEW DOORS TO BE INSTALLED PER 2012 IBC.
FH3	10' 0" x 7' 0"	3	B	STEEL FR.	1 HR. 1 1/2"	4000-3000	4000-3000	1. ALL NEW DOORS TO BE INSTALLED PER 2012 IBC. 2. ALL NEW DOORS TO BE INSTALLED PER 2012 IBC. 3. ALL NEW DOORS TO BE INSTALLED PER 2012 IBC. 4. ALL NEW DOORS TO BE INSTALLED PER 2012 IBC.

FIRST FLOOR PLAN - FR. HAYES STAIR

1/4" = 1'-0"



REL. FOR PRICING & PERMITTING - JUNE 25, 2012
NOT FOR CONSTRUCTION



FR. HAYES STAIR RETROFIT PROJECT
695 STEVENS AVENUE
PORTLAND, MAINE 04103

FH-A-201 R1

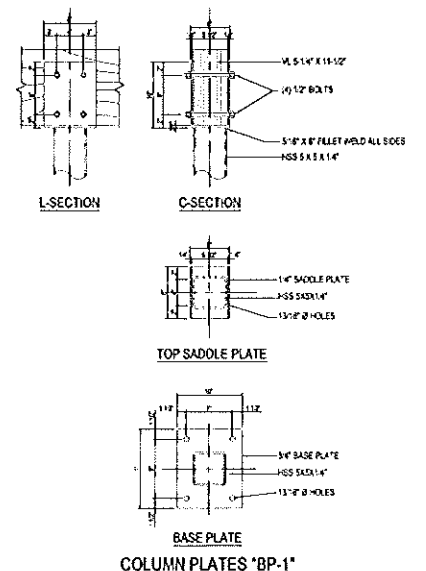


CONSTRUCTION PLAN: FR. HAYES STAIR RETROFIT PROJECT
DATE: MAY 15, 2012
BY: DAVID D. LEASURE
REV. PER ARCHITECT REVIEW: JUNE 25, 2012

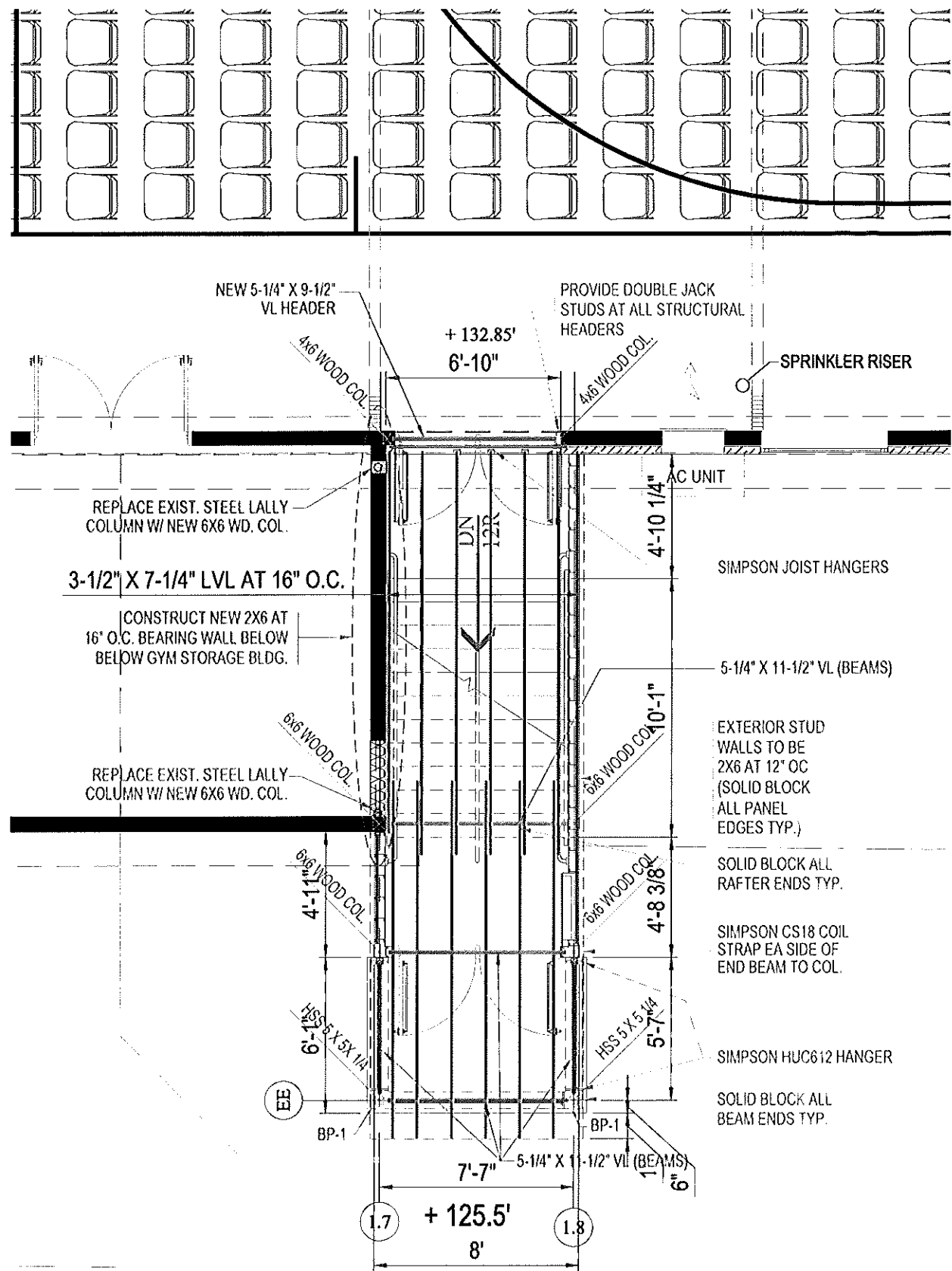
DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.
1344 WASHINGTON AVENUE PORTLAND, MAINE PH. (207) 797-8661 FAX (207) 797-8533
PROJECT NO: 080111 PROJECT TITLE: ST. BRIGID SCHOOL RENOVATION
SCALE: 1/4" = 1'-0" SHEET TITLE: FR. HAYES STAIR - FIRST FLOOR PLAN

STRUCTURAL NOTES:

1. PROVIDE SHOP DRAWINGS TO ARCHITECT FOR APPROVAL PRIOR TO FABRICATION OR ERECTION OF STEEL MEMBERS. CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWER IN THE WORK & 5-OF DRAWING REVIEW PROCEDURES ARE NOT STRUCT. VAD-ERED TO
2. STRUCTURAL STEEL FABRICATION, ERECTION AND CONNECTION DESIGN SHALL CONFORM TO AISC SPECIFICATION FOR THE DESIGN, FABRICATION, AND ERECTION OF STRUCTURAL STEEL, 10TH EDITION EXCEPT WHERE SHOWN OTHERWISE OR AS NOTED OTHERWISE ON THE DRAWINGS
3. ALL STRUCTURAL STEEL SHALL BE A36 STEEL
4. ALL PIPE COLUMNS SHALL BE ASTM A500 TYPE C OR S
5. ALL PIPE COLUMN DESIGNATIONS ARE AS SHOWN
6. ALL TUBE COLUMNS SHALL BE ASTM A500 GR. B
7. FIELD CONNECTIONS SHALL BE BOLTED USING 3/4" DIA. ASTM A325 HIGH STRENGTH BOLTS EXCEPT AS NOTED OTHERWISE ON THE DRAWINGS
8. ALL BEAM TO BEAM AND BEAM TO COLUMN CONNECTIONS SHALL BE DESIGNED FOR A SECTION OF W24 PER AISC SPECIFICATION REFERENCE ABOVE
9. ALL WELDING SHALL BE PERFORMED BY A QUALIFIED WELDER AND SHALL CONFORM TO AWS D1.1 LATEST EDITION
10. ALL STRUCTURAL DIMENSION LAMBER SHALL BE SPF NO. 2 OR BETTER
11. ALL FRAMING LAMBER SHALL MAINTAIN A MINIMUM OF FIBER STRESS GRADE RATINGS OF F-1150 FOR SPAN
12. PROVIDE SOLID BRACING (BLOOMING) AT MIDSPAN OF ALL FLOOR JOISTS AND ROOF RAFTERS
13. PROVIDE SOLID BRACING (BLOOMING) AT MIDHEIGHT OF ALL STUD WALLS TALLER THAN 12'-0"
14. INSTALL SOLID OR TERRAZO DOUBLE WELDED END BEAM @ 7'-0" O.C. ON ALL DIMENSION LAMBER FLOOR FRAMING
15. PROVIDE AND INSTALL PROPERLY SIZED STEEL JOIST HANGERS AT ALL FLOOR FRAMING. SPECIAL HANGERS, IE HEAVY DUTY HANGERS ARE SHOWN ON THE DRAWINGS
16. PROVIDE SIMPSON JOIST HANGERS AT ALL FLOOR FRAMING
17. ALL LAMBER IN CONTACT WITH CONCRETE OR USED FOR ROOF DECK, GAVS, ETC. SHALL BE PRESURE TREATED 60 IMPREGNATION RATIO
18. ALL PLYWOOD SHALL BE EXTERIOR GRADE. APART FROM INSTALL ALL ROOF PANELS WITH ADHESIVE. PERPENDICULAR TO FRAMING WITH BUZZLE HEAD SCREWS AT 8" O.C. MAX ON PANEL EDGES AND 12" O.C. MAX ON PANEL INTERIORS



STRUCTURAL STEEL DETAILS
NOT TO SCALE



FR. HAYES STAIR - ROOF FRAMING PLAN
1/2" = 1'-0"

GENERAL NOTES:

1. Structural drawings shall be used in conjunction with job specifications and architectural, mechanical, electrical, plumbing, and etc drawings. Consult these drawings for locations and dimensions of openings, chases, inserts, registers, sleeves, depressions, and other details not shown on structural drawings.
2. All dimensions and conditions must be verified in the field. Any discrepancies shall be brought to the attention of the engineer before proceeding with the affected part of the work.
3. Do not scale plans.
4. Sections and details shown on any structural drawings shall be considered typical for similar conditions.
5. All proprietary products shall be installed in accordance with the manufacturer's written instructions.
6. The structure is designed to be self supporting and stable after the erection is complete. It is the contractor's sole responsibility to determine erection procedures and sequencing to ensure the safety of the building and its components during erection. This includes the addition of necessary shoring, bracing, temporary bracing, guys or tie-downs. Such material shall remain the property of the contractor after completion of the project.
7. All applicable federal, state, and municipal regulations shall be followed, including the federal department of labor occupational safety and health act.

DESIGN LOADS:

1. Building code: IBC-2009 - International Building Code (2009)
2. Design Live Loads:
 Roof: 48 psf
 New Landing & Stair: 100 psf
3. Design wind loads are based on 100 mph basic wind speed.
4. Seismic Design conforms to IBC-2009 & ASCE-2005.

FOUNDATION NOTES:

1. Foundations have been designed to conform with the requirements provided in IBC-2009.
2. Exterior footings shall be founded on compacted structural fill or native soil. Provide soil compaction testing prior to placement of footings. See specification manual.
3. Exterior strip and spread footings shall be founded a minimum of 4'-6" below finished grade.
4. Slabs on grade shall bear on a minimum of 12" of compacted structural fill overlaid with 4" sand. If loose or undesirable fill are encountered at the slab subgrade level, they shall be over excavated to the surface of the natural soil and replaced with structural fill. Refer to drawings and specifications for vapor barrier requirements.
5. Structural fill shall be used at all locations below footings and slabs and adjacent to the foundation walls. Prior to placement of structural fill, remove all topsoil and other unsuitable material. Compacted structural fill shall consist of clean granular material free of organics, loam, trash, snow, ice, frozen soil or any other objectionable material. It shall be well graded with the following limits:

SCREEN OR SIEVE SIZE	PERCENT FINER BY WEIGHT
8 inch	100
3 inch	70-100
NO. 4	35-70
NO. 40	5-35
No. 200	0-5

6. Structural fill beneath slabs shall be placed in layers not exceeding 8 inches in loose measure and compacted by self-propelled compaction equipment at approximate optimum moisture content to a dry density of at least 95% of the maximum in place dry density as determined by the modified proctor test (ASTM D-1557).
7. Exterior concrete slabs on grade, shall be undertaken by at least 4 feet of structural fill meeting gradation and compaction requirements noted above. Reinforce top of slabs with 6x6 - W1.4xW1.4 WWF.
8. Backfill both sides of foundation walls simultaneously.

CONCRETE NOTES:

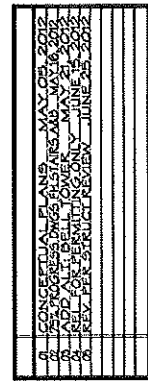
1. All concrete work shall conform to ACI 318-Latest Edition.
2. Concrete strength at 28 days shall be: See specification manual.
 a) 3000 psi for footings, frost walls & exterior plans.
 b) 3000 psi for all interior slabs-on-grade.
 c) 3500 psi w/ 65 air entrainment for all exterior slabs-on-grade.
3. All concrete shall be air entrained 4% to 6%.
4. Concrete shall not be placed in water or on frozen ground.
5. Provide PVC sleeves where pipes pass through concrete walls or slabs.
6. Reinforcing bars shall conform to ASTM A615 Grade 60 deformed bars, and shall be detailed, fabricated and erected in accordance with ACI 318-Latest Edition.
7. Welded wire fabric shall be provided in flat slabs.
8. Fiber reinforced concrete shall conform to ASTM C-1116.
9. GC reviewed Submittals (shop drawings) and schedule of all reinforcing steel shall be prepared by the contractor and submitted to the Architect for review and approval prior to commencement of that portion of the work. All accessories must be indicated on the Submittals which shall be submitted as (4) copies to the Architect.
10. Splices of reinforcing bars shall be in accordance with ACI 318. Splices of WWF shall be 6' minimum.
11. Concrete finishes: See Architectural Drawings.
 a) Interior slabs: Finish polished.
 b) Exterior slabs: Wood float w/ broom finish.
12. Anchor bolts shall conform to ASTM A307 unless noted otherwise on plan. Anchor bolts at all bracing locations shall conform to ASTM A36.

STRUCTURAL STEEL NOTES:

1. Structural steel fabrication, erection, and connection design shall conform to AISC Specification for the design, fabrication, and erection of structural steel, 10th edition.
2. Structural steel:
 a. Structural steel shall conform to ASTM A-36.
 b. Structural tubing shall conform to ASTM A-500 GR-B.
3. Design connections for the reactions shown on the drawings or the maximum and reactions that can be produced by a laterally supported uniformly loaded beam for each given beam size and span.
4. Field connections shall be bolted using 3/4" diameter ASTM A325 high strength bolts except where field welding is indicated on the drawings.
5. All welding shall conform to AWS D1.1-Latest Edition. Welding electrodes shall be E70XX.

METAL DECK NOTES:

1. Steel floor deck shall be as indicated on plan by Vulcraft or approved alternate. Steel deck units shall conform with the latest edition of the "Design Manual for floor and roof decks" by the steel deck institute. Steel floor deck shall be galvanized in accordance with ASTM A525 D60 coating.
2. Fasten steel decking to all steel supports with 5/8" diameter puddle welds at 12" o.c. unless otherwise indicated on plan. Provide welding washers on all deck units 24 gage and lighter.
3. All welding shall conform to AWS D1.3-Latest Edition. Welding electrodes shall be E70XX.

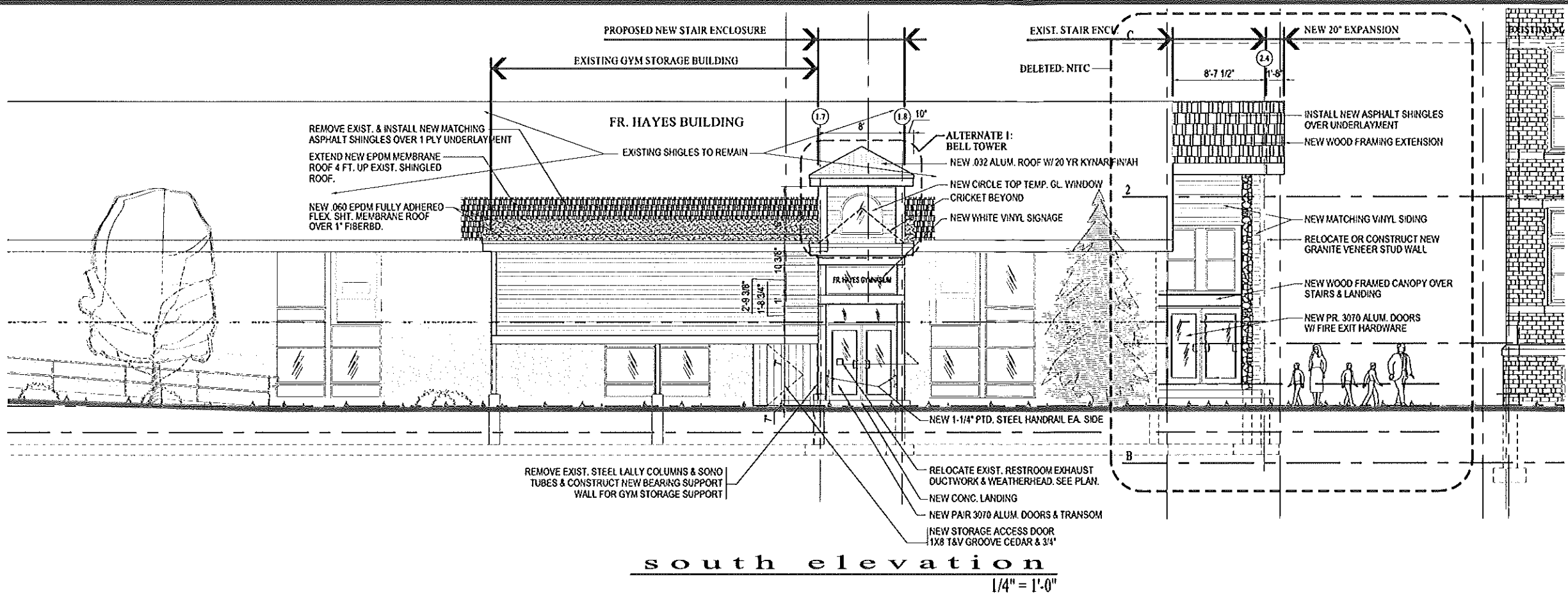


DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.
 1344 WASHINGTON AVENUE PORTLAND, MAINE PH: (207) 797-8661 FAX: (207) 797-8533
 PROJECT NO.: 080111 PROJECT TITLE: ST. BRIGID SCHOOL RENOVATION
 SCALE: 1/2" = 1'-0" SHEET TITLE: STRUCTURAL FRAMING PLAN - FR. HAYES STAIR

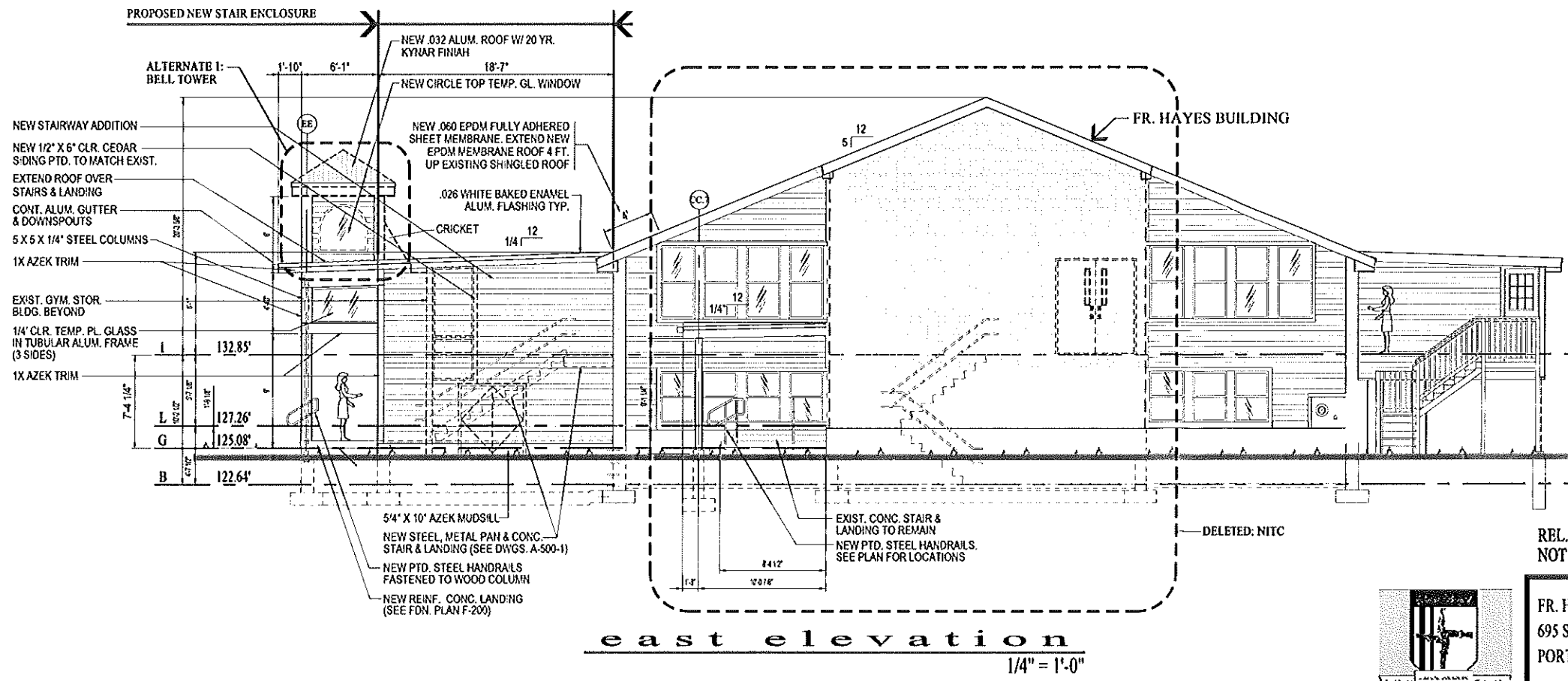
REL. FOR PRICING & PERMITTING - JUNE 25, 2012
NOT FOR CONSTRUCTION

FR. HAYES STAIR RETROFIT PROJECT
695 STEVENS AVENUE
PORTLAND, MAINE 04103

FH-ST-200 R1



south elevation
1/4" = 1'-0"



east elevation
1/4" = 1'-0"



PLAN LEGEND

	EXISTING WALL TO REMAIN
	NEW WOOD STUD WALL
	NEW STEEL STUD WALL
	NEW COOLER PANEL WALL
	NEW MASONRY (CMU) WALL
	NEW BRICK VENEER / STEEL STUD WALL
	EXISTING BRICK WALL TO REMAIN
	EXISTING MASONRY (CMU) WALL
	EXISTING WALL TO BE DEMOLISHED
	NEW BUILDING ADDITIONS
(E)	EXISTING DEVICE OR COMPONENT
(N)	NEW DEVICE OR COMPONENT
(R)	DEVICE OR COMPONENT TO BE REMOVED



CONSTRUCTION PERMITS MAY BE OBTAINED FROM THE MAINE DEPARTMENT OF CONSTRUCTION SERVICES, 1000 WATER STREET, PORTLAND, ME 04103. PROJECT NO. 08011. SHEET TITLE: FR. HAYES STAIR RENOVATION. SCALE: 1/4" = 1'-0". DATE: JUNE 25, 2012.

DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.
 1344 WASHINGTON AVENUE PORTLAND, MAINE PH. (207) 797-8661 FAX (207) 797-8533
 PROJECT NO. 08011 PROJECT TITLE: ST. BRIGID SCHOOL RENOVATION
 SCALE: 1/4" = 1'-0" SHEET TITLE: FR. HAYES STAIR ELEVATIONS

REL. FOR PRICING & PERMITTING - JUNE 25, 2012
NOT FOR CONSTRUCTION

FR. HAYES STAIR RETROFIT PROJECT
695 STEVENS AVENUE
PORTLAND, MAINE 04103

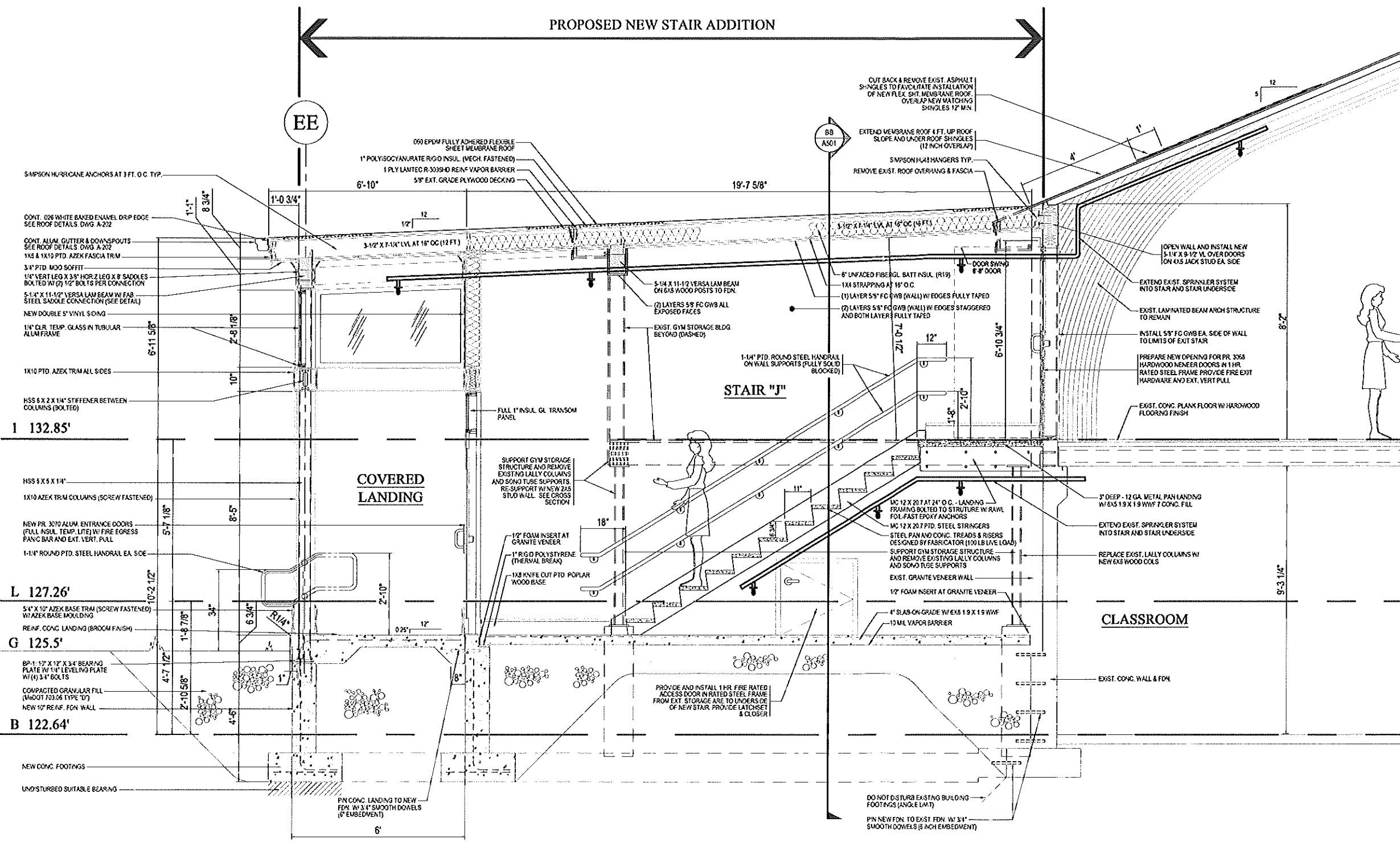


FH-A-400 R1

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CONCRETE FLOOR PLAN - MAY 28, 2012
 USE FOR PERMITTING - JUNE 25, 2012
 NEW PER STRAIGHTENING - JUNE 25, 2012



STAIR SECTION - "A-A"

3/4" = 1'-0"

REL. FOR PRICING & PERMITTING - JUNE 25, 2012
 NOT FOR CONSTRUCTION

DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.
 1344 WASHINGTON AVENUE PORTLAND, MAINE PH. (207) 797-8661 FAX (207) 797-8533
 PROJECT NO. 08011 PROJECT TITLE: ST. BRIGID SCHOOL RENOVATION
 SCALE: 3/4" = 1'-0" SHEET TITLE: STAIR SECTION A-A



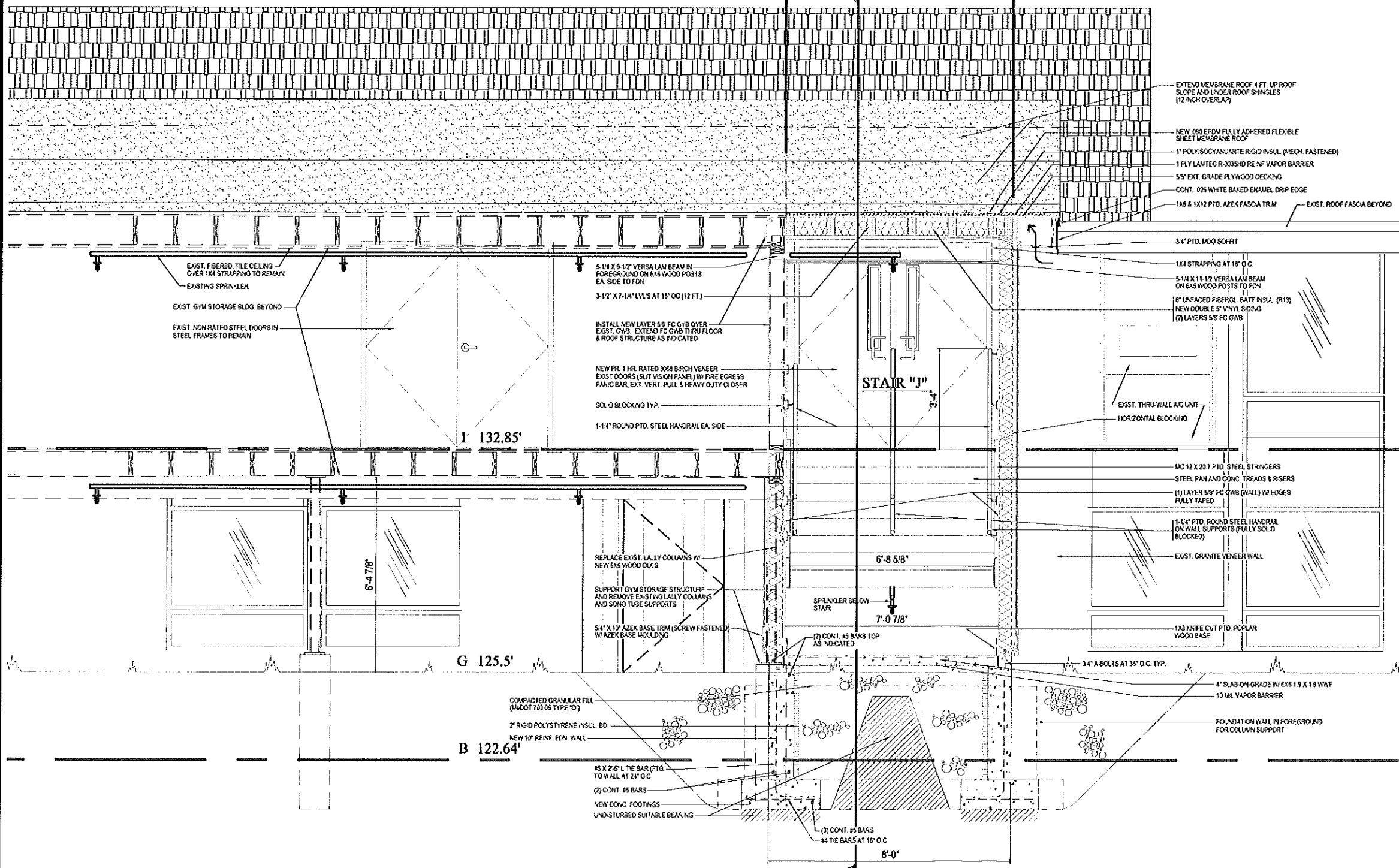
ST. BRIGID CATHOLIC SCHOOL
 FR. HAYES CENTER - STAIR ADDITION
 695 STEVENS AVENUE
 PORTLAND, MAINE 04103

FH-A-500 R1

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EXISTING GYM STORAGE ROOM

PROPOSED NEW STAIR ENCLOSURE



CONCEPTUAL SITE PLAN
 MAY 23, 2012
 SET FOR PERMITTING - JUNE 25, 2012
 R. NEWELL CONTRACTORS INC.

DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.
 1344 WASHINGTON AVENUE PORTLAND, MAINE PH. (207) 797-8661 FAX (207) 797-8533
 PROJECT NO. 08011 PROJECT TITLE: ST. BRIGID SCHOOL RENOVATION
 SCALE: 3/4" = 1'-0" SHEET TITLE: STAIR SECTION A-A

STAIR SECTION - "B-B"

3/4" = 1'-0"

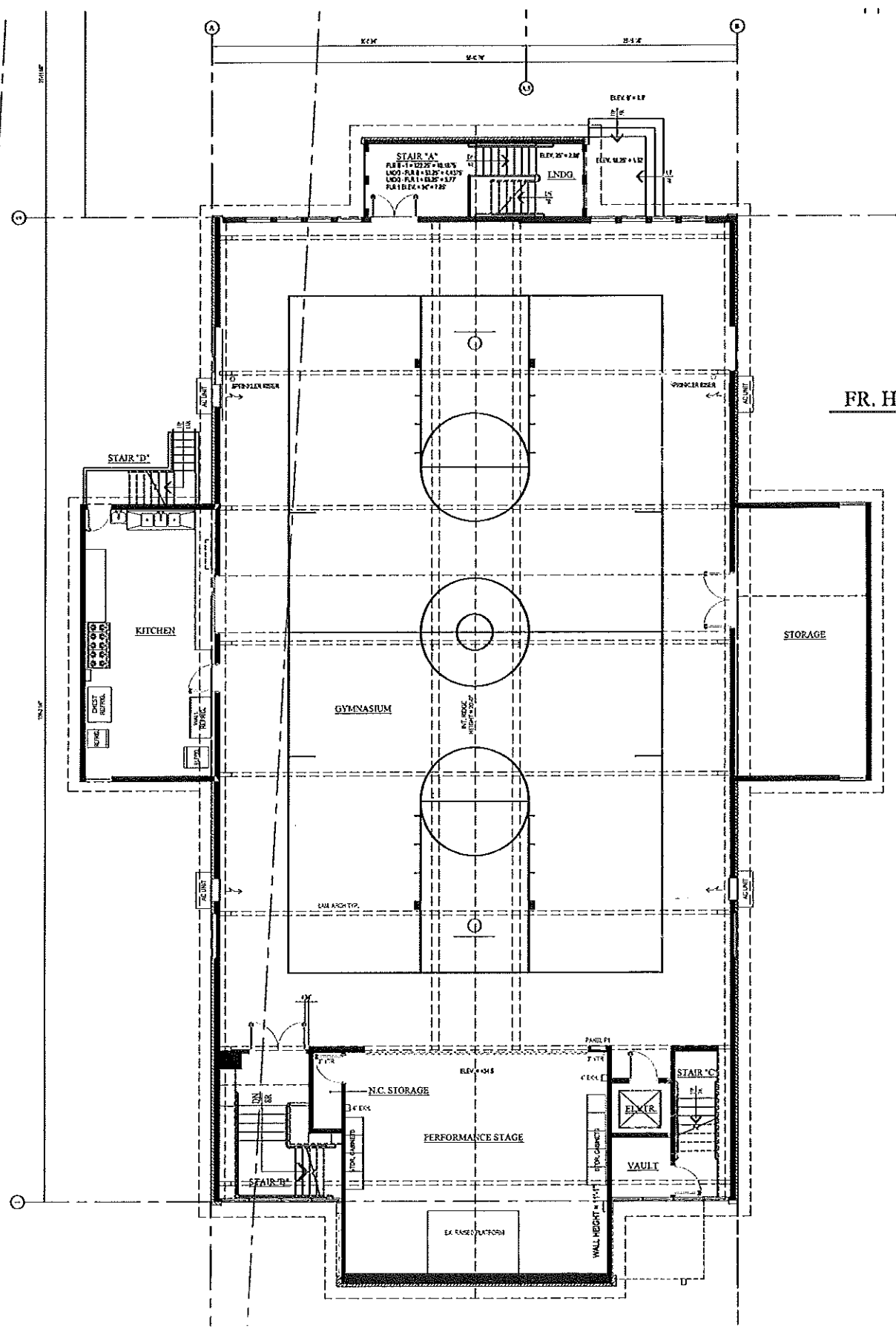
REL. FOR PRICING & PERMITTING - JUNE 25, 2012
 NOT FOR CONSTRUCTION



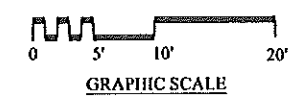
ST. BRIGID CATHOLIC SCHOOL
 FR. HAYES CENTER - STAIR ADDITION
 695 STEVENS AVENUE
 PORTLAND, MAINE 04103

FH-A-501 R1

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FR. HAYES BUILDING - FIRST FLOOR PLAN
3/16" = 1'-0"



- PLAN LEGEND**
- EXISTING WALL TO REMAIN
 - NEW WOOD STUD WALL
 - NEW STEEL STUD WALL
 - NEW COOLER PANEL WALL
 - EXISTING WALL TO BE REMOVED
 - EXISTING BRICK WALL TO REMAIN
 - EXISTING MASONRY (CMU) WALL
 - NEW BUILDING ADDITIONS
 - (E) EXISTING DEVICE OR COMPONENT
 - (N) NEW DEVICE OR COMPONENT
 - (R) DEVICE OR COMPONENT TO BE REMOVED

BUILDING AREA

TOTAL BUILDING AREA _____

EXISTING CONDITIONS DRAWINGS - SEPTEMBER 16, 2011
NOT FOR CONSTRUCTION

ST. BRIGID SCHOOL RENOVATION
695 STEVENS AVENUE
PORTLAND, MAINE 04103

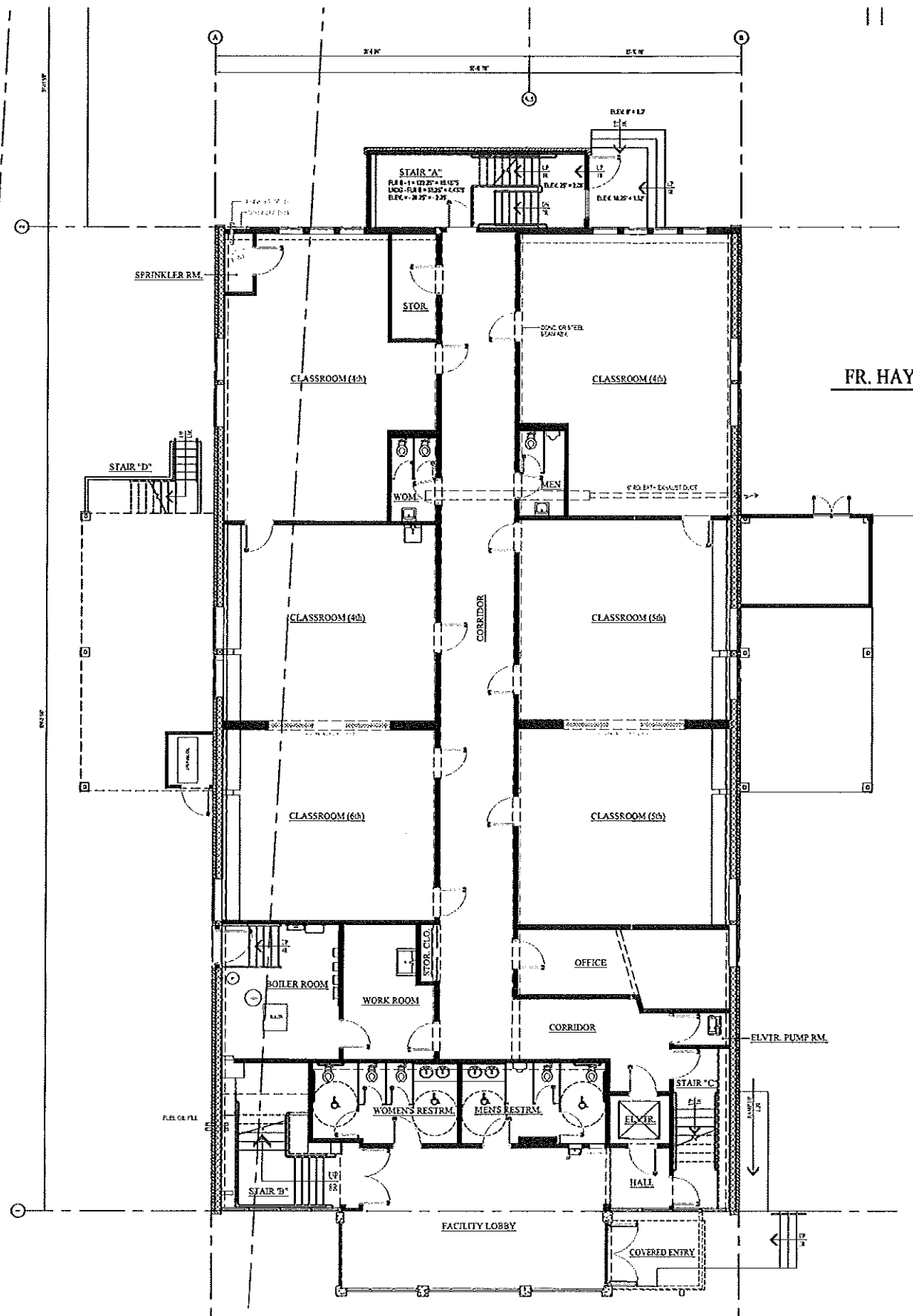
A-204 AS



1	EXISTING CONDITIONS DRAWINGS - SEPTEMBER 16, 2011
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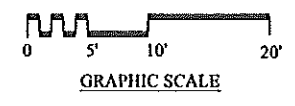
DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.
1344 WASHINGTON AVENUE PORTLAND, MAINE PH. (207) 797-8661 FAX (207) 797-8533
PROJECT NO. 080111 PROJECT TITLE: ST. BRIGID SCHOOL RENOVATION
SCALE: 1/8" = 1'-0" SHEET TITLE: FIRST FLOOR PLAN - FR. HAYES BLDG.

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FR. HAYES BUILDING - LOWER LEVEL FLOOR PLAN

3/16" = 1'-0"



- PLAN LEGEND**
- EXISTING WALL TO REMAIN
 - NEW WOOD STUD WALL
 - NEW STEEL STUD WALL
 - NEW COOLER PANEL WALL
 - EXISTING WALL TO BE REMOVED
 - EXISTING BRICK WALL TO REMAIN
 - EXISTING MASONRY (CMU) WALL
 - NEW BUILDING ADDITIONS
 - (E) EXISTING DEVICE OR COMPONENT
 - (N) NEW DEVICE OR COMPONENT
 - (R) DEVICE OR COMPONENT TO BE REMOVED

BUILDING AREA

TOTAL BUILDING AREA _____

EXISTING CONDITIONS DRAWINGS - SEPTEMBER 16, 2011
NOT FOR CONSTRUCTION

ST. BRIGID SCHOOL RENOVATION
695 STEVENS AVENUE
PORTLAND, MAINE 04103

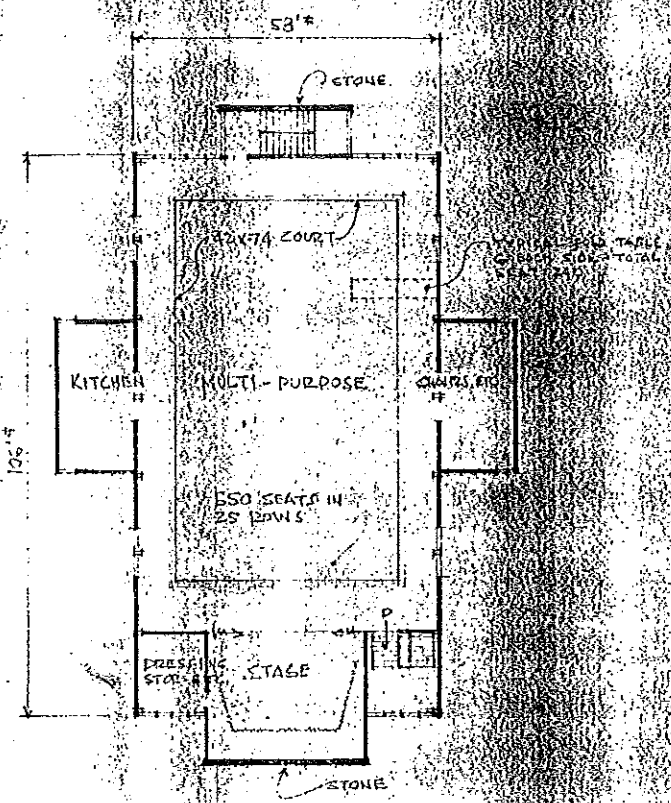
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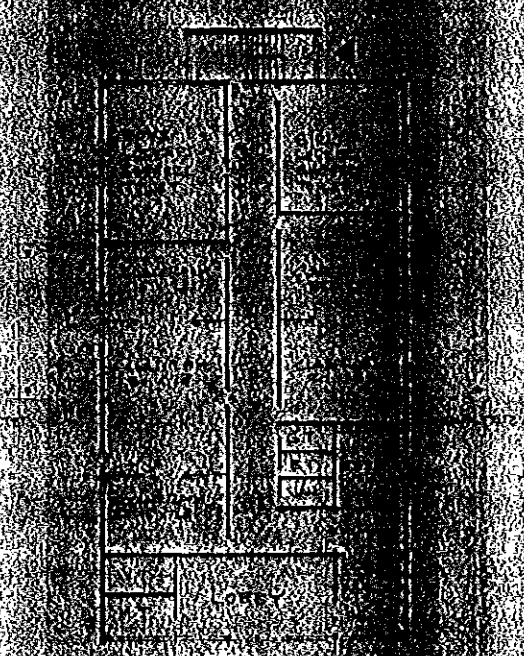
NO.	DATE	DESCRIPTION

DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.
1344 WASHINGTON AVENUE PORTLAND, MAINE PH. (207) 797-8661 FAX (207) 797-8533
PROJECT NO. 080111 PROJECT TITLE: ST. BRIGID SCHOOL RENOVATION
SCALE: 3/16" = 1'-0" SHEET TITLE: LOWER LEVEL PLAN - FR. HAYES BLDG.

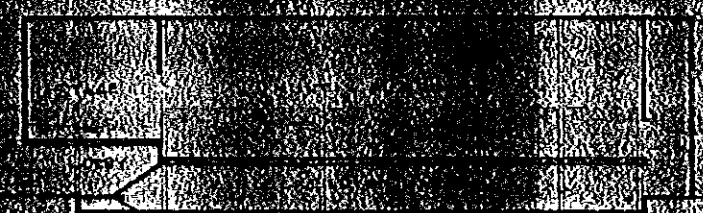
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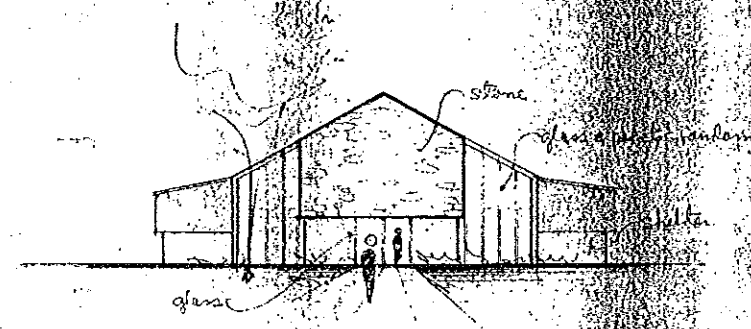
FIRST FLOOR PLAN
1/16" = 1'-0"



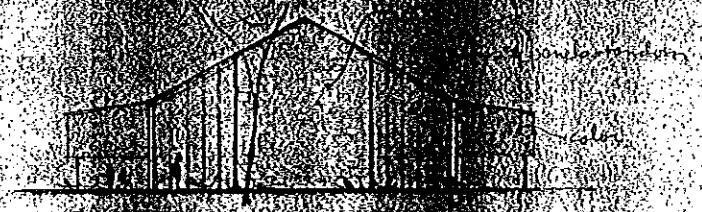
GROUND FLOOR PLAN



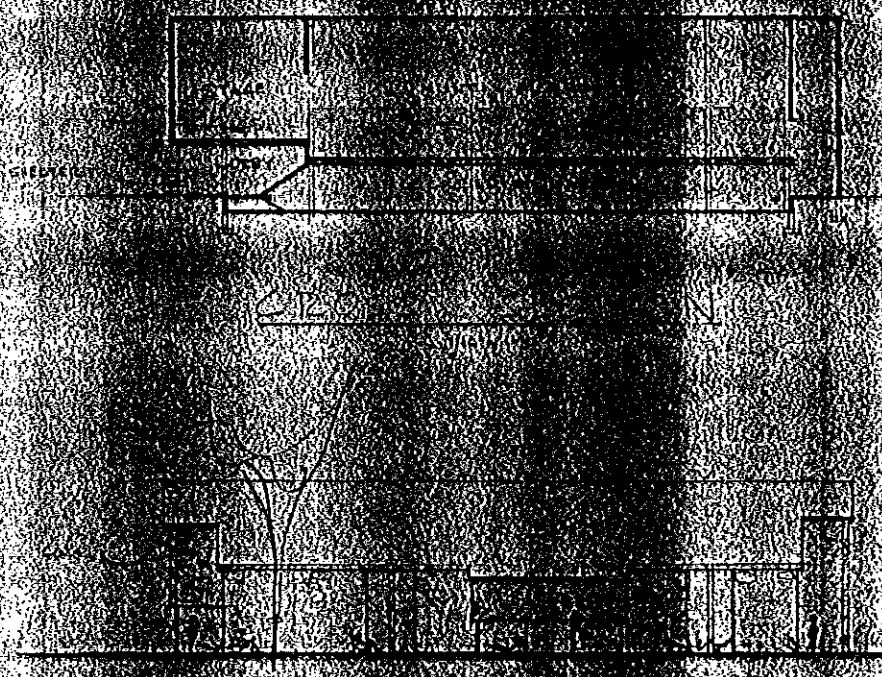
SECOND FLOOR PLAN



FRONT ELEVATION
1/16" = 1'-0"



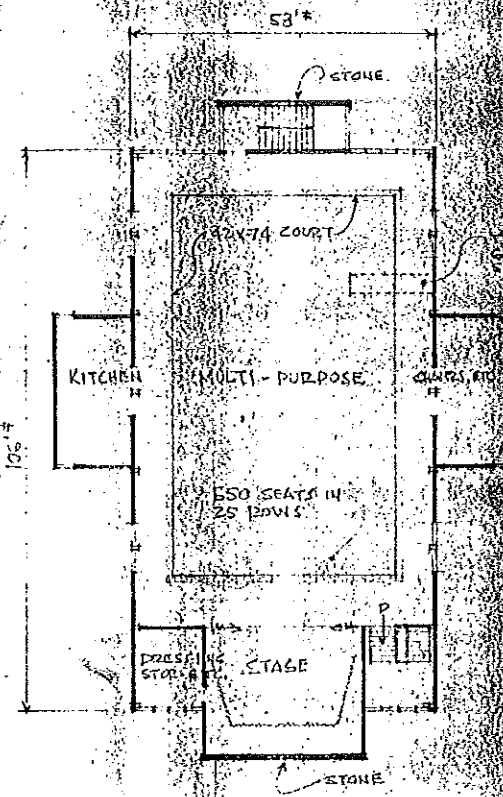
BACK ELEVATION



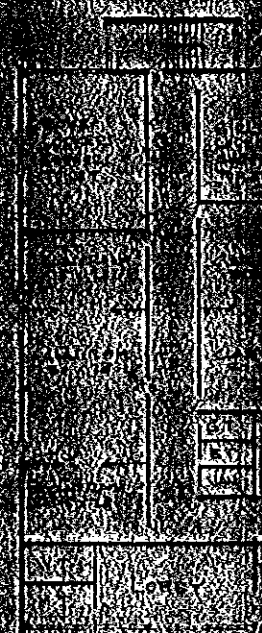
SIDE ELEVATIONS

PROPOSED ST. JOSEPH'S MULTI-PURPOSE BUILDING - PORTLAND

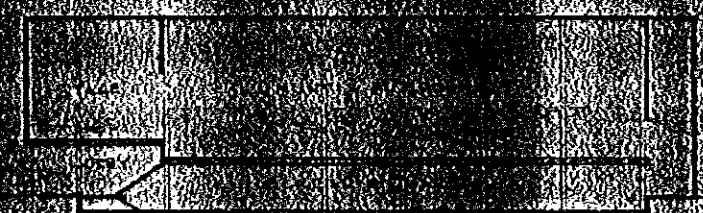
WILLIAM C. INGALLS, ARCHITECT - PORTLAND, MAINE



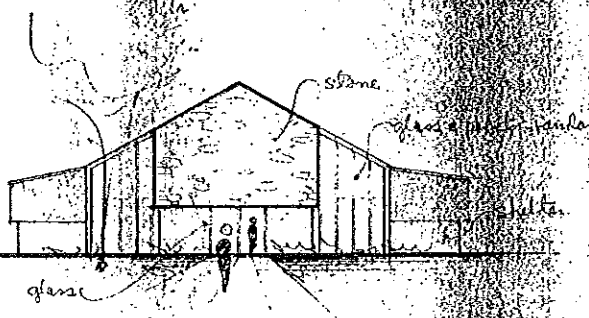
FIRST FLOOR PLAN
1/16" = 1'-0"



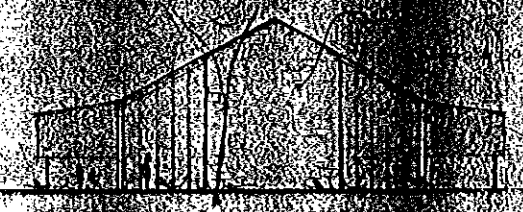
GROUND FLOOR PLAN



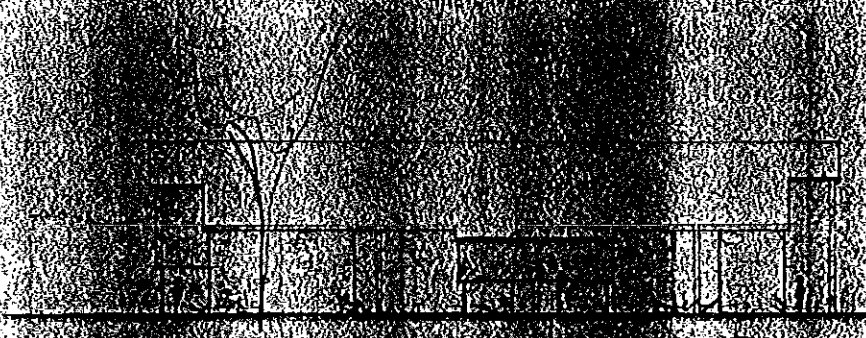
SECTION



FRONT ELEVATION
1/16" = 1'-0"



BACK ELEVATION



SIDE ELEVATIONS

PROPOSED ST. JOSEPH'S MULTI-PURPOSE BUILDING - PORTLAND

WICKS & COMPANY ARCHITECT - PORTLAND, OREGON