

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND

BUILDING PERMIT

This is to certify that Roman Catholic Bishop of Portland Located At 695 STEVENS AVE

Job ID: 2012-07-4524-ALTCOMM

CBL: 144- D-003-001

has permission to build a 138 square foot (egress) stairwell addition.

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

Fire Prevention Officer

Code Enforcement Officer / Plan Reviewer

09/14/2012

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY
PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2012-07-4524-ALTCOMM	Date Applied: 7/23/2012	CBL: 144- D-003-001	
Location of Construction: 695 STEVENS AVE	Owner Name: ROMAN CATHOLIC BISHOP OF PORTLAND	Owner Address: 510 OCEAN AVE PORTLAND, ME 04103	Phone: 207-773-6471
Business Name:	Contractor Name: TBD	Contractor Address:	Phone:
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG - Building	Zone: R-5
Past Use: St. Brigid School – Father Hayes building	Proposed Use: Same – St. Brigid School – Father Hayes building – build 138 sf egress stair addition	Cost of Work: 75000.00	CEO District:
		Fire Dept: <input checked="" type="checkbox"/> Approved <i>Per. Capt Pirone</i> <input type="checkbox"/> Denied <input type="checkbox"/> N/A	Inspection: Use Group: <i>E/A-3</i> Type: <i>VA</i> <i>IBC, 2009</i> <i>(MUBac)</i> Signature: <i>[Signature]</i>
Proposed Project Description: 138 s.f. egress stair addition		Pedestrian Activities District (P.A.D.)	

Permit Taken By: Gayle	Zoning Approval		
<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building Permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.</p>	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetlands <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM Date: <i>OK w/ 7/25/12</i> <i>ARM</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in Dist or Landmark <input type="checkbox"/> Does not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>JBN</i>
	CERTIFICATION		

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the appication is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE	DATE	PHONE	

Footings Imp.

9/24 Per inspection, Ready for pour. meets setback requirements as noted. - check

10-29-12 GF

Fmg ok as per plan
F.P. GWB SHEATHING.

12-21-12 GF BKL BW

SPKLR: TEST CERT - SIGNED

ALARM: LOC

~~1-27-13~~
1-27-13 GF

RECEIVED LOC
FROM: SPKLR CO
ALARM CO

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
 - **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
 - **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**
1. Footings/Setbacks prior to pouring concrete
 2. Close In Elec/Plmb/Frame prior to insulate or gypsum
 3. Final Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



PORTLAND MAINE

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Director of Planning and Urban Development
Jeff Levine

Job ID: 2012-07-4524-ALTCOMM

Located At: 695 STEVENS AVE

CBL: 144- D-003-001

Conditions of Approval:

Building

1. Separate permits are required for any electrical: plumbing, sprinkler, fire alarm, HVAC systems, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
2. Guards must be 42 inches in height with openings less than 4 inches. Graspable rails must be installed on both sides of the stair guard at 34" to 38". Stair treads shall not be less than 11". Stair risers shall not be more than 7".
3. A final special inspection report shall be submitted prior to issuance of a certificate of occupancy. This report must demonstrate all deficiencies and corrective measures that were taken.
4. A State Fire Marshal permit may be required for this project, contact at 207-626-3880 or http://www.maine.gov/dps/fmo/plans/about_permits.html
5. No permit shall be issued until the applicant has removed and disposed of all "friable asbestos" such material in accordance with applicable state and federal regulations.

Fire

1. Installation shall comply with City Code Chapter 10.
2. All construction shall comply with City Code Chapter 10.
3. <http://www.portlandmaine.gov/citycode/chapter010.pdf>
4. This permit is being approved on the basis of the plans submitted. Any deviation from the plans would require amendments and approval.
5. Application requires State Fire Marshal approval.
6. Street addresses shall be marked on the structure and shall be as approved by the City E-911 Addressing Officer. Contact Michelle Sweeney at 874-8682 for further information.
7. Any Fire alarm or Sprinkler systems shall be reviewed by a licensed contractor(s) for code compliance. Compliance letters are required.
8. A separate Fire Alarm Permit is required for new systems; or for work effecting more than 5 fire alarm devices; or replacement of a fire alarm panel with a different model. This review does not include approval of fire alarm system design or installation.
9. Fire Alarm system shall be maintained. If system is to be off line over 4 hours a fire watch shall be in place. Dispatch notification required 874-8576.

10. The fire alarm system shall comply with the City of Portland Fire Department Rules and Regulations. All fire alarm installation and servicing companies shall have a Certificate of Fitness from the Fire Department.
11. A separate Suppression System Permit is required for all new suppression systems or sprinkler work effecting more than 20 heads. This review does not include approval of sprinkler system design or installation.
12. Sprinkler protection shall be maintained. Where the system is to be shut down for maintenance or repair, the system shall be checked at the end of each day to insure the system has been placed back in service.
13. Fire extinguishers are required per NFPA 1.
14. All means of egress to remain accessible at all times.
15. No means of egress shall be affected by this renovation.
16. Emergency lights and exit signs are required. Emergency lights and exit signs are required to be labeled in relation to the panel and circuit and on the same circuit as the lighting for the area they serve.
17. Any cutting and welding done will require a Hot Work Permit from Fire Department.



General Building Permit Application

Location/Address of Construction: <u>FR. HAYES CENTER - ST. BRIGID SCHOOL</u> <u>695 STEVENS AVE, PORTLAND, ME. 04103</u>		
Total Square Footage of Proposed Structure/Area <u>138 S.F.</u>	Square Footage of Lot <u>115,937.67 S.F. = 2.66 ACRES</u>	
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>TM 144-D-1, 2, 3</u> <u>TM 143-A-32, 37</u>	Applicant * must be owner, Lessee or Buyer* Name <u>ROMAN CATHOLIC BISHOP</u> <u>OF PORTLAND, MAINE</u> Address <u>510 OCEAN AVE.</u> City, State & Zip <u>PORTLAND, ME 04103</u>	Telephone: <u>207-773-6471</u>
Lessee/DBA (If Applicable) <u>N/A</u>	Owner (if different from Applicant) Name <u>SAME AS ABOVE</u> Address City, State & Zip	Cost Of Work: \$ <u>75,000.00</u> C of O Fee: \$ <u>770.00</u> Total Fee: \$ <u>770.00</u>
Current legal use (i.e. single family) <u>EDUCATIONAL (ELEM. SCHOOL) AND ASSEMBLY</u> If vacant, what was the previous use? <u>N/A</u> Proposed Specific use: <u>EDUCATIONAL AND ASSEMBLY</u> Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>SEE ATTACHED PROJECT DESCRIPTION</u>		
Contractor's name: <u>HARDY PAID CONSTRUCTION</u> Address: <u>7 TEE DRIVE</u> City, State & Zip <u>PORTLAND, ME. 04103</u> Telephone: <u>207-797-6066</u> Who should we contact when the permit is ready: <u>DAVID LEASURE, R.A.</u> Telephone: <u>207-841-8880</u> Mailing address: <u>24 SEA ROSE LAKE, FREEPORT, ME. 041032</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Mary Ann Russo Date: 8/17/12

This is not a permit; you may not commence ANY work until the permit is issued

Project Description

PROJECT: **FR. HAYES STAIR RETROFIT PROJECT FOR
ST. BRIGID CATHOLIC SCHOOL
695 STEVENS AVENUE
PORTLAND, MAINE 04103**

ARCHITECT: **David D. Leasure - Architectural Associates Inc.
1344 Washington Ave.
Portland, Maine 04103
Tel. (207) 797-9661 Fax. (207) 797-8533
E-mail**

Fr. Hayes Center Egress Stair Description:

The current project entails the addition of a 138 s.f. egress stair addition to the South side of the existing Gymnasium/Classroom Fr. Hayes Center Facility. The existing site is currently occupied with 4 buildings including St. Brigid School (2 buildings), St. Joseph Church, and St. Joseph Rectory. The school is in session Monday through Friday, 7:30 A.M. to 2:45 P.M. from September 1 to June 10 annually.

The remainder of the site is used for parking, an existing Drive-thru/ Drop-off Lane, school playgrounds and Godfrey Park (green space). A total of 55 parking spaces are provided on-site with dedicated parking for the school faculty and business office along the East and South sides of the rear parking lot. Parking for the Clergy is provided in the Rectory garage. Church patrons utilize street parking along Stevens Avenue and the school parking lot since Church masses are held on Saturday Evenings and Sunday mornings when school is not in session.

The proposed Fr. Hayes egress stair is necessary to meet egress and Life Safety Code requirements for the existing Gymnasium/Assembly first floor level. The new entrance location will also improve student flow during school hours.



Certificate of Design Application

From Designer: DAVID D. LEASURE - ARCHITECTURAL ASSOC. INC
 Date: JULY 17, 2012
 Job Name: FR. HAYES CENTER STAIR PROJECT (ST. BRIGID SCHOOL)
 Address of Construction: 695 STEVENS AVENUE, PORTLAND, ME. 04103

2003 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year IBC-2009 Use Group Classification (s) EDUCATIONAL (E), Assembly (A-3)
 Type of Construction TYPE VA
 Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC YES
 Is the Structure mixed use? ~~YES~~ NO If yes, separated or non separated or non separated (section 302.3) N/A
 Supervisory alarm System? YES Geotechnical/Soils report required? (See Section 1802.2) NO - SEEKING EXCEPTION 1803.2

Structural Design Calculations

Submitted for all structural members (106.1 - 106.11)

Design Loads on Construction Documents (1603)

Uniformly distributed floor live loads (7603.11, 1807)

Floor Area Use	Loads Shown
<u>STAIR/LANDING</u>	<u>100 PSF</u>

Wind loads (1603.1.4, 1609)

1609.1.1 Design option utilized (1609.1.1, 1609.6)
100 mph Basic wind speed (~~1809.3~~) 1609.3
II / 1.0 Building category and wind importance Factor, I_w table 1604.5, 1609.5)
B Wind exposure category (1609.4)
+ 0.18 Internal pressure coefficient (ASCE 7)
N/A Component and cladding pressures (1609.1.1, 1609.6.2.2)
20 PSF Main force wind pressures (7603.1.1, 1609.6.2.1)

Earth design data (1603.1.5, 1614-1623)

BEARING Design option utilized (1614.1)
B Seismic use group ("Category")
0.24/0.14 Spectral response coefficients, S_D & S_{D1} (1615.1)
C Site class (1615.1.5)

N/A Live load reduction
N/A Roof live loads (1603.1.2, 1607.11)
49 PSF Roof snow loads (1603.7.3, 1608)
70 PSF Ground snow load, P_g (1608.2)
49 PSF If $P_g > 10$ psf, flat-roof snow load P_f
1.0 If $P_g > 10$ psf, snow exposure factor, C_e
1.0 If $P_g > 10$ psf, snow load importance factor, I_s
1.0 Roof thermal factor, C_t (1608.4)
N/A Sloped roof snowload, R_s (1608.4)
B Seismic design category (1616.3)
SHEAR WALLS Basic seismic force resisting system (1617.6.2)
6 1/2 / 4 Response modification coefficient, R , and deflection amplification factor, C_d (1617.6.2)
STATIC Analysis procedure (1616.6, 1617.5)
1.74 KIP Design base shear (1617.4, 1617.5.1)

Flood loads (1803.1.6, 1612)

N/A Flood Hazard area (1612.3)
125.0 FT. Elevation of structure

Other loads

N/A Concentrated loads (1607.4)
N/A Partition loads (1607.5)
N/A Misc. loads (Table 1607.8, 1607.6.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404)



Certificate of Design

Date:

July 17, 2012

From:

DAVID D. LEASURE - ARCHITECTURAL ASSOC. INC.

These plans and / or specifications covering construction work on:

FR. HAYES CENTER - EXIT STAIR

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the ~~2003~~ 2009 *International Building Code* and local amendments.

Signature:


DAVID D. LEASURE

Title:

PRESIDENT

Firm:

ARCHITECTURAL ASSOC. INC.

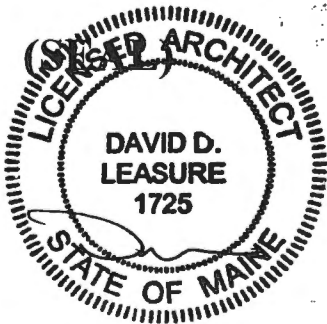
Address:

24 SEA ROSE LAJE

FREEPORT, ME. 04032

Phone:

207-841-8880



For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov




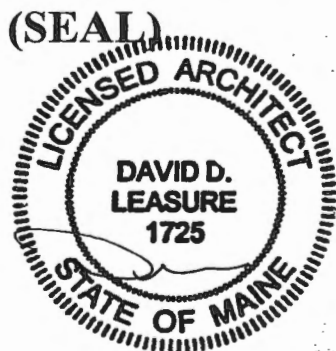
Accessibility Building Code Certificate

Designer: DAVID D. LEASURE - ARCHITECTURAL ASSOC. INC.
 Address of Project: FR. HAYES CENTER - ST. BRIGID SCHOOL
695 STEVENS AVENUE, PORTLAND, ME. 04103
 Nature of Project: ADDITION OF NEW EXIT STAIR ON SOUTH
SIDE OF EXISTING FR. HAYES CENTER

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.

NOTE: USE EXEMPT FROM ADA (28 CFR) - RELIGIOUS ENTITY

Signature: 
 Title: PRESIDENT
 Firm: ARCHITECTURAL ASSOC. INC.
 Address: 24 SEA ROSE LAKE
FREEMONT, ME. 04032
 Phone: 207-841-8880



For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov

Jonathan Rioux - 695 Stevens Ave.

From: Jonathan Rioux
To: davidleasure@myfairpoint.net
Date: 9/12/2012 9:25 AM
Subject: 695 Stevens Ave.
CC: Pirone, Chris; Wallace, Benjamin

David,

Did the State Fire Marshals office review?

Can you provide a response, see comments below from Fire Prevention:

- The submission indicates the stair is to serve as a required means of egress but does not provide a life safety plan indicating occupant load of the space being served and how that's be accommodated. Need a complete seating plan and egress arrangement for the space. I don't believe the gym was approved for assembly use prior to this, and I think that change must be what has triggered the need for another exit and capacity.
- The headroom for the new stair does not comply with 101:43.8.1.1(1) and 101:7.1.5 for headroom at the top landing and door.

Jonathan Rioux
Code Enforcement Officer/ Plan Reviewer

City of Portland
Planning and Urban Development Department
Inspection Services Division
389 Congress St. Rm 315
Portland, ME 04101
Office: 207.874.8702
Support Staff: 207.874.8703
jrioux@portlandmaine.gov



Administrative Authorization Application

Portland, Maine

Planning and Urban Development Department, Planning Division

PROJECT NAME: St. Bruno Catholic School: Fr. Hayes Center Stair

PROJECT ADDRESS: 695 STEVENS AVENUE CHART/BLOCK/LOT: TM-144-D-1,2,3

APPLICATION FEE: _____ (\$50.00) TM-143-A-32,37
144-D-3

PROJECT DESCRIPTION: (Please Attach Sketch/Plan of the Proposal/Development)

Retrofit Stairs

CONTACT INFORMATION:

OWNER/APPLICANT

Name: ROMAN CATHOLIC BISHOP PORTLAND
Address: 510 OCEAN AVE
PORTLAND, ME. 04103
Work #: (207) 773-6471
Cell #: N/A
Fax #: N/A
Home #: N/A
E-mail: JAMES.LAFONTAINE@
PORTLANDDIOCESE.ORG

CONSULTANT/AGENT

Name: DAVID LEASURE - ARCHITECTURAL ASSOC. INC
Address: 24 SEA ROSE LAKE
FREEPORT, ME. 04032
Work #: (207) 797-8661
Cell #: (207) 841-8880
Fax #: (207) 865-9426
Home #: N/A
E-mail: DAVIDLEASURE@MYFAIRPORT.ME

Criteria for an Administrative Authorization:
(see section 14-523(4) on pg. 2 of this appl.)

- a) Is the proposal within existing structures?
- b) Are there any new buildings, additions, or demolitions?
- c) Is the footprint increase less than 500 sq. ft.?
- d) Are there any new curb cuts, driveways or parking areas?
- e) Are the curbs and sidewalks in sound condition?
- f) Do the curbs and sidewalks comply with ADA?
- g) Is there any additional parking?
- h) Is there an increase in traffic?
- i) Are there any known stormwater problems?
- j) Does sufficient property screening exist?
- k) Are there adequate utilities?
- l) Are there any zoning violations?
- m) Is an emergency generator located to minimize noise?
- n) Are there any noise, vibration, glare, fumes or other impacts?

Applicant's Assessment
Y(yes), N(no), N/A

N
Y
Y
N
Y
Y
N
N
N
Y
Y
N
N/A
N

RECEIVED

AUG 3 2012

City of Portland
Planning Division

Signature of Applicant:

May Ann Purcell

Date:

8/2/12

IMPORTANT NOTICE TO APPLICANT: The granting of an Administrative Authorization to exempt a development from site plan review does not exempt this proposal from other required approvals or permits, nor is it an authorization for construction. You should first check with the Building Inspections Office, Room 315, City Hall (207)874-8703, to determine what other City permits, such as a building permit, will be required.

Ann Machado - 695 Stevens Ave - St. Brigid's School

From: Ann Machado
To: Barbara Barhydt
Subject: 695 Stevens Ave - St. Brigid's School

Barbara -

David Leasure has applied for a permit to add a 138 sf egress stair to the Father Hayes building at the school. He told Gayle that he had been in contact with you but had not applied for an Administrative Authorization yet. I just wanted to let you know that he applied and I was wondering what kind of a review you were requiring?

Thanks.

Ann

RS.

2012 - 07 - 4524 06



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

144 D 003

Location/Address of Construction: <u>FR. HAYES CENTER - ST. BRIGID SCHOOL</u> <u>695 STEVENS AVENUE, PORTLAND, ME. 04103</u>		
Total Square Footage of Proposed Structure/Area <u>138 S.F.</u>	Square Footage of Lot <u>115,937.67 S.F. = 2.66 ACRES</u>	
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>TM 144-D-1, 2, 3</u> <u>TM 143-A-32, 37</u>	Applicant * <u>must</u> be owner, Lessee or Buyer* Name <u>ROMAN CATHOLIC BISHOP</u> Address <u>510 OCEAN AVE</u> City, State & Zip <u>PORTLAND, ME 04103</u>	Telephone: <u>207-773-6471</u>
Lessee/DBA (If Applicable) RECEIVED <u>JUL 23 2012</u> Dept. of Building Inspections City of Portland Maine	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>75,000.00</u> C of O Fee: \$ <u>770.00</u> Total Fee: \$ <u>770.00</u>
Current legal use (i.e. single family) <u>INSTITUTIONAL (ELEMENTARY SCHOOL), ASSEMBLY</u> If vacant, what was the previous use? <u>N/A</u> Proposed Specific use: <u>INSTITUTIONAL & ASSEMBLY</u> Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>SEE ATTACHED PROJECT DESCRIPTION</u>		
Contractor's name: <u>NOT SELECTED AT THIS TIME</u>		
Address: _____		
City, State & Zip: _____		Telephone: <u>call first</u>
Who should we contact when the permit is ready: <u>DAVID LEASURE, P.A.</u>		Telephone: <u>207-841-8880</u>
Mailing address: <u>24 SEA ROSE LAKE, FREEPORT, ME. 04103</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

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Signature: May Ann Russo Date: July 17, 2012

This is not a permit; you may not commence ANY work until the permit is issue



PORTLAND MAINE

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Receipts Details:

Tender Information: Check , BusinessName: David D. Leasure, Check Number: 6620

Tender Amount: 770.00

Receipt Header:

Cashier Id: gguertin

Receipt Date: 7/24/2012

Receipt Number: 46285

Receipt Details:

Referance ID:	7377	Fee Type:	BP-Constr
Receipt Number:	0	Payment Date:	
Transaction Amount:	770.00	Charge Amount:	770.00
Job ID: Job ID: 2012-07-4524-ALTCOMM - addition of a 138 s.f. egress stair addition			
Additional Comments: 695 stevens Ave. David D. Leasure			

Thank You for your Payment!

**TRANSMITTAL
COVER SHEET**

DATE: July 17, 2012

TO: City of Portland, Maine
Building Inspections Division
389 Congress Street
Portland, Maine 04101

PROJECT: Fr. Hayes Stair Retrofit Project
St. Brigid Catholic School
695 Stevens Avenue
Portland, Maine 04103

TRANSMITTAL:

<u>Copies</u>	<u>Date</u>	<u>Description</u>	<u>Action Code</u>
1	06/25/12	Construction Documents (30 x 42 Drawings)	E
1	06/25/12	Reduced Construction Documents (11x17 color Dwgs.)	E
1	06/17/12	General Building Permit application	E
1	06/29/12	Application Fee (Ch. #6620 for \$770.00)	E
1	N/A	Project Description	E
1	N/A	Certificate of Design Application	E
1	N/A	Certificate of Design	E
1	N/A	Accessibility Building Code Certificate	E

Action A. Action Indicated on transmitted item. D. For Signature & forwarding as noted below
B. No Action Required. E. See Remarks below.
C. For Signature & return to this office.

SUBJECT: Fr. Hayes - Stair Retrofit Project: Building Permit Application

MEMORANDUM:

Dear Sir/Madam:

Enclosed please find an application for a Building Permit for the above referenced project. Please review the application and let me know if you need any additional materials. Thank you.

Best Regards,



DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.
24 SEA ROSE LANE FREEPORT, MAINE Ph. (207) 797-8661 Cell (207) 841-8880 Fax (207) 797-8533
Email davidleasure@myfairpoint.net

cc: Fr. James LaFontaine, S.J. - Pastor, Our Lady of Hope Parish
Mary Ann Russo - Dir. Of Operations and Development St. Brigid School
File

Project Description

PROJECT: **FR. HAYES STAIR RETROFIT PROJECT FOR**
ST. BRIGID CATHOLIC SCHOOL
695 STEVENS AVENUE
PORTLAND, MAINE 04103

ARCHITECT: **David D. Leasure - Architectural Associates Inc.**
1344 Washington Ave.
Portland, Maine 04103
Tel. (207) 797-8661 Fax. (207) 797-8533
E-mail

Fr. Hayes Center Egress Stair Description:

The current project entails the addition of a 138 s.f. egress stair addition to the South side of the existing Gymnasium/Classroom Fr. Hayes Center Facility. The existing site is currently occupied with 4 buildings including St. Brigid School (2 buildings), St. Joseph Church, and St. Joseph Rectory. The school is in session Monday through Friday, 7:30 A.M. to 2:45 P.M. from September 1 to June 10 annually.

The remainder of the site is used for parking, an existing Drive-thru/ Drop-off Lane, school playgrounds and Godfrey Park (green space). A total of 55 parking spaces are provided on-site with dedicated parking for the school faculty and business office along the East and South sides of the rear parking lot. Parking for the Clergy is provided in the Rectory garage. Church patrons utilize street parking along Stevens Avenue and the school parking lot since Church masses are held on Saturday Evenings and Sunday mornings when school is not in session.

The proposed Fr. Hayes egress stair is necessary to meet egress and Life Safety Code requirements for the existing Gymnasium/Assembly first floor level. The new entrance location will also improve student flow during school hours.

Administrative Authorization Decision

Name: St. Brigid's Catholic School, Fr. Hayes Center Stair
Address: 695 Stevens Avenue
Project Description: Retrofit Stairs

Criteria for an Administrative Authorizations:

(See Section 14-523 (4) on page 2 of this application)

Applicant's Assessment

Y(yes), N(no), N/A

Planning Division

Use Only

a) Is the proposal within existing structures?	N	N
b) Are there any new buildings, additions, or demolitions?	Y	Y
c) Is the footprint increase less than 500 sq. ft.?	Y	Y
d) Are there any new curb cuts, driveways or parking areas?	N	N
e) Are the curbs and sidewalks in sound condition?	Y	Y
f) Do the curbs and sidewalks comply with ADA?	Y	Y
g) Is there any additional parking?	N	N
h) Is there an increase in traffic?	N	N
i) Are there any known stormwater problems?	N	N
j) Does sufficient property screening exist?	Y	Y
k) Are there adequate utilities?	Y	Y
l) Are there any zoning violations?	N	N
m) Is an emergency generator located to minimize noise?	N/A	N/A
n) Are there any noise, vibration, glare, fumes or other impacts?	N	N

David Leasure and St. Brigid's School provided additional information (attached) that confirmed that the basement level has contained classrooms and thus, does not require a conditional use review of an institutional expansion.

The Administrative Authorization for the replacement stairs for egress was approved by Barbara Barhydt, Development Review Services Manager on August 17, 2012 with the following condition of approval listed below:

1. Standard Condition of Approval: The applicant shall obtain all required City Permits, including building permits from the Inspection Division (874-8703) and any other permits required from the Department of Public Services (874-8801) prior to the start of any construction.



Barbara Barhydt
Development Review Services Manager
Date of Approval:



DATE: 08/11/11	
NO.	DESCRIPTION

DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.
 1344 WASHINGTON AVENUE PORTLAND, MAINE 04107
 TEL: (207) 797-6661 FAX: (207) 793-4533
 PROJECT: ST. BRIGID SCHOOL RENOVATION
 SCALE: 3/16" = 1'-0" SHEET TITLE: LOWER LEVEL PLAN - FR. HAYES BLDG.

FR. HAYES BUILDING - LOWER LEVEL FLOOR PLAN
 3/16" = 1'-0"



- PLAN LEGEND**
- [Thick solid line] EXISTING WALL TO REMAIN
 - [Thin solid line] NEW WOOD STUD WALL
 - [Dashed line] NEW GYPSUM STUD WALL
 - [Line with diagonal hatching] NEW CONCRETE WALL
 - [Line with vertical hatching] EXISTING BRICK WALL TO REMAIN
 - [Line with horizontal hatching] EXISTING CONCRETE WALL TO REMAIN
 - [Double line] 1/4" WALL FLOOR FINISH
 - [Symbol with '1'] 1) HANDICAP ACCESS FOR CORRIDORS
 - [Symbol with '2'] 2) NEW BUILT UP CORNER B.C.
 - [Symbol with '3'] 3) NEW BUILT UP CORNER S.C.
 - [Symbol with '4'] 4) BENT UP CORNER TO IMP. WASTE

BUILDING AREA

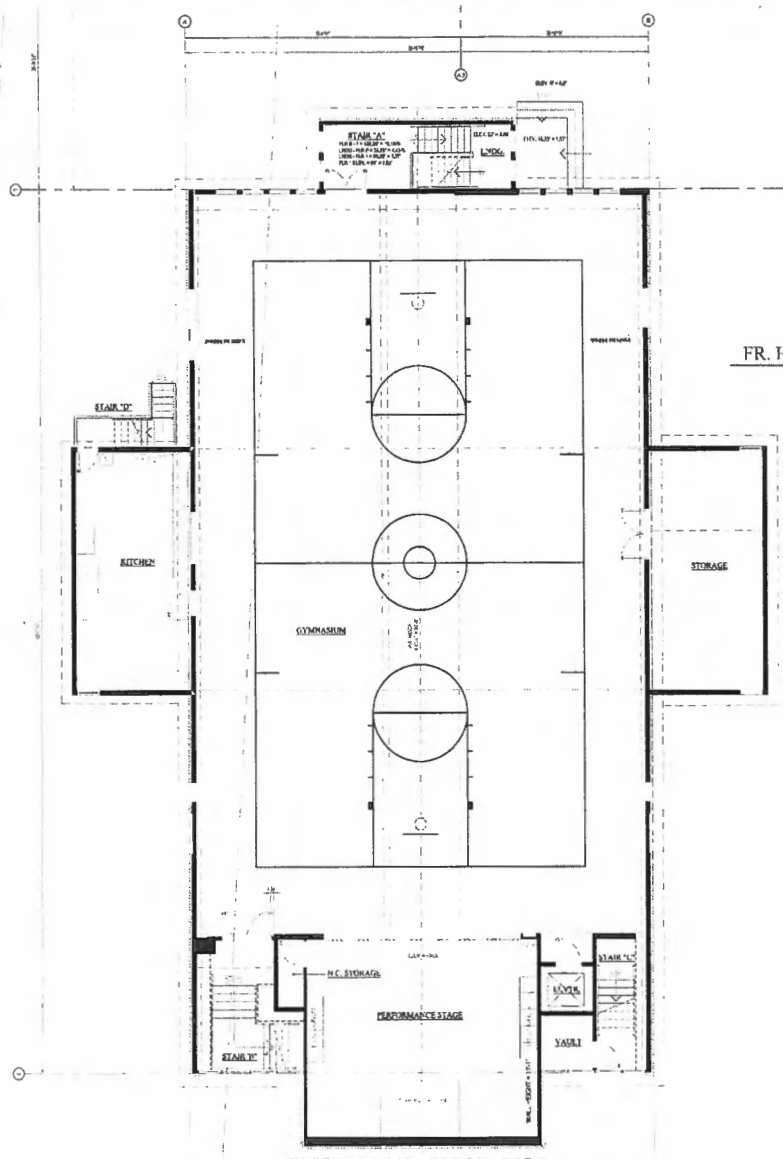
TYPICAL BUILDING WALL

EXISTING CONDITIONS DRAWINGS - SEPTEMBER 16, 2011
 NOT FOR CONSTRUCTION

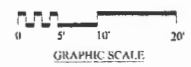
ST. BRIGID SCHOOL RENOVATION
 695 STEVENS AVENUE
 PORTLAND, MAINE 04103

A-203 AS





FR. HAYES BUILDING - FIRST FLOOR PLAN
3/16" = 1'-0"



- PLAN LEGEND**
- EXISTING WALL TO REMAIN
 - NEW MASONRY WALL
 - NEW METAL STUD WALL
 - NEW METAL STUD WALL
 - 2x4 CONCRETE PANEL WALL
 - EXISTING WALL TO BE REMOVED
 - EXISTING BRICK WALL TO REMAIN
 - EXISTING MASONRY (CMU) WALL
 - STAIR BUILDING FOOTPRINT
- BUILDING AREA**
- (1) EXISTING BRICK CURB FOOTPRINT
 - (2) NEW BRICK CURB FOOTPRINT
 - (3) EXISTING CURB FOOTPRINT TO BE REMOVED
- TOTAL BUILDING AREA



DATE	DESCRIPTION

DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.
1344 WASHINGTON AVENUE PORTLAND, MAINE PH (207) 787-4661 FAX (207) 787-8833
PROJECT NO. 080111 PROJECT TITLE ST. BRIGID SCHOOL RENOVATION
SCALE: 1/8" = 1'-0" SHEET TITLE FIRST FLOOR PLAN - FR. HAYES BLDG.

EXISTING CONDITIONS DRAWINGS - SEPTEMBER 16, 2011
NOT FOR CONSTRUCTION

ST. BRIGID SCHOOL RENOVATION
695 STEVENS AVENUE
PORTLAND, MAINE 04103

A-204 AS

Barbara Barhydt - St. Brigid Catholic School - Fr. Hayes Center Existing Conditions

From: "David Leasure" <davidleasure@myfairpoint.net>
To: "Barbara Barhydt" <bab@portlandmaine.gov>, "Marge Schmuckal" <mes@portla...>
Date: Monday, August 06, 2012 2:40 PM
Subject: St. Brigid Catholic School - Fr. Hayes Center Existing Conditions
CC: "Mary Ann Russo" <maryann.russo@portlanddiocese.org>, "Mary Gordon" <mar...>
Attachments: A204_AS_FR_HAYES_FIRST.pdf; A203_AS_FR_HAYES_BSMT.pdf; Site_Bldg_Fr_Hayes.pdf

Hi Barbara:

Per our conversation today with regard to the possibility that the Fr. Hayes Center did not secure a Conditional Use Permit (R5 Zone) when it was originally constructed, I have attached the Fr. Hayes Center - Existing Conditions Floor Plans which were prepared by my office in 2011. The current plans (Fr. Hayes Stair Retrofit Plans) that we recently submitted reflecting the addition of a new stair on the South side of the Fr. Hayes center do not require any changes to the building's interior on either floor.

I've also attached a scan of the original building Plan (Site_Bldg_Fr_Hayes.pdf) that was designed and prepared by Mr. Wilbur Ingalls, R.A. It is my understanding that the Fr. Hayes Center Facility was constructed in 1967. The original drawing indicates classrooms on the Lower Level and a Gymnasium (basket ball court) on the first floor. I am not privy to any permitting information. I have spoken with the School Development Officer and she is looking through her files to see if there is any documentation relevant to prior conditional use or building permitting.

I will forward you any relevant documentation that we find. Please let me know what your and Marge's findings are at your earliest convenience. If you have any additional questions, please don't hesitate to contact me.

Best regards,

David D. Leasure, R.A.
Architectural Associates Inc.
24 Sea Rose Lane
Freeport, Maine 04032
Off. 207-797-8661
Cell 207-841-8880
Fax 207-797-8533
E-mail davidleasure@myfairpoint.net

**TRANSMITTAL
COVER SHEET**

DATE: August 02, 2012

TO: Ms. Barbara Barhydt - Development Review Service Manager
City of Portland, Maine - Planning & Urban Development
389 Congress Street
Portland, Maine 04101

PROJECT: Fr. Hayes Stair Retrofit Project
St. Brigid Catholic School
695 Stevens Avenue
Portland, Maine 04103

TRANSMITTAL:

<u>Copies</u>	<u>Date</u>	<u>Description</u>	<u>Action Code</u>
1	06/25/12	Construction Documents (30 x 42 Drawings)	E
1	08/02/12	Administrative Authorization Application	E
1	07/31/12	Admin Authorization Fee (Ch. #6622 for \$50.00)	E
1	N/A	Project Description	E
1	N/A	Certificate of Design Application	E
1	N/A	Certificate of Design	E
1	N/A	Accessibility Building Code Certificate	E

Action A. Action Indicated on transmitted item. D. For Signature & forwarding as noted below
B. No Action Required. E. See Remarks below.
C. For Signature & return to this office.

SUBJECT: Fr. Hayes - Stair Retrofit Project: Administrative Authorization Application

MEMORANDUM:

Dear Barbara:

Enclosed please find an application for Administrative Authorization for the above referenced project. Please review the application and let me know if you need any additional materials. Thank you.

Best Regards,



DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.
24 SEA ROSE LANE FREEPORT, MAINE Ph. (207) 797-8661 Cell (207) 841-8880 Fax (207) 797-8533
Email davidleasure@myfairpoint.net

cc: Fr. James LaFontaine, S.J. - Pastor; Our Lady of Hope Parish
Mary Ann Russo - Dir. Of Operations and Development St. Brigid School
File

DAVID D. LEASURE
 ARCHITECTURAL ASSOCIATES, INC.
 1344 WASHINGTON AVE.
 PORTLAND, MAINE 04103
 207-797-8661

DATE	INVOICE	AMOUNT

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DATE	TO THE ORDER OF	HRS	GROSS	F.I.C.A.	FED WITH	STATE	DISC.	CHECK NO.
7/17/12	City of Portland, ME.							6620
			FR. HAYES STAIR - PERMIT FEE					
			DESCRIPTION					

\$ 770.00

CUMBERLAND COUNTY
 FEDERAL CREDIT UNION

⑈006620⑈ ⑆211287696⑆ 10000377180088⑈

McBee® One-Writes

**TRANSMITTAL
COVER SHEET**DATE: July 17, 2012TO: City of Portland, Maine
Building Inspections Division
389 Congress Street
Portland, Maine 04101PROJECT: Fr. Hayes Stair Retrofit Project
St. Brigid Catholic School
695 Stevens Avenue
Portland, Maine 04103

TRANSMITTAL:

Copies	Date	Description	Action Code
1	06/25/12	Construction Documents (30 x 42 Drawings)	E
1	06/25/12	Reduced Construction Documents (11x17 color Dwgs.)	E
1	06/17/12	General Building Permit application	E
1	06/29/12	Application Fee (Ck. #6620 for \$770.00)	E
1	N/A	Project Description	E
1	N/A	Certificate of Design Application	E
1	N/A	Certificate of Design	E
1	N/A	Accessibility Building Code Certificate	E

Action A. Action Indicated on transmitted item.
B. No Action Required.
C. For Signature & return to this office.D. For Signature & forwarding as noted below
E. See Remarks below.SUBJECT: Fr. Hayes - Stair Retrofit Project: Building Permit Application

MEMORANDUM:

Dear Sir/Madam:

Enclosed please find an application for a Building Permit for the above referenced project. Please review the application and let me know if you need any additional materials. Thank you.

Best Regards,



DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.
24 SEA ROSE LANE FREEPORT, MAINE Ph. (207) 797-8661 Cell (207) 841-8880 Fax (207) 797-8533
Email davidleasure@myfairpoint.net
cc: Fr. James LaFontaine, S.J. - Pastor, Our Lady of Hope Parish
Mary Ann Russo - Dir. Of Operations and Development St. Brigid School
File

Barbara Barhydt - St. Brigid Catholic School - Fr. Hayes Center Existing Conditions

From: "David Leasure" <davidleasure@myfairpoint.net>
To: "Barbara Barhydt" <bab@portlandmaine.gov>, "Marge Schmuckal" <mes@portla...>
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Best regards,

David D. Leasure, R.A.
Architectural Associates Inc.
24 Sea Rose Lane
Freeport, Maine 04032
Off. 207-797-8661
Cell 207-841-8880
Fax 207-797-8533
E-mail davidleasure@myfairpoint.net



Certificate of Design Application

From Designer: DAVID D. LEASURE - ARCHITECTURAL ASSOC. INC
 Date: JULY 17, 2012
 Job Name: FR. HAYES CENTER STAIR PROJECT (ST. BRIGID SCHOOL)
 Address of Construction: 695 STEVENS AVENUE, PORTLAND, ME. 04103

2003 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year IBC-2009 Use Group Classification (s) EDUCATIONAL (E), Assembly (A-3)
 Type of Construction Type VA
 Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC YES
 Is the Structure mixed use? ~~YES~~ NO If yes, separated or non separated or non separated (section 302.3) N/A
 Supervisory alarm System? YES Geotechnical/Soils report required? (See Section 1802.2) NO - SEEKING EXCEPTION 1803.2

Structural Design Calculations

Submitted for all structural members (106.1 - 106.11)

Design Loads on Construction Documents (1603)

Uniformly distributed floor live loads (7603.11, 1807)

Floor Area Use	Loads Shown
<u>STAIR/LANDING</u>	<u>100 PSF</u>

Wind loads (1603.1.4, 1609)

1609.1.1 Design option utilized (1609.1.1, 1609.6)
100 MPH Basic wind speed (~~1809.2~~) 1609.3
II / 1.0 Building category and wind importance Factor, w table 1604.5, 1609.5)
B Wind exposure category (1609.4)
± 0.18 Internal pressure coefficient (ASCE 7)
N/A Component and cladding pressures (1609.1.1, 1609.6.2.2)
20 PSF Main force wind pressures (7603.1.1, 1609.6.2.1)

Earth design data (1603.1.5, 1614-1623)

BEARING Design option utilized (1614.1)
B Seismic use group ("Category")
0.24/0.14 Spectral response coefficients, S_D & S_{D1} (1615.1)
C Site class (1615.1.5)

N/A Live load reduction
N/A Roof live loads (1603.1.2, 1607.11)
49 PSF Roof snow loads (1603.7.3, 1608)
70 PSF Ground snow load, P_g (1608.2)
49 PSF If $P_g > 10$ psf, flat-roof snow load P_f
1.0 If $P_g > 10$ psf, snow exposure factor, C_e
1.0 If $P_g > 10$ psf, snow load importance factor, I_s
1.0 Roof thermal factor, C_t (1608.4)
N/A Sloped roof snowload, P_R (1608.4)
B Seismic design category (1616.3)
SHEAR WALLS Basic seismic force resisting system (1617.6.2)
6 1/2 / 4 Response modification coefficient, R , and deflection amplification factor, C_d (1617.6.2)
STATIC Analysis procedure (1616.6, 1617.5)
1.74 KIP Design base shear (1617.4, 1617.5.1)
Flood loads (1803.1.6, 1612)
N/A Flood Hazard area (1612.3)
125.0 FT. Elevation of structure
Other loads
N/A Concentrated loads (1607.4)
N/A Partition loads (1607.5)
N/A Misc. loads (Table 1607.8, 1607.6.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404)



Certificate of Design

Date: July 17, 2012

From: DAVID D. LEASURE - ARCHITECTURAL ASSOC. INC.

These plans and / or specifications covering construction work on:

FR. HAYES CENTER - EXIT STAIR

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the ~~2003~~ *International Building Code* and local amendments.
2009

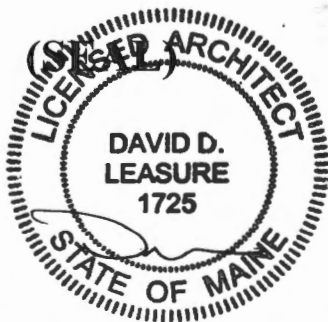
Signature: 
DAVID D. LEASURE

Title: PRESIDENT

Firm: ARCHITECTURAL ASSOC. INC.

Address: 24 SEA ROSE LAJE
FREEMONT, ME. 04032

Phone: 207-841-8880



For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov



Accessibility Building Code Certificate


Designer: DAVID D. LEASURE - ARCHITECTURAL ASSOC. INC.

Address of Project: FR. HAYES CENTER - ST. BRIGID SCHOOL
695 STEVENS AVENUE, PORTLAND, ME. 04103

Nature of Project: ADDITION OF NEW EXIT STAIR ON SOUTH
SIDE OF EXISTING FR. HAYES CENTER

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.

NOTE: USE EXEMPT FROM ADA (28 CFR) - RELIGIOUS ENTITY

Signature: 
DAVID D LEASURE

Title: PRESIDENT

Firm: ARCHITECTURAL ASSOC. INC.

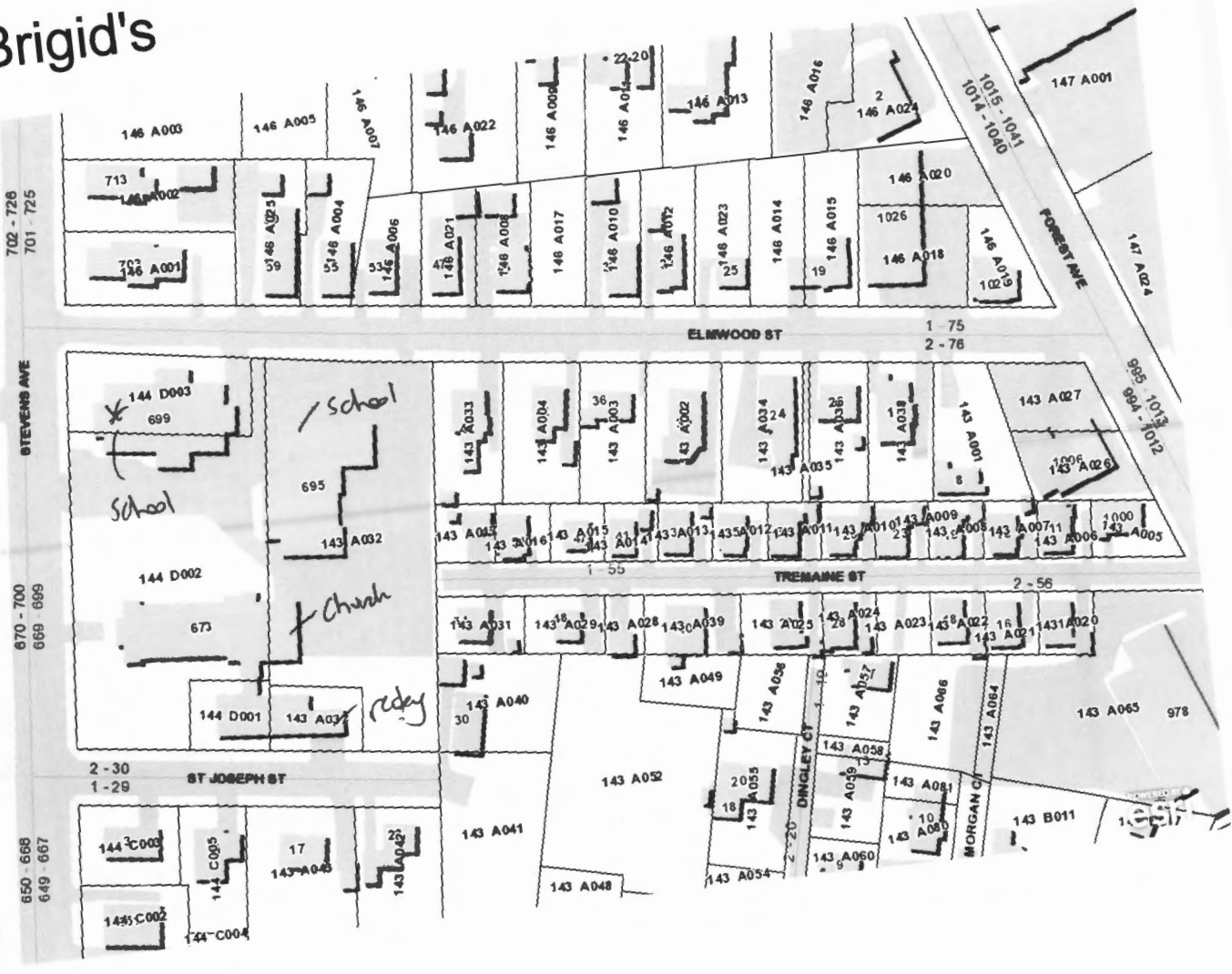
Address: 24 SEA ROSE LAKE
FREEMONT, ME. 04032

Phone: 207-841-8880



For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov

1- 695 Stevens Ave (St. Brigid's)



Assessor's Office | 389 Congress Street | Portland, Maine 04101 | Room 115 | (207) 874-8486

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Current Owner Information:

Services

Applications

Doing Business

Maps

Tax Relief

Tax Roll

Q & A

[browse city services a-z](#)

[browse facts and links a-z](#)

CBL 144 D003001
Land Use Type RELIGIOUS
Property Location 695 STEVENS AVE
Owner Information ROMAN CATHOLIC BISHOP OF PORTLAND
 PO BOX 11559
 PORTLAND ME 04104
Book and Page
Legal Description 144-D-3
 STEVENS AVE 695-699
 ELMWOOD ST 64-74
 11200 SF
Acres 0.2571

Current Assessed Valuation:

TAX ACCT NO. 21394 **OWNER OF RECORD AS OF APRIL 2012**
 ROMAN CATHOLIC BISHOP OF
 PORTLAND
 PO BOX 11559
 PORTLAND ME 04104
LAND VALUE \$83,600.00
BUILDING VALUE \$1,034,500.00
RELIGIOUS INSTITUTIONS (\$1,118,100.00)
NET TAXABLE - REAL ESTATE \$0.00
TAX AMOUNT \$0.00

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or [e-mailed](#).

Building Information:

Building 1
Year Built 1969
Style/Structure Type SCHOOL
Units 1
Building Num/Name 1 - FATHER HAYES CENTER
Square Feet 14472

[View Sketch](#) [View Map](#) [View Picture](#)



Exterior/Interior Information:

Building 1
Levels 01/01
Size 6794
Use SCHOOL
Height 10
Walls BRICK/STONE
Heating HW/STEAM
A/C NONE

Building 1
Levels 02/02
Size 7678
Use AUDITORIUM/THEATER
Height 15
Walls BRICK/STONE
Heating HW/STEAM
A/C CENTRAL

[New Search!](#)



Best viewed at 800x600, with Internet Explorer

Assessor's Office | 389 Congress Street | Portland, Maine 04101 | Room 115 | (207) 874-8486

[City](#) [Home](#) [Departments](#) [City Council](#) [E-Services](#) [Calendar](#) [Jobs](#)

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Current Owner Information:

Services

Applications

Doing Business

Maps

Tax Relief

Tax Roll

Q & A

CBL 143 A037001
Land Use Type SINGLE FAMILY
Property Location 16 ST JOSEPH ST
Owner Information ROMAN CATHOLIC BISHOP OF PORTLAND
 PO BOX 11559
 PORTLAND ME 04104
Book and Page
Legal Description 143-A-37 144-D-1
 ST JOSEPH ST 10-20
Acres 0.2435

Current Assessed Valuation:

[browse city services a-z](#)

[browse facts and links a-z](#)

TAX ACCT NO. 21286 **OWNER OF RECORD AS OF APRIL 2012**
 ROMAN CATHOLIC BISHOP OF PORTLAND
 PO BOX 11559
 PORTLAND ME 04104
LAND VALUE \$66,000.00
BUILDING VALUE \$589,700.00
PARSONAGES (\$20,000.00)
NET TAXABLE - REAL ESTATE \$635,700.00
TAX AMOUNT \$11,963.88

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or [e-mailed](#).



Building Information:

Building 1

Year Built 1957
Style/Structure Type MANSION
Stories 2
Units 1
Bedrooms 8
Full Baths 4
Half Baths 3
Total Rooms 22
Attic FULL FINSH
Basement FULL
Square Feet 7138

[View Sketch](#) [View Map](#) [View Picture](#)



New Search

Best viewed at 800x600, with Internet Explorer

FR. HAYES STAIR RETROFIT PROJECT FOR ST. BRIGID CATHOLIC SCHOOL 695 STEVENS AVENUE PORTLAND, MAINE 04103

LIST OF CONSTRUCTION DOCUMENTS

COVER	TITLE SHEET & GENERAL NOTES
FH-C-100	SITE CONSTRUCTION & EROSION CONTROL NOTES, SITE LEGEND
FH-C-200	PROPOSED SITE LAYOUT & EROSION CONTROL PLAN
FH-C-201	SITE DETAILS
FH-F-200 R1	FOUNDATION PLAN & DETAILS
FH-A-200 R1	LOWER LEVEL FLOOR PLAN
FH-A-201 R1	FIRST FLOOR PLAN & DOOR SCHEDULE
FH-A-202 R1	ROOF PLAN & ROOF DETAILS
FH-ST-200 R1	ROOF STRUCTURAL FRAMING PLAN
FH-A-400 R1	STAIR - EXTERIOR ELEVATIONS
FH-A-500-1 R1	STAIR - BUILDING SECTIONS
N/A	PROJECT MANUAL DATED JUNE 01, 2012

GENERAL NOTES

<p>1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF PORTLAND AND THE STATE OF MAINE.</p> <p>2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF PORTLAND AND THE STATE OF MAINE.</p> <p>3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF PORTLAND AND THE STATE OF MAINE.</p> <p>4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF PORTLAND AND THE STATE OF MAINE.</p> <p>5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF PORTLAND AND THE STATE OF MAINE.</p> <p>6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF PORTLAND AND THE STATE OF MAINE.</p> <p>7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF PORTLAND AND THE STATE OF MAINE.</p> <p>8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF PORTLAND AND THE STATE OF MAINE.</p> <p>9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF PORTLAND AND THE STATE OF MAINE.</p> <p>10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF PORTLAND AND THE STATE OF MAINE.</p>	<p>1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF PORTLAND AND THE STATE OF MAINE.</p> <p>2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF PORTLAND AND THE STATE OF MAINE.</p> <p>3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF PORTLAND AND THE STATE OF MAINE.</p> <p>4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF PORTLAND AND THE STATE OF MAINE.</p> <p>5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF PORTLAND AND THE STATE OF MAINE.</p> <p>6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF PORTLAND AND THE STATE OF MAINE.</p> <p>7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF PORTLAND AND THE STATE OF MAINE.</p> <p>8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF PORTLAND AND THE STATE OF MAINE.</p> <p>9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF PORTLAND AND THE STATE OF MAINE.</p> <p>10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF PORTLAND AND THE STATE OF MAINE.</p>	<p>1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF PORTLAND AND THE STATE OF MAINE.</p> <p>2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF PORTLAND AND THE STATE OF MAINE.</p> <p>3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF PORTLAND AND THE STATE OF MAINE.</p> <p>4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF PORTLAND AND THE STATE OF MAINE.</p> <p>5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF PORTLAND AND THE STATE OF MAINE.</p> <p>6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF PORTLAND AND THE STATE OF MAINE.</p> <p>7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF PORTLAND AND THE STATE OF MAINE.</p> <p>8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF PORTLAND AND THE STATE OF MAINE.</p> <p>9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF PORTLAND AND THE STATE OF MAINE.</p> <p>10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF PORTLAND AND THE STATE OF MAINE.</p>
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ACCESSIBILITY NOTES

<p>1. ALL NEW AND EXISTING STAIRS SHALL BE DESIGNED AND CONSTRUCTED TO MEET THE REQUIREMENTS OF THE AMERICAN WITH Disabilities ACT (ADA) AND THE ADA STANDARDS FOR ACCESSIBLE BUILT ENVIRONMENTS (2010).</p> <p>2. ALL NEW AND EXISTING STAIRS SHALL BE DESIGNED AND CONSTRUCTED TO MEET THE REQUIREMENTS OF THE AMERICAN WITH Disabilities ACT (ADA) AND THE ADA STANDARDS FOR ACCESSIBLE BUILT ENVIRONMENTS (2010).</p> <p>3. ALL NEW AND EXISTING STAIRS SHALL BE DESIGNED AND CONSTRUCTED TO MEET THE REQUIREMENTS OF THE AMERICAN WITH Disabilities ACT (ADA) AND THE ADA STANDARDS FOR ACCESSIBLE BUILT ENVIRONMENTS (2010).</p> <p>4. ALL NEW AND EXISTING STAIRS SHALL BE DESIGNED AND CONSTRUCTED TO MEET THE REQUIREMENTS OF THE AMERICAN WITH Disabilities ACT (ADA) AND THE ADA STANDARDS FOR ACCESSIBLE BUILT ENVIRONMENTS (2010).</p> <p>5. ALL NEW AND EXISTING STAIRS SHALL BE DESIGNED AND CONSTRUCTED TO MEET THE REQUIREMENTS OF THE AMERICAN WITH Disabilities ACT (ADA) AND THE ADA STANDARDS FOR ACCESSIBLE BUILT ENVIRONMENTS (2010).</p> <p>6. ALL NEW AND EXISTING STAIRS SHALL BE DESIGNED AND CONSTRUCTED TO MEET THE REQUIREMENTS OF THE AMERICAN WITH Disabilities ACT (ADA) AND THE ADA STANDARDS FOR ACCESSIBLE BUILT ENVIRONMENTS (2010).</p> <p>7. ALL NEW AND EXISTING STAIRS SHALL BE DESIGNED AND CONSTRUCTED TO MEET THE REQUIREMENTS OF THE AMERICAN WITH Disabilities ACT (ADA) AND THE ADA STANDARDS FOR ACCESSIBLE BUILT ENVIRONMENTS (2010).</p> <p>8. ALL NEW AND EXISTING STAIRS SHALL BE DESIGNED AND CONSTRUCTED TO MEET THE REQUIREMENTS OF THE AMERICAN WITH Disabilities ACT (ADA) AND THE ADA STANDARDS FOR ACCESSIBLE BUILT ENVIRONMENTS (2010).</p> <p>9. ALL NEW AND EXISTING STAIRS SHALL BE DESIGNED AND CONSTRUCTED TO MEET THE REQUIREMENTS OF THE AMERICAN WITH Disabilities ACT (ADA) AND THE ADA STANDARDS FOR ACCESSIBLE BUILT ENVIRONMENTS (2010).</p> <p>10. ALL NEW AND EXISTING STAIRS SHALL BE DESIGNED AND CONSTRUCTED TO MEET THE REQUIREMENTS OF THE AMERICAN WITH Disabilities ACT (ADA) AND THE ADA STANDARDS FOR ACCESSIBLE BUILT ENVIRONMENTS (2010).</p>	<p>1. ALL NEW AND EXISTING STAIRS SHALL BE DESIGNED AND CONSTRUCTED TO MEET THE REQUIREMENTS OF THE AMERICAN WITH Disabilities ACT (ADA) AND THE ADA STANDARDS FOR ACCESSIBLE BUILT ENVIRONMENTS (2010).</p> <p>2. ALL NEW AND EXISTING STAIRS SHALL BE DESIGNED AND CONSTRUCTED TO MEET THE REQUIREMENTS OF THE AMERICAN WITH Disabilities ACT (ADA) AND THE ADA STANDARDS FOR ACCESSIBLE BUILT ENVIRONMENTS (2010).</p> <p>3. ALL NEW AND EXISTING STAIRS SHALL BE DESIGNED AND CONSTRUCTED TO MEET THE REQUIREMENTS OF THE AMERICAN WITH Disabilities ACT (ADA) AND THE ADA STANDARDS FOR ACCESSIBLE BUILT ENVIRONMENTS (2010).</p> <p>4. ALL NEW AND EXISTING STAIRS SHALL BE DESIGNED AND CONSTRUCTED TO MEET THE REQUIREMENTS OF THE AMERICAN WITH Disabilities ACT (ADA) AND THE ADA STANDARDS FOR ACCESSIBLE BUILT ENVIRONMENTS (2010).</p> <p>5. ALL NEW AND EXISTING STAIRS SHALL BE DESIGNED AND CONSTRUCTED TO MEET THE REQUIREMENTS OF THE AMERICAN WITH Disabilities ACT (ADA) AND THE ADA STANDARDS FOR ACCESSIBLE BUILT ENVIRONMENTS (2010).</p> <p>6. ALL NEW AND EXISTING STAIRS SHALL BE DESIGNED AND CONSTRUCTED TO MEET THE REQUIREMENTS OF THE AMERICAN WITH Disabilities ACT (ADA) AND THE ADA STANDARDS FOR ACCESSIBLE BUILT ENVIRONMENTS (2010).</p> <p>7. ALL NEW AND EXISTING STAIRS SHALL BE DESIGNED AND CONSTRUCTED TO MEET THE REQUIREMENTS OF THE AMERICAN WITH Disabilities ACT (ADA) AND THE ADA STANDARDS FOR ACCESSIBLE BUILT ENVIRONMENTS (2010).</p> <p>8. ALL NEW AND EXISTING STAIRS SHALL BE DESIGNED AND CONSTRUCTED TO MEET THE REQUIREMENTS OF THE AMERICAN WITH Disabilities ACT (ADA) AND THE ADA STANDARDS FOR ACCESSIBLE BUILT ENVIRONMENTS (2010).</p> <p>9. ALL NEW AND EXISTING STAIRS SHALL BE DESIGNED AND CONSTRUCTED TO MEET THE REQUIREMENTS OF THE AMERICAN WITH Disabilities ACT (ADA) AND THE ADA STANDARDS FOR ACCESSIBLE BUILT ENVIRONMENTS (2010).</p> <p>10. ALL NEW AND EXISTING STAIRS SHALL BE DESIGNED AND CONSTRUCTED TO MEET THE REQUIREMENTS OF THE AMERICAN WITH Disabilities ACT (ADA) AND THE ADA STANDARDS FOR ACCESSIBLE BUILT ENVIRONMENTS (2010).</p>
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VENDOR DESIGNED/BUILD SYSTEMS/COMPONENTS

NOTE: THE FOLLOWING SYSTEMS WILL BEEN DESIGNED AND INSTALLED BY SEPARATE DESIGN-BUILD CONTRACTORS.

- STAIR HEATING
- STAIR ELECTRICAL POWER DISTRIBUTION AND LIGHTING
- FR. HAYES CENTER FIRE ALARM SYSTEM MODIFICATIONS

OWNER DESIGNED SYSTEMS/COMPONENTS

NOTE: THE FOLLOWING SYSTEMS WILL BE DESIGNED BY THE OWNER.

- NONE AT THIS TIME

PROJECT ALLOWANCES

- FIELD TESTING ALLOWANCE \$ 1,000.00

PROJECT ALTERNATES

- ALTERNATE 1: BELL TOWER
- ALTERNATE 2: DUROLAST WHITE REFLECTIVE PVC ROOF MEMBRANE

RECEIVED

JUL 23 2012

Dept. of Building Inspections
City of Portland Maine

ARCHITECT:

DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.
1000 BROADWAY, PORTLAND, ME 04103
TEL: 603.761.1111 FAX: 603.761.1112

STRUCTURAL ENGINEER:

MFL ENGINEERING
1000 BROADWAY, PORTLAND, ME 04103
TEL: 603.761.1111 FAX: 603.761.1112

SITE LEGEND

PROP. LINE BEARING S 23-02'-00" E 179.26'	SPOT ELEVATION 95.60 X	FRENCH DRAIN	NEW PAVED AREA	PERMETER FDN. DRAIN --- FD ---
EASEMENT LINE	NEW CONTOUR 12	WATER SHUT-OFF VALVE	OVERHEAD ELEC. LINE --- OHE ---	UNDERDRAIN --- UD ---
EXIST. EDGE OF VEGETATION	EXISTING CONTOUR 12	TRANSFORMER PAD	OVERHEAD TELEPHONE --- OTEL ---	UNDERGRD. ELECTRIC POWER IN 1" PVC CONDUIT --- C ---
GALVANIZED BARRIER	BENCH MARK EL. 0.00	DECIDUOUS TREE	OVERHEAD CATV --- OCATV ---	SANITARY SEWER FORCE MAIN --- FM ---
SKALE	SOIL BORING LOCATION B-502	CONIFEROUS TREE	UNDERGROUND ELEC. --- UE ---	EXISTING COMPONENT TO REMAIN (E)
DIRECTION OF FLOW	CONCRETE MONUMENT FOUND	NEW CONCRETE SURFACE	UNDERGROUND TEL --- UTEL ---	COMPONENT TO BE REMOVED (R)
CULVERT	IRON PIPE FOUND	NEW PLANTING BED W/ 6" SHREDDED BLACK BARK MULCH	UNDERGROUND CATV --- UCATV ---	NEW COMPONENT OR DEVICE (N)
EXISTING GRANITE CURBING	EXISTING MANHOLE	ROUNDED RIVER BED STONE BED	STORM SEWER --- SS ---	
EXISTING GRANITE CURBING TO BE REMOVED	NEW MANHOLE	EROSION CONTROL MESH	HOUSE SANITARY SEWER --- HSS ---	
NEW CONCRETE/GRAVITY CURBING	HYDRANT	WHEEL WASH AREA	KITCHEN SANITARY SEWER --- KSS ---	
VERTICAL GRANITE CURBING VGC	EXISTING CATCH BASIN		WATER SERVICE --- W ---	
SLOPED GRANITE CURBING SGC	NEW CATCH BASIN			
FLUSH GRANITE CURBING FGC	NEW CATCH BASIN (SOIL DISPERSION TYPE)			
VERTICAL CONCRETE CURBING VCC				
SLOPED CONCRETE CURBING SCC				
FLUSH CONCRETE CURBING FCC				
VERTICAL BITUMINOUS CURB VBC				
TIP DOWN CURB (MATCH ADJACENT) TD				

STATE OF MAINE
DAVID D. LEASURE
#1725
REGISTERED PROFESSIONAL ENGINEER
EXPIRES 06/30/2012

PLAN REFERENCES:

- PLAN OF THE ROMAN CATHOLIC CHURCH IN PORTLAND MAINE SURVEYED IN NOVEMBER 1928 BY E. C. JORDAN & CO. UNRECORDED.
- THE CITY BLUE SHEETS FOR STEVENS AVE, ELWOOD ST., ST. JOSEPH ST., AND TREMAYNE ST.
- PLAN OF TREMAYNE STREET, RECORDED IN THE CLAMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 13 PAGE 17.
- PORTLAND WATER DISTRICT, PORTLAND SEWER SYSTEM INFILTRATION-FLOW ANALYSIS, SYSTEM BASE MAPPING, STUDY AREA 1 BY HUNTER BALLEW ASSOCIATES DATED AUGUST 1976.

SITE NOTES:

- OWNER OF RECORD: ROMAN CATHOLIC BISHOP OF PORTLAND
- LOCUS IS SHOWN AS LOTS 144-D-1, 2, 3 AND 143-A-32, 37 ON CITY OF PORTLAND'S ASSESSORS MAPS.
- BEARINGS ARE BASED ON MAINE STATE PLANE COORDINATE SYSTEM MAINE WEST NAD 83.
- BENCH MARK: MONUMENT BOLT 3' OFF SET EASTERLY SIDE STEVENS AVENUE, FIRST ANGLE SOUTHERLY OF ARBOR STREET, ELEVATION 127.26 NOV 0 1928.
- BUILDING FOOTPRINTS SHOWN HEREON WERE PROVIDED BY CLIENT.
- BOUNDARY AND TOPOGRAPHIC INFORMATION IS BASED ON BOUNDARY & TOPOGRAPHIC SURVEY PLAN AT ST. JOSEPH ROMAN CATHOLIC CHURCH, STEVENS AVENUE, PORTLAND, MAINE DRAWING PREPARED BY OWEN HASKELL, INC. FALLS CHURCH, MAINE DATED SEPTEMBER 17, 2011.
- ALL MATERIALS AND INSTALLATION DETAILS SHALL MEET MAADOT AND THE CITY OF PORTLAND, MAINE'S TECHNICAL DESIGN STANDARDS.
- THE SITE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AND KEEPING STREETS CLEAN AND FREE OF DIRT AND DEBRIS DURING ALL CONSTRUCTION PROCEDURES. SEE THE EROSION CONTROL PLAN DWG. C-100 AND THE SPECIFICATION MANUAL. THE FINAL PLAN SHALL BE REVIEWED AND APPROVED BY THE CITY OF PORTLAND, MAINE.
- SEE DRAWING C-100 FOR ADDITIONAL CONSTRUCTION AND EROSION CONTROL REQUIREMENTS.

UTILITY NOTES:

- THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEY FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED IN THE DRAWING OR THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. CALL 480-0000 AT LEAST THREE BUSINESS DAYS BEFORE PERFORMING ANY CONSTRUCTION. DUE TO OS&A CONFINED SPACE REQUIREMENTS, ALL INVERTS AND PIPE SIZES MUST BE VERIFIED PRIOR TO ANY CONSTRUCTION.

SITE CONSTRUCTION AND EROSION CONTROL NOTES

- THESE DRAWINGS DEPICT REQUIRED SOIL EROSION CONTROL MEASURES. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE CONSTRUCTION SITE IN SUCH A MANNER THAT:
 - A. SOIL EROSION IS KEPT TO A MINIMUM.
 - B. NO CONSTRUCTION SEDIMENT LEAVES THE CONSTRUCTION SITE PROPER.
 - C. ALL POSSIBLE MEASURES ARE EMPLOYED TO PREVENT SEDIMENT FROM ENTERING DRAINAGE COURSES AND WETLANDS EVEN BEYOND THE DECREE SIGN ON THESE DRAWINGS.
 - GENERAL CONTR. SHALL VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES BY CONTACTING "DOD SAVE" (488-3447) AND ALL UTILITY COMPANIES SERVING THE PROPERTY PRIOR TO BEGINNING EXCAVATION PROCEDURES.
 - PROVIDE SILT FENCING AROUND ALL EARTH MOVING OR DISTURBANCE ACTIVITIES. PROVIDE SILT SACKS IN ALL ON AND OFF-SITE CATCH BASINS DURING EARTH MOVING PROCEDURES. SEE SITE PLAN FOR PROPOSED SILT FENCE LOCATIONS.
 - GENERAL CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO COMMENCING CONSTRUCTION.
 - GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A DEMOLITION, EARTH MOVING PERMIT AND CONSTRUCTION DRAIN DISPOSAL PERMIT FROM THE CITY OF PORTLAND, MAINE PRIOR TO COMMENCING CONSTRUCTION.
 - GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A ROAD OPENING PERMIT FROM THE CITY OF PORTLAND, MAINE FOR ANY UTILITY OR CURB WORK WITHIN THE CITY STREET ROAD RIGHT-OF-WAY.
 - SILTATION AND SILT BARRIER SHALL BE INSTALLED AROUND ANY EARTH MOVING OR DISTURBANCE ACTIVITY TO PREVENT MOVEMENT OF SILT INTO STREAMS, BROOKS, DRAINAGE AND ROAD DITCHES. DETENTION AND SEDIMENTATION POND, AND ON OFF-SITE PRIVATE AND MUNICIPAL CATCH BASINS.
 - GENERAL CONTRACTOR SHALL PROVIDE AND MAINTAIN ALL PEDESTRIAN AND VEHICULAR TRAFFIC CONTROL DEVICES DURING CONSTRUCTION, DELIVERIES, LOADING, AND ON STREET/ROAD OPENING PROCEDURES.
 - NOTIFY ARCHITECT IMMEDIATELY IF FIELD CONDITIONS ENCOUNTERED DIFFER FROM THOSE SHOWN ON THESE DRAWINGS.
 - PROVIDE SECONDARY PIPE BELLIES OF SIMILAR MATERIAL WHERE PIPING AND COUPLER PASS THRU FOUNDATION WALLS AND BASES.
 - GENERAL CONTRACTOR SHALL PERFORM ALL SITE WORK IN ACCORDANCE WITH THE STATE OF MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION, BEST MANAGEMENT PRACTICES - 14-251 (REV. 08/2010) PUBLISHED BY THE CLAMBERLAND COUNTY SOIL AND WATER CONTROL DISTRICT AND THE DEPARTMENT OF ENVIRONMENTAL PROTECTION, EPA.
 - NEW UNDERGROUND ELECTRICAL SERVICE CABLE TO BE INSTALLED IN 3" DIA. SCHEDULE 40 PVC AT 12" BELOW ROUGH GRADE ELEVATION. PROVIDE CABLE TAP AT 6" INCHES DIRECTLY ABOVE ELECTRICAL SERVICE CONDUIT, TYP.
 - ALL UNDERGROUND SITE LOCATIONS ORIGINALLY TO BE INSTALLED IN 4" DIA. SCHEDULE 40 PVC AT 12" BELOW ROUGH GRADE ELEVATION. PROVIDE CABLE TAP AT 6" INCHES DIRECTLY ABOVE ELECTRICAL SERVICE CONDUIT, TYP.
 - PLANTING BEDS SHALL BE PREPARED WITH 4" SHREDDED BLACK BARK MULCH OVERLANDSCAPING FABRIC AND 12" MIN. FIBRE LOW PLANTING MIXTURE. MULCH SHALL BE TESTED AND BE COMPOSED OF 30% SILT, 30% CLAY AND 30% SAND.
 - USE PERMANENT SEED MIXTURES AND RATES BETWEEN MAY 15 AND SEPTEMBER 30.
 - USE TEMPORARY SEED MIXTURES FOR PERIODS LESS THAN 12 MONTHS. IF USING TEMPORARY SEED MIXTURES AND RATES BETWEEN OCTOBER 1 AND MAY 14, RE-SEED WITH PERMANENT SEED MIXTURES AFTER 6/15.
- | PERMANENT SEED MIXTURE | APPLICATION RATE |
|------------------------|-------------------------|
| KENTUCKY BLUEGRASS | 20 LBS. PER ACRE |
| CREEPING RED FESCUE | 20 LBS. PER ACRE |
| PERENNIAL RYEGRASS | 8 LBS. PER ACRE |
| TOTAL SEED RATE | 48 LBS. PER ACRE |
- | TEMPORARY SEED MIXTURE | APPLICATION RATE |
|---------------------------------------|-------------------------------|
| OATS | 80 LBS. PER ACRE 4/01 - 5/14 |
| ANNUAL RYEGRASS | 40 LBS. PER ACRE |
| BRANDHAYSE | 80 LBS. PER ACRE 5/15 - 8/14 |
| ANNUAL RYEGRASS | 80 LBS. PER ACRE 5/15 - 8/14 |
| WINTER RYE | 120 LBS. PER ACRE 8/15 - 9/30 |
| WINTER RYE (PROTECT WITH MULCH COVER) | 120 LBS. PER ACRE 9/01 - 9/31 |
- LIME AND FERTILIZER:**
LIME AND FERTILIZER RATES SHALL BE BASED ON FIELD SOIL TESTING OF ON-SITE TOPSOILS BY A CERTIFIED LABORATORY. SUBMIT TEST RESULTS TO ARCHITECT FOR DIRECTION.
 - MULCH:**
STRIP ON HLY (AND ORES) 70 - 90 LBS. (PROTECTED AREAS)
STRIP ON HLY (AND ORES) 180 - 270 LBS. (NON-PROTECTED AREAS)
SHREDDED OR C-POPPED 90 - 120 LBS.
LITE HEAVY EXCELSION MULCH AS REQUIRED AREAS & STEEP SLOPES
 - MULCH AND/OR MULCHING:**
PER & TIME
MULCH WETTING
ASPHALT EMULSION
LIQUID ASPHALT
WOOD CELLULOSE FIBER
CHEMICAL THICK

GENERAL NOTES

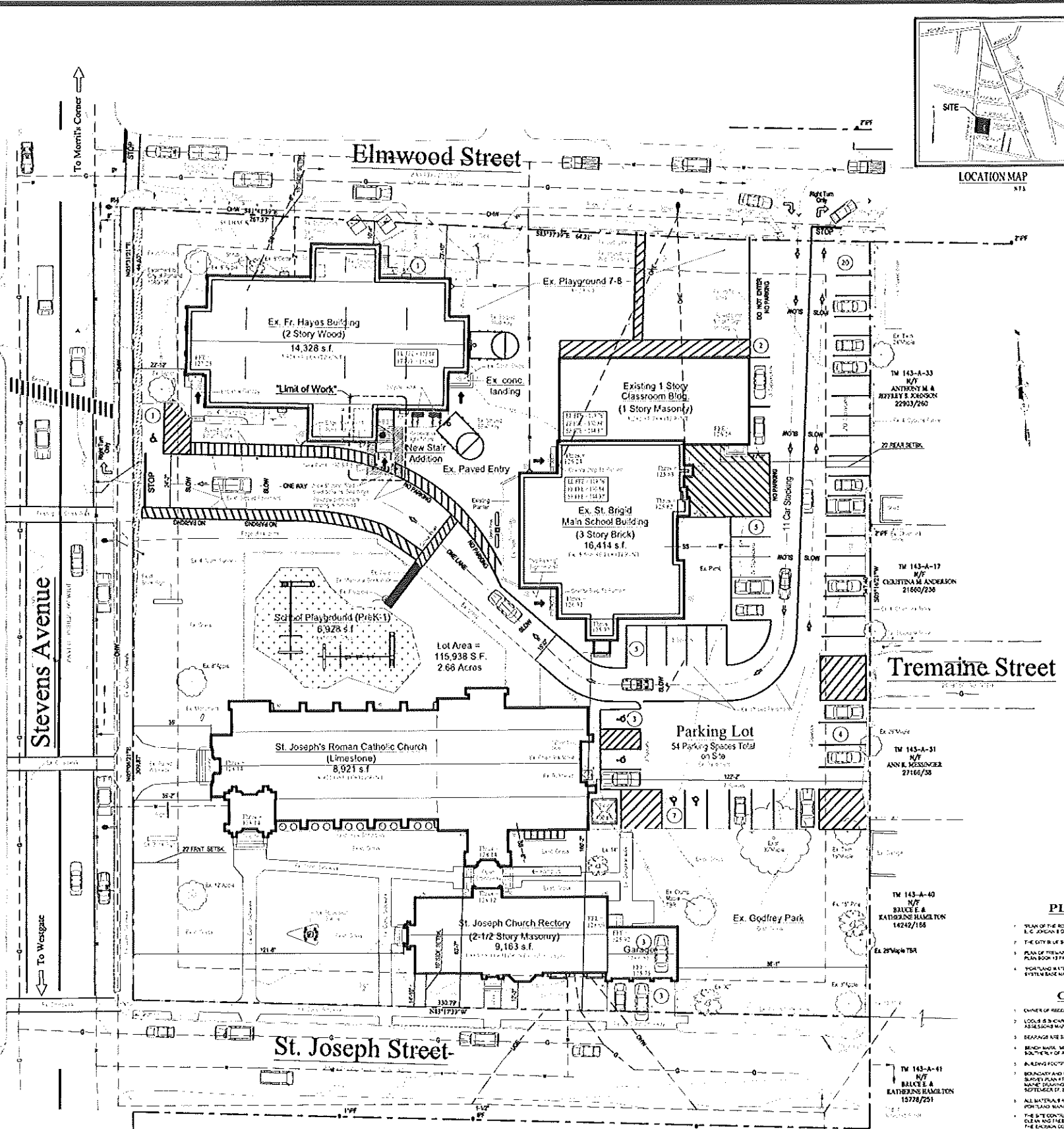
- THESE SITE DRAWINGS ARE BASED ON BOUNDARY LINE SURVEY BY THE PLAN OF LAND SURVEY PREPARED BY FRANK H. EMERY, JR. DATED OCTOBER 10, 1988.
- TOPOGRAPHIC INFORMATION IS BASED ON PLAN DEPICTING THE RESULTS OF A TOPOGRAPHIC SURVEY PREPARED BY JAMES D. MADOLE, R.L.S. DATED JUNE 16, 2011.
- THE LOCATIONS OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON ADEQUATE SURVEYS BY THE RECORDING ENGINEER AND HAVE BEEN PROVIDED TO THE ARCHITECT. LOCATIONS OF UNDERGROUND UTILITIES AND STRUCTURES MAY VARY FROM THE LOCATIONS SHOWN HEREON, UNLESS SPECIFICALLY NOTED. NO EXCAVATIONS SHOULD BE MADE BEYOND THE DEPTH OF THE SURVEY UNLESS THE SURVEYOR HAS BEEN NOTIFIED PRIOR TO ANY EXCAVATION.
- OWNER OF RECORD: ST. BRIGID SCHOOL REALTY, LLC IN THE YORK COUNTY RESISTOR OF DEEDS BOOK 044 PAGE 86.
- BOUNDARIES AND THE TOP OF THE WELL CASING NEAR THE SOUTH BOUNDARY LINE WITH A LINE BENCH MARK ELEVATION 8 INCHES ELEVATION + 0.84'.
- TOPOGRAPHIC INFORMATION IS BASED ON MAPS 1028.
- BOUNDARY LINE INFORMATION IS BASED ON PLAN OF LAND SURVEY PREPARED BY FRANK H. EMERY, JR. DATED OCTOBER 10, 1988.
- TOPOGRAPHIC INFORMATION IS BASED ON PLAN DEPICTING THE RESULTS OF A TOPOGRAPHIC SURVEY PREPARED BY JAMES D. MADOLE, R.L.S. DATED JUNE 16, 2011.
- PROTECT AND SHIELD THE TOP OF THE WELL CASING FROM ANY DAMAGE BY THE CONTRACTOR OR ANY OTHER PARTY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE STATE OF MAINE AND LOCAL UTILITY COMPANIES AT LEAST 3 BUSINESS DAYS, BUT NOT MORE THAN 10 BUSINESS DAYS, PRIOR TO THE COMMENCEMENT OF ANY EXCAVATION, AS IN ACCORDANCE WITH MAINE RULES.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL MEANS METHODS AND TECHNIQUES EMPLOYED TO PERFORM THE WORK SPECIFIED ON THESE DRAWINGS.
- ALL WORK SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL SAFETY REGULATIONS.
- ALL WORK SHALL BE PERFORMED IN STRICT CONFORMANCE WITH THE CITY OF PORTLAND, MAINE TECHNICAL DESIGN STANDARDS - LATEST EDITION AND THE TOWN OF PORTLAND REQUIREMENTS ALONG WITH THE RESPECTIVE UTILITY COMPANIES REQUIREMENTS.
- THE OWNER SHALL BE RESPONSIBLE AND PAY FOR ALL PERFORMANCE GUARANTEES SPECIFIED BY THE TOWN OF PORTLAND PRIOR TO COMMENCING CONSTRUCTION.
- THE CONTRACTOR SHALL VERIFY LOCATIONS AND DEPTHS OF ALL UTILITIES WITH THE RESPECTIVE UTILITY COMPANIES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. IF ANY DISCREPANCY OR CONFLICT IS FOUND, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND OWNER PRIOR TO PROCEEDING.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR THE WORK SHOWN ON THESE PLANS PRIOR TO COMMENCING CONSTRUCTION.
- NO BLASTING WILL BE ALLOWED WITHIN THE SITE OF ANY UTILITY WITHOUT THE NOTIFICATION AND APPROVAL OF THE RESPECTIVE UTILITY COMPANY. NO LINGERING MISTING WILL BE PERMITTED WITHIN A UTILITY COMPANY'S EXCLUSIVE RIGHT-OF-WAY AREA FROM THE UTILITY'S GRADE.
- ALL FOUNDATION WALLS SHALL BE SHOWN TO RESULT IN CLEAN EDGES. A SHIP LAPPED JOINT SHALL BE PREPARED AS DETAILLED ON THE SITE DRAWINGS. A BACK COAT SHALL BE APPLIED ALONG THE SHIP LAPPED JOINT EDGES AND NEW FOUNDATION SHALL BE SHIP LAPPED FABRIC TO THE EXISTING OUT FINISHES.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO REGULATE OR PROTECT EXPOSED OF ALL EXISTING STRUCTURAL MATERIALS.
- MILLS AND CUTTERS OF ALL COLLECTORS SHALL BE SHIPPED UNLESS OTHERWISE NOTED ON THE PLANS OR DIRECTED BY THE ENGINEER.
- CONDUIT SHALL BE PROVIDED FOR ALL ELECTRIC, TELEPHONE AND GAS DRAINAGE IN ACCORDANCE WITH THE SPECIFICATION AND THE RESPECTIVE UTILITY COMPANIES WRITTEN REQUIREMENTS.
- THE APPLICANT AGREES TO MAINTAIN THE EXISTING VEGETATION IN THE NEARBY STATE BEYOND THE LIMIT OF WORK AREA.

REL. FOR PRICING & PERMITTING - JUNE 25, 2012
NOT FOR CONSTRUCTION

ST. BRIGID CATHOLIC SCHOOL
FR. HAYES CENTER - STAIR ADDITION
695 STEVENS AVENUE
PORTLAND, MAINE 04103

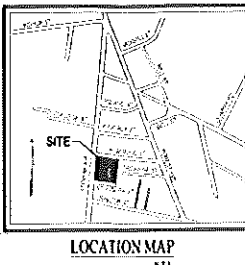
FH-C-100

This drawing was prepared by David D. Leasure, a Registered Professional Engineer in the State of Maine. The engineer's seal is required for the drawing to be used for any construction project. The seal number is 1725 and the expiration date is 06/30/2012. The drawing is the property of David D. Leasure, Architectural Associates, Inc. All rights reserved.



SITE DESIGN DATA

1. TOTAL LOT AREA:	115,937 S.F. (2.68 ACRES)																																																																								
2. ZONING DISTRICT:	RS - RESIDENTIAL 5 ZONE																																																																								
3. BUILDING USES:	(A) ST BRIGID SCHOOL (INSTITUTIONAL CONDITIONAL USE - ELEMENTARY SCHOOL, BC-2012 USE E. EST. 1915 AS ST. JOSEPH'S CATHOLIC SCHOOL (B) FR. HAYES CENTER - ASSEMBLY & INSTITUTIONAL CONDITIONAL USE - GYMNASIUM W/O SPECTATOR SEATING & ELEMENTARY SCHOOL, BC-2012 USE A-3 & E. EST. 1907 AS FR. HAYES MULTIPURPOSE BUILDING (C) ST. JOSEPH'S CHURCH - ASSEMBLY CONDITIONAL USE - RELIGIOUS WORSHIP, BC-2012 USE A-3. EST. 1929 AS ST. JOSEPH ROMAN CATHOLIC CHURCH (D) ST. JOSEPH RECTORY (RESIDENTIAL USE - DORMITORY) BC-2012 USE R-2, BC-2012 USE A-3. EST. 1924 AS ST. JOSEPH RECTORY																																																																								
4. OWNER OF PROPERTY:	ROMAN CATHOLIC BISHOP OF PORTLAND, MAINE 613 OCEAN AVENUE PORTLAND, MAINE 04102 BOOK 4245, PAGE 95																																																																								
40. PARKING REQUIRED - (ELEMENTARY SCHOOL)	<ul style="list-style-type: none"> REQUIRED - PRE-DEVELOPMENT: 22 INSTRUCTION ROOMS AT 1 SPACE PER ROOM = 22 SPACES 53 SPACES PROVIDED INCL. 4 ACCESSIBLE SPACES REQUIRED - POST DEVELOPMENT: 22 INSTRUCTION ROOMS AT 1 SPACE PER ROOM = 22 SPACES 53 SPACES PROVIDED INCL. 4 ACCESSIBLE SPACES 																																																																								
41. PARKING REQUIRED - (CHURCH) EST. 1929	<ul style="list-style-type: none"> REQUIRED EXIST. BLDG: 4,692 S.F. OF ASSEMBLY AREA AT 1 SPACE PER 125 S.F. = 37.5 SPACES REQD. INCL. 3 ACCESSIBLE SPACES TOTAL REQUIRED: 37.5 SPACES REQUIRED PROPOSED: 53 SPACES PROVIDED INCLUDING 4 ACCESSIBLE SPACES 																																																																								
42. PARKING REQUIRED - (RECTORY) EST. 1927	<ul style="list-style-type: none"> REQUIRED - RECTORY: LOGGING (DORMITORY) FACILITY 8 ROOMING UNITS AT 1 SPACE PER 6 ROOMING UNITS = 1.3 SPACES REQD. TOTAL REQUIRED: 1.3 SPACES REQUIRED PROPOSED: 0 OFF-STREET SPACES (GARAGE & DRIVEWAY) PROVIDED INCL. 3 SPACES IN ENCLOSED GARAGE 																																																																								
50. SPACE AND BULK REQUIREMENTS FOR ST. BRIGID SCHOOL BUILDING - EST. 1815	<table border="1"> <thead> <tr> <th></th> <th>REQUIREMENT</th> <th>PROPOSED</th> </tr> </thead> <tbody> <tr> <td>MINIMUM LOT AREA (ASSEMBLY & SCHOOL)</td> <td>NONE EXISTING USE - JUNE 1, 1985 118,938 S.F. ± 2.68 ACRES</td> <td>354,82 FEET</td> </tr> <tr> <td>MINIMUM STREET FRONTAGE</td> <td>20 FT.</td> <td>N/A</td> </tr> <tr> <td>MINIMUM FLOOR AREA (ON COLLECTOR ST.)</td> <td>NOT LIMITED</td> <td>22-12' EXISTING</td> </tr> <tr> <td>MINIMUM FRONT YARD SETBACK</td> <td>15 FT.</td> <td>10'-4" AND 23'-12" EXISTING</td> </tr> <tr> <td>MINIMUM SIDE YARD (NORTH) SETBACK</td> <td>15 FT.</td> <td>160'-2" EXISTING</td> </tr> <tr> <td>MINIMUM REAR YARD SETBACK</td> <td>20 FT.</td> <td>87'-3" PROPOSED (REDUCED 17'-0")</td> </tr> <tr> <td>MINIMUM LOT COVERAGE</td> <td>45% (25.8% EXISTING)</td> <td>28.97% PROPOSED</td> </tr> <tr> <td>MINIMUM LOT WIDTH</td> <td>60 FT.</td> <td>347.40 FT.</td> </tr> <tr> <td>MAXIMUM BUILDING HEIGHT</td> <td></td> <td></td> </tr> <tr> <td>MAIN SCHOOL BLDG.</td> <td>35 FT.</td> <td>38 FT. (EXISTING)</td> </tr> <tr> <td>FR. HAYES CENTER</td> <td>35 FT.</td> <td>24'-0" (EXISTING)</td> </tr> <tr> <td>ST. JOSEPH CHURCH</td> <td>35 FT.</td> <td>39'-4" (EXISTING)</td> </tr> <tr> <td>ST. JOSEPH RECTORY</td> <td>35 FT.</td> <td>32'-4" (EXISTING)</td> </tr> <tr> <td>LOT DEPTH (MINIMUM)</td> <td>NO REQUIREMENT</td> <td>330.78 FT. MIN.</td> </tr> </tbody> </table>		REQUIREMENT	PROPOSED	MINIMUM LOT AREA (ASSEMBLY & SCHOOL)	NONE EXISTING USE - JUNE 1, 1985 118,938 S.F. ± 2.68 ACRES	354,82 FEET	MINIMUM STREET FRONTAGE	20 FT.	N/A	MINIMUM FLOOR AREA (ON COLLECTOR ST.)	NOT LIMITED	22-12' EXISTING	MINIMUM FRONT YARD SETBACK	15 FT.	10'-4" AND 23'-12" EXISTING	MINIMUM SIDE YARD (NORTH) SETBACK	15 FT.	160'-2" EXISTING	MINIMUM REAR YARD SETBACK	20 FT.	87'-3" PROPOSED (REDUCED 17'-0")	MINIMUM LOT COVERAGE	45% (25.8% EXISTING)	28.97% PROPOSED	MINIMUM LOT WIDTH	60 FT.	347.40 FT.	MAXIMUM BUILDING HEIGHT			MAIN SCHOOL BLDG.	35 FT.	38 FT. (EXISTING)	FR. HAYES CENTER	35 FT.	24'-0" (EXISTING)	ST. JOSEPH CHURCH	35 FT.	39'-4" (EXISTING)	ST. JOSEPH RECTORY	35 FT.	32'-4" (EXISTING)	LOT DEPTH (MINIMUM)	NO REQUIREMENT	330.78 FT. MIN.																											
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REL. FOR PRICING & PERMITTING - JUNE 25, 2012
NOT FOR CONSTRUCTION

DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.
1344 WASHINGTON AVENUE PORTLAND, MAINE PH. (207) 797-4661 FAX (207) 797-8533
PROJECT NO: 080111 PROJECT TITLE: ST. BRIGID SCHOOL RENOVATION
SCALE: 1" = 20'-0" SHEET TITLE: COMPOSITE SITE LAYOUT PLAN

PLAN REFERENCES:

- PLAN OF THE ROMAN CATHOLIC CHURCH IN PORTLAND MAINE, REVISED AND APPROVED BY B.C. JORDAN & SONS ARCHITECTS
- CITY OF PORTLAND ZONING ORDINANCES, AS AMENDED BY ST. JOSEPH ST. AND TREMAINE ST.
- PLAN OF PRELIMINARY PLANET, REQUIRED BY THE CHAMBERLAIN COUNTY DEPARTMENT OF DEEDS IN PORTLAND, MAINE
- PORTLAND WATER DEPARTMENT, PORTLAND SEWER SYSTEM, PORTLAND ENGINEERING SYSTEMS, BASE MAPS, 1974, 1975, 1976, 1977, 1978, 1979, 1980, 1981, 1982, 1983, 1984, 1985, 1986, 1987, 1988, 1989, 1990, 1991, 1992, 1993, 1994, 1995, 1996, 1997, 1998, 1999, 2000, 2001, 2002, 2003, 2004, 2005, 2006, 2007, 2008, 2009, 2010, 2011, 2012

GENERAL NOTES:

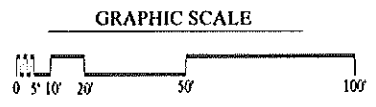
- OWNER OF RECORDS: ROMAN CATHOLIC BISHOP OF PORTLAND
- LOCATION IS SHOWN AS LOT 10, BLOCK 1, AND LOT 10, BLOCK 2, CITY OF PORTLAND
- REARRANGE AND REDESIGN AS SHOWN IN THE PLAN, CONDITIONAL USE - INSTITUTIONAL, PORTLAND
- BRIGID MATH MONUMENT BUILT BY OFFICE ENGINEER, BUREAU OF ENGINEERING, PORTLAND
- ALL BUILDING FOOTPRINTS, EXCEPT WHERE SHOWN OTHERWISE, SHALL BE PERMITTED BY THE CITY OF PORTLAND, MAINE
- BOUNDARY AND PROPERTY LINE INFORMATION IS BASED ON BOUNDARY & PROPERTY LINE SURVEY PLAN BY ST. JOSEPH ROMAN CATHOLIC CHURCH, 1915, 1916, 1917, 1918, 1919, 1920, 1921, 1922, 1923, 1924, 1925, 1926, 1927, 1928, 1929, 1930, 1931, 1932, 1933, 1934, 1935, 1936, 1937, 1938, 1939, 1940, 1941, 1942, 1943, 1944, 1945, 1946, 1947, 1948, 1949, 1950, 1951, 1952, 1953, 1954, 1955, 1956, 1957, 1958, 1959, 1960, 1961, 1962, 1963, 1964, 1965, 1966, 1967, 1968, 1969, 1970, 1971, 1972, 1973, 1974, 1975, 1976, 1977, 1978, 1979, 1980, 1981, 1982, 1983, 1984, 1985, 1986, 1987, 1988, 1989, 1990, 1991, 1992, 1993, 1994, 1995, 1996, 1997, 1998, 1999, 2000, 2001, 2002, 2003, 2004, 2005, 2006, 2007, 2008, 2009, 2010, 2011, 2012
- ALL MATERIALS AND INSTALLATION DETAILS SHALL MEET MINIMUM AND THE CITY OF PORTLAND, MAINE & FEDERAL DESIGN STANDARDS
- THE SITE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, CLEARANCES AND UTILITIES INFORMATION FROM THE CITY OF PORTLAND, MAINE. THE FINAL PLAN SHALL BE REVIEWED AND APPROVED BY THE CITY OF PORTLAND, MAINE
- ALL UTILITIES SHALL BE LOCATED FROM FIELD SURVEY INFORMATION AND SHALL BE SHOWN AS SHOWN IN THE PLAN. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, CLEARANCES AND UTILITIES INFORMATION FROM THE CITY OF PORTLAND, MAINE. THE FINAL PLAN SHALL BE REVIEWED AND APPROVED BY THE CITY OF PORTLAND, MAINE
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UTILITY NOTES:

- THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND SHALL BE SHOWN AS SHOWN IN THE PLAN. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, CLEARANCES AND UTILITIES INFORMATION FROM THE CITY OF PORTLAND, MAINE. THE FINAL PLAN SHALL BE REVIEWED AND APPROVED BY THE CITY OF PORTLAND, MAINE

CP41	BUILDING AREAS	PRE	POST
	EXISTING MAIN SCHOOL BUILDING	5,569 GSF	5,569 GSF
	NEW CLASSROOM ADDITION	7,528 GSF	7,528 GSF
	FR. HAYES GYMNASIUM BUILDING	7,518 GSF	7,528 GSF
	ST. JOSEPH'S CATHOLIC CHURCH	9,218 GSF	9,218 GSF
	ST. JOSEPH'S RECTORY	3,884 GSF	3,884 GSF
	TOTAL BUILDING AREAS ABOVE	29,782 GSF	29,897 GSF

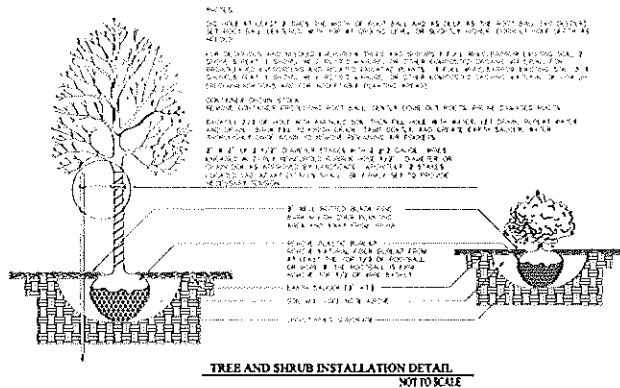
COMPOSITE SITE LAYOUT PLAN
1" = 20'-0"



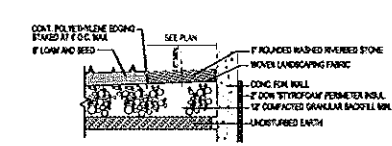
REL. FOR PRICING & PERMITTING - JUNE 25, 2012
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ST. BRIGID CATHOLIC SCHOOL
FR. HAYES CENTER - STAIR ADDITION
695 STEVENS AVENUE
PORTLAND, MAINE 04103

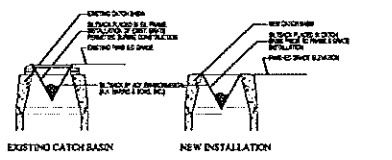
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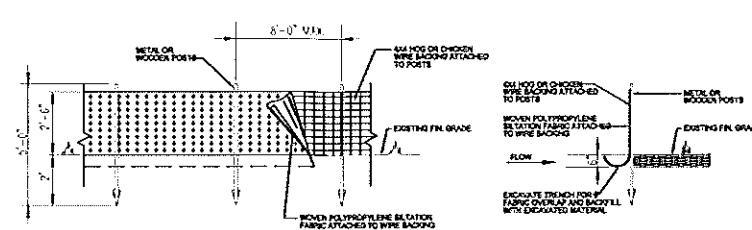
TREE AND SHRUB INSTALLATION DETAIL
NOT TO SCALE



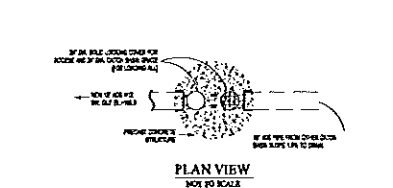
HAVE DRIP STONE BED DETAIL
NOT TO SCALE



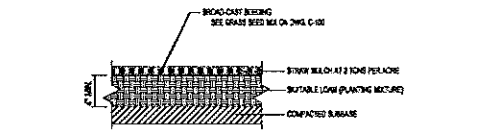
CATCH BASIN PROTECTION DETAIL (SILTSACK)
NOT TO SCALE



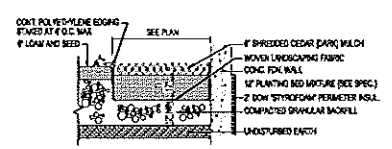
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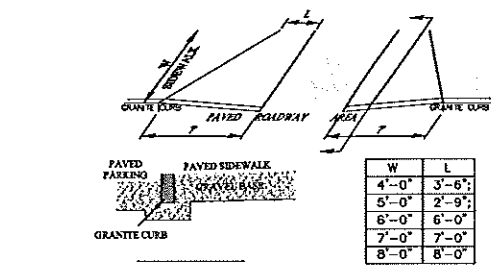
STORMWATER CONTROL STRUCTURE
NOT TO SCALE



LOAM AND SEED DETAIL
NOT TO SCALE

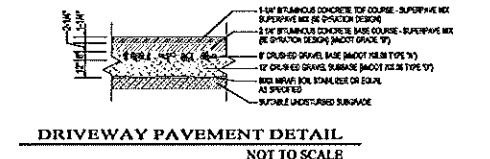


TYPICAL PLANTING BED DETAIL
NOT TO SCALE

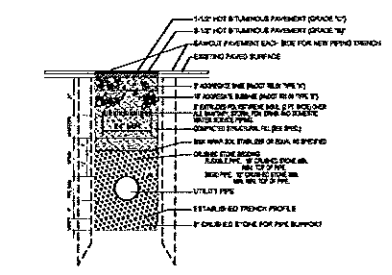


SIDEWALK TIP-DOWN DETAIL
NOT TO SCALE

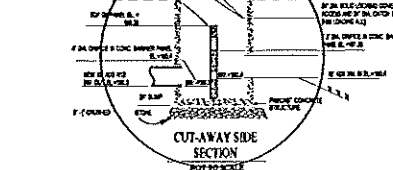
- 1) THE DIMENSIONS SHOWN AT ROADWAY EDGE ARE FIXED DISTANCES.
- 2) RAMP CROSS SECTION TO BE SAME AS ADJACENT SIDEWALK (DEPTH OF SURFACE AND FOUNDATION)
- 3) IN NO CASE ARE THE RAMPS TO BE PLACED BEHIND THE STOP LINE.



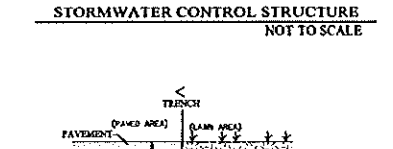
DRIVEWAY PAVEMENT DETAIL
NOT TO SCALE



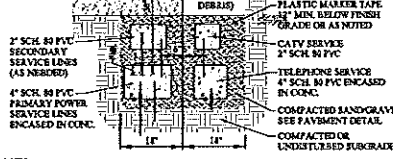
PUBLIC RIGHT OF WAY TRENCH DETAIL
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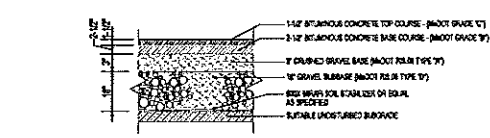
CUT-AWAY SIDE SECTION
NOT TO SCALE



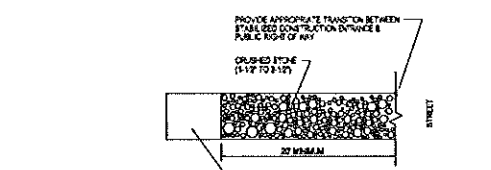
PUBLIC R.O.W. UNDERGROUND UTILITY TRENCH DETAIL
NOT TO SCALE



PRIVATE PROPERTY UNDERGROUND UTILITY TRENCH DETAIL
NOT TO SCALE

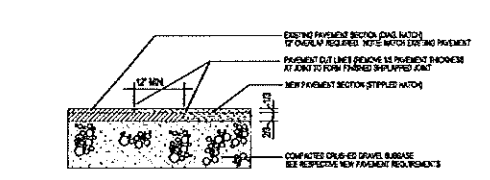


COLLECTOR STREET DETAIL
NOT TO SCALE

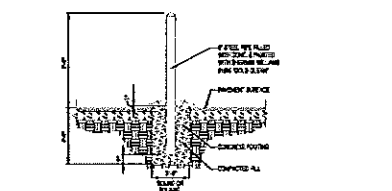


STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE

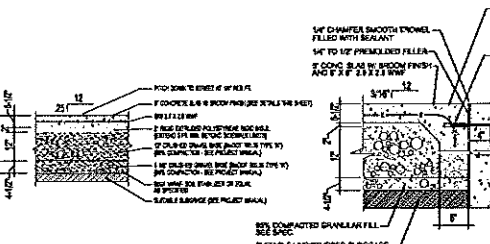
1. STONE SIZE - 1/4\"/>
- 2. LENGTH - AS EFFECTIVE & NOT LESS THAN 12'
- 3. THICKNESS - NOT LESS THAN 12"
- 4. WIDTH - NOT LESS THAN FULL WIDTH OF ALL PORTS OF HIGHWAYS OR EXPRESS
- 5. FINISHING - WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE RESIDUAL FROM TO ENTRANCE ON TO THE RIGHT OF WAY. WHEN FINISHED BY MACHINE, IT SHALL BE DONE ON AN UNDERLAY OF 1\"/>
- 6. MAINTENANCE - THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ON TO PUBLIC RIGHT OF WAY. THIS SHALL REQUIRE PERIODIC GRADING WITH ADOPTED BEST PRACTICES TO MAINTAIN THE STABILIZED CONSTRUCTION ENTRANCE IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ON TO PUBLIC RIGHT OF WAY. ALL SEDIMENT SPILLED DURING TRACKING, OR TRACKING ON TO PUBLIC RIGHT OF WAY MUST BE REMOVED IMMEDIATELY.



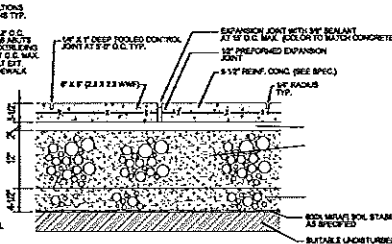
PAVEMENT SAWCUT JOINERY DETAIL
NOT TO SCALE



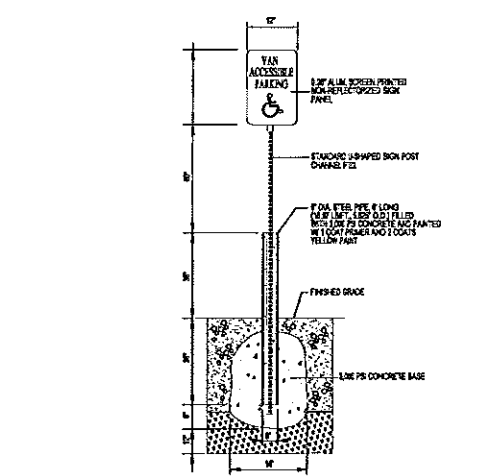
TYPICAL GUARD BOLLARD
NOT TO SCALE



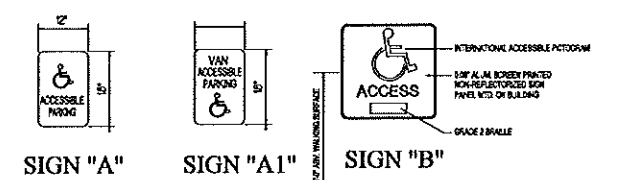
CONCRETE SIDEWALK DETAIL
NOT TO SCALE



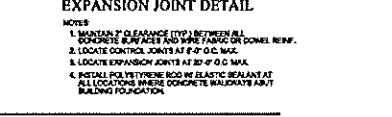
EXPANSION JOINT DETAIL
NOT TO SCALE



SIGN BOLLARD DETAIL
NOT TO SCALE



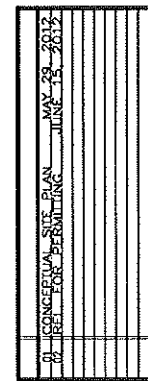
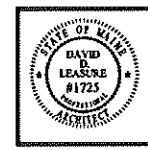
WALK/STRUCTURE JOINT DETAIL
NOT TO SCALE



CONCRETE SIDEWALK DETAIL
NOT TO SCALE

1. INSTALL POLYURETHANE ROD IN ELASTIC BEHLANT AT ALL LOCATIONS WHERE CONCRETE TRAVELWAYS ADJUT BUILDING FOUNDATION.
2. INSTALL POLYURETHANE ROD IN ELASTIC BEHLANT AT ALL LOCATIONS WHERE CONCRETE TRAVELWAYS ADJUT BUILDING FOUNDATION.
3. LOCATE CONTROL JOINTS AT 8'-0\"/>
- 4. LOCATE EXPANSION JOINTS AT 20'-0\"/>
- 5. INSTALL POLYURETHANE ROD IN ELASTIC BEHLANT AT ALL LOCATIONS WHERE CONCRETE TRAVELWAYS ADJUT BUILDING FOUNDATION.

CONCRETE SIDEWALK DETAIL
NOT TO SCALE



DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.
1344 WASHINGTON AVENUE PORTLAND, MAINE
PROJECT NO: 080111 PROJECT TITLE: ST. BRIGID SCHOOL RENOVATION
SCALE: NOT TO SCALE TITLE: SITE DETAILS
PH: (207) 797-8661 FAX: (207) 797-8633

REL. FOR PRICING & PERMITTING - JUNE 25, 2012
NOT FOR CONSTRUCTION

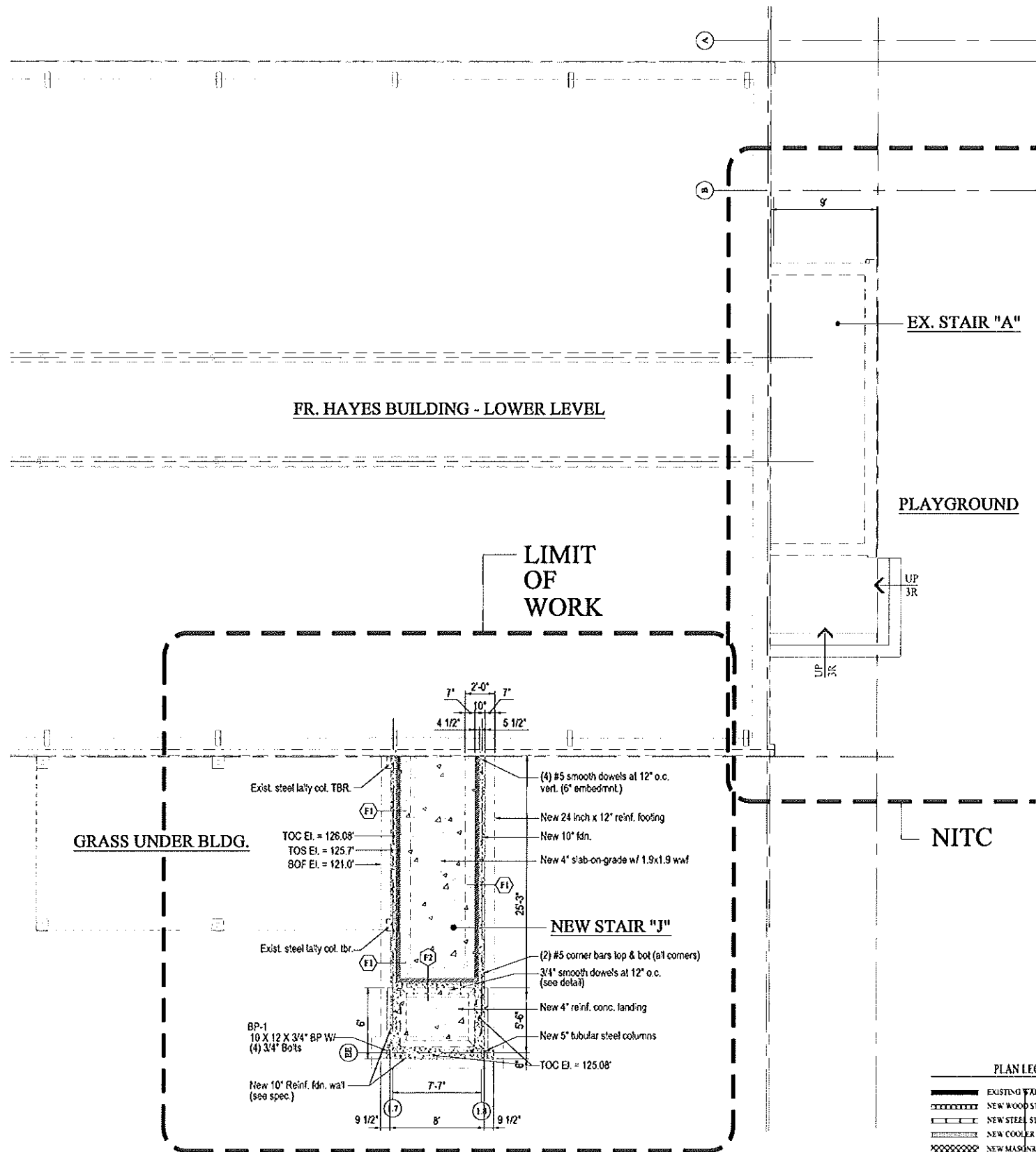
ST. BRIGID CATHOLIC SCHOOL
FR. HAYES CENTER - STAIR ADDITION
695 STEVENS AVENUE
PORTLAND, MAINE 04103

FH-C-202

THIS DRAWING HAS BEEN CHECKED BY DAVID D. LEASURE, ARCHITECTURAL ASSOCIATES INC., PORTLAND, MAINE. I AM A LICENSED PROFESSIONAL ARCHITECT IN THE STATE OF MAINE. I HAVE REVIEWED THIS DRAWING AND I AM SURE THAT IT ACCURATELY REPRESENTS THE WORK SHOWN. I HAVE REVIEWED THIS DRAWING AND I AM SURE THAT IT ACCURATELY REPRESENTS THE WORK SHOWN. I HAVE REVIEWED THIS DRAWING AND I AM SURE THAT IT ACCURATELY REPRESENTS THE WORK SHOWN.



1	CONCEPTUAL PLAN MAY 09, 2012
2	PROPOSED PLAN REVISED MAY 10, 2012
3	REVISED PLAN FOR PERMITTING REVIEW JUNE 28, 2012
4	REVISED PERMITTING REVIEW JUNE 28, 2012



FOUNDATION PLAN - FR. HAYES STAIR

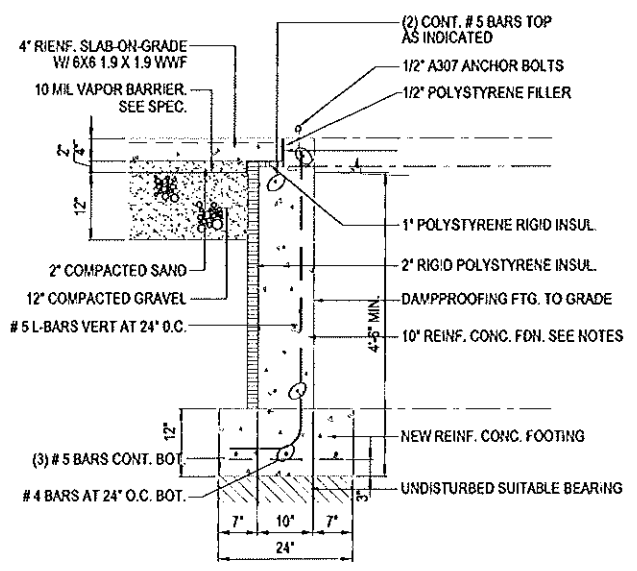
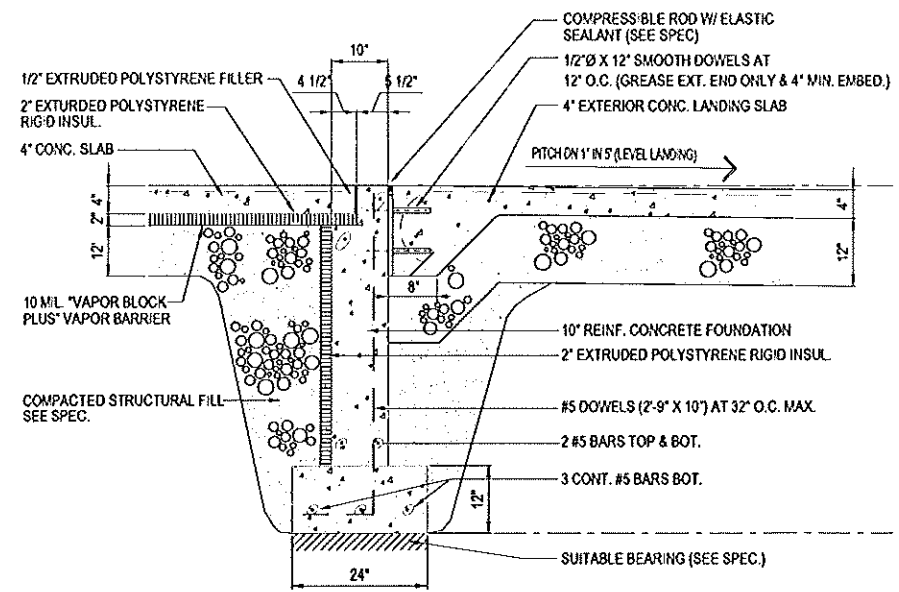
1/4" = 1'-0"



GRAPHIC SCALE

PLAN LEGEND

	EXISTING WALL TO REMAIN
	NEW WOOD STUD WALL
	NEW STEEL STUD WALL
	NEW COOLER PANEL WALL
	NEW MASONRY (CMU) WALL
	NEW BRICK VENEER / STEEL STUD WALL
	EXISTING BRICK WALL TO REMAIN
	EXISTING MASONRY (CMU) WALL
	EXISTING WALL TO BE DEMOLISHED
	NEW BUILDING ADDITIONS
(E)	EXISTING DEVICE OR COMPONENT
(N)	NEW DEVICE OR COMPONENT
(R)	DEVICE OR COMPONENT TO BE REMOVED



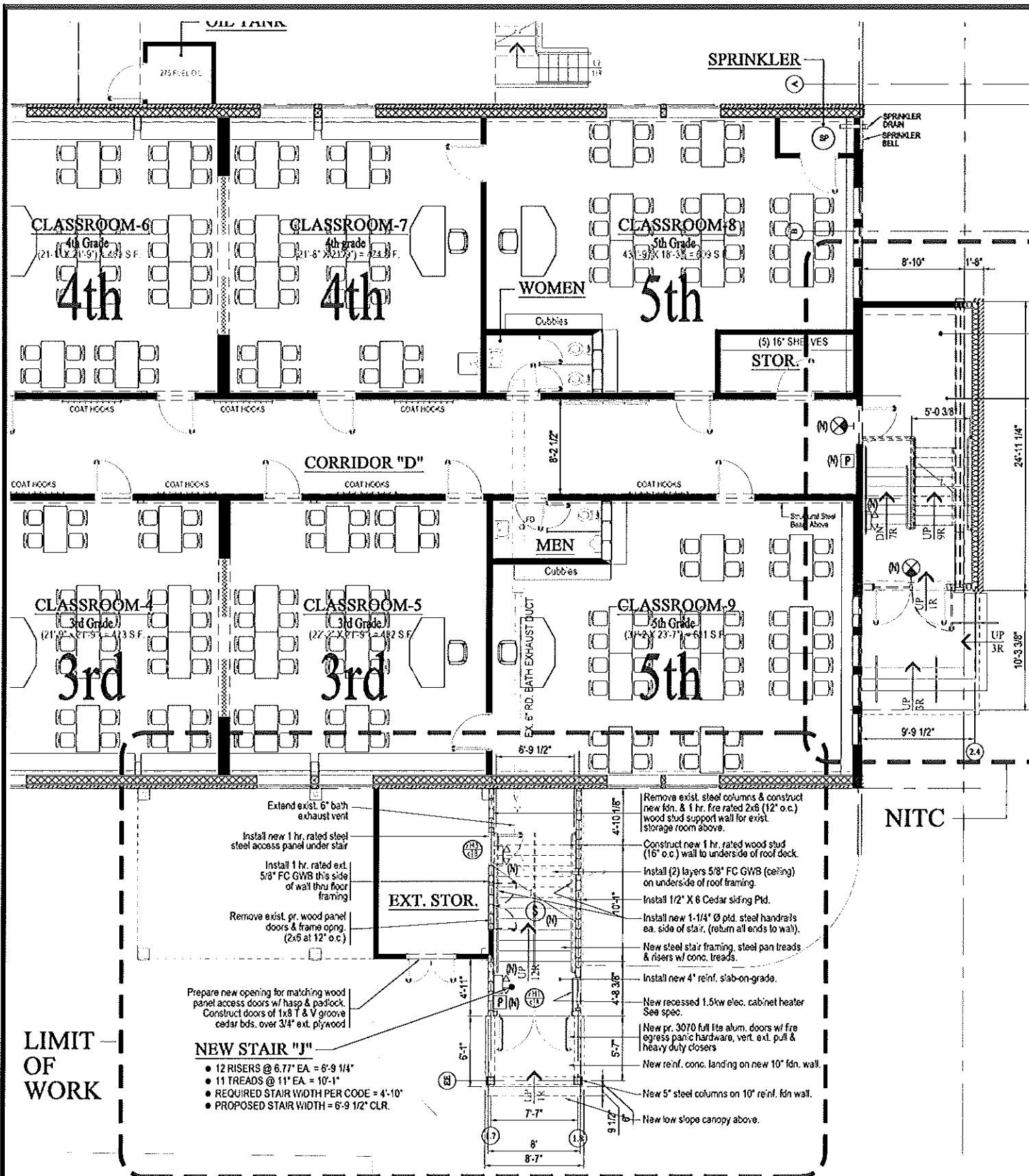
REL. FOR PRICING & PERMITTING - JUN 25, 2012
NOT FOR CONSTRUCTION

FR. HAYES STAIR RETROFIT PROJECT
695 STEVENS AVENUE
PORTLAND, MAINE 04103

FH-F-200 R1

DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.
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PROJECT NO. 08011 PROJECT TITLE: ST. BRIGID SCHOOL RENOVATION
SCALE: 1/4" = 1'-0" SHEET TITLE: FR. HAYES STAIR - FOUNDATION PLAN

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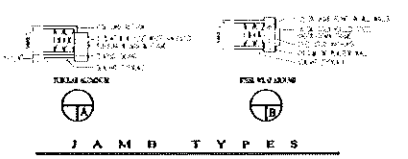
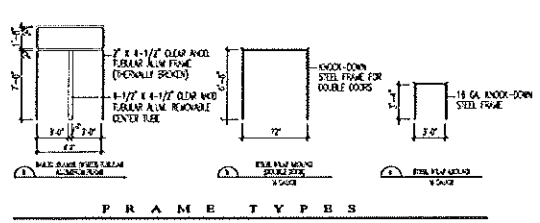
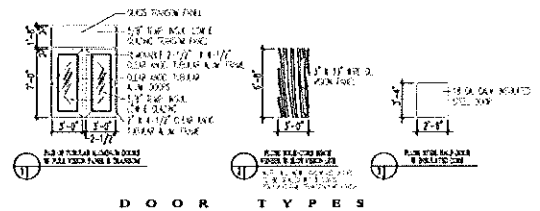
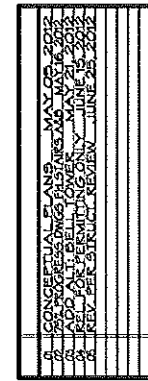


LIFE SAFETY DEVICE LEGEND

- K1 SYSTEM INTEGRATED EMERGENCY LIGHT (REMOTE HEAD)
- E SYSTEM INTEGRATED EMERGENCY LIGHT (LAMP)
- NEW ILLUMINATED EXIT SIGN WITH DIRECTIONAL CHEVRON
- P SYSTEM INTEGRATED FIRE PULL STATION
- M SYSTEM INTEGRATED MAGNETIC DOOR HOLDBACK
- S SYSTEM INTEGRATED FIRE HORN (15 HORN STROBE (S-S))
- PH SYSTEM INTEGRATED PHOTOELECTRIC SMOKE DETECTOR
- 15 LB ABC TYPE EXTINGUISHER
- 1 HR FIRE SEPARATION WALL RATING AS INDICATED
- TRAVEL DISTANCE
- EXISTING COMPONENT OR DEVICE
- REMOVE EXISTING COMPONENT OR DEVICE
- NEW COMPONENT OR DEVICE

PLAN LEGEND

- EXISTING WALL TO REMAIN
- NEW WOOD STUD WALL
- NEW STEEL STUD WALL
- NEW COOLER PANEL WALL
- NEW MASONRY (CMU) WALL
- NEW BRICK VENEER / STEEL STUD WALL
- EXISTING BRICK WALL TO REMAIN
- EXISTING MASONRY (CMU) WALL
- EXISTING WALL TO BE DEMOLISHED
- NEW BUILDING ADDITIONS
- (E) EXISTING DEVICE OR COMPONENT
- (N) NEW DEVICE OR COMPONENT
- (R) DEVICE OR COMPONENT TO BE REMOVED



DOOR SCHEDULE								
NO.	DOOR SIZE	DOOR TYPE	JAMB TYPE	FRAME TYPE	RATING	CYLINDER CORE	HARDWARE	REMARKS
FH1	7' x 2 1/2' SLIP EA	1	A	STEEL ALUM M	0 BNC	KEYS MARK CHK	1.5 KW CABINET HEATER	SEE SPEC
FH2	7' x 3' 6" CE	2	B	STEEL BR	1 HR UL LISTED	KEYS CHK	1.5 KW CABINET HEATER	SEE SPEC
FH3	8' x 3' 6" CE	3	B	STEEL BR	1 HR UL LISTED	KEYS CHK	1.5 KW CABINET HEATER	SEE SPEC

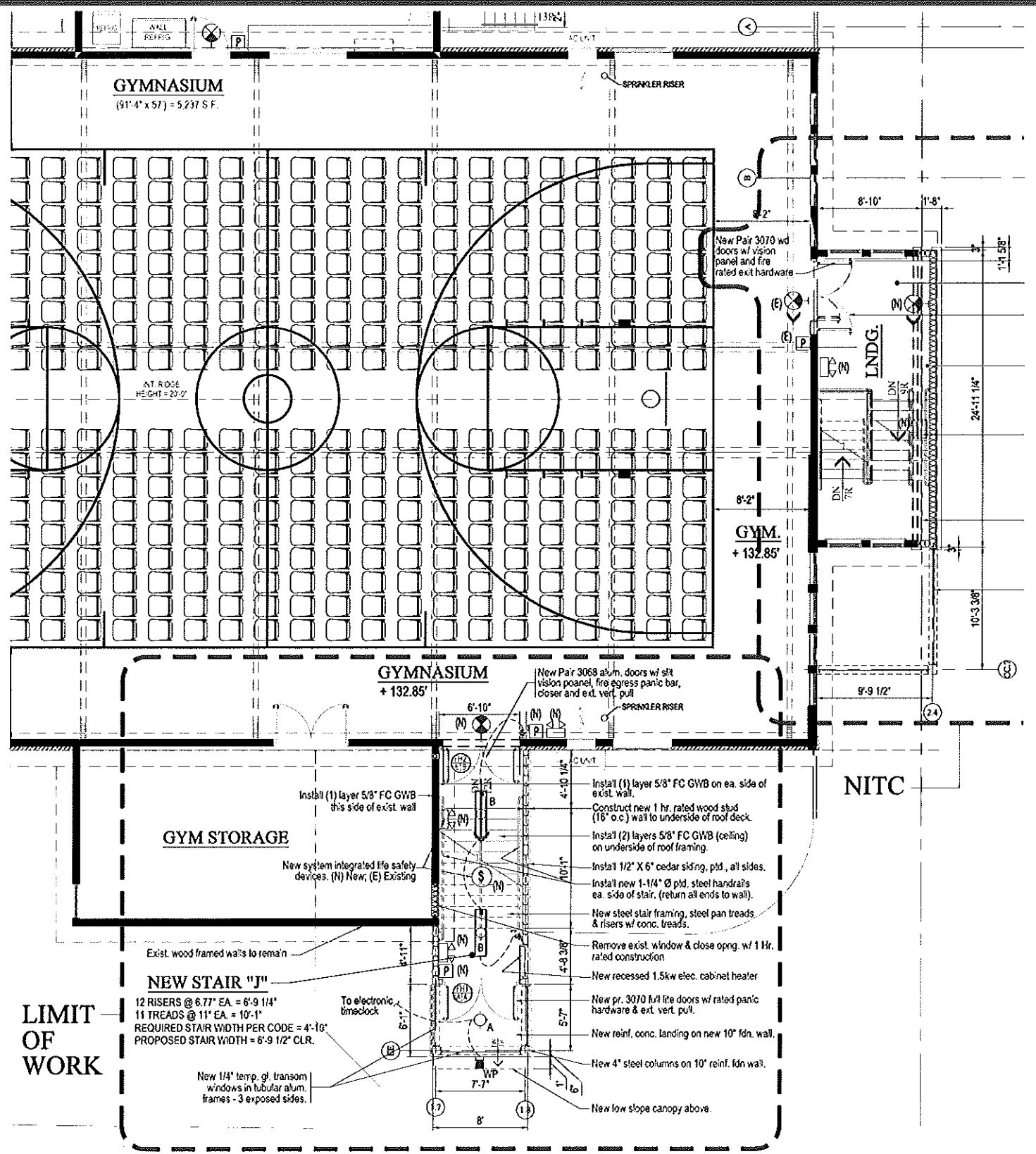
DOOR, FRAME & HARDWARE SCHEDULE
NOT TO SCALE

REL. FOR PRICING & PERMITTING - JUNE 25, 2012
NOT FOR CONSTRUCTION

FR. HAYES STAIR RETROFIT PROJECT
695 STEVENS AVENUE
PORTLAND, MAINE 04103

FH-A-200 R1

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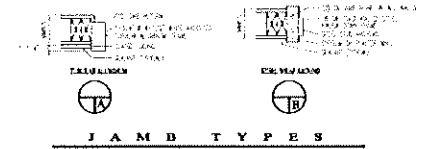
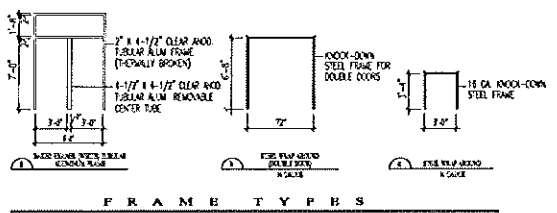
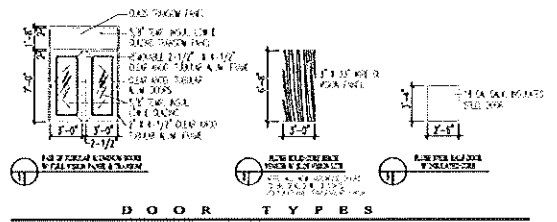


LIFE SAFETY DEVICE LEGEND

- Ⓜ SYSTEM INTEGRATED EMERGENCY LIGHT (REMOTE HEAD)
- Ⓜ SYSTEM INTEGRATED EMERGENCY LIGHT (2 LAMP)
- Ⓜ NEW ILLUMINATED EXIT SIGN WITH DIRECTIONAL CHEVRON
- Ⓜ SYSTEM INTEGRATED FIRE PULL STATION
- Ⓜ SYSTEM INTEGRATED MAGNETIC DOOR HOLDBACK
- Ⓜ SYSTEM INTEGRATED FIRE HORN (H), HORN/STROBE (HS)
- Ⓜ SYSTEM INTEGRATED PHOTOELECTRIC SMOKE DETECTOR
- Ⓜ 10 LB ABC TYPE EXTINGUISHER
- 1 HR --- FIRE SEPARATION WALL RATING AS INDICATED
- TRAVEL DISTANCE = 7' EXISTING COMPONENT OR DEVICE
- Ⓜ REMOVE EXISTING COMPONENT OR DEVICE
- Ⓜ NEW COMPONENT OR DEVICE

PLAN LEGEND

- EXISTING WALL TO REMAIN
- NEW WOOD STUD WALL
- NEW STEEL STUD WALL
- NEW COOLER PANEL WALL
- NEW MASONRY (CMU) WALL
- NEW BRICK VENEER / STEEL STUD WALL
- EXISTING BRICK WALL TO REMAIN
- EXISTING MASONRY (CMU) WALL
- EXISTING WALL TO BE DEMOLISHED
- NEW BUILDING ADDITIONS
- (E) EXISTING DEVICE OR COMPONENT
- (N) NEW DEVICE OR COMPONENT
- (R) DEVICE OR COMPONENT TO BE REMOVED



DOOR SCHEDULE

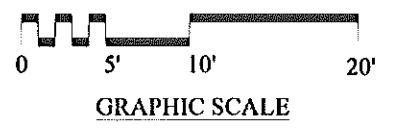
NO.	DOOR SIZE	DOOR TYPE	JAMB TYPE	FRAME TYPE	RATING	CYLINDER CORE	HARDWARE	REMARKS
FH1	10' 0" x 7' 0" (L)	1	A	TUBULAR ALUM. M	NO RING	4025 WBR CKE	4025 WBR CKE	1. ALL DOOR HARDWARE TO BE CHECKED FOR PROPER INSTALLATION AND FUNCTION. 2. ALL DOOR HARDWARE TO BE INSTALLED TO THE MANUFACTURER'S SPECIFICATIONS. 3. ALL DOOR HARDWARE TO BE INSTALLED TO THE MANUFACTURER'S SPECIFICATIONS. 4. ALL DOOR HARDWARE TO BE INSTALLED TO THE MANUFACTURER'S SPECIFICATIONS.
FH2	10' 0" x 8' 0" (L)	2	B	STEEL SB	1 HR. UL LISTED	4025 CKE	4025 CKE	1. ALL DOOR HARDWARE TO BE CHECKED FOR PROPER INSTALLATION AND FUNCTION. 2. ALL DOOR HARDWARE TO BE INSTALLED TO THE MANUFACTURER'S SPECIFICATIONS. 3. ALL DOOR HARDWARE TO BE INSTALLED TO THE MANUFACTURER'S SPECIFICATIONS. 4. ALL DOOR HARDWARE TO BE INSTALLED TO THE MANUFACTURER'S SPECIFICATIONS.
FH3	10' 0" x 8' 0" (L)	3	B	STEEL SB	1 HR. UL LISTED	4025 CKE	4025 CKE	1. ALL DOOR HARDWARE TO BE CHECKED FOR PROPER INSTALLATION AND FUNCTION. 2. ALL DOOR HARDWARE TO BE INSTALLED TO THE MANUFACTURER'S SPECIFICATIONS. 3. ALL DOOR HARDWARE TO BE INSTALLED TO THE MANUFACTURER'S SPECIFICATIONS. 4. ALL DOOR HARDWARE TO BE INSTALLED TO THE MANUFACTURER'S SPECIFICATIONS.



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 PROJECT NO. 080111 PROJECT TITLE: ST. BRIGID SCHOOL RENOVATION
 SCALE: 1/4" = 1'-0" SHEET TITLE: FR. HAYES STAIR - FIRST FLOOR PLAN

FIRST FLOOR PLAN - FR. HAYES STAIR

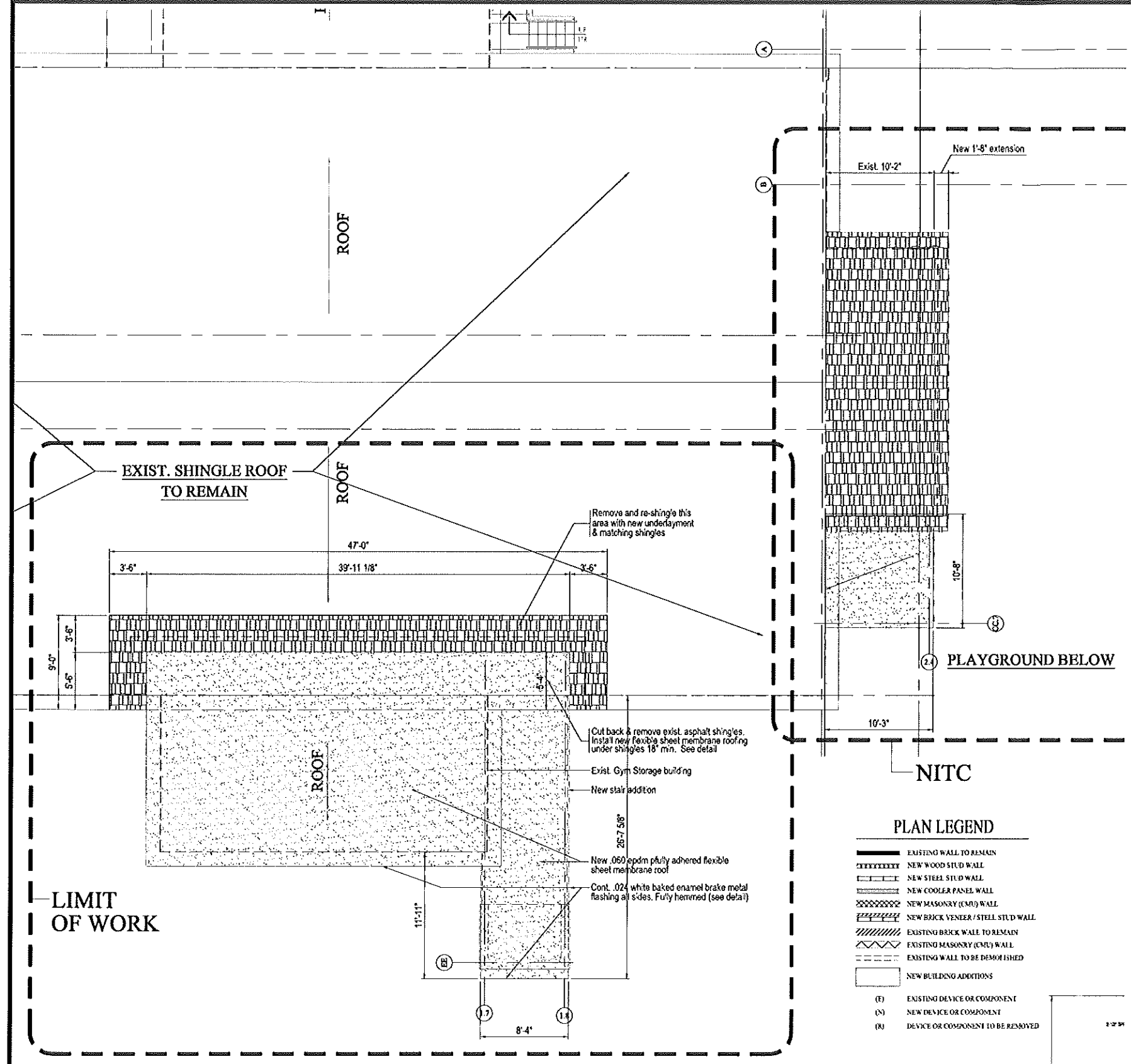


REL. FOR PRICING & PERMITTING - JUNE 25, 2012
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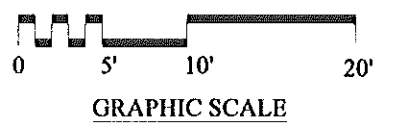


FR. HAYES STAIR RETROFIT PROJECT
695 STEVENS AVENUE
PORTLAND, MAINE 04103

FH-A-201 R1

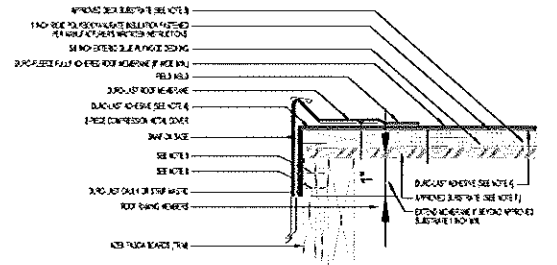


ROOF PLAN - FR. HAYES STAIR
1/4" = 1'-0"

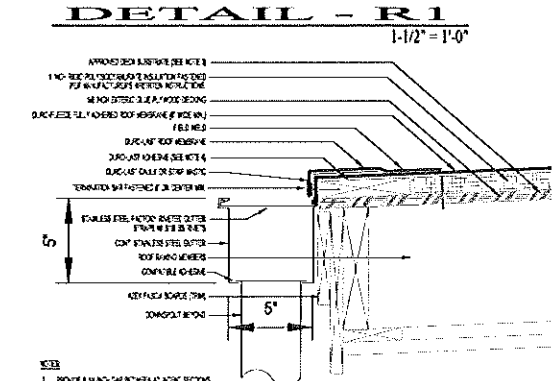


PLAN LEGEND

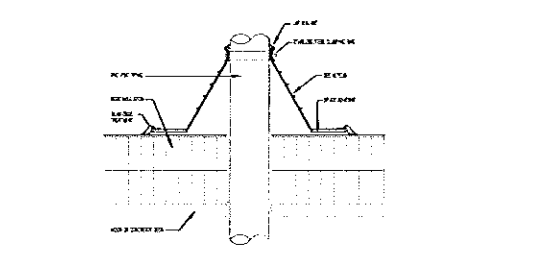
	EXISTING WALL TO REMAIN
	NEW WOOD STUD WALL
	NEW STEEL STUD WALL
	NEW COOLER PANEL WALL
	NEW MASONRY (CMU) WALL
	NEW BRICK VENEER / STEEL STUD WALL
	EXISTING BRICK WALL TO REMAIN
	EXISTING MASONRY (CMU) WALL
	EXISTING WALL TO BE DEMOLISHED
	NEW BUILDING ADDITIONS
(E)	EXISTING DEVICE OR COMPONENT
(N)	NEW DEVICE OR COMPONENT
(R)	DEVICE OR COMPONENT TO BE REMOVED



- DETAIL - R1**
1-1/2" = 1'-0"
1. PROVIDE A ROOF WALL FLASHING DETAIL AS SHOWN IN THIS SECTION. PROVIDE A 1/2" MIN. GAP BETWEEN THE FLASHING AND THE ROOF WALL TO ALLOW FOR THERMAL MOVEMENT.
 2. PROVIDE A ROOF WALL FLASHING DETAIL AS SHOWN IN THIS SECTION. PROVIDE A 1/2" MIN. GAP BETWEEN THE FLASHING AND THE ROOF WALL TO ALLOW FOR THERMAL MOVEMENT.
 3. PROVIDE A ROOF WALL FLASHING DETAIL AS SHOWN IN THIS SECTION. PROVIDE A 1/2" MIN. GAP BETWEEN THE FLASHING AND THE ROOF WALL TO ALLOW FOR THERMAL MOVEMENT.
 4. PROVIDE A ROOF WALL FLASHING DETAIL AS SHOWN IN THIS SECTION. PROVIDE A 1/2" MIN. GAP BETWEEN THE FLASHING AND THE ROOF WALL TO ALLOW FOR THERMAL MOVEMENT.
 5. PROVIDE A ROOF WALL FLASHING DETAIL AS SHOWN IN THIS SECTION. PROVIDE A 1/2" MIN. GAP BETWEEN THE FLASHING AND THE ROOF WALL TO ALLOW FOR THERMAL MOVEMENT.
 6. PROVIDE A ROOF WALL FLASHING DETAIL AS SHOWN IN THIS SECTION. PROVIDE A 1/2" MIN. GAP BETWEEN THE FLASHING AND THE ROOF WALL TO ALLOW FOR THERMAL MOVEMENT.



- DETAIL - R2**
1-1/2" = 1'-0"
1. PROVIDE A ROOF WALL FLASHING DETAIL AS SHOWN IN THIS SECTION. PROVIDE A 1/2" MIN. GAP BETWEEN THE FLASHING AND THE ROOF WALL TO ALLOW FOR THERMAL MOVEMENT.
 2. PROVIDE A ROOF WALL FLASHING DETAIL AS SHOWN IN THIS SECTION. PROVIDE A 1/2" MIN. GAP BETWEEN THE FLASHING AND THE ROOF WALL TO ALLOW FOR THERMAL MOVEMENT.
 3. PROVIDE A ROOF WALL FLASHING DETAIL AS SHOWN IN THIS SECTION. PROVIDE A 1/2" MIN. GAP BETWEEN THE FLASHING AND THE ROOF WALL TO ALLOW FOR THERMAL MOVEMENT.
 4. PROVIDE A ROOF WALL FLASHING DETAIL AS SHOWN IN THIS SECTION. PROVIDE A 1/2" MIN. GAP BETWEEN THE FLASHING AND THE ROOF WALL TO ALLOW FOR THERMAL MOVEMENT.



VENT PIPE FLASHING DETAIL
NO SCALE

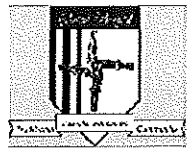
ROOF DETAILS
1-1/2" = 1'-0" 1/4" = 1'-0"



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PROJECT NO. 080111 PROJECT TITLE: ST. BRIGID SCHOOL RENOVATION
SCALE: 1/4" = 1'-0" SHEET TITLE: FR. HAYES STAIR - ROOF PLAN

REL. FOR PRICING & PERMITTING - JUNE 25, 2012
NOT FOR CONSTRUCTION



FR. HAYES STAIR RETROFIT PROJECT
695 STEVENS AVENUE
PORTLAND, MAINE 04103

FH-A-202 R1

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CONSTRUCTION PERMITS REVIEW - JUNE 25, 2012
 PROJECT NO. 080111
 SHEET TITLE: FR. HAYES STAIR
 SCALE: 1/2" = 1'-0"

STRUCTURAL NOTES:

1. PROVIDE SHOP DRAWINGS TO ARCHITECT FOR APPROVAL PRIOR TO FABRICATION OR ERECTION OF STEEL MEMBERS. CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWER IN THE WORK. IF SHOP DRAWING REVIEW PROCEDURES ARE NOT STRICTLY ADHERED TO.
2. STRUCTURAL STEEL FABRICATION, ERECTION AND CONNECTION DESIGN SHALL CONFORM TO AISC SPECIFICATION FOR THE DESIGN, FABRICATION, AND ERECTION OF STRUCTURAL STEEL, 13TH EDITION, EXCEPT AS NOTED OR AS SPECIFIED IN STANDARD PRACTICE.
3. ALL STRUCTURAL STEEL SHALL BE A36 STEEL.
4. ALL PIPE COLUMNS SHALL BE ASTM A500 TYPE C OR S.
5. ALL PIPE COLUMN DESIGNATIONS ARE AS SHOWN.
6. ALL TUBE COLUMNS SHALL BE ASTM A500 GR. B.
7. FIELD CONNECTIONS SHALL BE BOLTED USING A193 OR A193M HIGH STRENGTH BOLTS EXCEPT AS NOTED OTHERWISE ON THE DRAWINGS.
8. ALL BEAM TO BEAM AND BEAM TO COLUMN CONNECTIONS SHALL BE DESIGNED FOR A SECTION OF WELDER PER AISC SPECIFICATION REFERENCE ABOVE.
9. ALL WELDING SHALL BE PERFORMED BY A QUALIFIED WELDER AND SHALL CONFORM TO AWS D1.1 LATEST EDITION.
10. ALL STRUCTURAL DIMENSION LARGER SHALL BE SPF NO. 2 OR BETTER.
11. ALL FRAMING LUMBER SHALL MAINTAIN A MINIMUM OF FIBER STRESS GRADE RATIO OF 10:1 IN 1000 PSI.
12. PROVIDE SOLID BRACING (BLOCKING) AT MIDSPAN OF ALL FLOOR JOISTS AND ROOF RAFTERS.
13. PROVIDE SOLID BRACING (BLOCKING) AT MIDHEIGHT OF ALL STUD WALLS TALLER THAN 12'-0".
14. INSTALL SOLID OR TERRAZO DOUBLE WELDED END BEAM JOINT ON ALL DIMENSION LARGER FLOOR FRAMING.
15. PROVIDE AND INSTALL PROPERLY SIZED STEEL JOIST HANGERS AT ALL FLOOR FRAMING. SPECIAL HANGERS (E. HEAVY DUTY HANGERS) ARE SHOWN ON THE DRAWINGS.
16. PROVIDE SIMPSON JOIST HANGERS AT ALL FLOOR FRAMING.
17. ALL LUMBER IN CONTACT WITH CONCRETE OR USED FOR ROOF DECK, GAVS, ETC. SHALL BE PRESURE TREATED 60 IMPREGNATION RATIO.
18. ALL PLYWOOD SHALL BE EXTERIOR GRADE. APPLICABLE INSTALL ALL ROOF PANELS WITH ADHESIVE. PERPENDICULAR TO FRAMING WITH BUSHY HEAD SCREWS AT 8" O.C. MAX ON PANEL EDGES AND 12" O.C. MAX ON PANEL INTERIORS.

GENERAL NOTES:

1. Structural drawings shall be used in conjunction with job specifications and architectural, mechanical, electrical, plumbing, and site drawings. Consult these drawings for locations and dimensions of openings, chassis, inserts, rigids, sleeves, depressions, and other details not shown on structural drawings.
2. All dimensions and conditions must be verified in the field. Any discrepancies shall be brought to the attention of the engineer before proceeding with the affected part of the work.
3. Do not scale plans.
4. Sections and details shown on any structural drawings shall be considered typical for similar conditions.
5. All proprietary products shall be installed in accordance with the manufacturer's written instructions.
6. The structure is designed to be self supporting and stable after the erection is complete. It is the contractor's sole responsibility to determine erection procedures and sequencing to ensure the safety of the building and its components during erection. This includes the addition of necessary shoring, bracing, temporary bracing, guys or tie-downs. Such material shall remain the property of the contractor after completion of the project.
7. All applicable federal, state, and municipal regulations shall be followed, including the federal department of labor occupational safety and health act.

CONCRETE NOTES:

1. All concrete work shall conform to ACI 318-Latest Edition.
2. Concrete strength at 28 days shall be: See specification manual.
 - a) 3000 psi for footings, frost walls & exterior plans.
 - b) 3000 psi for all interior slabs-on-grade.
 - c) 3500 psi w/ 6% air entrainment for all exterior slabs-on-grade.
3. All concrete shall be air entrained 4% to 6%.
4. Concrete shall not be placed in water or on frozen ground.
5. Provide PVC sleeves where pipes pass through concrete walls or slabs.
6. Reinforcing bars shall conform to ASTM A615 Grade 60 deformed bars, and shall be detailed, fabricated and erected in accordance with ACI 318-Latest Edition.
7. Welded wire fabric shall be provided in flat slabs.
8. Fiber reinforced concrete shall conform to ASTM C-1116.
9. GC reviewed Submittals (shop drawings) and schedule of all reinforcing steel shall be prepared by the contractor and submitted to the Architect for review and approval prior to commencement of that portion of the work. All accessories must be indicated on the Submittals which shall be submitted as (4) copies to the Architect.
10. Splices of reinforcing bars shall be in accordance with ACI 318. Splices of WWF shall be 6' minimum.
11. Concrete finishes: See Architectural Drawings.
 - a) Interior slabs: Finish polished.
 - b) Exterior slabs: Wood float w/ broom finish.
12. Anchor bolts shall conform to ASTM A307 unless noted otherwise on plan. Anchor bolts at all bracing locations shall conform to ASTM A36.

DESIGN LOADS:

1. Building code: IBC-2009 - International Building Code (2009)
2. Design Live Loads:
 - Roof: 48 psf
 - New Landing & Stair: 100 psf
3. Design wind loads are based on 100 mph basic wind speed.
4. Seismic Design conforms to IBC-2009 & ASCE-2005.

FOUNDATION NOTES:

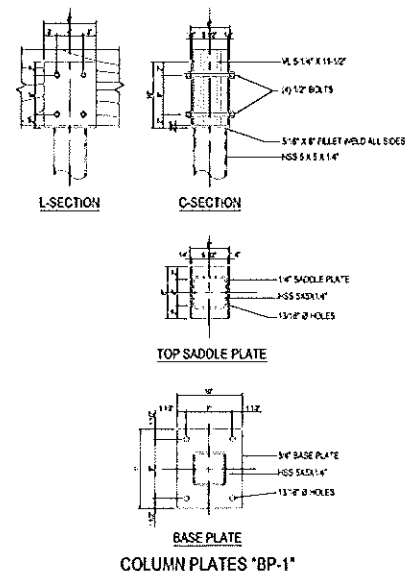
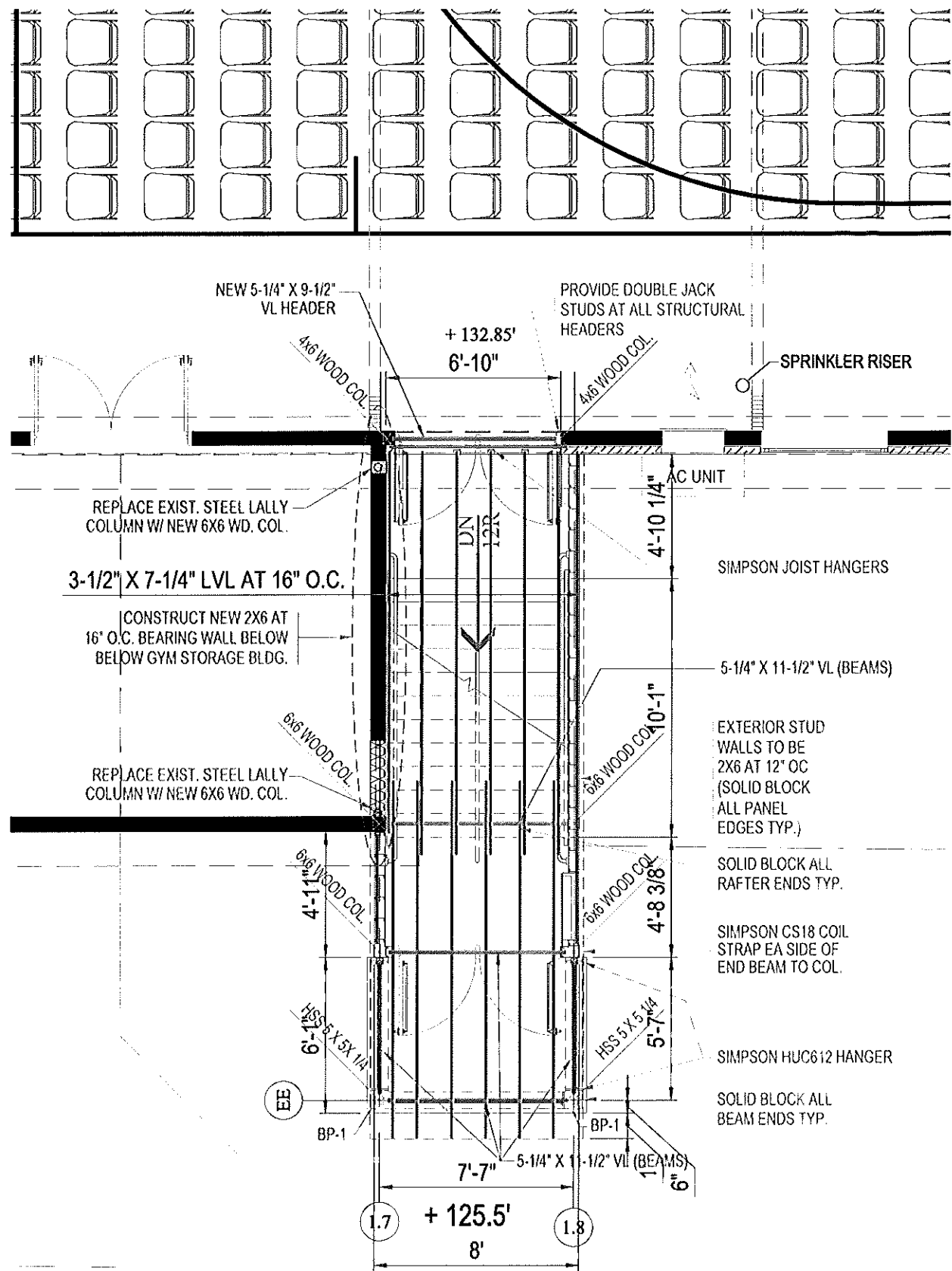
1. Foundations have been designed to conform with the requirements provided in IBC-2009.
2. Exterior footings shall be founded on compacted structural fill or native soil. Provide soil compaction testing prior to placement of footings. See specification manual.
3. Exterior strip and spread footings shall be founded a minimum of 4'-6" below finished grade.
4. Slabs on grade shall bear on a minimum of 12" of compacted structural fill overlaid with 4" sand. If loose or undesirable fills are encountered at the slab subgrade level, they shall be over excavated to the surface of the natural soil and replaced with structural fill. Refer to drawings and specifications for vapor barrier requirements.
5. Structural fill shall be used at all locations below footings and slabs and adjacent to the foundation walls. Prior to placement of structural fill, remove all topsoil and other unsuitable material. Compacted structural fill shall consist of clean granular material free of organics, loam, trash, snow, ice, frozen soil or any other objectionable material. It shall be well graded with the following limits:

SCREEN OR SIEVE SIZE	PERCENT FINER BY WEIGHT
8 inch	100
3 inch	70-100
NO. 4	35-70
NO. 40	5-35
NO. 200	0-5

6. Structural fill beneath slabs shall be placed in layers not exceeding 8 inches in loose measure and compacted by self-propelled compaction equipment at approximate optimum moisture content to a dry density of at least 95% of the maximum in place dry density as determined by the modified proctor test (ASTM D-1557).
7. Exterior concrete slabs on grade, shall be undertaken by at least 4 feet of structural fill meeting gradation and compaction requirements noted above. Reinforce top of slabs with 6x6 - W1.4xW1.4 WWF.
8. Backfill both sides of foundation walls simultaneously.

METAL DECK NOTES:

1. Steel floor deck shall be as indicated on plan by V-ultracork or approved alternate. Steel deck units shall conform with the latest edition of the "Design Manual for floor and roof decks" by the steel deck institute. Steel floor deck shall be galvanized in accordance with ASTM A525 D60 coating.
2. Fasten steel decking to all steel supports with 5/8" diameter puddle welds at 12" o.c. unless otherwise indicated on plan. Provide welding washers on all deck units 24 gage and lighter.
3. All welding shall conform to AWS D1.3: Latest edition. Welding electrodes shall be E70XX.



STRUCTURAL STEEL DETAILS NOT TO SCALE

FR. HAYES STAIR - ROOF FRAMING PLAN

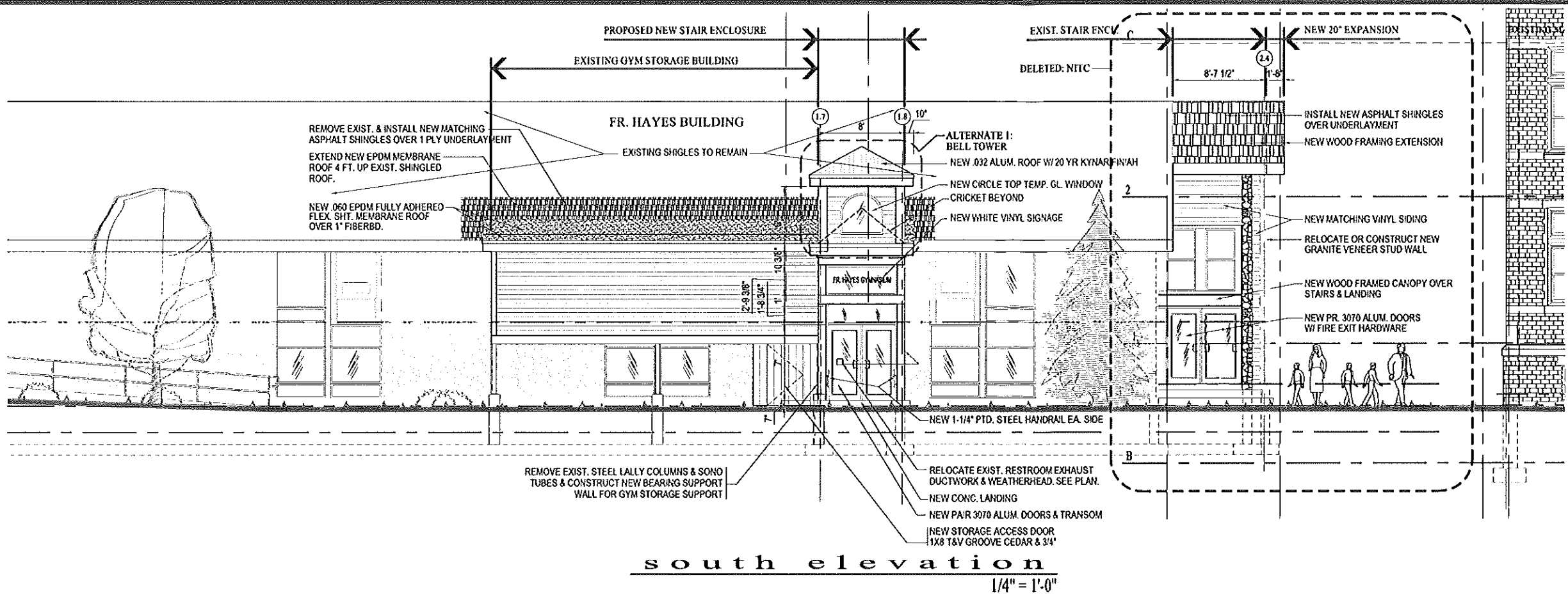
1/2" = 1'-0"

REL. FOR PRICING & PERMITTING - JUNE 25, 2012
 NOT FOR CONSTRUCTION

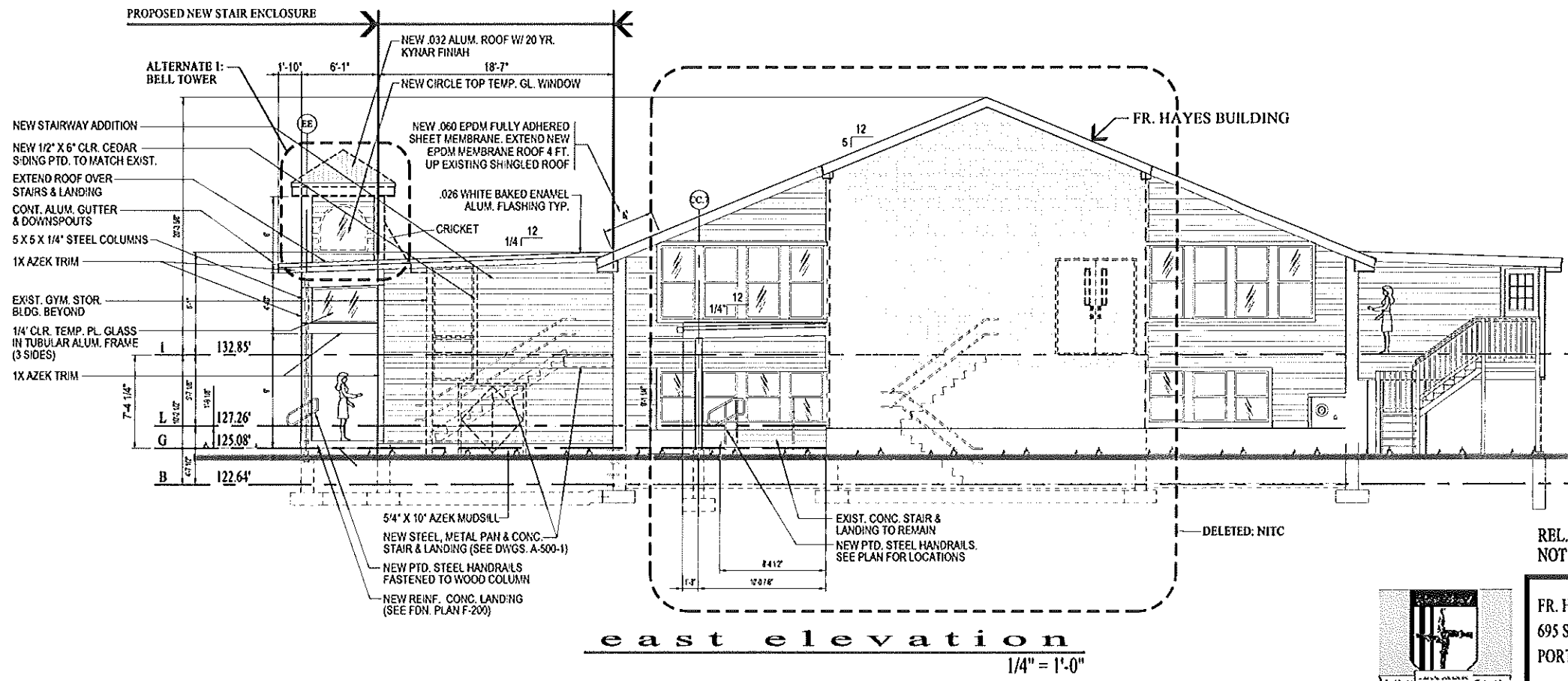
FR. HAYES STAIR RETROFIT PROJECT
 695 STEVENS AVENUE
 PORTLAND, MAINE 04103

FH-ST-200 R1

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south elevation
1/4" = 1'-0"



east elevation
1/4" = 1'-0"



PLAN LEGEND

	EXISTING WALL TO REMAIN
	NEW WOOD STUD WALL
	NEW STEEL STUD WALL
	NEW COOLER PANEL WALL
	NEW MASONRY (CMU) WALL
	NEW BRICK VENEER / STEEL STUD WALL
	EXISTING BRICK WALL TO REMAIN
	EXISTING MASONRY (CMU) WALL
	EXISTING WALL TO BE DEMOLISHED
	NEW BUILDING ADDITIONS
(E)	EXISTING DEVICE OR COMPONENT
(N)	NEW DEVICE OR COMPONENT
(R)	DEVICE OR COMPONENT TO BE REMOVED



CONSTRUCTION PERMITS MAY BE OBTAINED FROM THE CITY OF PORTLAND, MAINE. PROJECT NO. 08011. SHEET TITLE: FR. HAYES STAIR RENOVATION. SCALE: 1/4" = 1'-0". SHEET NO. 1. REV PER STRUCTURE DESIGN - JUNE 25, 2012.

DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.
 1344 WASHINGTON AVENUE PORTLAND, MAINE PH. (207) 797-8661 FAX (207) 797-8533
 PROJECT NO. 08011 PROJECT TITLE: ST. BRIGID SCHOOL RENOVATION
 SCALE: 1/4" = 1'-0" SHEET TITLE: FR. HAYES STAIR ELEVATIONS

REL. FOR PRICING & PERMITTING - JUNE 25, 2012
NOT FOR CONSTRUCTION

FR. HAYES STAIR RETROFIT PROJECT
695 STEVENS AVENUE
PORTLAND, MAINE 04103

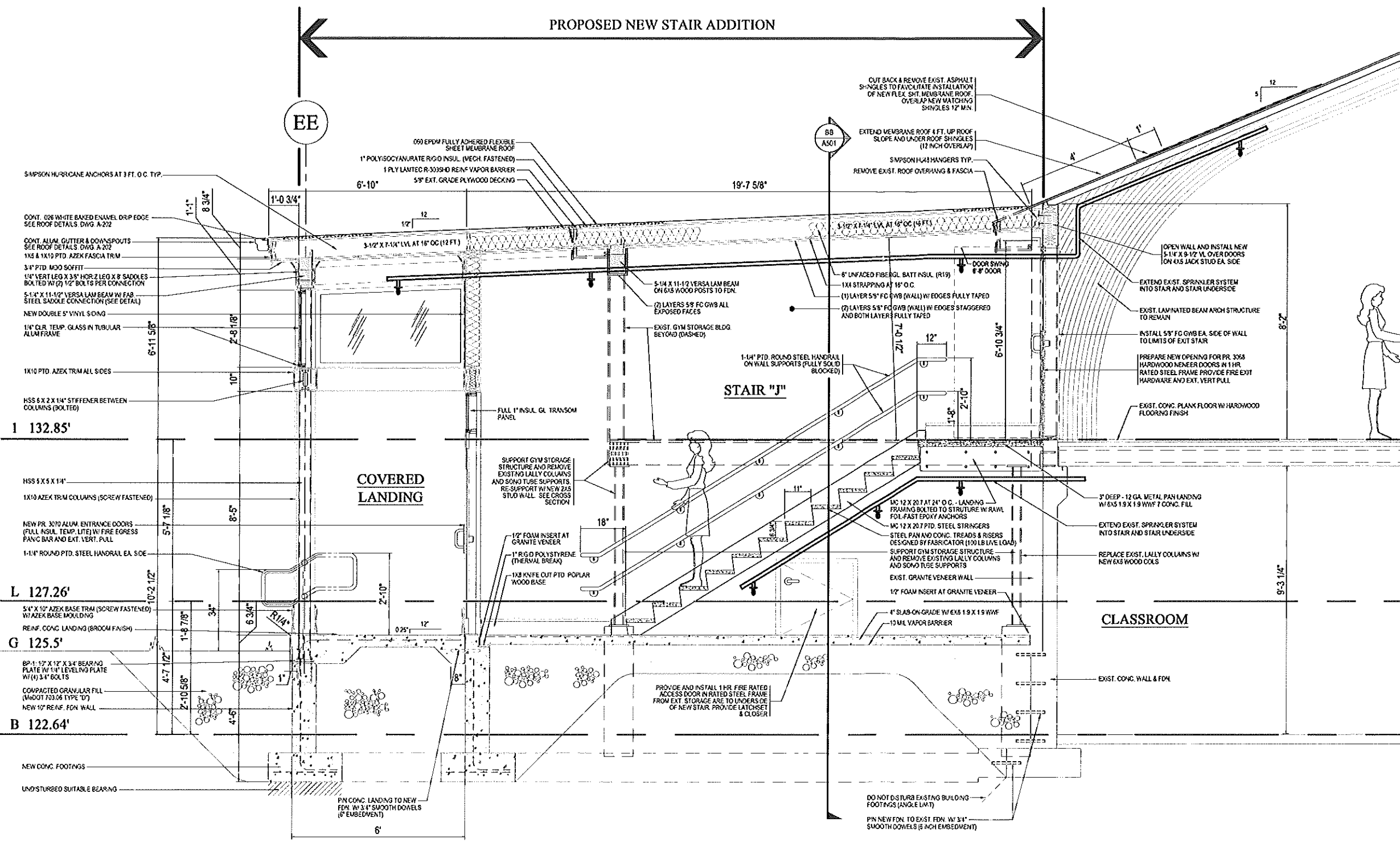


FH-A-400 R1

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CONCRETE FLOOR PLAN - MAY 28, 2012
 USE FOR PERMITTING - JUNE 25, 2012
 NEW PER STRAIGHTENING - JUNE 25, 2012



STAIR SECTION - "A-A"

3/4" = 1'-0"

REL. FOR PRICING & PERMITTING - JUNE 25, 2012
 NOT FOR CONSTRUCTION

DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.
 1344 WASHINGTON AVENUE PORTLAND, MAINE PH. (207) 797-8661 FAX (207) 797-8533
 PROJECT NO. 08011 PROJECT TITLE: ST. BRIGID SCHOOL RENOVATION
 SCALE: 3/4" = 1'-0" SHEET TITLE: STAIR SECTION A-A



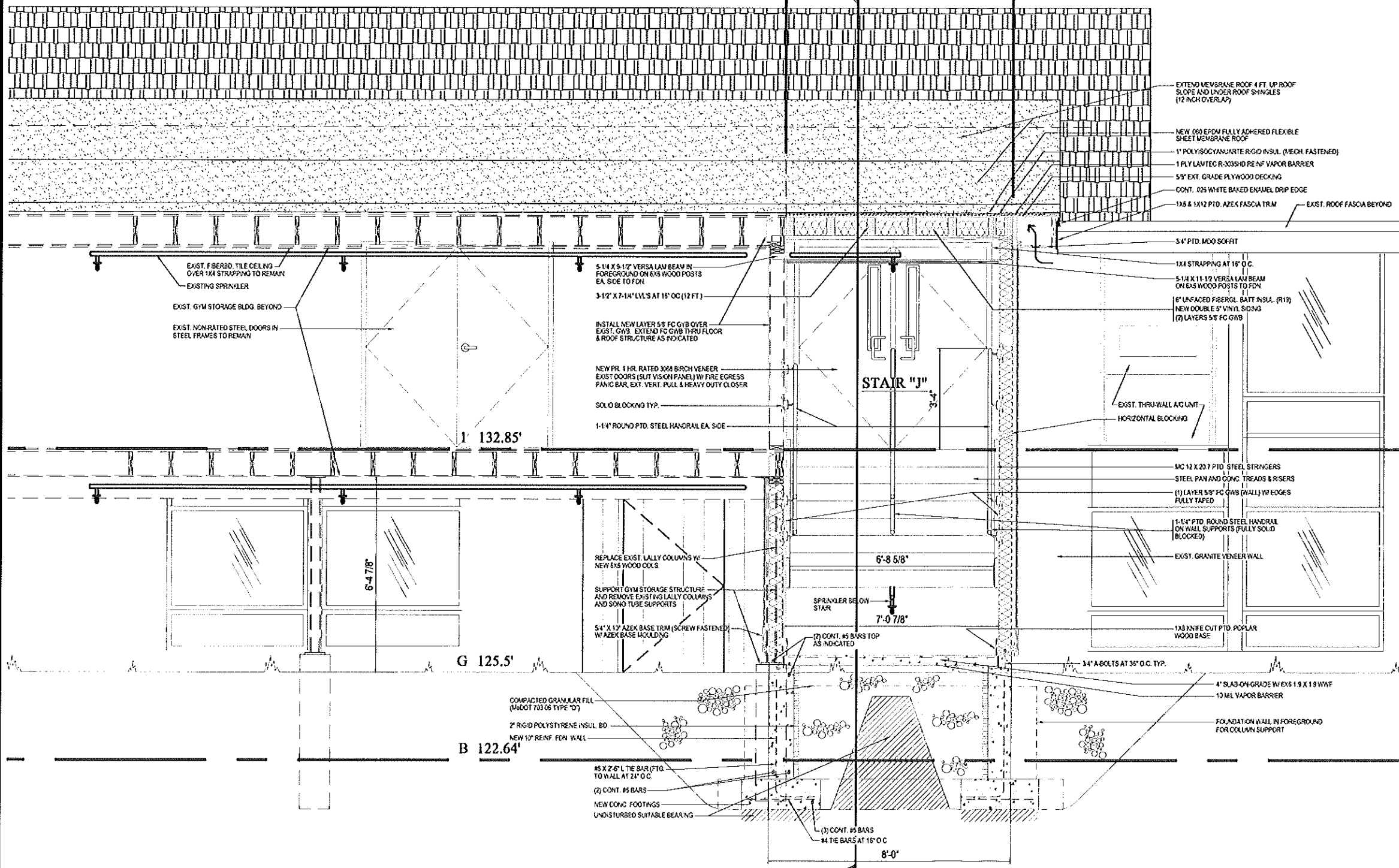
ST. BRIGID CATHOLIC SCHOOL
 FR. HAYES CENTER - STAIR ADDITION
 695 STEVENS AVENUE
 PORTLAND, MAINE 04103

FH-A-500 R1

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EXISTING GYM STORAGE ROOM

PROPOSED NEW STAIR ENCLOSURE



CONCEPTUAL SITE PLAN - MAY 23, 2012
 SET FOR PERMITTING - JUNE 25, 2012
 REVISED CONTRACT DRAWING - JUNE 25, 2012

DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.
 1344 WASHINGTON AVENUE PORTLAND, MAINE PH. (207) 797-8661 FAX (207) 797-8533
 PROJECT NO. 08011 PROJECT TITLE: ST. BRIGID SCHOOL RENOVATION
 SCALE: 3/4" = 1'-0" SHEET TITLE: STAIR SECTION A-A

STAIR SECTION - "B-B"

3/4" = 1'-0"

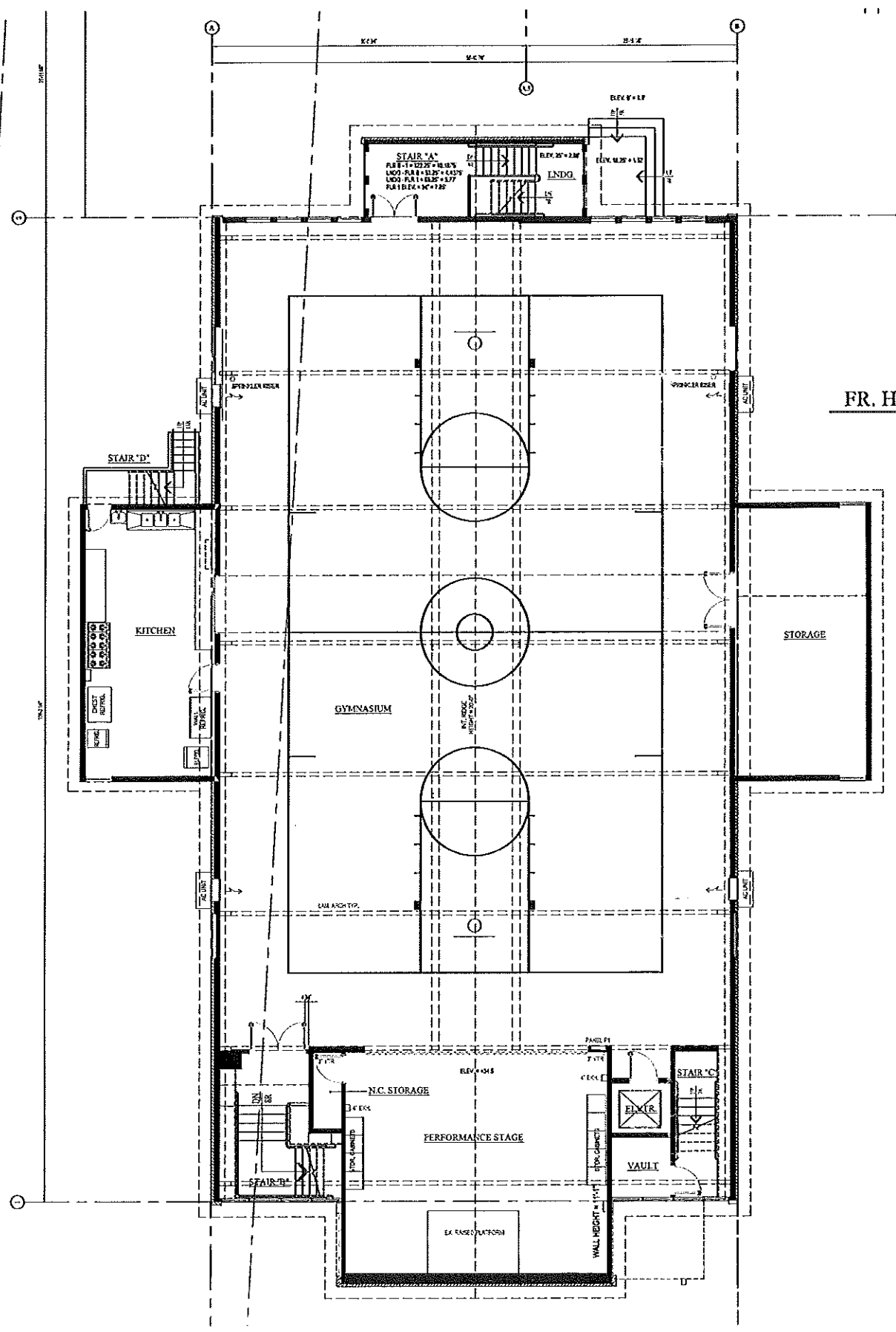
REL. FOR PRICING & PERMITTING - JUNE 25, 2012
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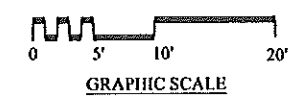
ST. BRIGID CATHOLIC SCHOOL
 FR. HAYES CENTER - STAIR ADDITION
 695 STEVENS AVENUE
 PORTLAND, MAINE 04103

FH-A-501 R1

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FR. HAYES BUILDING - FIRST FLOOR PLAN
3/16" = 1'-0"



- PLAN LEGEND**
- EXISTING WALL TO REMAIN
 - NEW WOOD STUD WALL
 - NEW STEEL STUD WALL
 - NEW COOLER PANEL WALL
 - EXISTING WALL TO BE REMOVED
 - EXISTING BRICK WALL TO REMAIN
 - EXISTING MASONRY (CMU) WALL
 - NEW BUILDING ADDITIONS
 - (E) EXISTING DEVICE OR COMPONENT
 - (N) NEW DEVICE OR COMPONENT
 - (R) DEVICE OR COMPONENT TO BE REMOVED

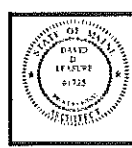
BUILDING AREA

TOTAL BUILDING AREA _____

EXISTING CONDITIONS DRAWINGS - SEPTEMBER 16, 2011
NOT FOR CONSTRUCTION

ST. BRIGID SCHOOL RENOVATION
695 STEVENS AVENUE
PORTLAND, MAINE 04103

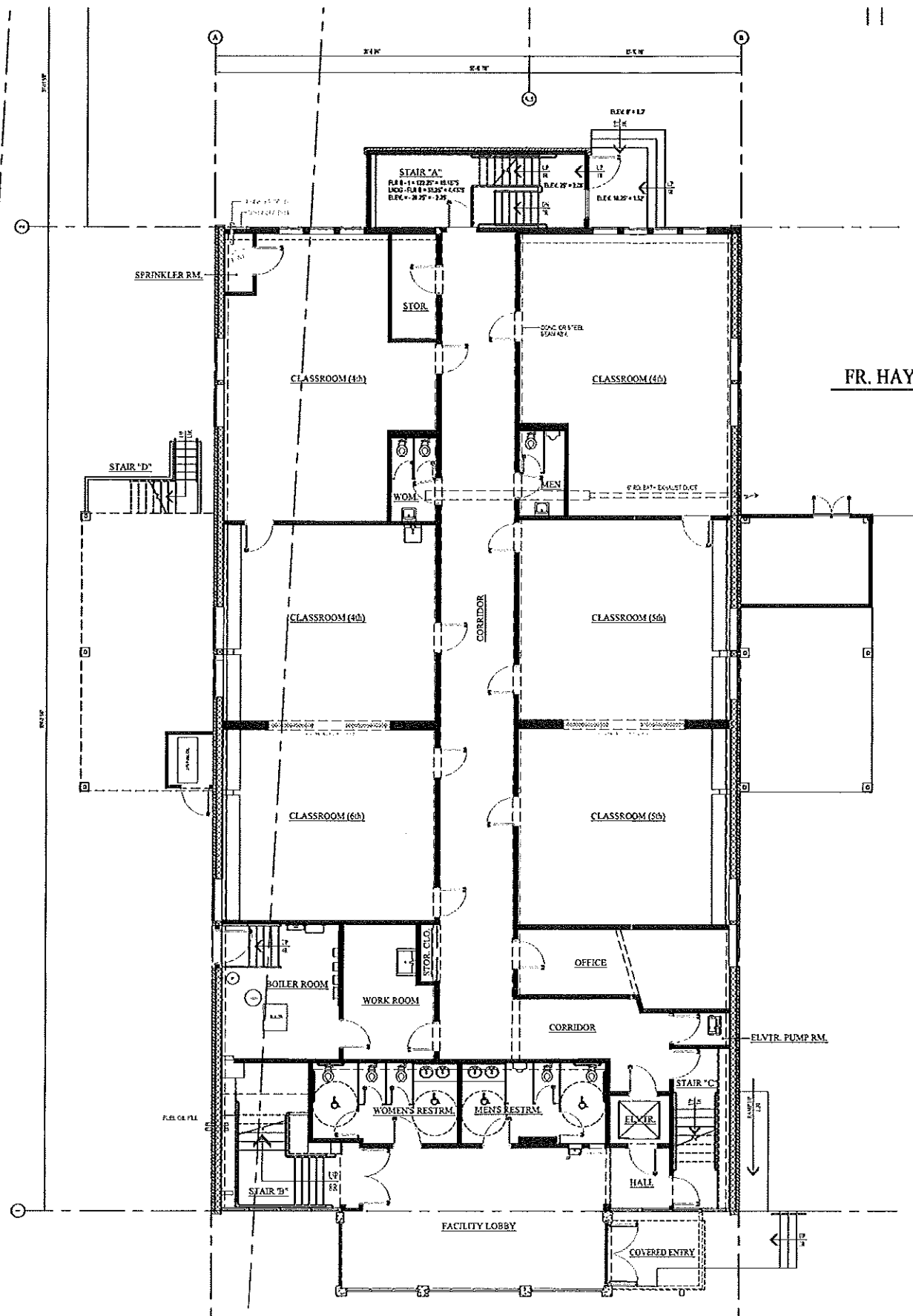
A-204 AS



1	EXISTING CONDITIONS DRAWINGS - SEPTEMBER 16, 2011
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DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.
1344 WASHINGTON AVENUE PORTLAND, MAINE PH. (207) 791-8661 FAX (207) 791-8533
PROJECT NO. 080111 PROJECT TITLE: ST. BRIGID SCHOOL RENOVATION
SCALE: 1/8" = 1'-0" SHEET TITLE: FIRST FLOOR PLAN - FR. HAYES BLDG.

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FR. HAYES BUILDING - LOWER LEVEL FLOOR PLAN

3/16" = 1'-0"



- PLAN LEGEND**
- EXISTING WALL TO REMAIN
 - NEW WOOD STUD WALL
 - NEW STEEL STUD WALL
 - NEW COOLER PANEL WALL
 - EXISTING WALL TO BE REMOVED
 - EXISTING BRICK WALL TO REMAIN
 - EXISTING MASONRY (CMU) WALL
 - NEW BUILDING ADDITIONS
- (E) EXISTING DEVICE OR COMPONENT
(N) NEW DEVICE OR COMPONENT
(R) DEVICE OR COMPONENT TO BE REMOVED

BUILDING AREA

TOTAL BUILDING AREA _____

EXISTING CONDITIONS DRAWINGS - SEPTEMBER 16, 2011
NOT FOR CONSTRUCTION

ST. BRIGID SCHOOL RENOVATION
695 STEVENS AVENUE
PORTLAND, MAINE 04103

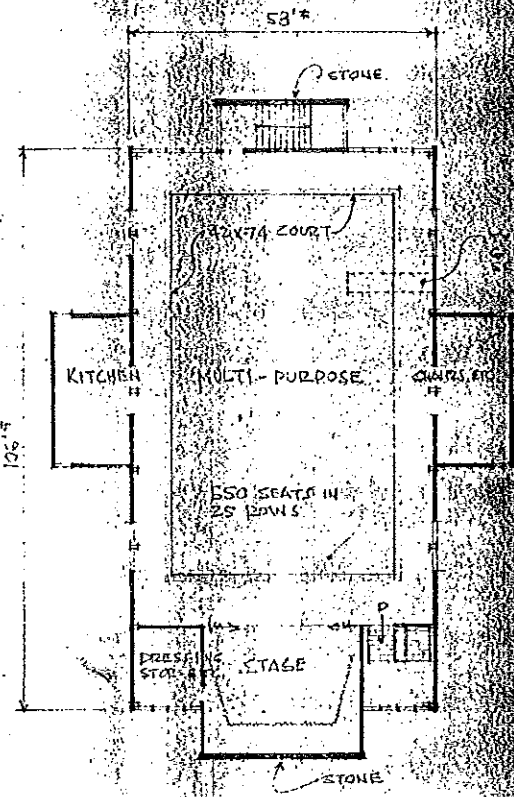
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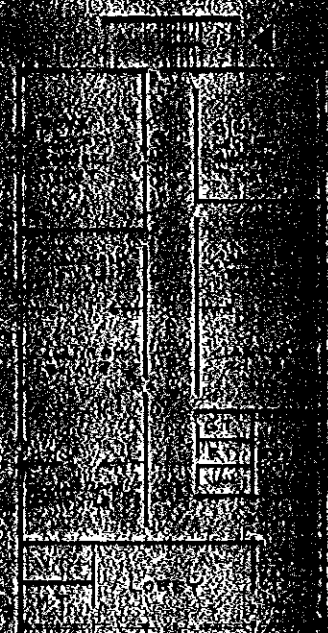
NO.	DATE	DESCRIPTION
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1344 WASHINGTON AVENUE PORTLAND, MAINE PH. (207) 797-8661 FAX (207) 797-8533
PROJECT NO. 080111 PROJECT TITLE: ST. BRIGID SCHOOL RENOVATION
SCALE: 3/16" = 1'-0" SHEET TITLE: LOWER LEVEL PLAN - FR. HAYES BLDG.

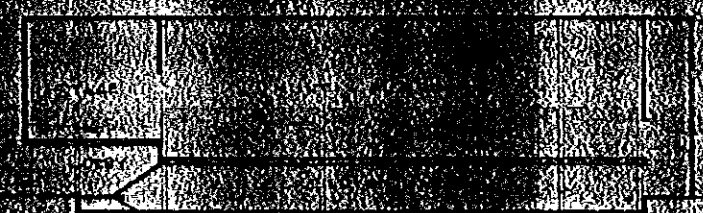
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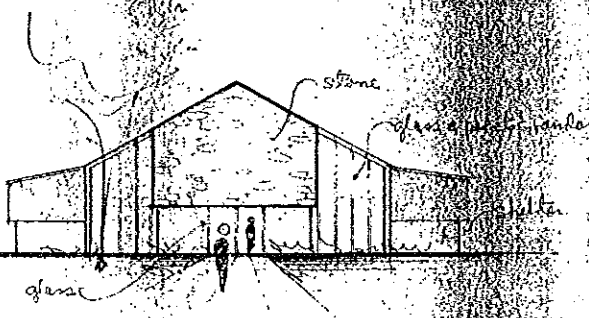
FIRST FLOOR PLAN
1/16" = 1'-0"



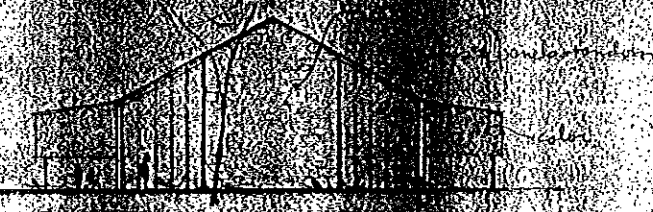
GROUND FLOOR PLAN



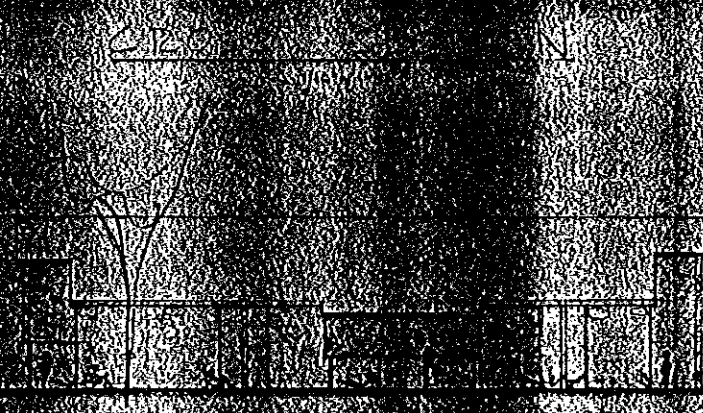
SECOND FLOOR PLAN



FRONT ELEVATION
1/16" = 1'-0"



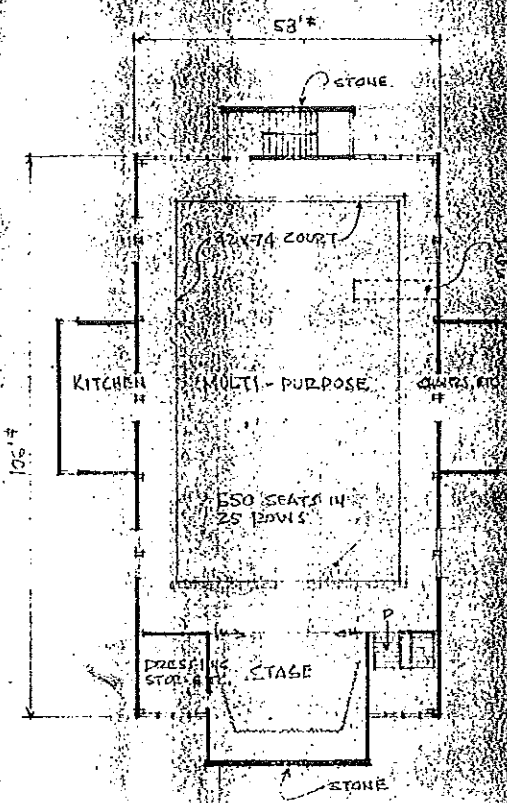
BACK ELEVATION



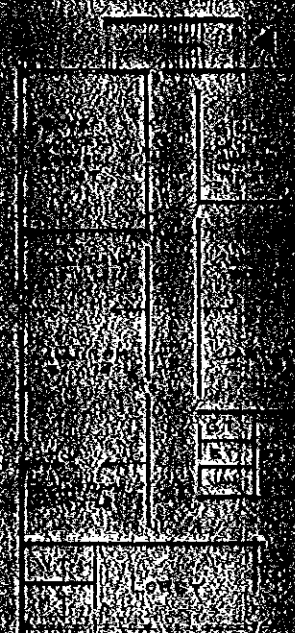
SIDE ELEVATIONS

PROPOSED ST. JOSEPH'S MULTI-PURPOSE BUILDING - PORTLAND

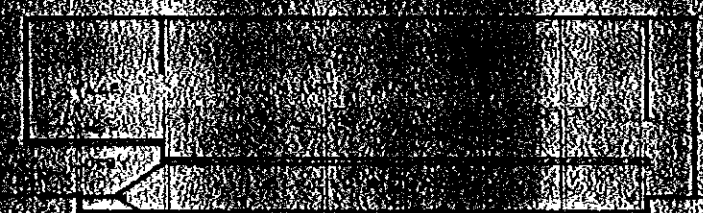
WILLIAM W. INSALL, ARCHITECT - PORTLAND, MAINE



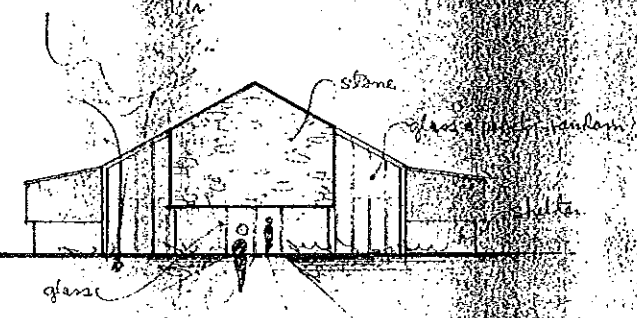
FIRST FLOOR PLAN
1/16" = 1'-0"



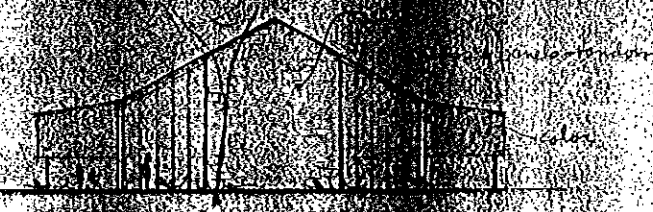
GROUND FLOOR PLAN



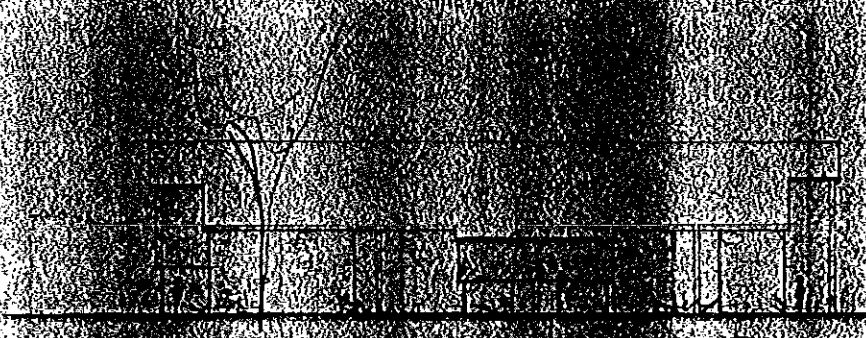
SECTION



FRONT ELEVATION
1/16" = 1'-0"



BACK ELEVATION



SIDE ELEVATIONS

PROPOSED ST. JOSEPH'S MULTI-PURPOSE BUILDING - PORTLAND

WHEELER CONSULTING ARCHITECT - PORTLAND, MAINE