

City of Portland, Maine – Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 218 Walton St		Owner: Krigman, Harry		Phone: 767-5276		Permit No 980789 <div style="border: 2px solid black; padding: 5px; text-align: center;"> PERMIT ISSUED Permit Issued: JUL 21 1998 CITY OF PORTLAND </div>			
Owner Address: 3 Cape Woods Rd C.E. 04107		Lessee/Buyer's Name:		Phone:			Business Name:		
Contractor Name: Jesse Loveille		Address: 218 Walton St Ptld, ME 04103*****			Phone:				
Past Use: Multi Fam		Proposed Use:		COST OF WORK: \$ 6,900.00			PERMIT FEE: \$ 55.00		
				FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group <i>R3</i> Type <i>5B</i> <i>BOCA</i> Signature: <i>T. J. [unclear]</i>			
Proposed Project Description: <i>2 units</i> Construct Deck 8 x 12 w/stairs Dormer 16 x 9'6 <i>per owner 6/29/98</i>		<i>Same - 2 unit</i>		Signature:		Signature:			
				PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: Approved <input type="checkbox"/> Approved with Conditions: <input type="checkbox"/> Denied <input type="checkbox"/>		Zoning Approval: <i>OK [unclear] 7/17/98</i> Special Zone or Reviews: <input type="checkbox"/> Shoreland <i>N/A with</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <i>N/A revised plans</i> <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>			
Permit Taken By: SP		Date Applied For: 22 June 1998							

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

PERMIT ISSUED WITH REQUIREMENTS

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

SIGNATURE OF APPLICANT _____ ADDRESS: _____ DATE: 22 June 1998 PHONE: _____

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE _____ PHONE: _____

- Zoning Appeal**
- Variance
 - Miscellaneous
 - Conditional Use
 - Interpretation
 - Approved
 - Denied

- Historic Preservation**
- Not in District or Landmark
 - Does Not Require Review
 - Requires Review

Action:

- Approved
- Approved with Conditions
- Denied

Date:

CEO DISTRICT 6

THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

**Building or Use Permit Pre-Application
Attached Single Family Dwellings/Two-Family Dwelling
Multi-Family or Commercial Structures and Additions Thereto**

In the interest of processing your application in the quickest possible manner, please complete the Information below for a Building or Use Permit.

NOTEIf you or the property owner owes real estate or personal property taxes or user charges on ANY PROPERTY within the City, payment arrangements must be made before permits of any kind are accepted.**

Location/Address of Construction (include Portion of Building): <u>218 Walton St</u>			
Total Square Footage of Proposed Structure		Square Footage of Lot <u>8502</u>	
Tax Assessor's Chart, Block & Lot Number	Owner:	Telephone#:	
Chart# <u>143</u> Block# <u>F</u> Lot# <u>005</u>	<u>Harry Krugman</u>	<u>207 767 5276</u>	
Owner's Address:	Lessee/Buyer's Name (If Applicable)	Cost Of Work:	Fee
<u>3 CAPEWOODS RD CAPE ELIZABETH, ME 04107</u>		<u>\$ 6,900</u>	<u>\$ 55.00</u>
Proposed Project Description: (Please be as specific as possible)			
<u>Deck 8x12 w/stairs Dormer - 16' x 9'6"</u>			
Contractor's Name, Address & Telephone			Rec'd By
<u>Jesse Lerville 218 Walton St Portland ME 04103</u>			<u>[Signature]</u>
Current Use:	Proposed Use:		
<u>Multi Family</u>	<u>Same</u>		

Separate permits are required for Internal & External Plumbing, HVAC and Electrical installation.

- All construction must be conducted in compliance with the 1996 B.O.C.A. Building Code as amended by Section 6-Art II.
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1996 National Electrical Code as amended by Section 6-Art III.
- HVAC (Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.

You must Include the following with you application:

- 1) A Copy of Your Deed or Purchase and Sale Agreement
- 2) A Copy of your Construction Contract, if available
- 3) A Plot Plan/Site Plan

Minor or Major site plan review will be required for the above proposed projects. The attached checklist outlines the minimum standards for a site plan.

4) Building Plans

Unless exempted by State Law, construction documents must be designed by a registered design professional.

A complete set of construction drawings showing all of the following elements of construction:

- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and dampproofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

Certification

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>[Signature]</u>	Date: <u>6/22/98</u>
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Building Permit Fee: \$25.00 for the 1st \$1000. cost plus \$5.00 per \$1,000.00 construction cost thereafter.
Additional Site review and related fees are attached on a separate addendum

Jesse Lerville



BUILDING PERMIT REPORT

DATE: 20 July 98 ADDRESS: 218 Walton ST. (143-F-005)
REASON FOR PERMIT: TO Construct Deck/darmer
BUILDING OWNER: Harry Krigman
CONTRACTOR: Jesse Laveille
PERMIT APPLICANT: [arrow]
USE GROUP R-3 BOCA 1996 CONSTRUCTION TYPE 5B

CONDITION(S) OF APPROVAL

This Permit is being issued with the understanding that the following conditions are met:

Approved with the following conditions: *1, *2, *3, *4, *5, *6, *7, *8, *9, *10, *11, *12, *24, *26, *27, *29, *30

- 1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained.
2.5 Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve.
3. Precaution must be taken to protect concrete from freezing.
4. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed.
5. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating.
6. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code.
7. Sound transmission control in residential building shall be done in accordance with Chapter 12 section 1214.0 of the city's building code.
8. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level.
9. Headroom in habitable space is a minimum of 7'6".
10. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 3/4" maximum rise.
11. The minimum headroom in all parts of a stairway shall not be less than 80 inches.
12. Every sleeping room below the fourth story in buildings of use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue.

shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. ft.

13. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units.
14. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closer's. (Over 3 stories in height requirements for fire rating is two (2) hours.)
15. The boiler shall be protected by enclosing with (1) hour fire-rated construction including fire doors and ceiling, or by providing automatic extinguishment.
16. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 19, 920.3.2 (BOCA National Building Code/1996), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):
 - In the immediate vicinity of bedrooms
 - In all bedrooms
 - In each story within a dwelling unit, including basementsIn addition to the required AC primary power source, required smoke detectors in occupancies in Use Groups R-2, R-3 and I-1 shall receive power from a battery when the AC primary power source is interrupted. (Interconnection is required)
17. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type.
18. The Fire Alarm System shall be maintained to NFPA #72 Standard.
19. The Sprinkler System shall maintained to NFPA #13 Standard.
20. All exit signs, lights, and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023. & 1024. Of the City's building code. (The BOCA National Building Code/1996)
21. Section 25-135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
22. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification to the Division of Inspection Services.
23. Ventilation shall meet the requirements of Chapter 12 Sections 1210. Of the City's Building Code. (crawl spaces & attics)
- *24. All electrical, plumbing and HVAC permits must be obtained by a Master Licensed holders of their trade.
25. All requirements must be met before a final Certificate of Occupancy is issued.
- *26. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code. (The BOCA National Building Code/1996).
- *27. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical Code (The BOCA National Mechanical Code/1993).
28. Please read and implement the attached Land Use-Zoning report requirements.
- *29. The proposed Sono Tubes MUST rest on footing with anchor connecting the two-tks
footings shall be 4' below grade - Also the 4x4 post must be attached to the tube
and braced to prevent movement -
The 2x8 Joist must have bracing, at center
- 30.
- *31.



P. Samuel Hibbs, Building Inspector

cc: Lt. McDougall, RFD
Marge Schmuckal

MORTGAGE LOAN INSPECTION PLAN

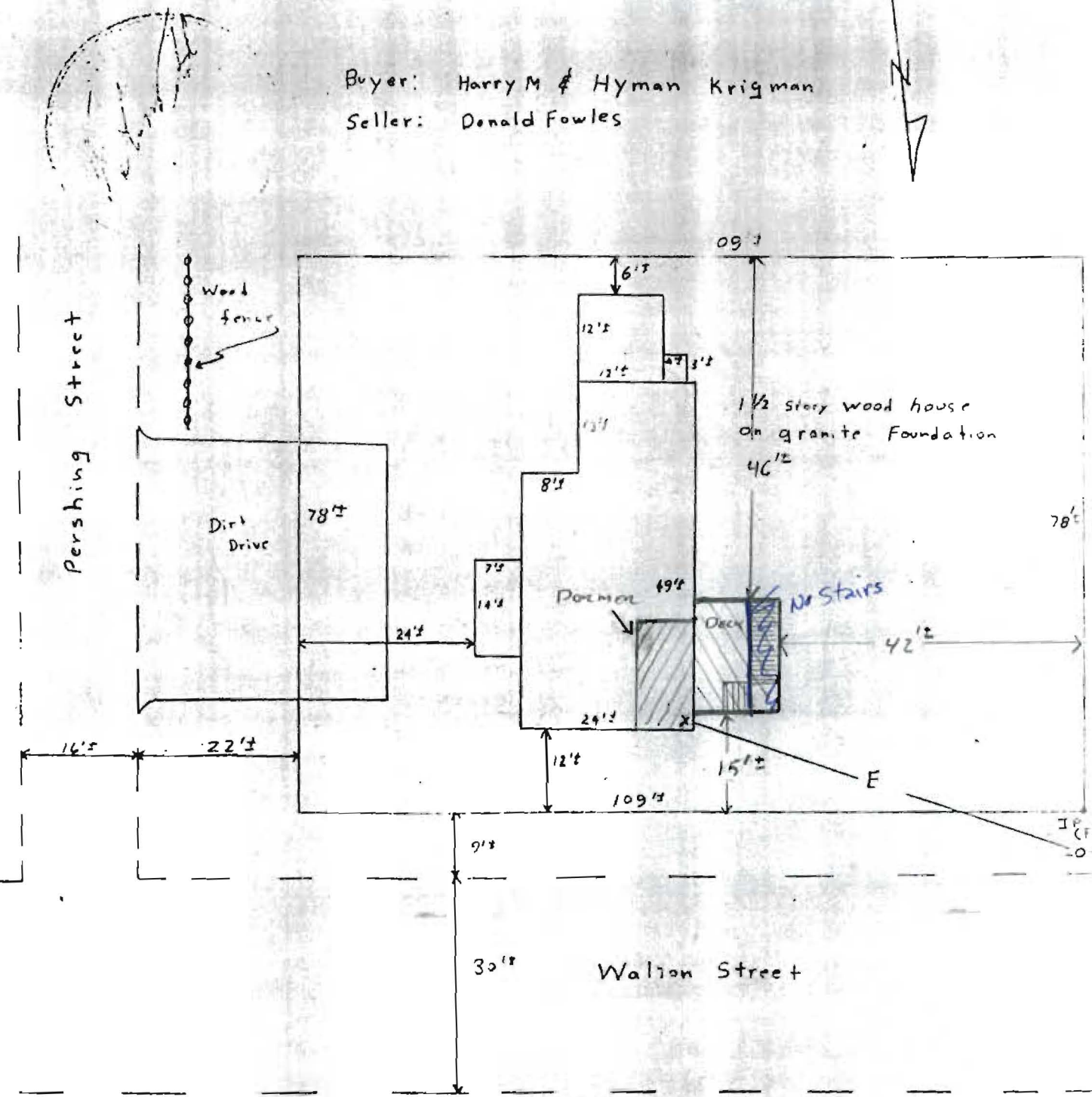
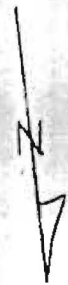
218 Walton Street
Portland, Maine
Plan Book 2, Page 52

No. 227

TO THE LENDING INSTITUTION AND ITS TITLE INSURER
I hereby certify that the location of the dwelling shown on this plan does conform with the local zoning laws in effect at the time of construction. The property does not fall within a special flood hazard zone.

1880
144
2500

Buyer: Harry M & Hyman Krigman
Seller: Donald Fowles



This plan was not made from an instrument survey.
The certifications are for mortgage purposes only.
This plan applies only to conditions existing as of the date shown hereon. This plan is not for recording.

Date 12/8/83 Scale 1" = 20'

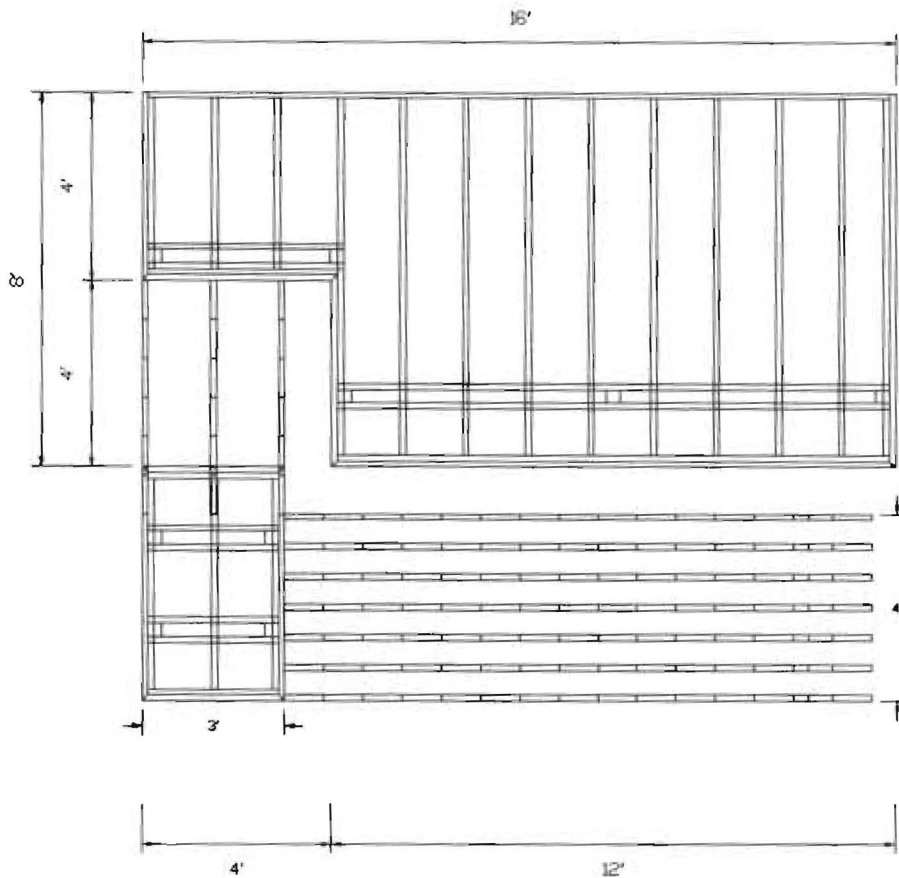
R.P. TITCOMB ASSOCIATES, INC. Falmouth, Maine

Drawn By KW

6116551

PLAN VIEW
CUSTOMER -- S S S
DATE 04/19/98 REF SSS65465

HOME QUARTERS WAREHOUSE
300 CLARKS POND ROAD
SOUTH PORTLAND, MAINE



LOAD AND SUPPORT: Your deck will support a 71 PSF live load. Posts have 48" below-ground post support.

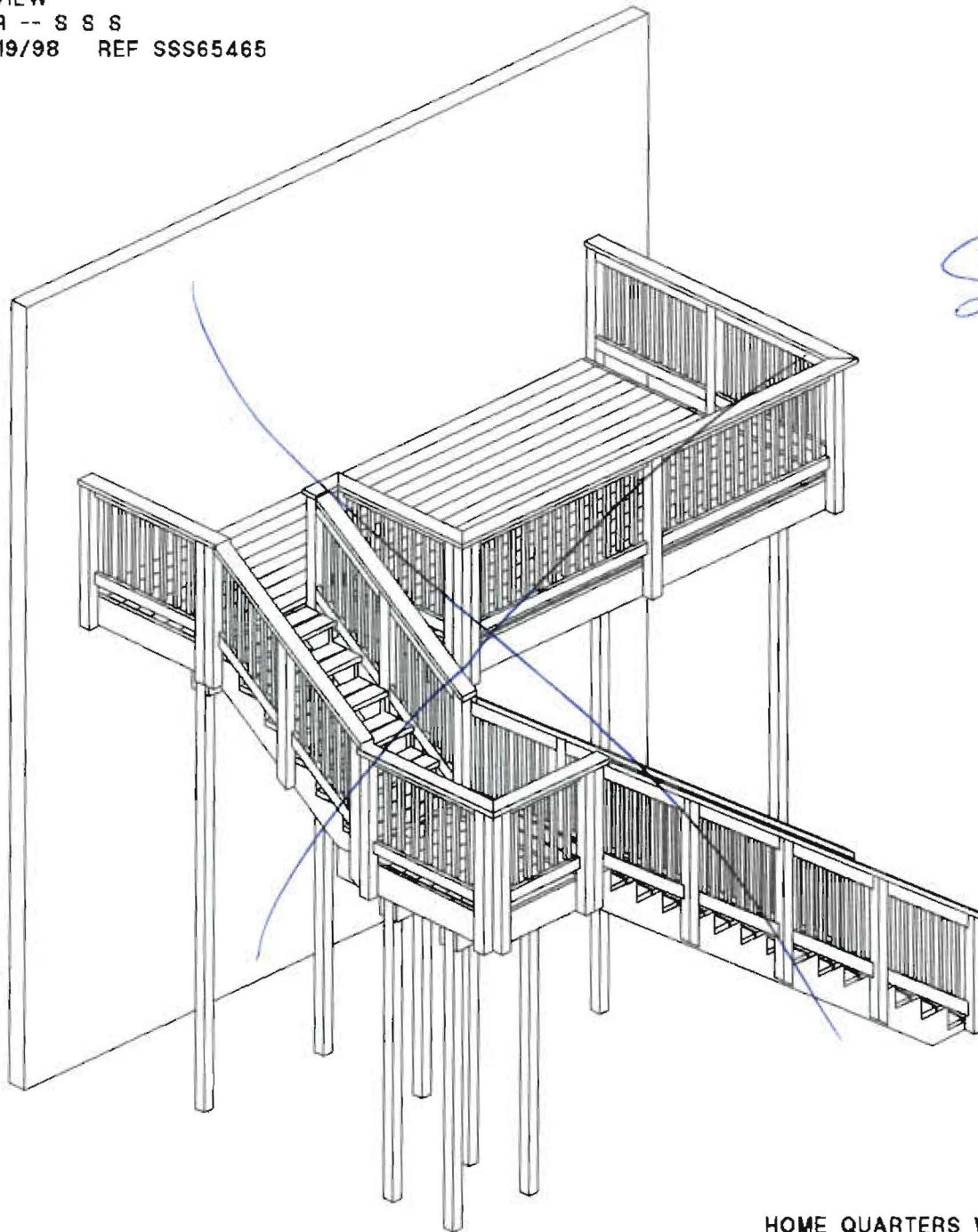
DECK AND POST HEIGHT: You selected a height of 144" from the top of decking to level ground. The top of the deck support posts will therefore be 135.25" above ground level. Your salesperson can provide information for uneven or sloped ground. ✓

JOISTS: Set joists on top of beams, 16" center to center. ✓

NOTE: The design may require knee braces and bridging between joists. Your materials list includes the necessary items. The suggested design is not a finished building plan. You are responsible for all measurements being correct, for verifying that the design (and any substitutions or modifications that you make) meets all local building codes and requirements. To verify that the suggested design, and any substitutions or modifications, is consistent with conditions at the construction site, review the design with your architect. Also consult your architect for proper construction and use of materials in the structure. ✓

Be sure to follow the deck construction detail available from your store salesperson.

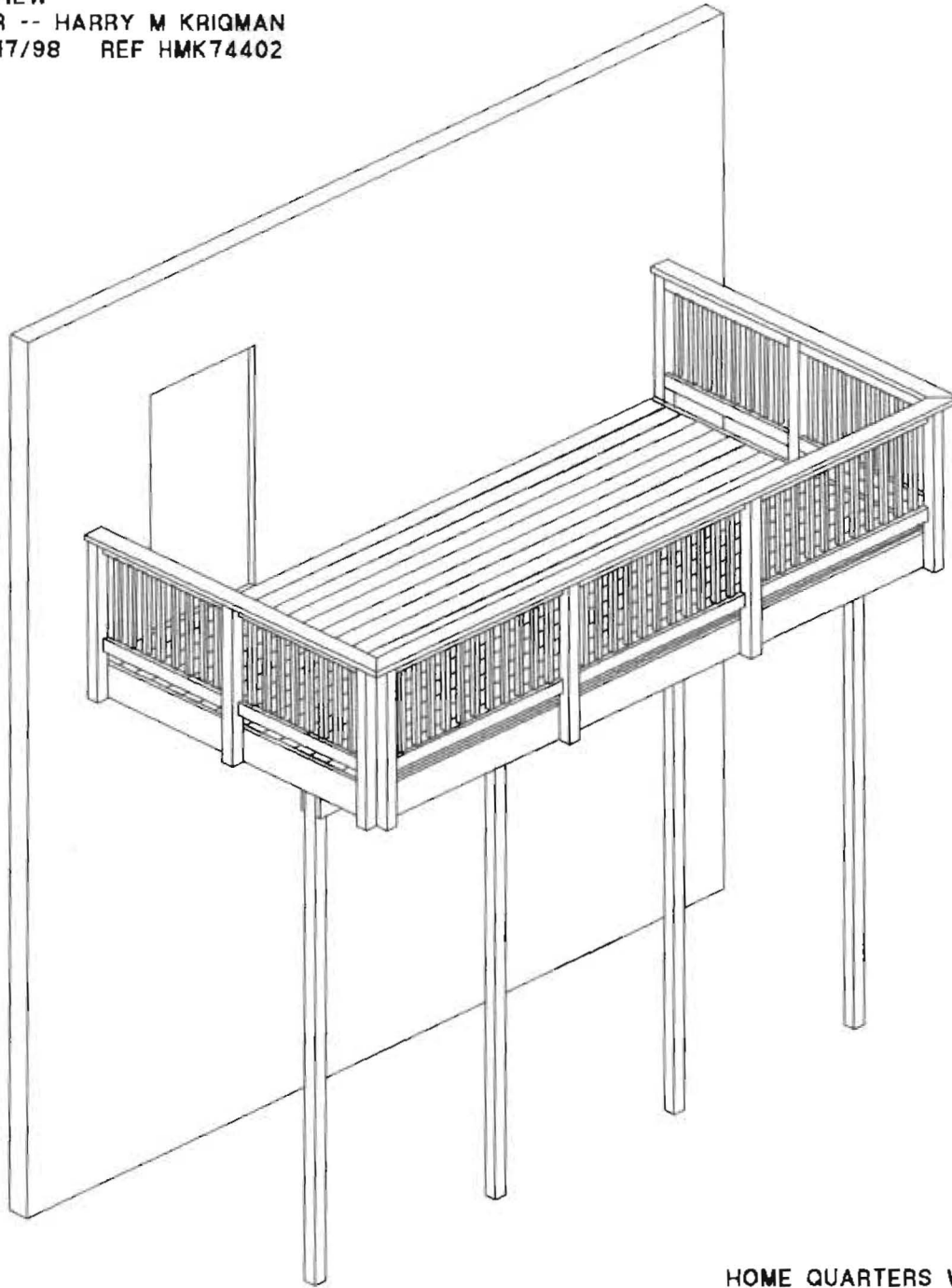
CUSTOM VIEW
CUSTOMER -- S S S
DATE 04/19/98 REF SSS65465



*See revised
plans*

HOME QUARTERS WAREHOUSE
300 CLARKS POND ROAD
SOUTH PORTLAND, MAINE

CUSTOM VIEW
CUSTOMER -- HARRY M KRIGMAN
DATE 07/17/98 REF HMK74402



*Received
7/17/98*

HOME QUARTERS WAREHOUSE
300 CLARKS POND ROAD
SOUTH PORTLAND, MAINE

BASIC GUIDELINES FOR DECK PERMITS

Materials needed to apply for permit:

- 1) Plot Plan - A Bird's eye view of your property showing where all your buildings are located in relationship to the lot lines and each other. You need to show those distances (the front, rear and sides) in feet.
- 2) Construction Plan - Cross Section. What dimensional lumber/materials are being used and what is their make-up?
- 3) Fee - Based on cost of work labor/materials. 25.00 1st 1,000 worth of work, 5.00 each additional 1,000.

The following check-off sheet can be used in most circumstances:

<u>Foundation</u>	<input type="checkbox"/>	Frost wall, min 4' below grade
	<input checked="" type="checkbox"/>	Stone tubes, min 4' below grade, 6" min on footing, hard pan or bedrock
	<input type="checkbox"/>	Other
<u>Sill</u>	<input type="checkbox"/>	Distance between foundation supports
<u>Joist Size</u>	<input type="checkbox"/>	2x6
	<input checked="" type="checkbox"/>	2x8
	<input type="checkbox"/>	2x10
<u>Joist Span</u>	<input checked="" type="checkbox"/>	6'0"
<u>Distance Between Joists</u>	<input checked="" type="checkbox"/>	16"oc
	<input type="checkbox"/>	24"oc
	<input type="checkbox"/>	other
<u>Decking</u>	<input checked="" type="checkbox"/>	5/4
	<input type="checkbox"/>	other/explain
<u>Stair Construction</u>	<input checked="" type="checkbox"/>	10" min tread
	<input checked="" type="checkbox"/>	7 3/4" max riser
<u>Guard Height</u>	<input type="checkbox"/>	36"
	<input checked="" type="checkbox"/>	42"

Guards shall be located along open-sided walking surfaces located 15 1/2" above the floor or below grade. Single family - min 36", all others 42", measured vertically above the leading edge of the tread or adjacent walking surface. BOCA 1005.5/1021.2

Balusters /under 4"

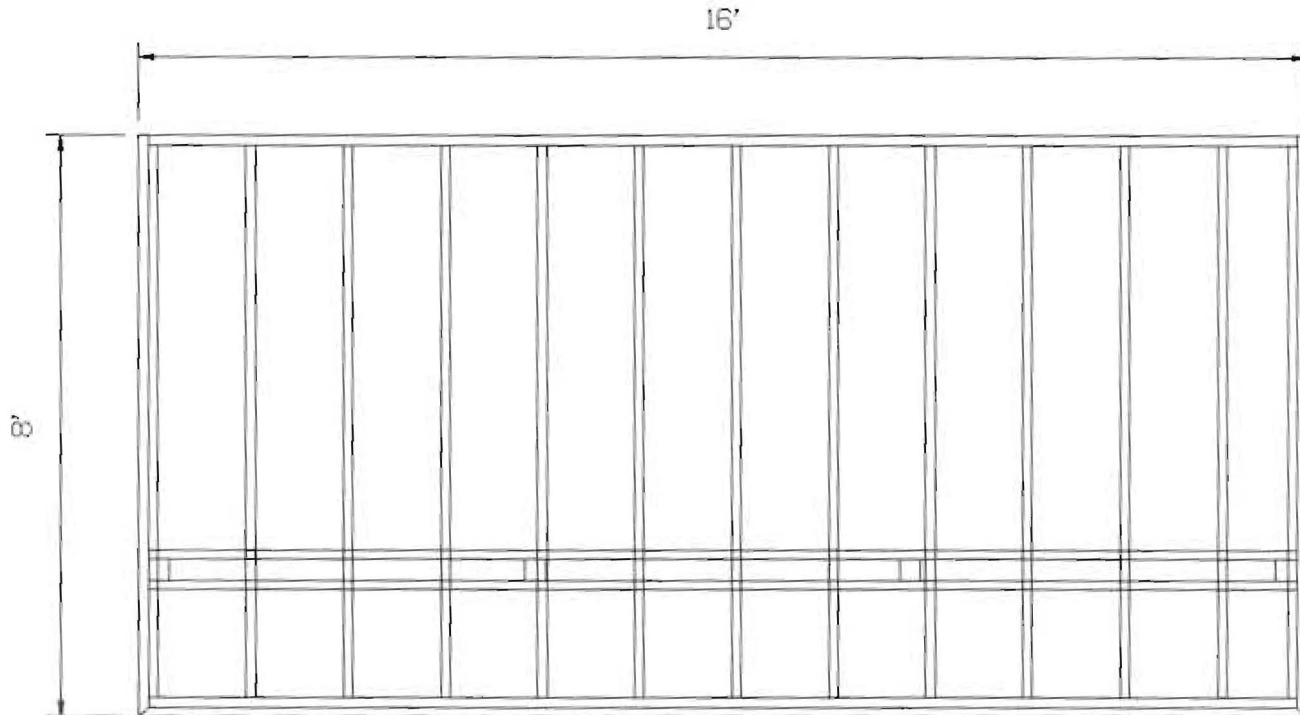
Open guards shall have balusters or be of a solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect.

Total Labor + Mat. #6900.00
Dunnage + Deck

#821.68

PLAN VIEW
CUSTOMER -- HARRY M KRIGMAN
DATE 07/17/98 REF HMK74402

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300 CLARKS POND ROAD
SOUTH PORTLAND, MAINE



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Received
7/17/98

RPPLST6 CAMA Real Property System - Residential Display 6/29/98

RPP092 Parcel Id: 143- - F-005-001 01/01 Acct: K2019098 10:39

Property Address 218 WALTON ST

Owner Name1 KRIGMAN HARRY M (l, f, i)

Name2

Address 58 NOYES ST

City/State/Zip PORTLAND ME 04103

Entrance Code Land Use 13 # of Units 3

Tenants

Route 76 Zone R5 Nbhd 107 District 5 Traffic 1

Total Sq Ft

Utilities 2 3 4 Desc 143-F-5 Living Area 2,123

WALTON ST 216-222

PERSHING ST 20-24

8884 SF

House Style 5 Year Built 1890 Total Rms 10 Total Bedrms 04

Baths Full 3 Half 0 Kitchen Remodeled 2 Bath Remodeled 2 Basement 4

Attic 1 Phy Cond 4 CDC AV Heating Type 2 3 3 Wood/Coal Burn 0

Next Screen [] Bldg Sketch Screen [] Return []