

**City of Portland, Maine – Building or Use Permit Application** 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 28 Holly St		Owner: Ernest Pelletier		Phone:		Permit No: <b>970509</b>	
Owner Address:		Lessee/Buyer's Name: Community Housing of Maine		Phone:		Business Name:	
Contractor Name: Diversified Construction Services		Address: 333 Palmer Ave Portland, ME 04103		Phone: 797-9210		<div style="border: 2px solid black; padding: 5px; text-align: center;"> <b>PERMIT ISSUED</b>  <b>MAY 29 1997</b>  <b>CITY OF PORTLAND</b> </div>	
Past Use: 2-fam		Proposed Use: Same		<b>COST OF WORK:</b> \$ 21,000.00 <b>PERMIT FEE:</b> \$ 125.00			
Proposed Project Description: Interior & Exterior Renovations				<b>FIRE DEPT.</b> <input type="checkbox"/> Approved <input type="checkbox"/> Denied Signature: _____		<b>INSPECTION:</b> Use Group <i>B3</i> Type <i>53</i> Signature: <i>BOCA</i>	
				<b>PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)</b> Action: Approved <input type="checkbox"/> Approved with Conditions: <input type="checkbox"/> Denied <input type="checkbox"/> Signature: _____ Date: _____		Zoning Approval: _____ <b>Special Zone or Reviews:</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>	
Permit Taken By: Mary Gresik		Date Applied For: 21 May 1997					

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

**PERMIT ISSUED WITH REQUIREMENTS**

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

SIGNATURE OF APPLICANT <i>David Keichert</i>		ADDRESS:		DATE: 21 May 1997		PHONE: 797-1111	
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE						PHONE: 797-1111	

**Zone:** \_\_\_\_\_ **CBL:** 142-G-006

**Zoning Approval:** \_\_\_\_\_

**Zoning Appeal**

Variance  
 Miscellaneous  
 Conditional Use  
 Interpretation  
 Approved  
 Denied

**Historic Preservation**

Not in District or Landmark  
 Does Not Require Review  
 Requires Review

**Action:** *11*

Approved  
 Approved with Conditions  
 Denied

Date: \_\_\_\_\_

**CEO DISTRICT** 6

COMMENTS

6-11-97 Teary out the counters in kitchen  
7-8-97 Kitchen work complete. Bathroom being replaced.  
10-27-97 Job is all completed. State needs a CO

Inspection Record

Type	Date
Foundation: _____	_____
Framing: _____	_____
Plumbing: _____	_____
Final: _____	_____
Other: _____	_____

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Proposed Project Description: Interior & Exterior Renovations		<b>FIRE DEPT.</b> <input type="checkbox"/> Approved <input type="checkbox"/> Denied Signature: <i>[Signature]</i>		<b>INSPECTION:</b> Use Group <i>B3</i> Type <i>513</i> Signature: <i>[Signature]</i>		Zone: <i>R-5</i> CBL: 142-G-006 Zoning Approval: <i>2 units ok per microfiche</i> <b>Special Zone or Reviews:</b> <input type="checkbox"/> Shoreland <i>condition!</i> <input type="checkbox"/> Wetland <i>to remain 2</i> <input type="checkbox"/> Flood Zone <i>Dwelling</i> <input type="checkbox"/> Subdivision <i>units</i> <input type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/> <i>OK 5/28/97</i>
		<b>PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)</b> Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____				
Permit Taken By: Mary Gresik		Date Applied For: 21 May 1997				<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied

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SIGNATURE OF APPLICANT <i>[Signature]</i> David Reichert	ADDRESS:	DATE: 21 May 1997	PHONE: 797-9210
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE <i>[Signature]</i> Same			PHONE: 797-9210

**Action:**

Approved  
 Approved with Conditions  
 Denied

Date: *5/21/97*

*[Signature]*

**CEO DISTRICT** *[Signature]*



CITY OF PORTLAND, MAINE  
Department of Building Inspection

# Certificate of Occupancy

LOCATION 28 Holly St (142-G-006)

Issued to Community Housing of Maine Date of Issue 07 November 1997

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 970509, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

Entirem

Two Family Dwelling

Limiting Conditions:

This certificate supersedes  
certificate issued

Approved:

11/6/97 *W. M. [Signature]*  
\_\_\_\_\_  
(Date) Inspector

*[Signature]*  
\_\_\_\_\_  
Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

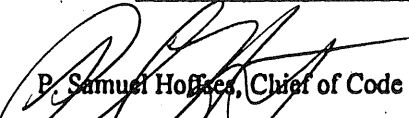
# BUILDING PERMIT REPORT

DATE: 29 May 97 ADDRESS: 28 Holly St  
REASON FOR PERMIT: Interior & exterior renovations  
BUILDING OWNER: Ernest Pelle Tier  
CONTRACTOR: Diversified Const. Services  
PERMIT APPLICANT: ↑ APPROVAL: \*1/\*2\*7\*9\*15\*11 DENIED

## CONDITION(S) OF APPROVAL

1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
  2. Before concrete for foundation is placed, approvals from the ~~Development Review Coordinator and~~ Inspection Services must be obtained. (A 24 hour notice is required prior to inspection)
  3. Precaution must be taken to protect concrete from freezing.
  4. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
  5. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of ½ inch gypsum board or the equivalent applied to the garage means of ½ inch gypsum board or the equivalent applied to the garage side. (Chapter 4 Section 407.0 of the BOCA/1996)
  6. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993) U.L. 103.
  7. Guardrail & Handrails A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42", except Use Group R which is 36". In occupancies in Use Group A, B, H-4, I-1, I-2 M and R and public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect.
  8. Headroom in habitable space is a minimum of 7'6".
  9. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 3/4" maximum rise. All other Use group minimum 11" tread. 7" maximum rise.
  10. The minimum headroom in all parts of a stairway shall not be less than 80 inches.
  11. Every sleeping room below the fourth story in buildings of use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. ft.
  12. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units.
  13. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closer's.
  14. The boiler shall be protected by enclosing with (1) hour fire-rated construction including fire doors and ceiling, or by providing automatic extinguishment.
  15. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 19, 920.3.2 (BOCA National Building Code/1996), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):
    - In the immediate vicinity of bedrooms
    - In all bedrooms
    - In each story within a dwelling unit, including basements
- In addition to the required AC primary power source, required smoke detectors in occupancies in Use Groups R-2, R-3 and I-1 shall receive power from a battery when the AC primary power source is interrupted. (Interconnection is required)

16. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type.
17. The Fire Alarm System shall be maintained to NFPA #72 Standard.
18. The Sprinkler System shall maintained to NFPA #13 Standard.
19. All exit signs, lights, and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023. & 1024. Of the City's building code. (The BOCA National Building Code/1996)
20. All construction and demolition debris must be disposed at the City's authorized reclamation site. The fee rate is attached. Proof of such disposal must be furnished to the office of Inspection Services before final Certificate of Occupancy is issued or demolition permit is granted.
21. Section 25-135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
22. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification to the Division of Inspection Services.
23. This permit does not excuse the applicant from obtaining any license which may be needed from the City Clerk's office.
24. Ventilation shall meet the requirements of Chapter 12 Sections 1210. of the City's Building Code.
25. All electrical and plumbing permits must be obtained by a Master Licensed holders of their trade.
26. \_\_\_\_\_
27. \_\_\_\_\_
28. \_\_\_\_\_



P. Samuel Hoffes, Chief of Code Enforcement  
cc: Lt. McDougall, PFD  
Marge Schmuckal

# ELECTRICAL PERMIT

## City of Portland, Me.



To the Chief Electrical Inspector, Portland Maine:  
 The undersigned hereby applies for a permit to make electrical installations  
 in accordance with the laws of Maine, the City of Portland Electrical Ordinance,  
 National Electrical Code and the following specifications:

Date 9/22/97

LOCATION: 28-28 1/2 Holly

Permit # 12585

OWNER Community Housing of Maine ADDRESS \_\_\_\_\_

								TOTAL EACH FEE		
OUTLETS		Telephone		Data		CATV			.20	
	15	Receptacles	10	Switches	12	Smoke Detector		37	.20	
FIBER OPTICS									15.00	
FIXTURES		incandescent		fluorescent					.20	
		fluorescent strip							.20	
SERVICES		Overhead				TTL AMPS TO	800		15.00	
		Underground					800		15.00	
Temporary Service		Overhead				AMPS OVER	800		25.00	
		Underground					800		25.00	
METERS		(number of)							1.00	
MOTORS		(number of)							2.00	
RESID/COM		Electric units							1.00	
HEATING		oil/gas units		Interior		Exterior			5.00	
		Ranges		Cook Tops		Wall Ovens			2.00	
APPLIANCES		Water heaters	2	Fans	1	Dryers		3	2.00	
		Dishwasher		Compactors		Others (denote)			2.00	
MISC. (number of)		Air Cond/win							3.00	
		Air Cond/cent				Pools			10.00	
		HVAC		EMS		Thermostat			5.00	
		Signs							10.00	
		Alarms/res							5.00	
		Alarms/com							15.00	
		Heavy Duty(CRKT)							2.00	
		Circus/Carnv							25.00	
		Alterations							5.00	
		Fire Repairs							15.00	
		E Lights							1.00	
		E Generators							20.00	
PANELS		Service		Remote		Main			4.00	
		TRANSFORMER							5.00	
		0-25 Kva							5.00	
		25-200 Kva							8.00	
		Over 200 Kva							10.00	
								TOTAL AMOUNT DUE		25.00
								MINIMUM FEE/COMMERCIAL 35.00		25.00
								MINIMUM FEE		25.00

INSPECTION: Will be ready \_\_\_\_\_ or will call XX

CONTRACTORS NAME Joseph Nixon MASTER LIC. # 12585  
 ADDRESS POBox 532, Westbrook, ME 04098-0532 LIMITED LIC. # \_\_\_\_\_  
 TELEPHONE 839-6660

SIGNATURE OF CONTRACTOR *Joseph Nixon*





SCHEDULE C

CODE ENFORCEMENT OFFICER'S CHECKSHEET

TO: Code Enforcement Officer  
FROM: Maine State Housing Authority  
RE: Property Information

The Maine State Housing Authority offers a program for the financing of supportive housing projects. As part of the application package, we are requesting that the local code enforcement officer complete the checklist below pertaining to the proposed project. This information will help us evaluate the feasibility of the project.

We thank you in advance for your cooperation.

\*\*\*\*\*

Please complete, to the best of your knowledge, the following checklist to assist the Maine State Housing Authority in determining the feasibility of the following project:

PROJECT DATA:

Project Owner: when done: Community Housing of Maine  
Project Address: 28 Holly Street, Portland

Does this property have any known code violations?  yes  no

Does the building currently comply with local zoning requirements?  yes  no

Are you familiar with the proposed changes/rehabilitation to the property?  yes  no

Will the proposed changes comply with all applicable codes and requirements?  yes  no

If not, please describe in detail

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

COMMENTS:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Signed: \_\_\_\_\_  
Code Enforcement Officer

142-6-006  
#97-0509

BUDG. INSPECTORS  
NAME  
MERRYL LEARY 874-8701  
CITY OF PORTLAND  
389 CONGRESS ST.  
INSPECTION DIVISION  
PORTLAND, ME 04101

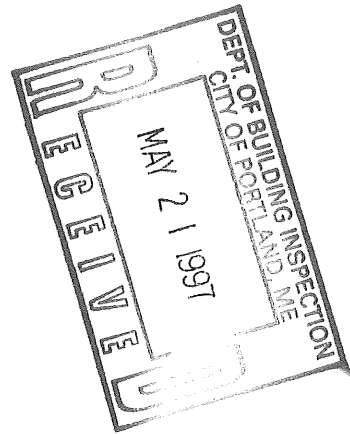


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# PROJECT MANUAL

28 & 28 1/2 HOLLY STREET RENOVATIONS  
Portland Maine

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**OWNER:**

**COMMUNITY HOUSING OF MAINE**

\_\_\_\_\_  
Signature

31 Exchange Street, Suite 400  
Portland, Maine 04101  
(207) 828-0820

**ARCHITECT:**

**CURTIS WALTER STEWART ARCHITECTS**

\_\_\_\_\_  
Signature

434 Cumberland Avenue  
Portland, Maine 04101  
(207) 774-4441

**PERMANENT FINANCING:**

**MAINE STATE HOUSING AUTHORITY**

\_\_\_\_\_  
Signature

353 Water Street  
Augusta, Maine 04330-4633  
(207) 262-4721

Issue Date:

May 1, 1997

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# PROJECT INDEX

## 28 & 28 1/2 HOLLY STREET RENOVATIONS Portland Maine

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1. MSHA Supplemental Construction Standards	Pages 6
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7. MSHA Developer's Certificate of Completion	1
8. MSHA Certificate of Completion of Design Professional	1
9. SPECIFICATIONS	(See Specs)

Issue Date:

May 1, 1997

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CURTIS WALTER STEWART  
A r c h i t e c t s

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Portland, Maine

MAINE STATE HOUSING AUTHORITY

Supplemental Construction Standards

I. Standards for Construction and Contractor's Warranty.

The Development shall be constructed according to accepted working drawings and specifications, and in full compliance with applicable building codes and regulations. All materials and equipment shall be new, unless otherwise specified, and all construction shall be of good quality, free from faults and defects.

The Contractor warrants to the Developer, the Architect, and in consideration of the permanent financing of the Development by the Maine State Housing Authority, to the Authority that all construction will be accomplished in compliance with the Standards for Construction stated above.

II. Construction Contract Retainage.

For construction contracts less than \$450,000 stipulated sum or guaranteed maximum there shall be a 10% retainage on all progress payments made to the Contractor during construction.

For construction contracts from \$450,000 to \$900,000 there shall be a 10% retainage on all progress payments until the total amount of retainage equals \$45,000.

For construction contracts greater than \$900,000, there shall be a 10% retainage on all progress payments until construction is 50% complete.

The Bank or the Maine State Housing Authority may determine that sufficient reasons or circumstances exist with respect to a particular Development as to require greater retainage.

The retainage shall be held by the Bank until the Development is substantially complete and until any incomplete work escrows have been funded as provided in Paragraph VIII hereof.

III. Required On-site Facilities.

The Contractor shall provide the following on-site facilities:

- a. A site office of sufficient size for the review and discussion of the construction documents.
- b. A site phone
- c. A site toilet

- d. A current set of signed drawings, specifications, and other documents as amended and as accepted by HSHA for the use of HSHA's inspector at all times.
- e. A project sign which designates the project as an Equal Housing Opportunity project and includes references to the Project Name, Developer, Architect, Contractor, Bank, Bonding Company, and the HSHA. This sign should also provide a phone number for rental information, or the rental information may be provided for separately.

#### IV. HSHA Inspections.

##### a. Contractor requests for HSHA inspection

Request for all "scheduled" inspections described herein shall be provided to HSHA at least two (2) working days prior to the desired inspection date either in writing or by telephone.

##### b. Scheduled Inspections

HSHA requires scheduled inspections of the construction to determine that work is proceeding according to the Standards for Construction stated in Paragraph I above. HSHA reserves the option to make additional inspections for the same purposes. The scheduled inspections shall be as follows:

##### 1. Excavation completed: The following items shall be completed and visible for inspection:

- i. all excavation for footings and foundations;
- ii. forms for footings and any required footing reinforcing steel in place; and
- iii. batter boards or other suitable locating devices in place and wall lines established.

##### 2. Foundation preparation: The following items shall be completed and visible for inspection:

- i. forms for walls and any required reinforcing in place; and
- ii. forms shall be aligned, securely braced, and properly oiled.

3. Foundation completed: The following items shall be completed and visible for inspection prior to placing backfill:
  - i. all footings, foundation walls, piers, and any other foundation work including rodent barriers; and
  - ii. water-proofing and foundation drainage installation.
4. Concrete Slabs: An inspection of the noncapillary bed, slab vapor barrier, perimeter insulations, embedded piping, reinforcing steel, etc. shall be made prior to the placement of concrete floor slabs.
5. Close In: A "close in" inspection is required to inspect work completed after the initial inspections and prior to the concealment of all building systems. The following construction shall be completed and visible for inspection:
  - i. the structure shall be enclosed with all wall, ceiling and roof framing exposed;
  - ii. masonry veneer, if applicable, shall not be installed;
  - iii. interior wall and ceiling finish material and insulation shall not be installed, but roofing may be applied;
  - iv. heating, plumbing and electrical work shall be roughed in; and
  - v. footings and foundations for stoops, porches and terraces before backfilling, with any required reinforcing and flashing for slabs in place, before pouring slabs, if not inspected during previous inspections.
6. Final Inspection: At final inspection, all required construction shall be completed and ready for inspection. The Contractor shall arrange to have the building(s) open for the MSHA Inspector. The following items shall be completed and ready for inspection:
  - i. the dwelling structure completed, cleaned and ready for occupancy. This shall include the installation and operation of permanent equipment, buildings and on-site improvements except for those items specified and accepted as suitable for deferred completion in accordance with the provisions of an Incomplete Work Escrow (paragraph VIII).

- ii. finish grading, seeding, sodding, and landscape planting completed;
- iii. walks and drives completed, including their extension to the public walk, curb or pavement, and utilities installed including their extension and connection to off-site public mains;
- iv. fences, garden walls, retaining walls, and other accessory structures completed;
- v. off-site improvements, if any, completed;
- vi. all non-compliances noted by MSHA Inspector during construction shall have been corrected and accepted by MSHA;
- vii. As-built survey received by MSHA 5 business days prior to inspection.

c. Concealment

If the MSHA Inspector encounters construction that has been concealed before being inspected as required by a scheduled inspection or a follow-up thereto, he may require the uncovering of concealed work or an alternative verification acceptable to MSHA. MSHA shall not be liable for the cost of any such uncovering or alternative verification. The Inspector shall note on the Field Report any concealment.

d. Reinspection

Any inspection performed which MSHA in its sole discretion determines to be necessary due to an action, omission, or deficiency caused by the Contractor, Developer, or Architect shall be considered a reinspection and shall be billable to the Developer to cover the costs of labor and expense to the Maine State Housing Authority. The rate of charge shall be \$25 per man-hour from the MSHA office to site and return. A maximum charge per inspection shall not exceed \$200.00.

Reinspection shall be made after corrections have been completed and the Contractor or Architect shall notify the Authority of readiness for reinspection as provided in Paragraph IV A above.

e. Inspection Reports

A Field Report is generally provided to the Contractor following each inspection or reinspection. The Contractor must carefully review his copy of the Field Report and correct any non-compliance.

MSHA may, in order to avoid duplication of effort, rely upon the inspection and report of the Architect with respect to any required inspection covered by Paragraph IV B above.

#### V. Corrective Actions

Upon its sole determination at any time that the construction is not proceeding or has not proceeded or been completed in compliance with the Standards for Construction stated in Paragraph I above, MSHA without the consent of the Architect may require of either the Contractor or the Developer or both, any of the following corrective actions:

- a. Repair or correct non-compliance; then notify MSHA for reinspection.
- b. Stop construction in area of non-compliance until further notice.
- c. Establish a full time Project Representative of the Architect, as provided in the AIA Standard Form of Agreement Between Owner and Architect.

The one-year period referred to in §13.2.2 of the General Conditions of the Contract for Construction for correction of the work shall commence no earlier than the date of issuance by MSHA of a Certificate of Occupancy for the Development.

#### VI. Change Orders.

Any modifications, including but not limited to additions, variations, substitutions, or revisions to the MSHA accepted Working Drawings and Specifications shall be submitted to MSHA, the Architect, Developer and the Bank for review and acceptance prior to the execution of those changes. All change orders shall be submitted on the Architect's A.I.A. Change Order Form and shall be accompanied by adequate information describing the proposed changes including drawings and description of materials when needed. MSHA may request such additional information as it deems reasonably necessary under the circumstances.

#### VII. Contract Administration.

It is the responsibility of the Bank and the Architect to administer the construction loan and, in addition, to determine that work conforms to the accepted plans and specifications and applicable building codes and regulations.

#### VIII. Incomplete Work Escrow.

When completion of site improvements is prevented by seasonal conditions or other considerations acceptable to MSHA as being beyond the control of the Contractor, the final inspection shall not include the incomplete work provided MSHA finds that the development can be occupied without hazards caused by such incomplete work.



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MSHA will require a complete written description of the deferred work, the holding in escrow of a sum of money equal to not less than one and one-half times the MSHA's estimated cost of completion, and establishment of a suitable date of completion of the deferred work items. MSHA will require an inspection of the deferred work upon completion and prior to the release of any escrow amount.

Final Payment is not due the Contractor until completion of all deferred work which is the Contractor's responsibility under the Construction Contract.

IX. Interpretation.

To the extent that these Supplemental Construction Standards may be inconsistent with any other provisions of the Construction Contract, these Supplemental Construction Standards shall prevail.

# CHANGE ORDER

AIA DOCUMENT G701

OWNER	<input type="checkbox"/>
ARCHITECT	<input type="checkbox"/>
CONTRACTOR	<input type="checkbox"/>
FIELD	<input type="checkbox"/>
OTHER	<input type="checkbox"/>

PROJECT:  
(name, address)

CHANGE ORDER NUMBER:

TO CONTRACTOR:  
(name, address)

DATE:

ARCHITECT'S PROJECT NO:

CONTRACT DATE:

CONTRACT FOR:

The Contract is changed as follows:

Not valid until signed by the Owner, Architect and Contractor.

The original (Contract Sum) (Guaranteed Maximum Price) was ..... \$

Net change by previously authorized Change Orders ..... \$

The (Contract Sum) (Guaranteed Maximum Price) prior to this Change Order was ..... \$

The (Contract Sum) (Guaranteed Maximum Price) will be (increased) (decreased) (unchanged) by this Change Order in the amount of ..... \$

The new (Contract Sum) (Guaranteed Maximum Price) including this Change Order will be ..... \$

The Contract Time will be (increased) (decreased) (unchanged) by ( ) days.

The date of Substantial Completion as of the date of this Change Order therefore is

NOTE: This summary does not reflect changes in the Contract Sum, Contract Time or Guaranteed Maximum Price which have been authorized by Construction Change Directive.

_____ ARCHITECT	_____ CONTRACTOR	_____ OWNER
_____ Address	_____ Address	_____ Address
_____ BY	_____ BY	_____ BY
_____ DATE	_____ DATE	_____ DATE

MSHA \_\_\_\_\_



CAUTION: You should sign an original AIA document which has this caution printed in red. An original assures that changes will not be obscured as may occur when documents are reproduced.

TO OWNER: PROJECT: APPLICATION NO.: Distribution to:  
 PERIOD TO:  OWNER  
 PROJECT NOS.:  ARCHITECT  
 FROM CONTRACTOR: VIA ARCHITECT: CONTRACT DATE:  CONTRACTOR

CONTRACT FOR:

**CONTRACTOR'S APPLICATION FOR PAYMENT**

Application is made for payment, as shown below, in connection with the Contract. Continuation Sheet, AIA Document G703, is attached.

1. ORIGINAL CONTRACT SUM \$ \_\_\_\_\_
2. Net change by Change Orders \$ \_\_\_\_\_
3. CONTRACT SUM TO DATE (Line 1 ± 2) \$ \_\_\_\_\_
4. TOTAL COMPLETED & STORED TO DATE \$ \_\_\_\_\_  
(Column G on G703)
5. RETAINAGE:
  - a. \_\_\_\_\_% of Completed Work \$ \_\_\_\_\_  
(Columns D + E on G703)
  - b. \_\_\_\_\_% of Stored Material \$ \_\_\_\_\_  
(Column F on G703)
  - Total Retainage (Line 5a + 5b or Total in Column I of G703) \$ \_\_\_\_\_
6. TOTAL EARNED LESS RETAINAGE \$ \_\_\_\_\_  
(Line 4 less Line 5 Total)
7. LESS PREVIOUS CERTIFICATES FOR PAYMENT  
(Line 6 from prior Certificate) \$ \_\_\_\_\_
8. CURRENT PAYMENT DUE \$
9. BALANCE TO FINISH, INCLUDING RETAINAGE  
(Line 3 less Line 6) \$ \_\_\_\_\_

CHANGE ORDER SUMMARY	ADDITIONS	DEDUCTIONS
Total changes approved in previous months by Owner		
Total approved this Month		
TOTALS		
NET CHANGES by Change Order		

The undersigned Contractor certifies that to the best of the Contractor's knowledge, information and belief the Work covered by this Application for Payment has been completed in accordance with the Contract Documents, that all amounts have been paid by the Contractor for Work for which previous Certificates for Payment were issued and payments received from the Owner, and that current payment shown herein is now due.

CONTRACTOR:

By: \_\_\_\_\_ Date: \_\_\_\_\_

State of:

County of:

Subscribed and sworn to before me this \_\_\_\_\_ day of \_\_\_\_\_

Notary Public:

My Commission expires: \_\_\_\_\_

**ARCHITECT'S CERTIFICATE FOR PAYMENT**

In accordance with the Contract Documents, based on on-site observations and the data comprising this application, the Architect certifies to the Owner that to the best of the Architect's knowledge, information and belief the Work has progressed as indicated, the quality of the Work is in accordance with the Contract Documents, and the Contractor is entitled to payment of the AMOUNT CERTIFIED.

AMOUNT CERTIFIED \$ \_\_\_\_\_

(Attach explanation if amount certified differs from the amount applied for. Initial all figures on this Application and on the Continuation Sheet that are changed to conform to the amount certified.)

ARCHITECT:

By: \_\_\_\_\_ Date: \_\_\_\_\_

This Certificate is not negotiable. The AMOUNT CERTIFIED is payable only to the Contractor named herein. Issuance, payment and acceptance of payment are without prejudice to any rights of the Owner or Contractor under this Contract.



# CONTINUATION SHEET

AIA Document G702, APPLICATION AND CERTIFICATE FOR PAYMENT, containing Contractor's signed Certification is attached.

In tabulations below, amounts are stated to the nearest dollar.

Use Column I on Contracts where variable retainage for line items may apply.

APPLICATION NUMBER:

APPLICATION DATE:

PERIOD TO:

ARCHITECT'S PROJECT NO:

A ITEM NO.	B DESCRIPTION OF WORK	C SCHEDULED VALUE	D		E THIS PERIOD	F MATERIALS PRESENTLY STORED (NOT IN D OR E)	G		H BALANCE TO FINISH (C - G)	I RETAINAGE
			WORK COMPLETED				TOTAL COMPLETED AND STORED TO DATE (D + E + F)	%		
			FROM PREVIOUS APPLICATION (D + E)							

WAIVER OF LIEN AND CONTRACTOR'S WARRANTY

\_\_\_\_\_ (Name), being first duly sworn, disposes and says he/she is \_\_\_\_\_ (office/title) of \_\_\_\_\_ (company name), contractor for the rehabilitation of the property located at \_\_\_\_\_ in \_\_\_\_\_, Maine.

The undersigned contractor states that all laborers employed by contractor upon the aforesaid premises have been fully paid and that all suppliers of material and contractors used by him/her/it have been fully paid and further that no such laborers, material against said premises and no financing statements, chattel mortgages, condition or bill of sale, security agreement, or retention of title agreement has been given or executed by the undersigned for or in connection with any material, appliances, machinery, fixtures or furnishing placed upon or installed in the aforesaid premises by the undersigned.

In consideration of the progress payment to be made to the undersigned in the amount of \$ \_\_\_\_\_ pursuant to its contract, the undersigned does hereby waive any lien for all labor and material furnished by or through the undersigned pursuant to its contract at the above location.

The undersigned swears under penalty of law that he/she has read and understood this Certificate and that to the best of his/her knowledge and belief it is true.

Date: \_\_\_\_\_

Contractor: \_\_\_\_\_

Signature: \_\_\_\_\_

MAINE STATE HOUSING AUTHORITY

CONTRACTOR'S FINAL NOTICE, RELEASE OF LIENS, AND WARRANTY

Property Address: \_\_\_\_\_ Contract Date: \_\_\_\_\_  
\_\_\_\_\_

KNOW ALL MEN BY THESE PRESENTS:

1. As a final invoice, the undersigned hereby certifies that under the above contract there is due from and payable by the Owner to the Contractor under the above contract the sum of \$ \_\_\_\_\_.
2. The undersigned further certifies that all work required under this contract has been performed in accordance with the terms thereof, and that there are not unpaid claims for materials, supplies or equipment and no claims of laborers or mechanics for unpaid wages arising out of the performance of this contract.
3. That in consideration of the payment of the amount stated in Paragraph 1 hereof, the undersigned does hereby release the Owner from any and all claims arising under or by virtue of this contract; provided, however, that if for any reason the Owner does not pay in full the amount stated in Paragraph 1 hereof, said deduction shall not affect the validity of this release.
4. The undersigned hereby certifies that lead-based paints have not been used in the painting of any interior surfaces or those exterior surfaces which are readily accessible to children under seven (7) years of age. Lead-based paints are defined as those paints containing more than 5/100 percentum lead by weight (calculated as lead metal) in the total nonvolatile content of liquid paints or in the dried film of paints already applied.
5. The undersigned attaches herewith all manufacturers' and suppliers' written guarantees and warranties covering materials and equipment furnished under the contract.

The undersigned Contractor swears under penalty of law that he/she has read and understood this Certificate and that to the best of his/her knowledge and belief it is true.

Date: \_\_\_\_\_

Contractor: \_\_\_\_\_

Signature: \_\_\_\_\_

MAINE STATE HOUSING AUTHORITY  
DEVELOPER'S CERTIFICATE OF COMPLETION

Developer: \_\_\_\_\_

Property Address: \_\_\_\_\_  
\_\_\_\_\_

Project # \_\_\_\_\_ Number of Units After Rehabilitation: \_\_\_\_\_

The undersigned Developer certifies as follows:

1. The loan funds I have received from the Maine State Housing Authority to undertake property improvements have now been spent.
2. The improvements for which I used the money have been completed to my satisfaction and are the same improvements listed in my Maine State Housing Authority Application and contractor estimates, or as amended with the prior written consent of the Maine State Housing Authority.

The undersigned Developer swears under penalty of law that it have read and understood this Certificate and that to the best of it knowledge and belief it is true.

DEVELOPER:

By: \_\_\_\_\_  
Name:

Date: \_\_\_\_\_

By: \_\_\_\_\_  
Name:

Date: \_\_\_\_\_

APPROVAL BY MSHA:

By: \_\_\_\_\_  
Name:  
Its:

Date: \_\_\_\_\_

MAINE STATE HOUSING AUTHORITY

CERTIFICATE OF COMPLETION OF DESIGN PROFESSIONAL

Project: \_\_\_\_\_

Project Address: \_\_\_\_\_  
\_\_\_\_\_

Engineer/Architect: \_\_\_\_\_

I certify that the improvements to the above-named project have been completed to my knowledge, information and belief in accordance with the requirements of the working drawings and specifications and any modifications to them in accordance with any change orders approved by Maine State Housing Authority listed below. I have endeavored to guard the completed work against defects and deficiencies of construction, though not necessarily through exhaustive or continuous on-site inspections to check the quality of the construction.

Change Order	Date	MSHA Approval Date
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____

ENGINEER/ARCHITECT: \_\_\_\_\_

Date: \_\_\_\_\_

By: \_\_\_\_\_

Name:

Title:



## SPECIFICATION

### DIVISION 1 - GENERAL REQUIREMENTS

#### 01000 - Scope of Work:

1. The scope of work includes all items identified on the drawings, in the project manual, including the specifications, and as identified at the pre-bid conference.
2. Any additional contractual or negotiated agreements made with the owner.

#### 01010 - General:

1. Obtain and pay for building permits needed for the work.
2. Provide and perform all components of the work in a complete manner, with all normal accessories, for the intended use in fully functional condition.

#### 01027 - Applications for Payment:

1. Provide line item breakdown of construction costs on HUD form 2328.
2. Submit applications for payment on AIA form G 702, with breakdown of trades on continuation sheet G 703 matching breakdown on HUD 2328 and as required by MSHA. Submit partial lien waivers with each application in a form acceptable to the Owner and MSHA.

#### 01035 - Modification Procedures:

1. Modifications to the scope, time or cost of the Contract shall only be handled by Change Orders on AIA form G701 approved by the Owner, Architect, MSHA and Contractor.
2. Minor changes in the work, interpretations and supplemental instructions not affecting Construction time or cost may be handled by AIA G708 Field Order issued by the Architect and copied to MSHA.

#### 01090 - Codes and Standards:

1. Perform the work in strict compliance with product manufacturer's instructions, best trade practices and applicable codes and industry standards. Codes and standards which are incorporated by reference shall have the full force as if bound herein, and include, but are not limited to, publications of the following:  
American Concrete Institute (ACI).  
American Institute of Steel Construction, Inc. (AISC).  
American National Standards Institute (ANSI).

American Society of Heating, Refrigerating and Air Conditioning Engineers, Inc. (ASHRAE).

American Society of Mechanical Engineers (ASME).

American Society for Testing and Materials (ASTM).

Building Officials and Code Administrators International, Inc. (BOCA).

Housing Quality Standards (HQS).

Council of American Building Officials (CABO).

Maine Human Rights Commission.

Maine Department of Human Resources, Div. of Health Engineering.

Maine Office of State Fire Marshal (MEFM).

National Electric Code (NEC).

National Electrical Manufacturers Association (NEMA).

National Fire Protection Association (NFPA).

National Forest Products Association (NFPA).

Underwriters Laboratories, Inc. (UL).

US Department of Commerce, National Bureau of Standards (NBS).

US Department of Justice, Americans with Disabilities Act (ADA).

Local, State and Federal codes and regulations.

#### 01300 - Submittals:

1. Submit shop drawings, product data, color selection and samples of major components of the work or as specifically requested to the Architect for review. Review will only be for conformance with the intent of the contract documents and material selection.
2. Contractor shall be solely responsible for all field dimensions, coordination, compliance with the contract documents and means, methods and techniques of construction.

#### 01500 - Temporary Facilities:

1. Provide temporary site office, telephone, storage facilities, sanitary facilities, tools and equipment, waste disposal, electrical power, lighting, potable water, barricades and protective devices as required for the proper execution of the work. These may be located within the confines of the property as agreed upon with the owner.

#### 01700 - Project Closeout:

1. Upon Substantial Completion of the project, submit bound maintenance manuals, operating instructions, warranties, spare parts, attic stock and keys to the Owner.
2. Contractor shall provide a one year warranty on the completed work to the Owner.

DIVISION 2 - SITEWORK02070 - Selective Demolition:

1. Demolish all components of the existing structure and site required to complete the work indicated on the plans.
2. Remove existing porch roof and substructure from rear of #28 1/2 .
3. Remove existing partitions and doors as indicated.
4. Repair and patch or remove and replace any areas of unstable wall board. Clean and prime with stain killer primer as required and prepare all surfaces for finish.
5. Remove existing base cabinets where indicated in rear unit (28 1/2)
6. Remove existing window units where indicated on plans.
7. Remove existing plumbing fixtures, trim and exposed piping where indicated.
8. Remove existing flooring where indicated for new replacement flooring.
9. Cut openings in existing floors, walls and ceilings as required for new layout or repairs.
10. Remove existing front chimney to underside of sheathing. Patch roof substrate accordingly.
11. Remove and dispose of existing roofing materials to substrate where required.
12. Remove existing electric hot water heaters and prepare piping for re-plumbing into new gas fired hot water heater as indicated on plans.
13. Protect existing construction to remain, and protect persons and property from hazards of demolition operations.
14. Conduct work expeditiously and restore interrupted services as soon as possible to minimize disruption.
15. Do not cut or alter structural components in a manner that will reduce their load carrying capacity.
16. Remove and dispose of all existing debris, furniture, equipment and materials not pertaining to the structure and operation of the property.
17. Remove and dispose of hazardous materials as specified in accordance with all applicable local, state and federal laws.
18. Remove and dispose of all vegetative materials on site required to achieve positive site drainage.

02800 - Site Improvements:

1. Coordinate installation and location of new Natural Gas service piping to new meter location by utility company with architect and owner. Re-grade and provide new loam and seed at all disturbed areas.
2. Re-grade area indicated (see site plan) to provide improved surface drainage. Loam and seed all disturbed areas.

DIVISION 3 - CONCRETE - Not used.DIVISION 4 - MASONRY04200 - Unit Masonry

1. Provide concrete masonry unit wall as required to raise sill at rear of house to achieve a level floor condition.(See foundation plan.A-1)
2. Provide concrete masonry unit wall to infill existing bulkhead access door opening. Ensure watertight construction.

04500 Masonry Restoration and Cleaning-

1. Repoint existing chimney brickwork as required on two rear chimneys to seal and stabilize existing chimney from basement to top of chimney where accessible.
2. Repoint existing foundation walls as required to provide a stable, secure and weather-tight system. Patch and fill all cracks over 1/16" in width.

DIVISION 5 - METALS05120 - Structural Steel

1. Provide structural steel "Lally" columns or equal where necessary in existing basement to stabilize and level floor structure. Provide steel bearing plates where in contact with timber framing.

DIVISION 6 - CARPENTRY06100 - Rough Carpentry:

1. Level floor and reconstruct sill at addition area at rear of structure as indicated on plans. Provide pressure treated sill as per detail drawing.
2. Ensure level condition at rear unit bathroom, living room and laundry room floor.
3. Frame new openings for doorways and infill existing openings in wood framed partitions as indicated. Provide new structural headers at openings in load bearing partitions as indicated.
4. Provide framed partition walls of 2x4 studs, 16" o.c., with R-13 sound batts and 1/2" gypsum wall board each side as typical construction.
5. Provide framed partition walls of 2x4 studs, 16" o.c. with R-13 sound batts and 5/8" gypsum wall board on both sides at unit dividing walls.
6. Provide 5/8" GWB ceiling in new laundry rooms; 5/8" M.R. in bathroom ceilings.
7. Ensure proper fire separation between units at all common walls.

8. Remove and replace roof sheathing as required to stabilize system for new roof installation. Provide solid wood blocking as required.
9. Add new eave and rake overhang to rear portion of roof. (See plans)
10. Patch, fill and insulate (at ceiling) roof at location of front chimney demolition, to provide adequate structural base for new roof.

#### 06200 - Finish Carpentry:

1. Provide new wood door and window trim as required at doors and as required to provide a finished appearance at areas of replacement window units.
2. Provide 1 1/2" od. fir handrails mounted at 34" high along both sides of each interior stair as indicated. Install handrails to withstand a concentrated load of 200 lb at any point and a uniform load of 50 lb acting in any direction.
3. Provide new banister and handrail at front porch and rear porch.

#### DIVISION 7- THERMAL AND MOISTURE PROTECTION

##### 07311 - Asphalt Shingles:

1. Provide new 250# organic based asphalt shingle roof and 15# roofing felt equal to IKO "Aristocrat".
2. Provide 2 overlapped layers (72") W. R. Grace "Ice and Water Shield" at eaves and 3 overlapped layers (108") at valleys.
3. Provide ridge vent continuous at ridge equal to "Roll-Vent" by Benjamin Odike.
4. Provide new .019 aluminum step flashing as required where existing flashing is deteriorated.
5. Provide .032 aluminum drip edge at all eaves and rakes.
6. Provide manufacturers standard 25 year warranty on all roofing products.
7. Ensure adequate ventilation through all roof cavity spaces as required.

##### 07460 - Siding:

1. Remove existing siding at indicated areas and replace with material to match existing (see plans). Provide new material at locations where required.

##### 07710 - Prefabricated Roof Specialties:

1. Provide rain gutter and downspout at roof edge over area of foundation repair. (See plan)
2. Provide new 48" horizontal diversion runs at bottom of downspout locations to ensure positive drainage away from foundation.

DIVISION 8 - DOORS AND WINDOWS08211 - Wood Doors:

1. Provide new 1 3/8" hollow core colonial faced doors with embossed hardboard veneer, prefinished, at new interior door locations where indicated. Verify sizes with existing wall openings.
2. Inspect condition of all existing wood doors and hardware not scheduled to be replaced. Repair or replace damaged doors and/or hardware as required.

08630 - Vinyl Windows:

1. Provide new casement vinyl replacement windows as scheduled and where indicated meeting requirements of ANSI/AAMA 101V Grade DH-R50, with low E insulating glass, thermal barrier, screens, and locking hardware where indicated. Verify sizes and quantities. Match existing windows unless otherwise noted. Certainteed or equal.
2. Ensure egress requirements are met as pertains to windows in all bedrooms.

08710 - Finish Hardware:

1. Provide new masterkey system for all lock sets. Coordinate keying system with Owner.
2. Unless otherwise existing and in good repair, provide new wall or floor mounted door stops at all doors: Ives, or equal.
3. Provide new privacy sets at all bedroom and bathroom doors scheduled for replacement equal to Schlage A40S Levon 626 Satin Chrome.
4. Provide new entrance locks at front and rear entrance doors equal to Schlage D53PD Rhodes 626 Satin Chrome.
5. Provide new passage set at all other new doors or where scheduled to be replaced equal to Schlage A10S Levon 626 Satin Chrome.

DIVISION 9 - FINISHES:09250 - Gypsum Drywall:

1. Inspect condition of existing walls and ceiling. Provide new 1/2" or 5/8" gypsum drywall at new partitions and repair areas as indicated. Provide type MR drywall at bathrooms where indicated.

09650 - Resilient Flooring:

1. Provide new 12x12x1/8" vinyl composition tile flooring over 1/4" underlayment in baths, laundries and kitchen where indicated to be replaced, meeting FHA minimum wear layer thickness: Tarkett "Basic Structures", or approved equal, in pattern and color as selected by Architect.
2. Provide 2% of the installed flooring as attic stock.

09900 - Painting:

1. Clean, prep and paint new or renovated interior gypsum wall board surfaces.
2. Provide best quality paint products of Glidden, or approved equal.
3. Provide primers by same manufacturer as finish coating at all surfaces. (Prime coat is not needed on factory primed surfaces.)
4. Apply paint in accordance with manufacturer's instructions, under conditions and at spreading rate recommended to achieve minimum dry mil thickness for system specified.
5. Provide coating of uniform color and sheen, without holidays, lap marks, streaks, sags, drips or show through of substrate.
6. Apply additional coats as required if uniform finish is not achieved with specified number of coats.
7. Architect will coordinate and select all paint colors.
8. Clean and prepare all painted surfaces as per manufacturers recommendation.
9. Provide paint systems at all interior and exterior new and existing painted surfaces finished as scheduled.
10. Acceptable alternate manufacturers best quality paints: PPG, Benjamin Moore, Sherwin Williams, Devoe, Pratt & Lambert. Provide submittals for all alternates to Architect for review.
11. Provide one full gallon of each type and color of paint as attic stock.

DIVISION 10 - SPECIALTIES10522 - Fire Extinguishers, Cabinets and Accessories:

1. Provide one (1) surface mounted UL listed 2A:10BC multipurpose dry chemical fire extinguisher with mounting bracket in each unit kitchen in a location as approved by owner.

10800 - Toilet and Bath Accessories:

1. Provide toilet and bath accessories in each bathroom as scheduled: Nutone, Franklin Brass, or equal. Install plumb and level, at mounting heights indicated.

Medicine cabinet:	NuTone	SM-27W/LK-27
Robe hook:	Franklin Brass	1402
Shower curtain rod:	Franklin Brass	176
Toilet paper holder:	Franklin Brass	1408B
Towel rod:	Franklin Brass	1424/1430
Glass and toothbrush holder	Bobrick	B679

DIVISION 11 - EQUIPMENT11450 - Residential Equipment:

1. Reuse existing kitchen appliances in both units.
2. Provide new 30" wall mounted Range Hood: Nutone RL6130WW in rear unit.

DIVISION 12 - FURNISHINGS12390 - Kitchen Cabinets:

1. Repair and refinish existing kitchen cabinets as required to achieve serviceable condition.
2. Provide new prefabricated wall and base cabinets where indicated: Tripac Eclipse or equal.
3. Provide new post-formed plastic laminate countertops over new base cabinets and existing base cabinet in rear unit: Wilsonart, or equal.
4. Provide new hinge and latching hardware for new and existing cabinets in rear unit.
5. Provide new vanity and vanity top in rear unit bathroom.

12530 - Window Treatment:

1. Provide vinyl mini-blinds at all windows.

DIVISION 13 - SPECIAL CONSTRUCTION - Not UsedDIVISION 14 - VERTICAL TRANSPORTATION- Not Used



DIVISION 15 - MECHANICAL15400 - Plumbing:

1. All work shall be performed by a Plumbing Contractor licensed in the State of Maine.
2. Perform all plumbing work in accordance with the State of Maine Internal Plumbing Rules and BOCA National Plumbing Code.
3. Provide new hot and cold water supply piping as required , with Type L copper tubing, wrought fittings and lead free soldered joints from basement foundation wall forward. Provide closed cell foam insulation for hot and cold water mains: Armaflex, or equal. Provide shutoffs at each plumbing fixture.
4. Provide and plumb into existing hot water piping system new gas fired hot water heater for use by both units: State SR8-75-NQRT or equal.
5. Provide new plumbing fixtures and fittings as scheduled: Mansfield, Aquaglass, U/R, or approved equal.

P1	Tub/Shower Lasco/ Alexandria 2543-CTG	Moen 4920 faucet
P2	Lavatory Mansfield 1916SRO	Moen 4920 faucet
6. Provide installer's one year warranty on complete installation of plumbing system.

15200 - Heating

1. All work shall be performed by a Heating Contractor licensed in the State of Maine.
2. Perform all heating work in accordance with the requirements of the City of Portland and State of Maine requirements and BOCA National Mechanical Code.
3. Inspect and clean both existing chimney flues to remain in operation.
4. Replace existing forced air furnace at rear unit (28 1/2) with a new natural gas fired hot air furnace of equal capacity (140,000 BTUs). Plumb new furnace exhaust into existing chimney. Provide new gas fired burner. Install as per manufacturers recommendations. Tie new furnace into existing ductwork. Fraser-Johnston or equal.
5. Replace existing oil burner at front unit (28) with new gas fired burner. Install as per manufacturers recommendations.
6. Inspect all ductwork, registers, hydronic piping and convectors for operability. Adjust and balance as required for best operation.
7. Relocate existing thermostat from front master bedroom in unit 28 to new wall in middle bedroom.
8. Close all supply lines from oil tanks to furnace and boiler as close to tanks as is reasonable. Maintain serviceable connections for possible future use of oil tanks.

DIVISION 16 - ELECTRICAL16000 - Electrical:

1. All work shall be performed by a Electrical Contractor licensed in the State of Maine.
2. Perform all electrical work in accordance with the National Electrical Code.
3. Inspect electrical entrance and load center for proper installation and correct any deficiencies noted.
4. Inspect condition of existing wiring where practical and replace all deficient material.
5. Provide GFI protection for outlets in kitchens and baths. Install all wiring in concealed manner, either behind wall or over ceiling surfaces.
6. Verify the existence of or provide at least (2) two grounded electrical outlets in each room.
7. Provide new electrical wiring as required to service all specified electrical equipment.
8. Verify the existence of, or provide at least one switched wall outlet or overhead light fixture in each bedroom.
9. Provide new fire detection and alarm system consisting of a hard wired A/C smoke detector with battery backup in each bedroom, a central location of each floor, as indicated on the plans, or as required by code. Interconnect all smoke detectors.
10. Confirm or provide outlets for telephone system with jacks in living room, kitchen and master bedroom. Reuse existing wall plates where convenient.
11. Provide installer's one year warranty on completed electrical work.

...END OF SPECIFICATION