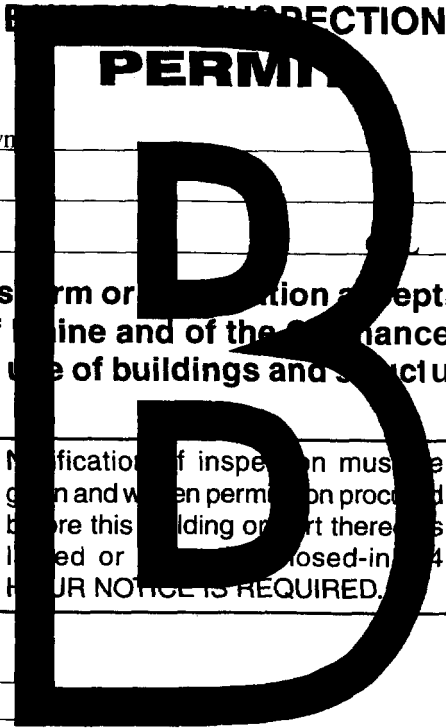


DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME

Please Read
Application And
Notes, If Any,
Attached



Permit Number 060491
MAY 17 2006

RECEIVED

This is to certify that SMITH JACOB /Home ownr

has permission to Deck for hot tub and grill

AT 142 H002001

provided that the person or persons who accept this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission procedure is completed or closed-in 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____
DepartmentName

Thomas M. Moulton 5/17/06
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No:	06-0431	Issue Date:	MAY 17 2006	SECTION:	42	PERMITS:	H002001
DEPT. OF BUIL.		CITY OF PORTLAND, ME					

Location of Construction: 116 WALTON ST	Owner Name: SMITH JACOB	Owner Address: 116 WALTON ST	Phone:
Business Name:		Contractor Address: Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	Zone: R5

Past Use: Single Family	Proposed Use: Single Family deck for hot tub and grill	Permit Fee: \$39.00	Cost of Work: \$2,000.00	CEO District: 4
FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied INSPECTION: Use Group: R-3 Type: SB IRC 2003 Signature: [Signature] Date: 5/17/06		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature _____ Date _____		

Permit Taken By: dmartin	Date Applied For: 04/11/2006	Zoning Approval		
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: 5/17/06	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:
	[Handwritten notes and signatures]		

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-0491	Date Applied For: 04/07/2006	CBL: 142 H002001
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Location of Construction: 116 WALTON ST	Owner Name: SMITH JACOB	Owner Address: 116 WALTON ST	Phone:
Business Name:	Contractor Name: Home owner	Contractor Address: Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	

Proposed Use: Single Family deck for hot tub and grill	Proposed Project Description: Deck for hot tub and grill
--	--

Dept: Zoning	Status: Approved with Conditions	Reviewer: Ann Machado	Approval Date: 05/01/2006
Note: The deck must be a minimum of 8' from the right property line. The house is two story so the side setback is 12 feet, but the 4' can be borrowed from the left property line. Ok to Issue: <input checked="" type="checkbox"/>			
1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.			
2) This permit is being issued on the information provided by the property owner. He claims that he has at least 10' feet from his right side property line; the deck must be a minimum of 8'. At the footing inspection, the inspector may determine that a survey is needed to locate the deck from the side property line.			
Dept: Building	Status: Approved	Reviewer: Tom Markley	Approval Date: 05/17/2006
Note: Ok to Issue: <input type="checkbox"/>			
1) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.			

Comments: 5/12/2006-tm: called owner/contractor and left a message that more info was needed before permit can be issued.



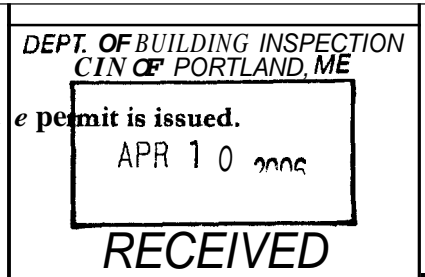
W ⁿ	
Total Square Footage of Proposed Structure 287	Square Footage of Lot 15,600
Assessor's Chart, Block & Lot Chart# 142 Block# H Lot# 2	Owner: JACOB MITCHELL Telephone: 867-7110
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: JACOB MITCHELL 6 WALTON ST PORTLAND, ME
	cost Of Work: \$ 2,000 Fee: \$ 39 C of O Fee: \$ _____
Current Specific use: _____ If vacant, what was the previous use? BACK LAWN Proposed Specific use: DECK	
Project description: DECK FOR HOT TUB & GRILL ON BACK OF PROPERTY	
Contractor's name, address & telephone: Who should we contact when the permit is ready: JACOB MITCHELL Mailing address: _____ Phone: 867-7110 116 WALTON ST PORTLAND ME 04103	

Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

This is not a permit; you may not commence ANY work until the permit is issued.

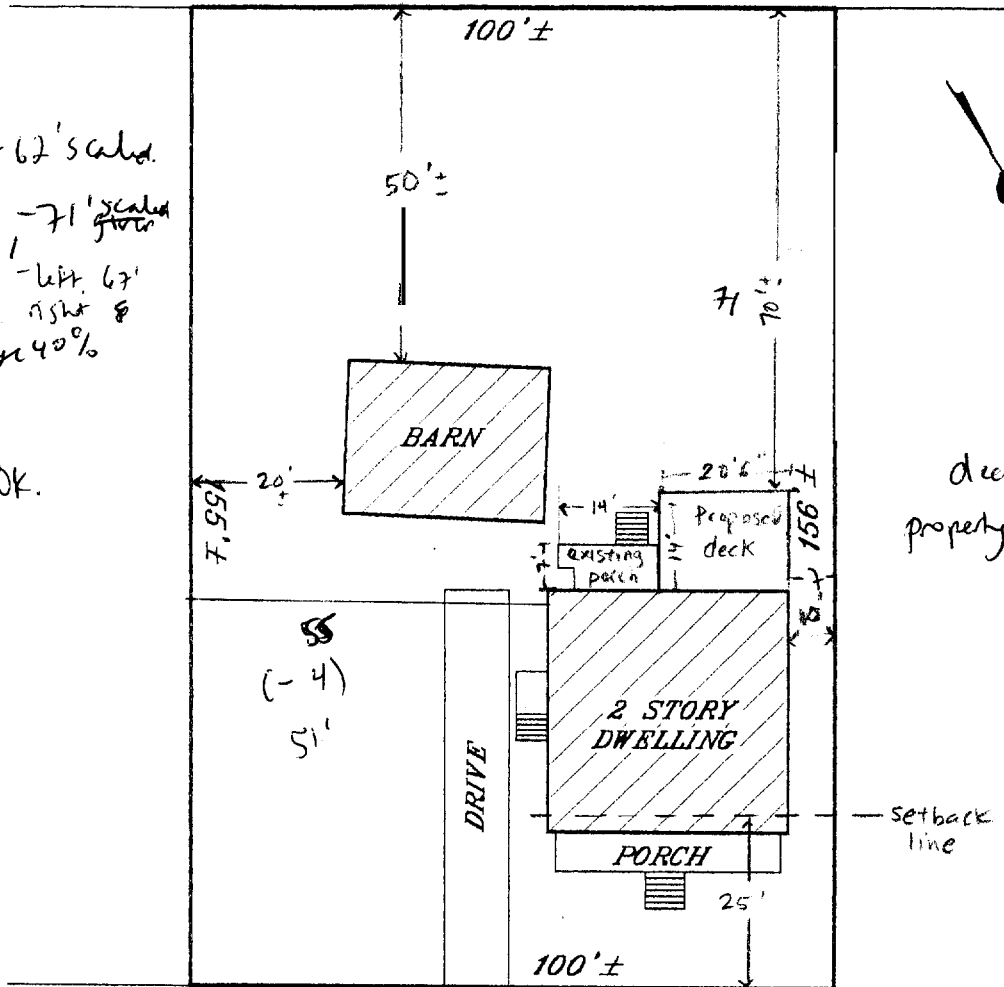


ADDRESS: 110 WALTON STREET
PORTLAND, MAINE

INSPECTION DATE: 11/12/04
SCALE: 1" = 30'

R5
F 20' req. - 62' scaled
R 20' req. - 71' scaled
S 2 story 12' - left 67'
right 8'
MAY NOT EXCEED 40%

6210
1763
744
deck 287
2794
OK.



deck must be 8' from
property line.

APPARENT R/W TO FOREST AVENUE

WALTON STREET

INSP. BY HSJ

SEE PROVIDED TITLE REFERENCES FOR APPLICABLE APPURTENANCES, IF ANY.

APPLICANT: JACOB SMITH REQ. PARTY: GATEWAY TITLE OF MAINE, INC.
OWNER: CHRIS & KAREN CHALEKI ATTORNEY: _____
LENDER: _____ FILE No. 20416769 FIELD BOOK: _____

TITLE REFERENCES:
DEED BOOK: 18562 PAGE: 250
PLAN BOOK: _____ PAGE: _____ LOT: _____
COUNTY: CUMBERLAND

MUNICIPAL REFERENCE:
MAP _____ BLOCK: H LOT: 2

THE DWELLING DOES NOT FALL WITHIN A SPECIAL FLOOD
HAZARD ZONE PER FEMA COMMUNITY MAP No. 230051
PANEL: 0007C ZONE: X DATE: 12/8/98

THE DWELLING WAS ~~NOT~~ IN COMPLIANCE WITH
MUNICIPAL ZONING SETBACK REQUIREMENTS AT
THE TIME OF CONSTRUCTION.

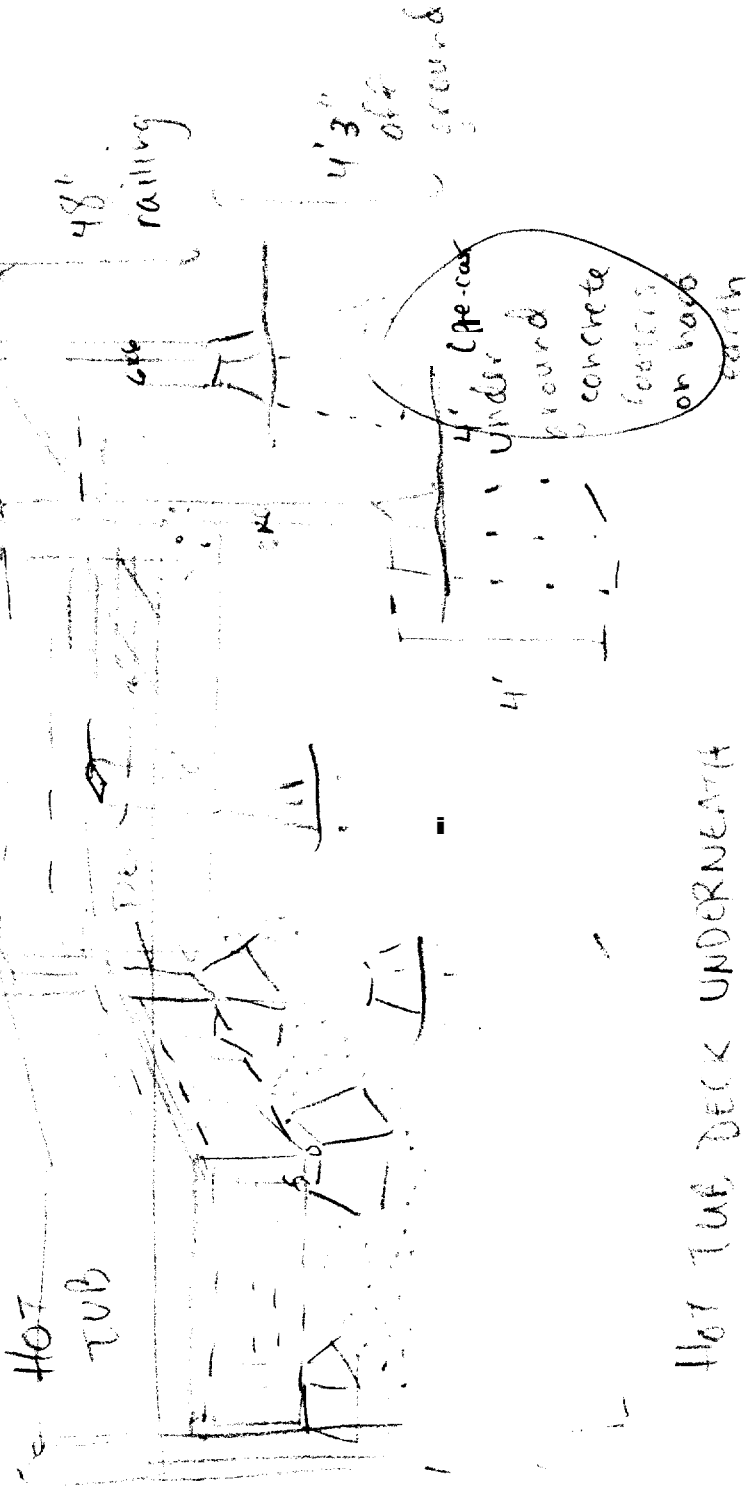
COMMENTS:

YOUR FILE #: _____

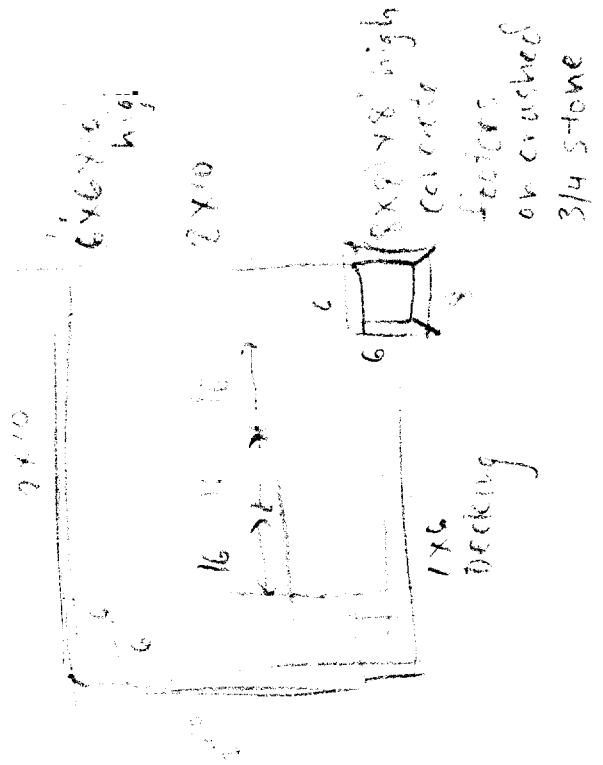
NADEAU & LODGE, INC.
PROFESSIONAL LAND SURVEYORS
918 BRIGHTON AVENUE
PORTLAND, ME 04108
(207) 878-7870
232 CLARKS WOODS ROAD
LYMAN, ME 04002
(207) 499-8368

THIS INSPECTION IS VALID ONLY WITH AN
EMBOSSER SEAL AND IS NULL & VOID

House



HOT TUB DECK UNDERNEATH



This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number	1 of 1
Parcel ID	142 H002001
Location	116 WALTON ST
Land Use	SINGLE FAMILY
Owner Address	SMITH JACOB 116 WALTON ST PORTLAND ME 04103
Book/Page	22085/239
Legal	142-H-2 WALTON ST 112-118 15525 SF

Current Assessed Valuation Fur Fiscal Year 2006

Land	Building	Total
\$57,790	\$221,110	\$278,900

Estimated Assessed Valuation For Fiscal Year 2007*

Land	Building	Total
\$76,200	\$294,800	\$371,000

* Value subject to change based upon review of property status as of 4/1/06.
The tax rate will be determined by City Council in May 2006.

Property Information

Year Built 1887	Style Old Style	Story Height 2	Sq. Ft. 2812	Total Acres 0.356		
Bedrooms 4	Full Baths 4	Half Baths	Total Rooms 8	Attic Unfin	Basement Full	

Outbuildings

Type FLAT BARN	Quantity 1	Year Built 1900	Size 24X31	Grade B	Condition A
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Sales Information

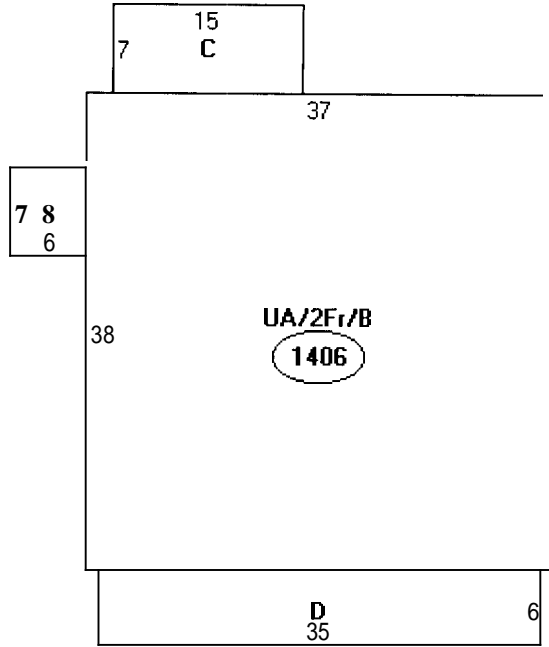
Date	Type	Price	Book/Page
12/06/2004	LAND + BLDING	\$440,000	22085-239
12/01/2002	LAND + BLDING	\$195,000	18562-250
03/01/1998	LAND + BLDING	\$104,000	13656-025
04/01/1996	LAND + BLDING	\$92,500	12433-300

Picture and Sketch

Picture	Sketch	Tax Map
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[Click here](#) to view Tax Roll Information.





Descriptor/Area

A:UA/2Fr/B
1406 sqft

E:DFP
42 sqft

C:DFP
105 sqft

D:DFP
210 sqft

1763

BUILDING A DECK???

INFORMATION REQUIRED WITH YOUR APPLICATION

The following is a guideline of information required for the review of a deck application. It is intended to help you supply proper and complete application packages. Please label all of the following items on your plans. Thank you!

1. A complete plot plan showing all structures & proposed structures with distances to all property lines labeled.

2. Type of foundation system

- Diameter of concrete filled tube or pre cast concrete pier size 10 inch
- depth below grade (minimum 4'-0" below grade) 4 T men
- anchorage of column to footing 1x6 lag bolts
- spacing and location of tubes/piers 5 FT (around 4 corners of (POST) TUB)

3. Framing Members

- Columns – wood size and location (members supporting framing of floor system) 6x6
- Ledger size attached to building 2x12
- Fastener size and spacing attaching ledger ~~2x2~~ carriage bolts
- Girder Size and spans carrying floor system 2x(2x12)
- Joist size, span, and spacing 2x12
- Joist hangers or ledger Joist hangers

4. Guardrails & Handrail Details

- Guardrail height 48 inches
- Baluster spacing LESS 4 inches
- Handrail height existing stairs

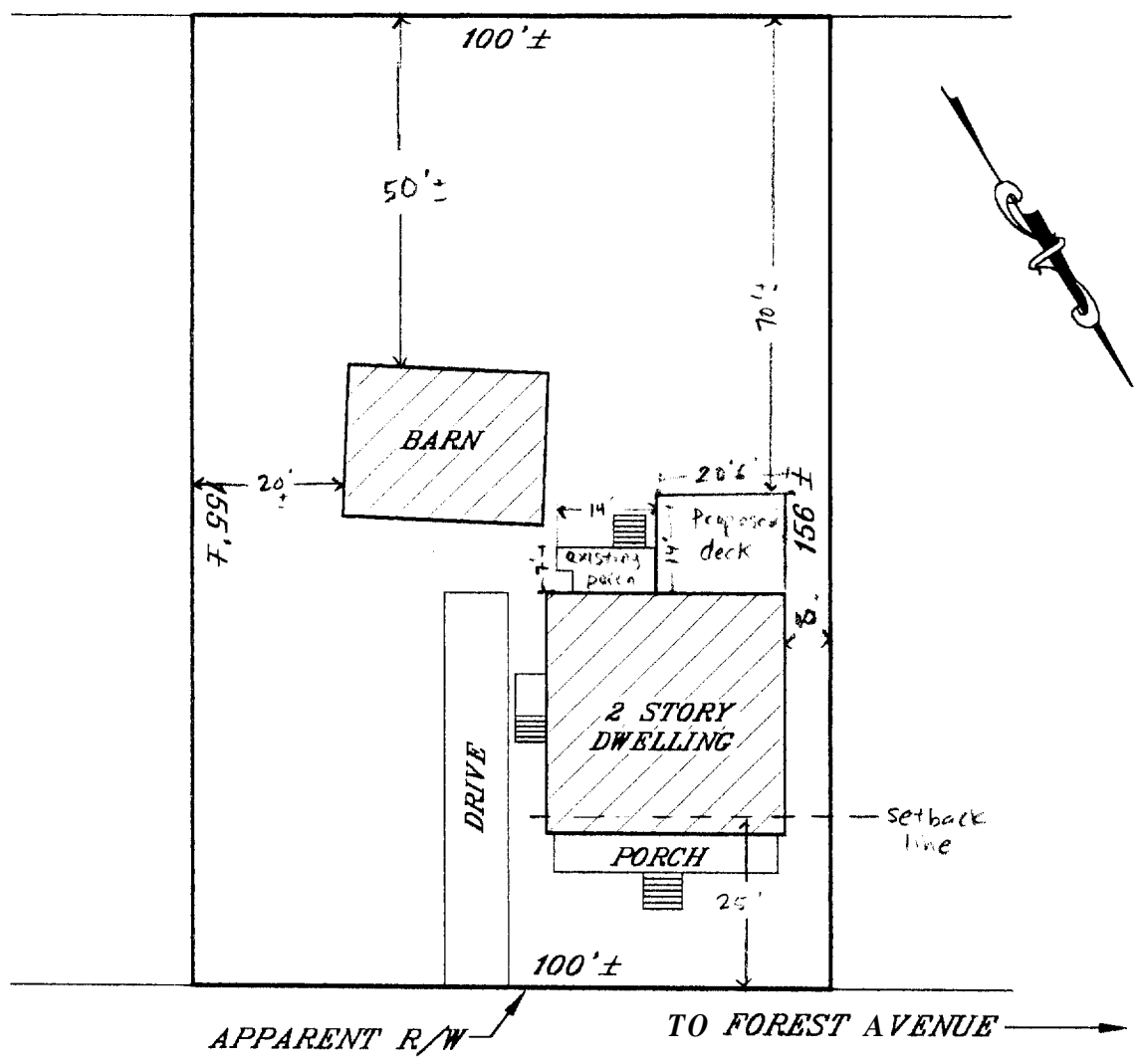
5. Stair Details

- Tread depth (measured nosing to nosing)
- Riser height
- Nosing on tread
- Width of stairs

existing stairs (no new stairs)
existing stairs already there on
old Deck/STAIRS

ADDRESS: 116 WALTON STREET
PORTLAND, MAINE

INSPECTION DATE: 11/19/04
SCALE: 1" = 30'



WALTON STREET

INSP. BY HSJ

SEE PROVIDED TITLE REFERENCES FOR APPLICABLE APPURTENANCES, IF ANY.

APPLICANT: JACOB SMITH REQ. PARTY: GATEWAY TITLE OF MAINE, INC.
 OWNER: CHRIS & KAREN CHALEKI ATTORNEY: _____
 LENDER: _____ FILE No. 20416769 FIELD BOOK: _____

TITLE REFERENCES:
 DBED BOOK: 18562 PAGE: 250
 PLAN BOOK: _____ PAGE: _____ LOT: _____
 COUNTY: CUMBERLAND

YOUR FILE #: _____

MUNICIPAL REFERENCE:
 MAP: 142 BLOCK: H LOT: 2

THE DWELLING DOES NOT FALL WITHIN A SPECIAL FLOOD HAZARD ZONE PER FEMA COMMUNITY MAP No. 230051
 PANEL: 0007C ZONE: X DATE: 12/8/98

THE DWELLING WAS ~~NOT~~ IN COMPLIANCE WITH MUNICIPAL ZONING SETBACK REQUIREMENTS AT THE TIME OF CONSTRUCTION.

COMMENTS:

NADEAU & LODGE, INC.
 PROFESSIONAL LAND SURVEYORS

318 BRIGHTON AVENUE
 PORTLAND, ME 04102
 (207) 878-7870

232 CLARES WOODS ROAD
 LYMAN, ME 04008
 (207) 499-2358

[Handwritten Signature]
 11-22-04

THIS INSPECTION IS VALID ONLY WITH AN EMBOSSED SEAL AND IS NULL & VOID 90 DAYS AFTER INSPECTION DATE.