

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING INSPECTION

Permit Number: 030168

Please Read Application And Notes, If Any, Attached

This is to certify that Bjfc Lcc /Benchmark
has permission to Renovate Existing Space/Teat Fit Up
AT 915 Forest Ave 142 F004001

provided that the person or persons firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is occupied or otherwise closed-in. YOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. [Signature]
Health Dept. _____
Appeal Board _____
Other _____
Department Name _____

[Signature] 3/14/03
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-0168	Issue Date:	CBL: 142 F004001
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Location of Construction: 915 Forest Ave	Owner Name: Bjfc Lcc	Owner Address: 449 Forest Ave	Phone: 761-5947
Business Name:	Contractor Name: Benchmark	Contractor Address: 650 Main St So. Portland	Phone: 2078742963
Lessee/Buyer's Name	Phone:	Permit Type: Change of Use - Commercial	Zone: B2

Past Use: Printing Company	Proposed Use: Wholesale/Retail Bead Distributor	Permit Fee: \$1,773.00	Cost of Work: \$250,000.00	CEO District: 2
		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: B/M/S2 Type: 20 3/14/03	

Proposed Project Description: Renovate Existing Space/Tenant Fit Up	Signature: <i>[Signature]</i>	Signature: <i>[Signature]</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature:		Date:

Permit Taken By: gad	Date Applied For: 03/06/2003	Zoning Approval
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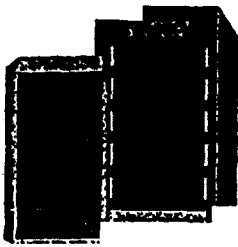
1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input checked="" type="checkbox"/> MM Date: <i>3/14/03</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input checked="" type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied Date: <i>2/20/03</i>	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>[Signature]</i>
	<i>Separate permits are required for any new signage</i>		

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE



**CITY OF PORTLAND
BUILDING CODE CERTIFICATE
389 Congress St., Rm 315
Portland, ME 04101**

TO: Inspector of Buildings City of Portland, Maine
Department of Planning & Urban Development
Division of Housing & Community Service

FROM: Michael R. Charek

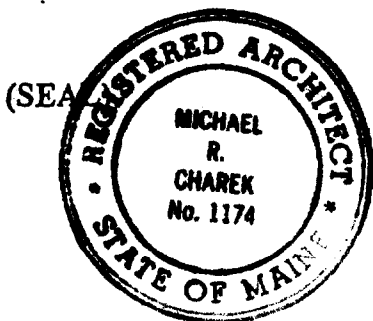
RE: Certificate of Design

DATE: 3/6/03

These plans and/or specifications covering construction work on:

915 Forest Avenue — Caravan Beads Distribution
and Retail Space

Have been designed and drawn up by the undersigned, a Maine registered architect/engineer ~~according to~~ the BOCA National Building Code/1999 Fourteenth Edition, and local amendments. *and, to the best of his knowledge and belief, in accordance with*



Signature Michael R. Charek

Title Principal

Firm Michael R. Charek, Architect

Address 25 Haritay St
Portland, ME 04103

As per Maine State Law:

\$50,000.00 or more in new construction, repair, expansion, addition, or modification for Building or Structures, shall be prepared by a registered design Professional.

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-0168	Date Applied For: 03/06/2003	CBL: 142 F004001
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Location of Construction: 915 Forest Ave	Owner Name: Bjfc Lcc	Owner Address: 449 Forest Ave	Phone: () 761-5947
Business Name:	Contractor Name: Benchmark	Contractor Address: 650 Main St So. Portland	Phone: (207) 874-2963
Lessee/Buyer's Name	Phone:	Permit Type: Change of Use - Commercial	

Proposed Use: Wholesale/Retail Bead Distributor	Proposed Project Description: Renovate Existing Space/Tenant Fit Up
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 03/11/2003

Note: **Ok to Issue:**

1) Separate permits shall be required for any new signage.

Dept: Building **Status:** Pending **Reviewer:** **Approval Date:**

Note: **Ok to Issue:**

Dept: Fire **Status:** Pending **Reviewer:** **Approval Date:**

Note: **Ok to Issue:**



CITY OF PORTLAND
ACCESSIBILITY CERTIFICATE

Designer: Michael R. Charek

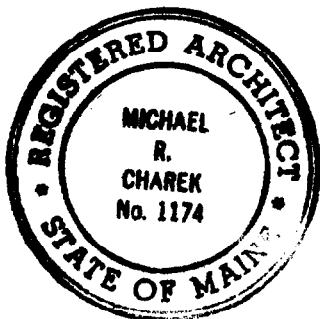
Address of Project 915 Forest Avenue

Nature of Project Renovation of existing building
for retail and wholesale distribution uses

Date 3/6/03

The undersigned, to the best of his knowledge, agrees that
The technical submissions covering the proposed construction work
as described above have been have been designed in compliance with
applicable referenced standards found in the Maine Human Rights Law and
Federal Americans with Disability Act.

(SEAL)



Signature Michael R. Charek

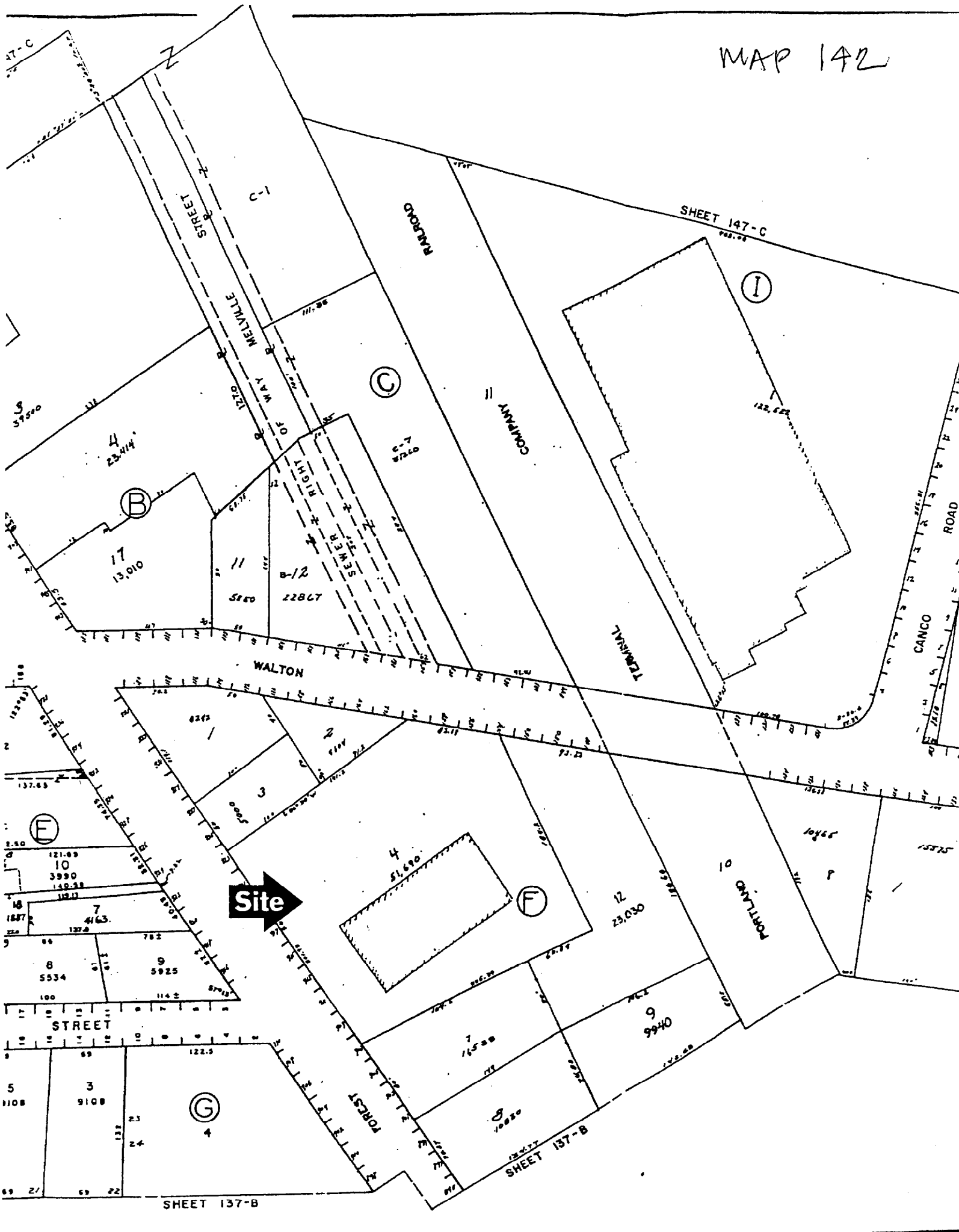
Title Principal

Firm Michael R. Charek, Architect

Address 25 Hartley St.

Portland, ME 04103

Telephone 207-761-0556



Site



State of Maine
Department of Public Safety
Construction Permit



Reviewed
for Barrier
Free

12984

Sprinkled
Sprinkler Supervised

CARAVAN BEADS DISTRIBUTION & RETAIL SPACE

Located at: 915 FOREST AVE

PORTLAND

Occupancy/Use: MERCANTILE CLASS C

Permission is hereby given to:

BJFC, LLC
CARAVAN BEADS
449 FOREST AVE.
PORTLAND, ME 04103

to construct or alter the afore referenced building according to the plans hitherto filed with the Commissioner and now approved. no departure from application form/plans shall be made without prior approval in writing. This permit is issued under the provisions of Title 25, Chapter 317, Section 2448 and the provisions of Title 5, Section 4594 - F. Nothing herein shall excuse the holder of this permit for failure to comply with local ordinances, zoning laws, or other pertinent legal restrictions. Each permit issued shall be displayed/available at the site of construction.

This permit will expire at midnight on the 01 th of August 2003

Dated the 01 th day of February A.D. 2003

Commissioner

Copy-2 Architect

Comments:

MICHAEL R. CHAREK ARCHITECT

25 HARTLEY STREET
PORTLAND, ME 04103

**QUITCLAIM DEED WITH COVENANT
KNOW ALL MEN BY THESE PRESENTS**

THAT, **GEORGE E. LIBBY** of Portland, Maine, in consideration of one dollar and other valuable consideration paid, grants to **BJFC, LCC**, a Maine limited liability company with mailing address of 449 Forest Avenue, Portland, Maine 04103, with quitclaim covenant the land in the City of Portland, County of Cumberland and State of Maine and more specifically described below:

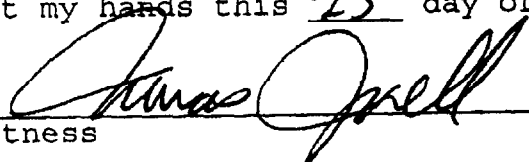
A certain lot or parcel of land with the buildings situated thereon on the easterly side of Forest Avenue in the City of Portland, County of Cumberland and State of Maine, and being further bounded and described as follows:

Beginning at a point on the easterly sideline of Forest Avenue distant one hundred sixty-nine and one-tenth (169.1) feet from the intersection of the southerly sideline of Walton Street and easterly sideline of Forest Avenue; thence South 03° 30' East by said easterly sideline of Forest Avenue two hundred one and ninety-three hundredths (201.93) feet; thence easterly on the line of land now or formerly of Samuel Elder two hundred twenty-five and thirty-four hundredths (225.34) feet; thence North 03° East and in a line parallel to and maintaining a distance of seventy-five (75) feet westerly from the Portland Terminal Company right-of-way one hundred eighty-four and two tenths (184.2) feet to the southwesterly side of Walton Street; thence in a northwesterly direction by the southwesterly sideline of Walton Street eighty-three and eighteen hundredths (83.18) feet; thence South 86° 30' West one hundred ninety-one and two tenths (191.2) feet to the point of beginning.

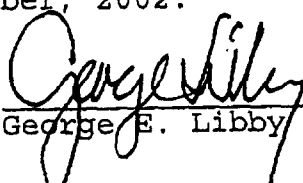
Being the same premises conveyed to the Grantor herein by deed of Riverside 1000, dated December 31, 1998 and recorded in said Registry of Deeds in Book 14471, Page 43.

To have and to hold the same, together with all the privileges and appurtenances thereunto belonging, to the said **BJFC, LLC**, its successors and assigns forever.

IN WITNESS WHEREOF, I, the said George E. Libby have hereunto set my hands this 25 day of October, 2002.



Witness



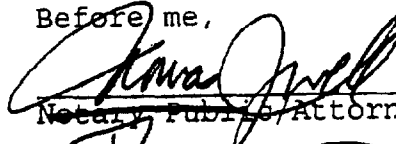
George E. Libby

STATE OF MAINE
COUNTY OF CUMBERLAND

October 25, 2002

Then personally appeared the above-named George E. Libby and acknowledged the foregoing instrument to be his free act and deed.

Before me,



~~Notary Public~~ Attorney-at-Law

Thomas Jewell

Typed or printed name of person
taking acknowledgment

Benchmark
650 Main Street
South Portland, Maine 04106
207.874.2963
Fax 207.874.6042

Design|Build
General Contracting
Construction Management
Renovations
Project Planning
Murox® Building Systems
Property Services

March 7, 2003

BENCHMARK

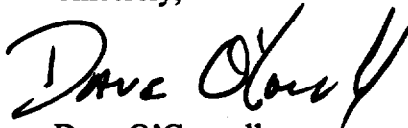
Mr. Michael J. Nugent
Inspection Services Manager
389 Congress Street
Portland Me 04101

Caravan Beads 915 Forest Avenue

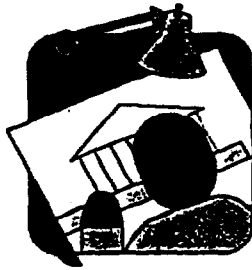
Dear Michael,

BENCHMARK Property Services is applying for a permit to renovate the former Colonial Offset Printing Building at 915 Forest Ave in Portland. The proposed renovations consist of a complete renovation to the space to provide retail and warehouse space for the client, Caravan Beads. If you have questions concerning this project please call us at 207-874-2963. Thank You for your time concerning this project.

Sincerely,



Dave O'Connell
BENCHMARK Property Services



CITY OF PORTLAND MAINE

389 Congress St., Rm 315

Portland, ME 04101

Tel. - 207-874-8704

Fax - 207-874-8716

TO: Inspector of Buildings City of Portland, Maine
Planning & Urban Development
Division of Housing & Community Services

FROM DESIGNER: Michael R. Charek

Michael R. Charek, Architect

DATE: 3/6/03

Job Name: Caravan Beads Distribution & Retail Space

Address of Construction: 915 Forest Avenue

To the best of my belief, \rightarrow THE BOCA NATIONAL BUILDING CODE/1999 Fourteenth EDITION Construction project was designed according to the building code criteria listed below:

Building Code and Year Boca 1999 Use Group Classification(s) M, S-2, B

Type of Construction 2C Bldg. Height 17'-0" \pm Bldg. Sq. Footage 9,622 sf

Seismic Zone Seismic Hazard Exposure Group = 1 Seismic Performance Category = C

Roof Snow Load Per Sq. Ft. P_f = 50 Dead Load Per Sq. Ft. 15 psf (assumed)

Basic Wind Speed (mph) 90 Effective Velocity Pressure Per Sq. Ft. 20.7

Floor Live Load Per Sq. Ft. N/A

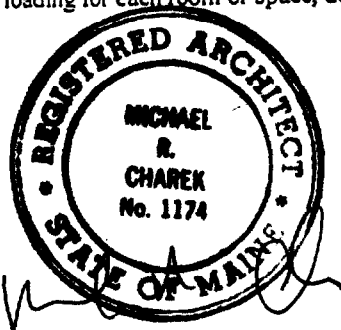
Structure has full sprinkler system? Yes No Alarm System? Yes No
Sprinkler & Alarm systems must be installed according to BOCA and NFPA Standards with approval from the Portland Fire Department.

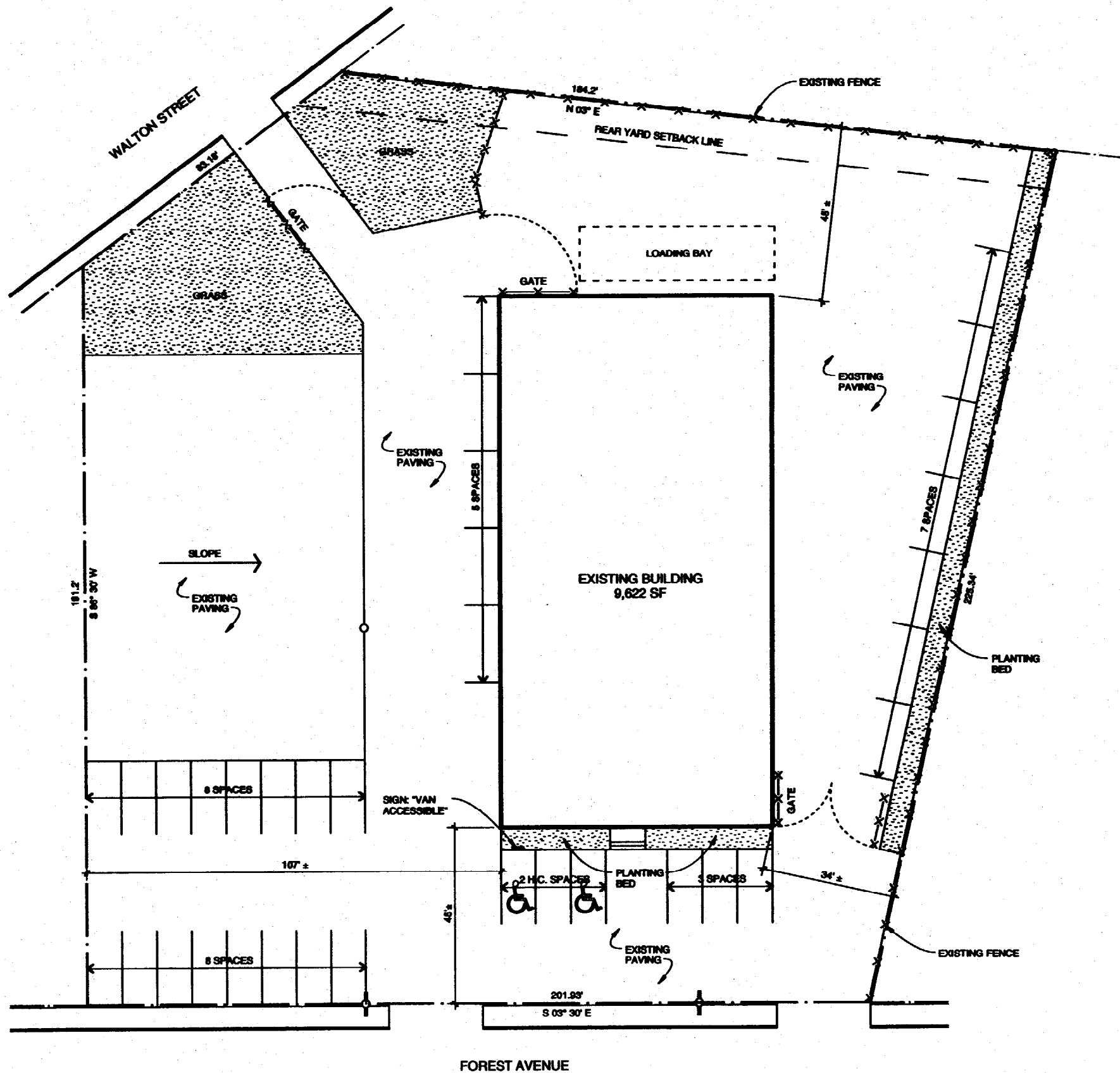
Is structure being considered unlimited area building: Yes No

If mixed use, what subsection of 313 is being considered 313.1.1

List Occupant loading for each room or space, designed into this Project.
Mercantile 2771 sf / 30 = 93
Storage 3681 sf / 300 = 13
wholesale distribution (cat. as for business) 3170 sf / 100 = 32
(Designers Stamp & Signature) 138

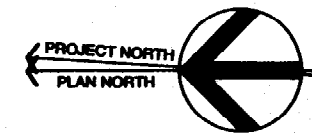
PSH 6/07/2K





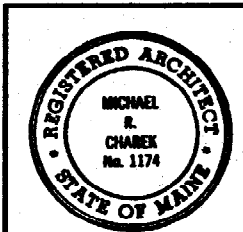
1 PLOT PLAN
 SCALE: 1" = 20'-0"
 0 10' 20' 40'

NOTE:
 DRAWING BASED ON QUITCLAIM
 DEED FROM GEORGE LIBBY TO BJFC,
 LLC, AND ON FIELD MEASUREMENTS.



© 2003 Michael R. Charek, Architect

Michael R. Charek
 Architect
 25 Hartley Street
 Portland, Maine 04103
 (207) 761-0666

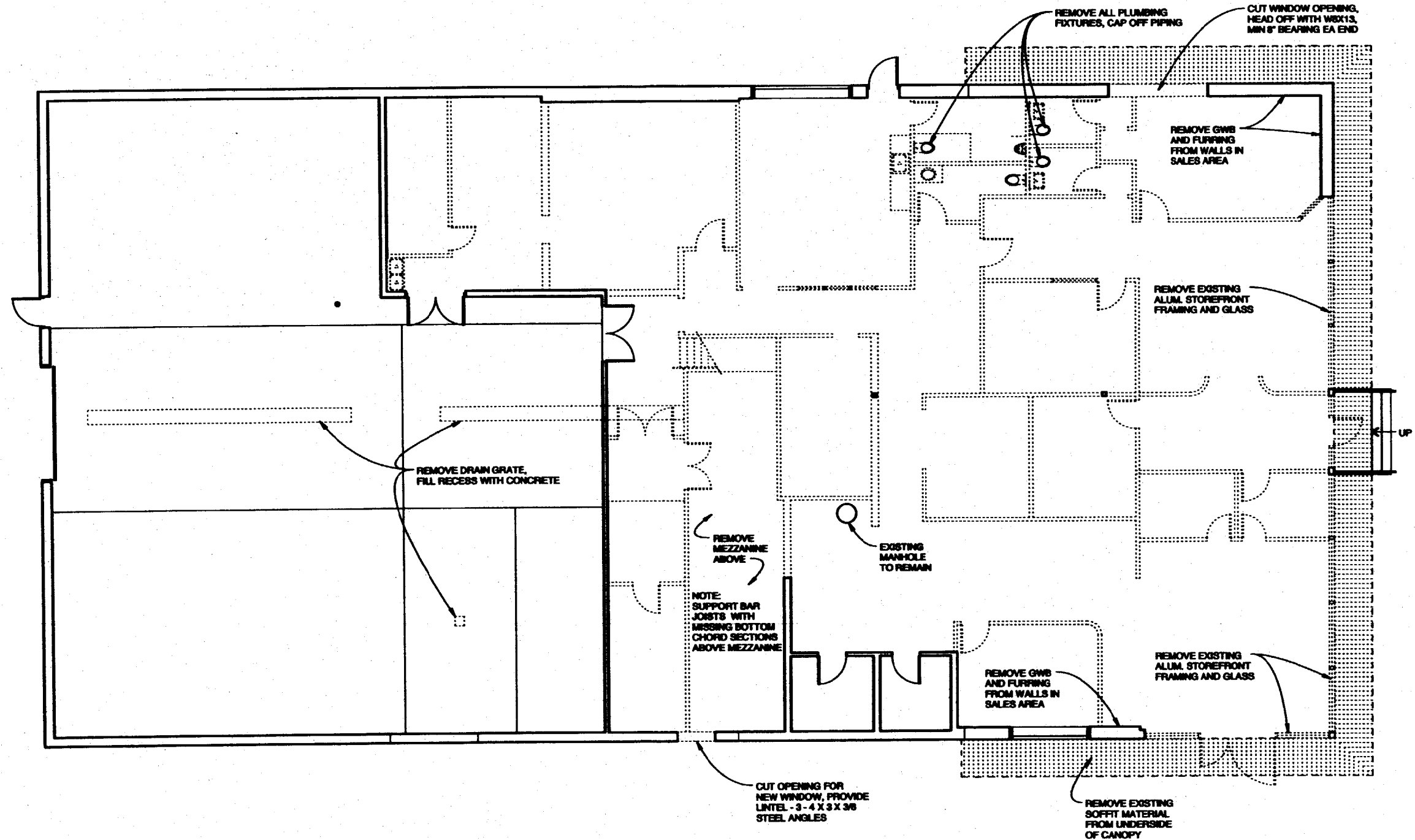


Caravan Beads
Distribution & Retail Space
 915 Forest Avenue
 Portland, ME 04103

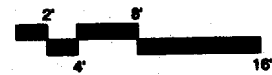
Title
 PLOT PLAN
 ISSUED FOR PERMIT

Date: 3/3/03

Sheet
L1



1 DEMOLITION PLAN
SCALE: 1/8" = 1'-0"



DEMO NOTES

1. REMOVE ITEMS SHOWN AND NOTED BELOW. PATCH SURROUNDING AREAS AND EXISTING SURFACES TO REMAIN.
2. REMOVE ALL FINISH FLOORING AND WALL BASE THROUGHOUT. REMOVE FLOORING ADHESIVE AND PREPARE CONCRETE FOR STAIN AND SEALER IN ALL AREAS EXCEPT STOCKROOM, UTILITY, AND SPRINKLER ROOM AND TOILET ROOMS. PREPARE TOILET ROOM FLOOR SLABS FOR CERAMIC TILE.
3. REMOVE ALL SUSPENDED CEILING THROUGHOUT.

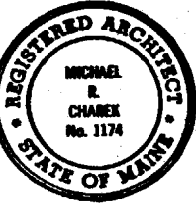
PARTITIONS/WALLS KEY

- EXISTING TO REMAIN
- EXISTING TO BE REMOVED



**Michael R. Charek
Architect**

25 Hartley Street
Portland, Maine 04103
(207) 761-0556



**Caravan Beads
Distribution & Retail Space**

915 Forest Avenue
Portland, ME 04103

Title

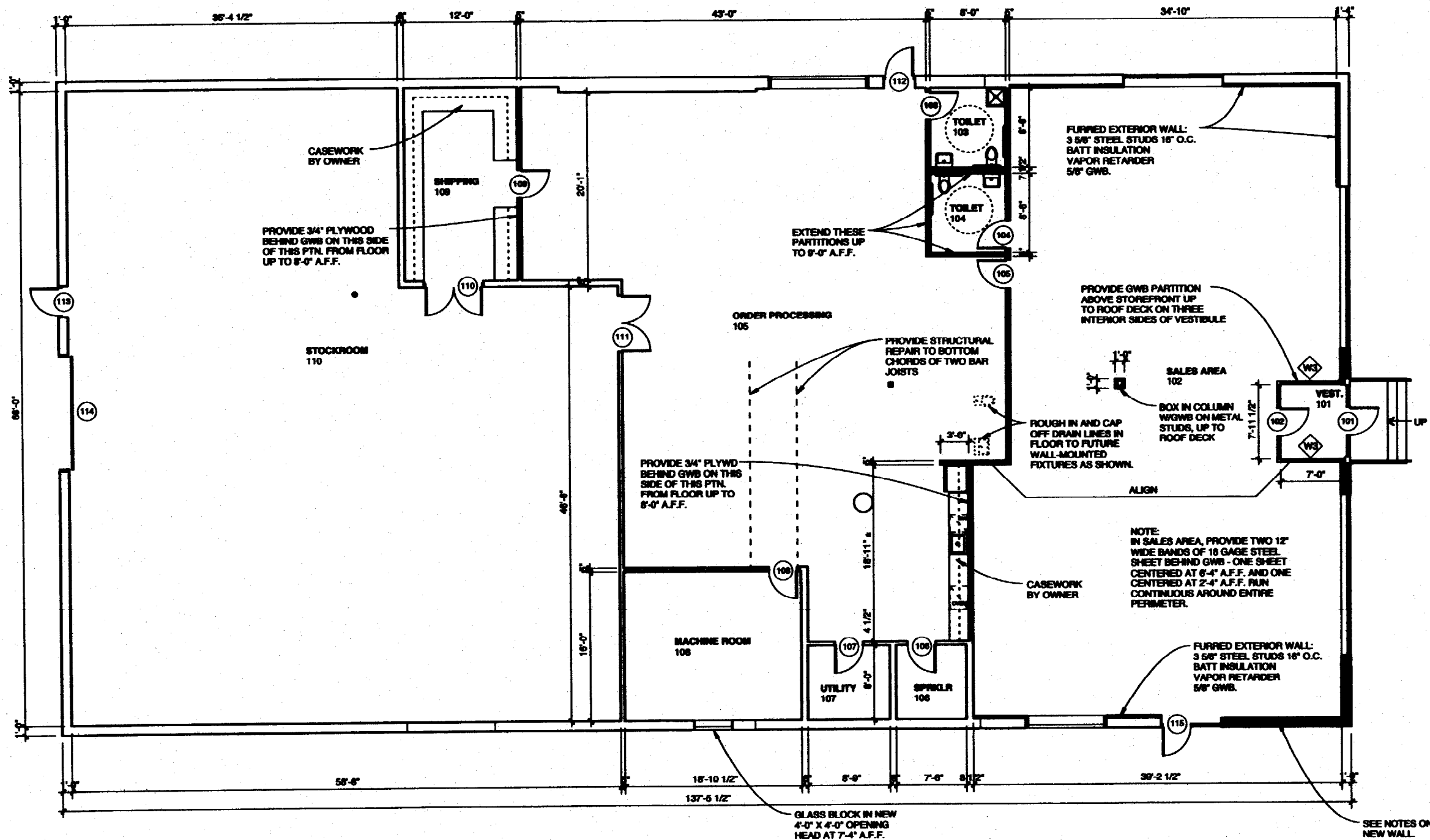
DEMOLITION
PLAN

ISSUED FOR
PERMIT

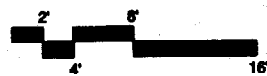
Date: 3/3/03

Sheet

D1



1 FLOOR PLAN
SCALE: 1/8" = 1'-0"



NOTES:

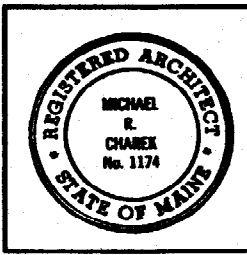
1. DIMENSIONS SHOWN ARE TO FINISH SURFACES
2. DIMENSIONS BETWEEN EXISTING WALLS ARE APPROXIMATE.
3. NEW PARTITIONS TO BE 1 LAYER 5/8" GWB ON EACH SIDE OF 3 5/8" STEEL STUDS 16" O.C., ACOUSTICAL INSULATION FULL HEIGHT. FURR EXISTING WALLS AS NECESSARY TO MATCH SURFACES.
4. TYPICAL PARTITION HEAD TO EXTEND TO ROOF DECK, UNLESS OTHERWISE NOTED.
5. NEW EXTERIOR WALL AT WEST AND NORTH TO BE 16" X 4" X 4" SPLIT FACE CMU VENEER TO MATCH EXISTING. BACKED UP BY 6" 18 GAGE STEEL STUDS 16" O.C. (STUD DESIGNATION 6006220-43). 5/8" DENS-GLASS SHEATHING ON EXTERIOR, JOINTS TAPED. 6" BATT INSULATION, VAPOR RETARDER, 5/8" GWB ON INTERIOR. PAINT CMU.



SEE NOTES ON NEW WALL.



**Michael R. Charek
Architect**
25 Hartley Street
Portland, Maine 04103
(207) 761-0656

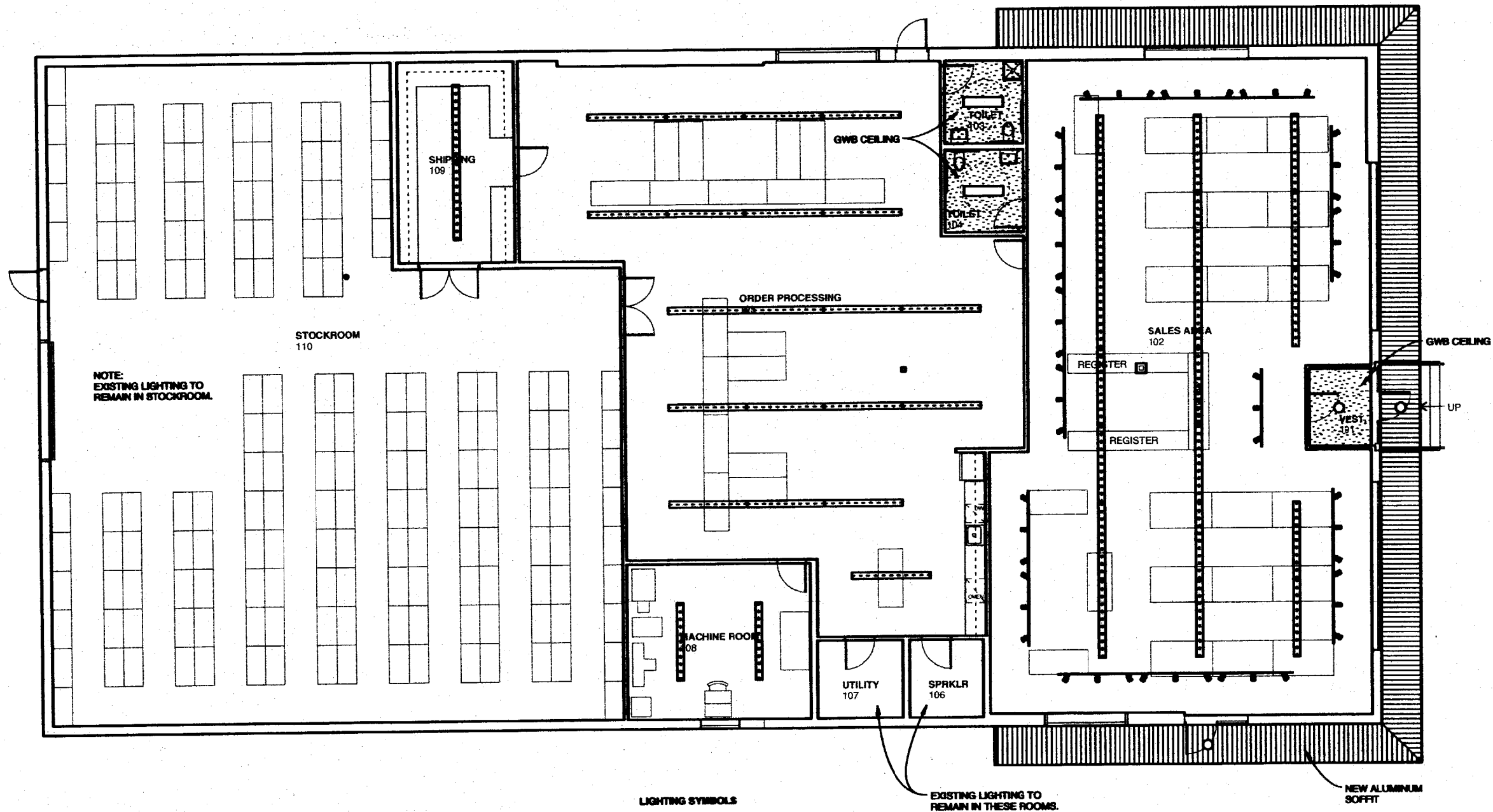


**Caravan Beads
Distribution & Retail Space**
915 Forest Avenue
Portland, ME 04103

Title
FLOOR PLAN
ISSUED FOR PERMIT

Date: 3/3/03

Sheet
A1



1 REFLECTED CEILING PLAN
 SCALE: 1/8" = 1'-0"
 2 4 8 16

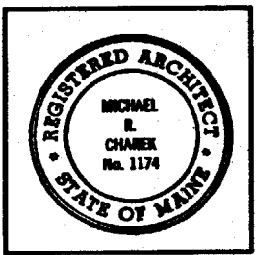
- LIGHTING SYMBOLS**
- 8'-0" DIRECT/INDIRECT FLUORESCENT EQUAL TO PEERLESS ENVISION ENM4
 - 8'-0" TRACK
 - 12" X 48" SURFACE FLUORESCENT
 - RECESS FIXTURE - H.L.D. (EXTERIOR FIXTURE RATED FOR COLD START)

EXISTING LIGHTING TO REMAIN IN THESE ROOMS. NEW ALUMINUM SOFFIT

- REFLECTED CEILING PLAN NOTES**
1. PLAN SHOWS LIGHT FIXTURE LAYOUT ONLY. MECHANICAL CONTRACTOR TO ADJUST HVAC LAYOUT AS NECESSARY FOR PROPER HEATING AND COOLING OF THE SPACE.
 2. SPRINKLER LAYOUT NOT SHOWN. SPRINKLER CONTRACTOR TO PROVIDE COMPLETE DESIGN DRAWINGS, APPROVED BY LOCAL AND STATE OFFICIALS.



**Michael R. Charek
 Architect**
 25 Hartley Street
 Portland, Maine 04103
 (207) 761-0666

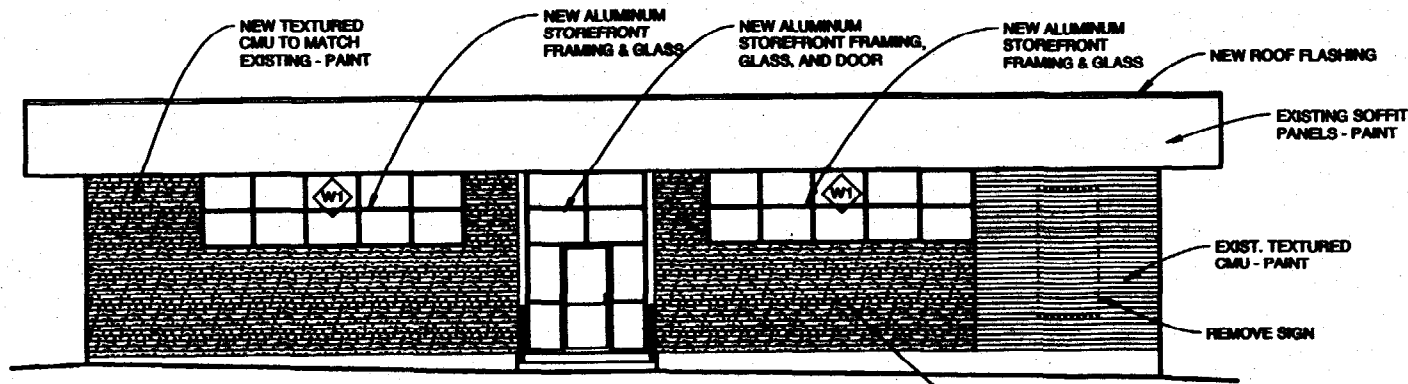


**Caravan Beads
 Distribution & Retail Space**
 915 Forest Avenue
 Portland, ME 04103

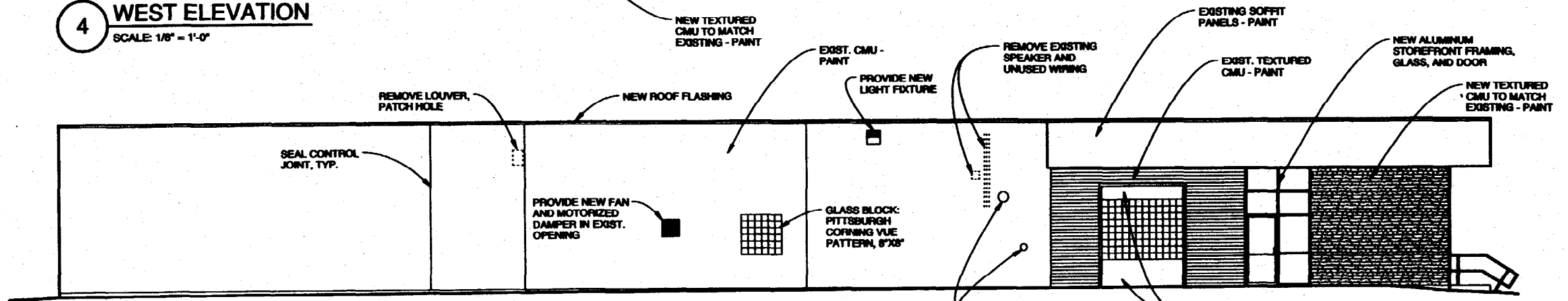
Title
 REFLECTED
 CEILING PLAN
**ISSUED FOR
 PERMIT**

Date: 3/3/03

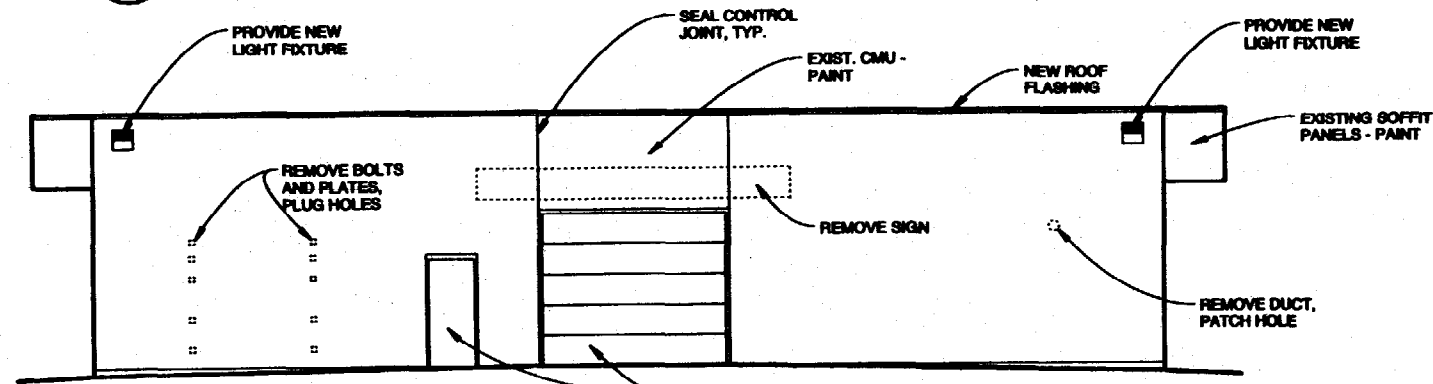
Sheet
A2



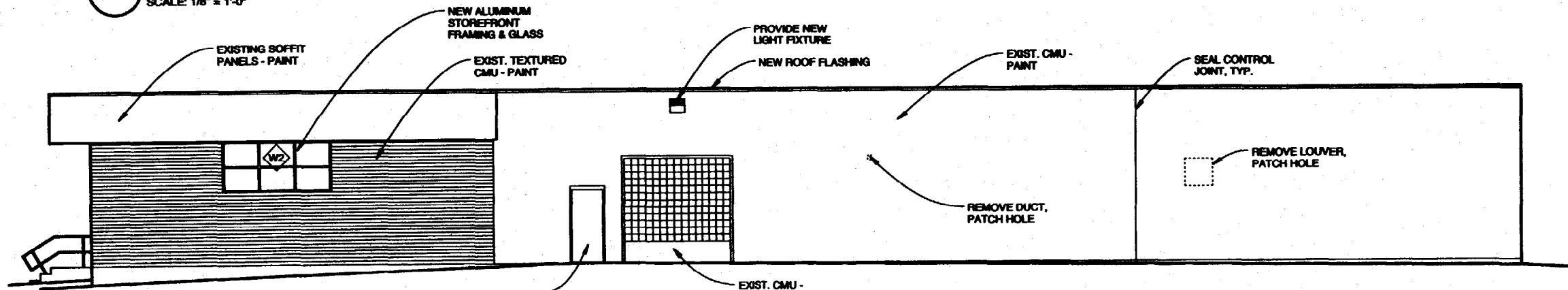
4 WEST ELEVATION
SCALE: 1/8" = 1'-0"



3 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



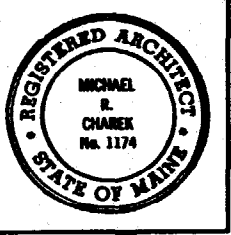
2 EAST ELEVATION
SCALE: 1/8" = 1'-0"



1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



Michael R. Charek
Architect
25 Hartley Street
Portland, Maine 04103
(207) 761-0566



Caravan Beads
Distribution & Retail Space
915 Forest Avenue
Portland, ME 04103

Title
ELEVATIONS
ISSUED FOR PERMIT

Date: 3/3/03

Sheet
A3

ROOM FINISH SCHEDULE											
NO.	NAME	FLOORS		BASE		WALLS		CEILING		HT.	NOTES
		MAT.	FIN.	MAT.	FIN.	MAT.	FIN.	MAT.	FIN.		
101	VESTIBULE	RIB	FF	VB	FF	GWB	PT	12'-0"	GWB	PT	
102	SALES AREA	CER	FF	VB	FF	GWB	PT	-	-	-	1,4
103	TOILET	CER	FF	CER	FF	CER	FF	8'-0"	GWB	PT	2
104	TOILET	CER	FF	CER	FF	CER	FF	8'-0"	GWB	PT	2
105	ORDER PROCESSING	EX	-	VB	FF	GWB	PT	-	-	-	1,4
106	SPRINKLER	EX	-	EX	-	EX	-	-	-	-	3
107	UTILITY	EX	-	EX	-	EX	-	-	-	-	3
108	MACHINE ROOM	EX	-	VB	FF	GWB	PT	-	-	-	1,4
109	SHIPPING	EX	-	VB	FF	GWB	PT	-	-	-	1,4
110	STOCKROOM	EX	-	EX	-	EX	PT	-	-	-	1,5

MATERIAL/FINISH ABBREVIATIONS
 CER CERAMIC TILE
 EX EXISTING
 FF FF FACTORY FINISH
 GWB GWB
 PT PAINT
 RIB RIBBED ENTRY MAT
 ST/SL STAINED & SEALED CONCRETE
 VB VINYL BASE

- FINISH NOTES**
- NO CEILING, OPEN TO ROOF DECK. PAINT EXPOSED DECK, STRUCTURE, DUCTWORK, PIPING, AND CONDUIT.
 - CERAMIC TILE TO CEILING ALL FOUR WALLS.
 - EXISTING FINISHES IN UTILITY SPACES TO REMAIN.
 - FLOOR FINISH EXISTING CONCRETE WITH TILE MASTIC REMOVED. CONCRETE STAINED AND SEALED.
 - FLOOR FINISH EXISTING CONCRETE LEFT UNFINISHED.

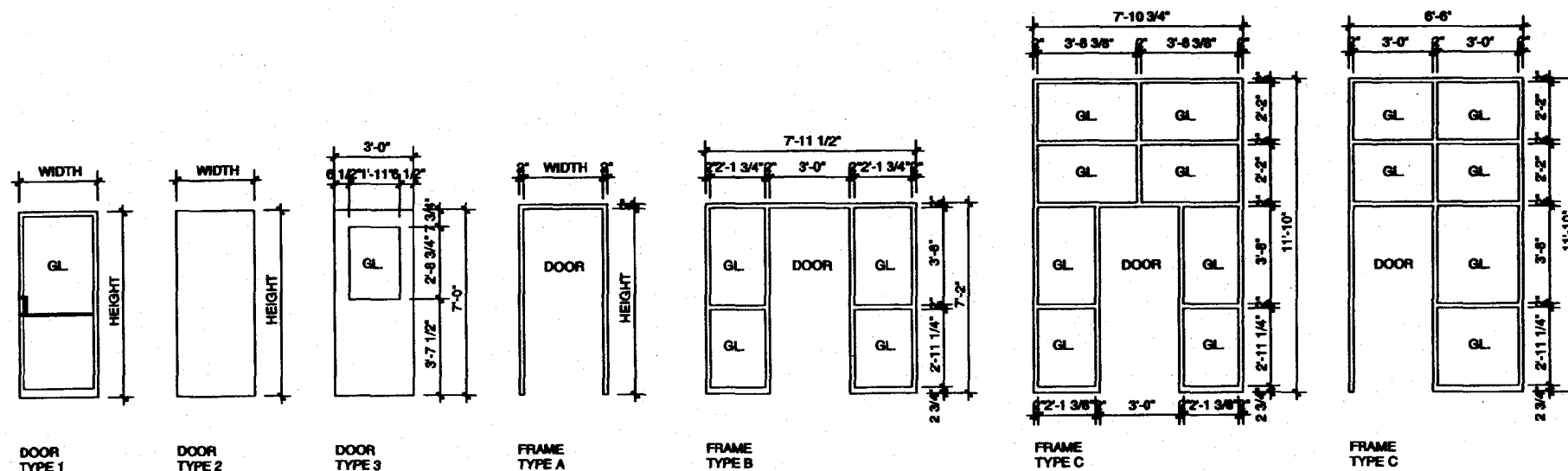
DOOR SCHEDULE												
NO.	DOOR		MAT.	FIN.	WIDTH	HEIGHT	THICK.	FRAME		HWDR.	FIRE RATING	NOTES
	TYPE							TYPE				
101	1	ALUM	FF	3'-0"	7'-0"	1 3/4"	C	ALUM	FF	HW-1		
102	1	ALUM	FF	3'-0"	7'-0"	1 3/4"	A	ALUM	FF	HW-2		
103	2	WD-SC	NAT	3'-0"	7'-0"	1 3/4"	B	HM	PT	HW-3		
104	2	WD-SC	NAT	3'-0"	7'-0"	1 3/4"	B	HM	PT	HW-3		
105	2	WD-SC	NAT	3'-0"	7'-0"	1 3/4"	B	HM	PT	HW-4		
106	EX	-	PT	-	-	-	EX	-	PT	-		1
107	EX	-	PT	-	-	-	EX	-	PT	-		1
108	3	WD-SC	NAT	3'-0"	7'-0"	1 3/4"	B	HM	PT	HW-5		
109	3	WD-SC	NAT	3'-0"	7'-0"	1 3/4"	B	HM	PT	HW-5		
110	EX	-	PT	-	-	-	EX	-	PT	-		2
111	EX	-	PT	-	-	-	EX	-	PT	-		2
112	2	HM	PT	-	-	-	EX	-	PT	HW-1		3
113	EX	-	-	-	-	-	EX	-	-	-		4
114	EX	-	-	-	-	-	EX	-	-	-		5
115	1	ALUM	FF	3'-0"	7'-0"	1 3/4"	D	ALUM	FF	HW-1		

MATERIAL/FINISH ABBREVIATIONS
 ALUM ALUMINUM
 EX EXISTING
 FF FACTORY FINISH
 HM HOLLOW METAL
 NAT NATURAL FINISH
 PT PAINT
 SC SOLID CORE
 WD WOOD

HARDWARE SETS (NEW DOORS)

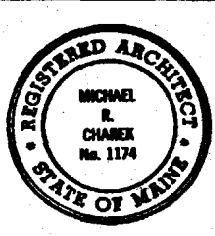
- NOTES**
- EXISTING DOOR & FRAME TO REMAIN. PROVIDE NEW KNURLED KNOB ON EXISTING LOCK.
 - EXISTING DOORS & FRAME TO REMAIN. PROVIDE NEW LEVER HANDLE LOCKSETS.
 - NEW INSULATED METAL DOOR IN EXISTING FRAME. PROVIDE NEW EXIT DEVICE.
 - EXISTING DOOR & FRAME TO REMAIN. PROVIDE NEW EXIT DEVICE.
 - EXISTING OVERHEAD DOOR TO REMAIN.
 - PROVIDE LEVER-HANDLE LOCKS ON ALL NEW DOORS UNLESS OTHERWISE NOTED.

- HW-1 3 HINGES
 1 CLOSER
 1 EXIT DEVICE
 1 THRESHOLD
 1 SET WEATHERSTRIP
- HW-2 3 HINGES
 1 CLOSER
 1 PUSH/PULL
- HW-3 3 HINGES
 1 PRIVACY SET
- HW-4 3 HINGES
 1 CLOSER
 1 PASSAGE SET
- HW-5 3 HINGES
 1 LOCKSET



NOTE:
 ALUMINUM STOREFRONT FRAMING TO BE EQUAL TO KAWNEER 461T THERMAL SYSTEM, ALUMINUM STOREFRONT DOORS EQUAL TO KAWNEER 280 SERIES. ALUMINUM FINISH: CLEAR ANODIZED. 1" INSULATING GLASS THROUGHOUT. SAFETY GLAZING WHERE REQUIRED BY CODE.

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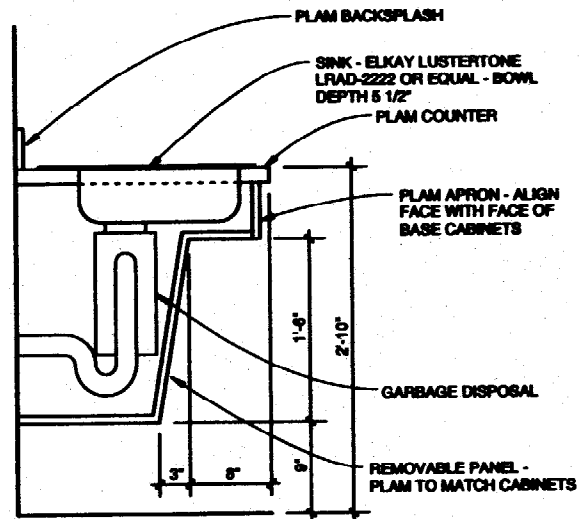


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Title
 DOOR & FINISH SCHEDULES
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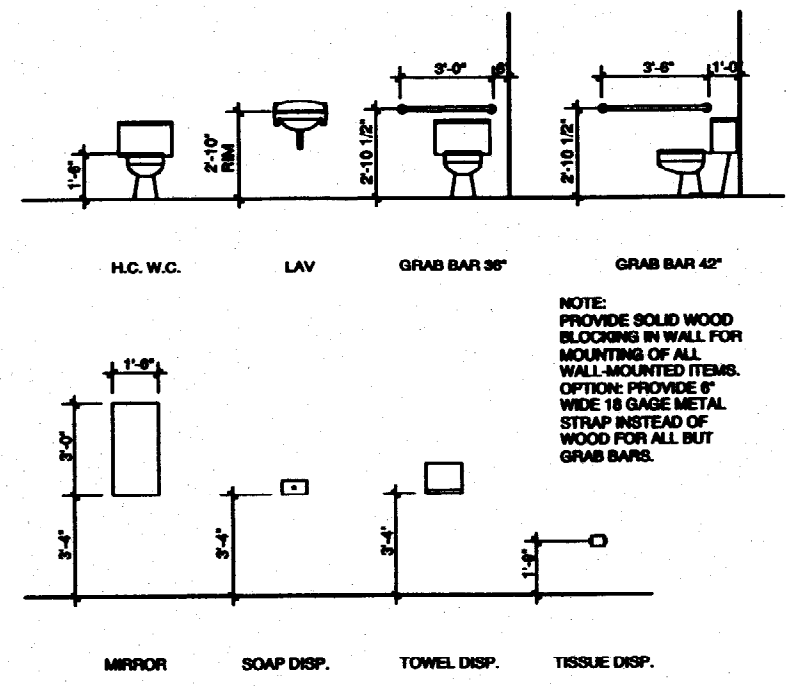
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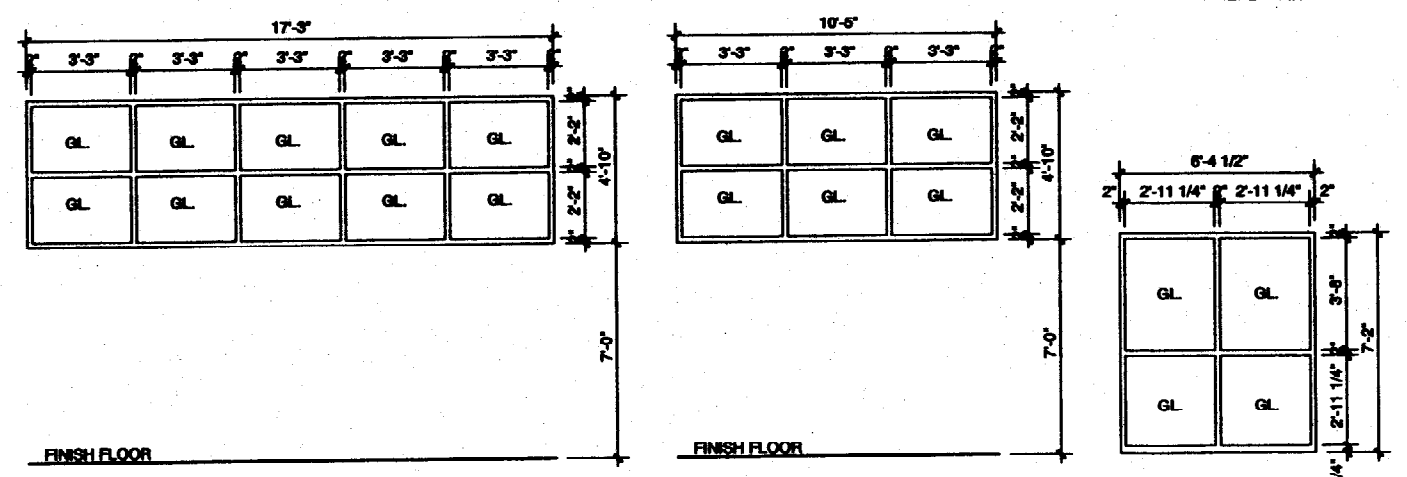
NOTE: DETAIL AT SINK EXTENDS FOR A MINIMUM OF 2'-6" ALONG COUNTERTOP, CENTERED ON SINK.

1 CASEWORK DETAIL AT KITCHEN SINK
SCALE: 1" = 1'-0"



NOTE: PROVIDE SOLID WOOD BLOCKING IN WALL FOR MOUNTING OF ALL WALL-MOUNTED ITEMS. OPTION: PROVIDE 6" WIDE 18 GAGE METAL STRAP INSTEAD OF WOOD FOR ALL BUT GRAB BARS.

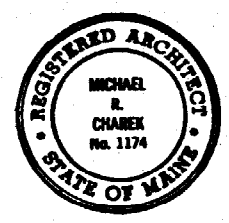
2 TOILET FIXTURE MOUNTING HEIGHTS
SCALE: 1/4" = 1'-0"



NOTE: ALUMINUM STOREFRONT FRAMING TO BE EQUAL TO KAWNEER 451T THERMAL SYSTEM. ALUMINUM FINISH: CLEAR ANODIZED. 1" INSULATING GLASS THROUGHOUT. SAFETY GLAZING WHERE REQUIRED BY CODE.

3 WINDOW SCHEDULE
SCALE: 1/4" = 1'-0"

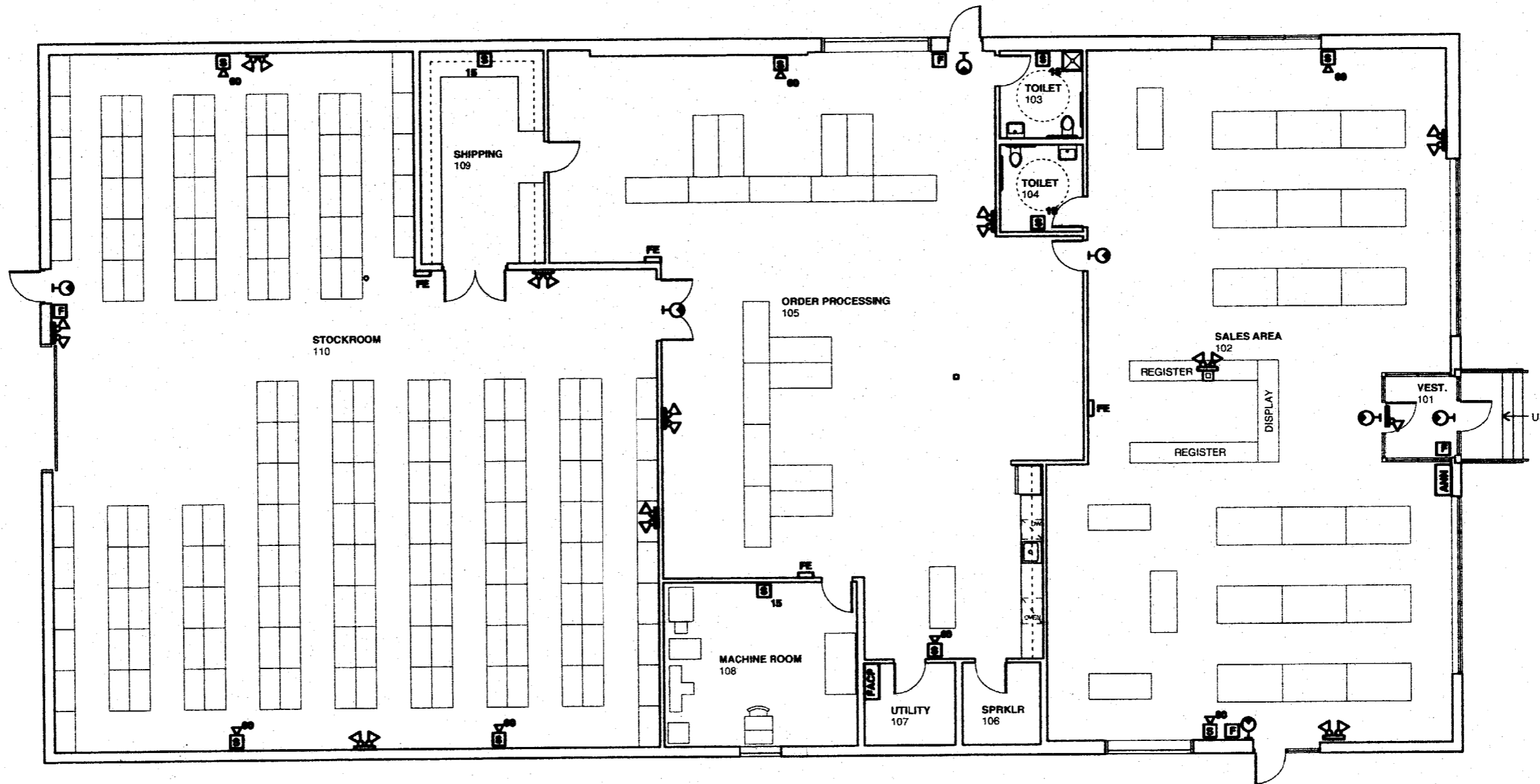
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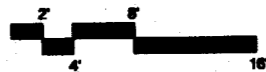
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1 LIFE SAFETY PLAN

SCALE: 1/8" = 1'-0"



SIGNAL AND LIFE SAFETY PLAN LEGEND

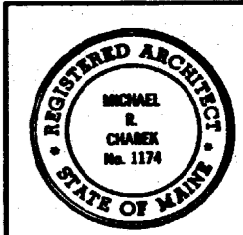
- EXIT SIGN, WALL MOUNT
- EMERGENCY LIGHT, TWO HEAD
- EMERGENCY LIGHT, SINGLE HEAD
- FIRE ALARM PULL STATION
- FIRE ALARM STROBE - NUMBER INDICATES CANDELA RATING
- FIRE ALARM HORN AND STROBE - NUMBER INDICATES CANDELA RATING
- FIRE EXTINGUISHER IN CABINET
- FIRE ALARM ANNUNCIATOR PANEL
- FIRE ALARM CONTROL PANEL

LIFE SAFETY PLAN NOTES

1. PLAN SHOWS LOCATIONS OF EXIT SIGNS, EMERGENCY LIGHTING, AND FIRE ALARM COMPONENTS.
2. PROVIDE COMPLETE MONITORED FIRE ALARM SYSTEM AS REQUIRED BY LOCAL AND STATE OFFICIALS.
3. SPRINKLER LAYOUT NOT SHOWN. SPRINKLER CONTRACTOR TO PROVIDE COMPLETE DESIGN DRAWINGS, APPROVED BY LOCAL AND STATE OFFICIALS.



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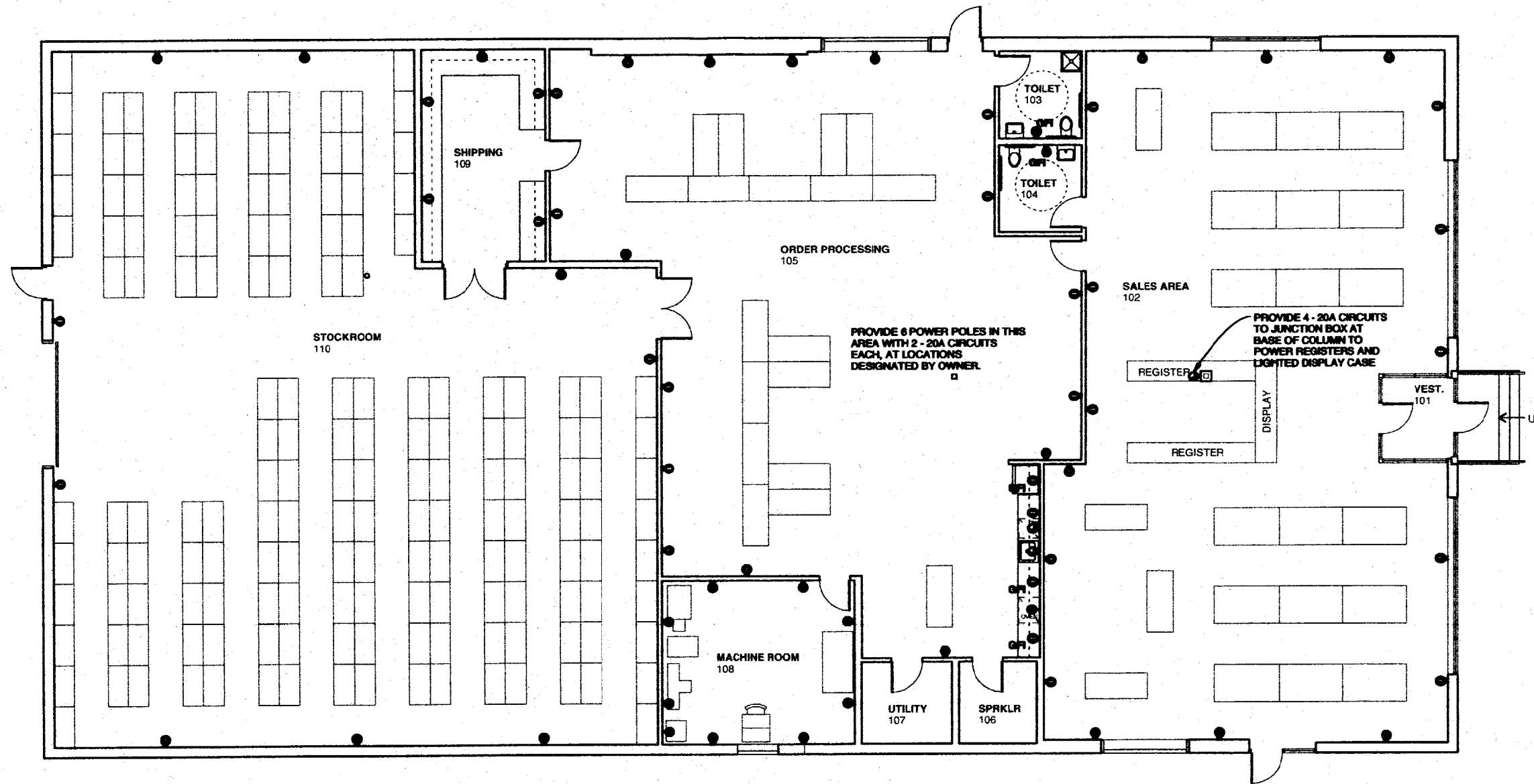


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1 ELECTRICAL POWER PLAN
SCALE: 1/8" = 1'-0"

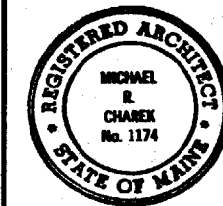


- POWER PLAN LEGEND**
- DUPLEX OUTLET 110V 20A
 - GFI DUPLEX OUTLET 110V 20A GROUND FAULT INTERRUPT
 - QUAD OUTLET 110V 20A
 - SINGLE OUTLET 210V 30A
 - JUNCTION BOX

- ELECTRICAL POWER PLAN NOTES**
1. PLAN SHOWS LOCATIONS OF ELECTRICAL POWER OUTLETS. CIRCUIT DESIGN BY OTHERS.
 2. TELEPHONE AND DATA WIRING BY OWNER.



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