

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

PERMIT ISSUED	
Permit No: 01-1524	Issue Date: JAN 3 2002
CBL: 142 C001001	

Location of Construction: 1025 Forest Ave	Owner Name: 1037 Partners Inc.	Owner Address: 120 Exchange St	Phone: 874-6959
Business Name:	Contractor Name: CSI Builders	Contractor Address: 492 Woodfords Street Portland	Phone: 2077975454
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone: I-L

Past Use: Warehouse	Proposed Use: Industrial Lab Laboratory	Permit Fee: \$678.00	Cost of Work: \$109,000.00	CEO District: 2
Proposed Project Description: Interior Renovations/Construct new walls, plumbing and HVAC system		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: B Type: 3B BOLA 1/29/02	

Signature: <i>[Signature]</i>	Signature: <i>[Signature]</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
Action: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	
Signature: <i>[Signature]</i>	Date:

Permit Taken By: gad	Date Applied For: 12/12/2001	Zoning Approval
-------------------------	---------------------------------	------------------------

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>[Signature]</i> 12/19/01	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>[Signature]</i>
	<i>Separate permits required for New Sewage</i>		

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
------------------------	---------	------	-------

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE	DATE	PHONE
---	------	-------

12/27/01 - 10' from property to C.M.U wall w/steel studs
and sheetrock. - OK for exterior walls - OK to
issue permit (Table 705.2) + (section 705.2)

1/28/02 U/G plumber waste lines ~~OK~~

2/28/02 checked all Graving, T + R. plumbing. All OK. However,
did not pass electrical inspection by M. Collins. J12

01-1524

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: ¹⁰²⁵ 1037 R Forest Ave, Portland, ME 04103		
Total Square Footage of Proposed Structure 2995 ft ²	Square Footage of Lot Interior construction	
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# 142-C-001-001	Owner: 1037 Partners Inc 120 Exchange St Portland, ME 04101	Telephone: 874-6959
Lessee/Buyer's Name (if Applicable) Maine Biotechnology Services attn: Sylvia Most or Joseph Chandler	Applicant name, address & telephone: 797-5454 x12 1037 R Forest Ave Portland, ME 04103	Cost Of Work: \$ 109,000 Fee: \$ 678.00
Current use: Warehouse Production Printing		
If the location is currently vacant, what was prior use: N/A		
Approximately how long has it been vacant: N/A		
Proposed use: Laboratory		
Project description: Remove existing non-bearing walls. Construct interior walls, plumbing and HVAC for new laboratory space.		
Contractor's name, address & telephone: CSI Builders 492 Woodford Street, Portland, ME 04103		
Who should we contact when the permit is ready: Sylvia Most 797-5454 x12		
Mailing address: Maine Biotechnology Services 1037 R Forest Ave Portland, ME 04103		Phone: xx call x11 Joe Chandler when ready

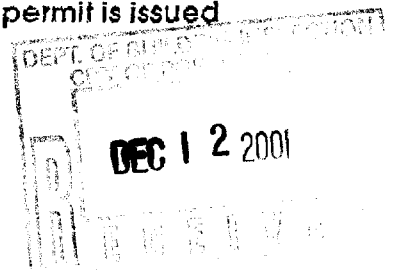
IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <i>Smor</i>	Date: 12/3/01
-------------------------------------	---------------

This is not a permit, you may not commence ANY work until the permit is issued

Gayf



Application ID Number: 1-1524

Department: Zoning

Status: Approved with Conditions

Reviewer: Marge Schmuckal

Comments: 1025 Forest Ave

Approval Date: 12/18/2001

Given On Date: 12/14/2001

OK to Issue Permit Name: Marge Schmuckal Date: 12/18/2001 Date 2:

Conditions Section:

Separate permits shall be required for any new signage.

Create Date: 12/14/2001 By: gg Update Date: 12/18/2001 By: rnes



Scott Simons Architects

15 Franklin St.
Portland, ME 04101

(207) 772-4656
(207) 828-4656 FAX
E MAIL: scott@simonsarchitects.com

MEMORANDUM

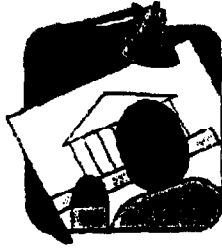
Date: November 30, 2001
Project name/number: Maine Biotechnology Services, 01120.00
Re: Permit Application
From: Lynn Shaffer
To: Building/Planning Department
Cc: Sylvia Most, Job File

Maine Biotechnology Services is applying for a permit to build-out an existing 2,950 s.f. warehouse space for use as biological laboratories. The space is in an existing concrete block building of fairly recent construction.

The project is primarily an interior build-out. Work on the exterior shell consists of removal of an overhead door and replacement with wall infill and a pair of swinging doors. There will also be an inoperable window installed in the existing CMU wall. Bringing in a larger water supply line may necessitate cutting bituminous paving.

Interior construction will be wood frame and will provide (2) laboratories, animal housing, a quarantine room, a cage-washing room, a lunch/meeting room and related spaces. One toilet room will be moved and a second one added. A deck will be framed above the rooms across the front of the space to provide a storage attic.

Mechanical and Electrical will be provided on a design/build basis.



CITY OF PORTLAND MAINE

389 Congress St., Rm 315

Portland, ME 04101

Tel. - 207-874-8704

Fax - 207-874-8716

TO: Inspector of Buildings City of Portland, Maine
Planning & Urban Development
Division of Housing & Community Services

FROM DESIGNER: Scott Simons
Scott Simons Architects

DATE: 12.03.01

Job Name: Maine Biotechnology Services

Address of Construction: _____

THE BOCA NATIONAL BUILDING CODE/1999 Fourteenth EDITION

Construction project was designed according to the building code criteria listed below:

Building Code and Year Boca 1999 Use Group Classification(s) Business

Type of Construction 3B Bldg. Height 20' Bldg. Sq. Footage 2,950

Seismic Zone NA Group Class NA

Roof Snow Load Per Sq. Ft. NA Dead Load Per Sq. Ft. NA

Basic Wind Speed (mph) NA Effective Velocity Pressure Per Sq. Ft. NA

Floor Live Load Per Sq. Ft. NA - 20#/s.f. @ attic

Structure has full sprinkler system? Yes _____ No X Alarm System? Yes _____ No X
Sprinkler & Alarm systems must be installed according to BOCA and NFPA Standards with approval from the Portland Fire Department.

Is structure being considered unlimited area building: Yes _____ No X

If mixed use, what subsection of 313 is being considered not mixed use

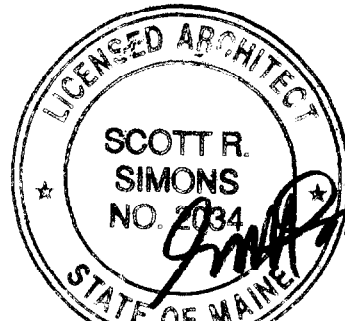
List Occupant loading for each room or space, designed into this Project

Total Space: 30
Clean Room: 4
Animal Lab: 4
Animal Housing: 10

Lunch/Conference: 2
Quarantine: 1

(Designers Stamp & Signature)

PSH 6/07/2K



Buildout within existing building.



City of Portland, Maine

389 Congress St., Rm 315
Portland, ME 04101

ACCESSIBILITY CERTIFICATE

TO: Inspector of Buildings City of Portland, Maine
Department of Planning & Urban Development
Division of Housing & Community Services

FROM: Scott Simons Architects

RE: Certificate of Design, HANDICAP ACCESSIBILITY

DATE: 12.03.01

These plans and/or specifications covering construction work on:

Buildout of existing warehouse space as
biological laboratories

Have been designed and drawn up by the undersigned, a Maine registered engineer/architect according to State Regulations as adopted by the State of Maine on Handicapped Accessibility.

(SEAL)



Signature [Handwritten Signature]

Title President

Firm Scott Simons Architects

Address 15 Franklin St.
Portland 04101



**CITY OF PORTLAND
BUILDING CODE CERTIFICATE**
389 Congress St., Rm 315
Portland, ME 04101

TO: Inspector of Buildings City of Portland, Maine
Department of Planning & Urban Development
Division of Housing & Community Service

FROM: Scott Simons

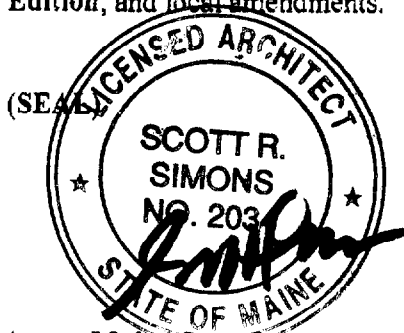
RE: Certificate of Design

DATE: 12.03.01

These plans and/or specifications covering construction work on:

Buildout of warehouse space as biological laboratories

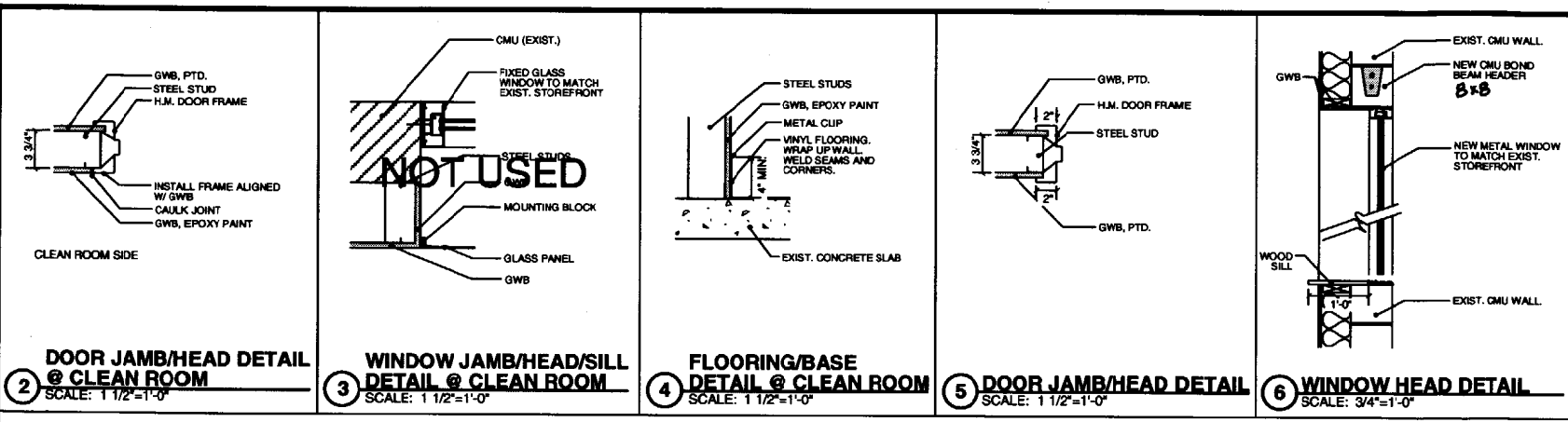
Have been designed and drawn up by the undersigned, a Maine registered architect/engineer according to the BOCA National Building Code/1999 Fourteenth Edition, and local amendments.



Signature [Signature]
 Title President
 Firm Scott Simons Architects
 Address 15 Franklin St.
Portland, ME 04101

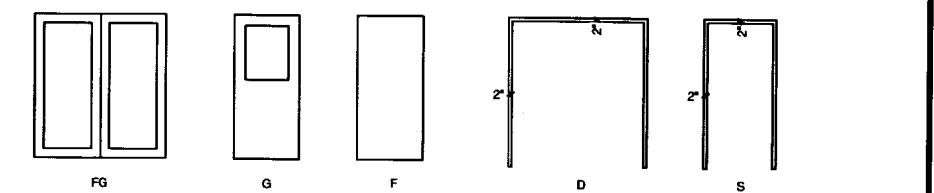
As per Maine State Law:

\$50,000.00 or more in new construction, repair, expansion, addition, or modification for Building or Structures, shall be prepared by a registered design Professional.



7 DOOR SCHEDULE

Door No.	Style	Door	Width	Height	Mat'l	Thickness	Int. Finish	Op'n	Type	Frame	Head	Jamb	Type	Hdw.	Remarks
1	Paired Exterior w/ Lights		6'-0"	6'-8"	Steel	1 3/4"	Factory finish	See Plan	FG	H.M.	4/A-1	4/A-1	S		To match ext. storefront door.
2	Interior Glass Panel		3'-0"	6'-8"	Wood	1 3/8"	Clear	See Plan	G	H.M.	4/A-1	4/A-1	S		
3	Interior Glass Panel		3'-0"	6'-8"	Wood	1 3/8"	Clear	See Plan	G	H.M.	4/A-1	4/A-1	S		
4	Interior Glass Panel		3'-0"	6'-8"	Wood	1 3/8"	Clear	See Plan	G	H.M.	4/A-1	4/A-1	S		
5	Interior Glass Panel		3'-0"	6'-8"	Wood	1 3/8"	Clear	See Plan	G	H.M.	4/A-1	4/A-1	S		
6	Interior Flush		3'-0"	6'-8"	Wood	1 3/8"	Clear	See Plan	F	H.M.	4/A-1	4/A-1	S		Solid Core
7	Interior Glass Panel		3'-0"	6'-8"	Wood	1 3/8"	Clear	See Plan	G	H.M.	4/A-1	4/A-1	S		
8	Interior Glass Panel		3'-0"	6'-8"	Wood	1 3/8"	Clear	See Plan	G	H.M.	4/A-1	4/A-1	S		
9	Interior Flush		3'-0"	6'-8"	Wood	1 3/8"	Clear	See Plan	F	H.M.	4/A-1	4/A-1	S		Solid Core
10	Interior Glass Panel		3'-0"	6'-8"	Wood	1 3/8"	Clear	See Plan	G	H.M.	4/A-1	4/A-1	S		
11	Interior Glass Panel		3'-0"	6'-8"	Wood	1 3/8"	Clear	See Plan	G	H.M.	4/A-1	4/A-1	S		
12	Interior Glass Panel		3'-0"	6'-8"	Wood	1 3/8"	Clear	See Plan	G	H.M.	4/A-1	4/A-1	S		



8 DOOR TYPES **9 FRAME TYPES**

10 WINDOW SCHEDULE

Mark	Mfgr	Type-Operatn	Frame	R.O.	Glass	Lites	Hardware	Remarks
A		Fixed	HM	4'-0"Wx4'-8"H	Low E 1 w/ Argon	2		Jamb extensions for 6" walls.
B		Not used.						
C		Not used.						
D		Fixed	HM	4'-0"Wx3'-4"H	Single Glazing	1		
E		Fixed	HM	4'-0"Wx3'-4"H	Single Glazing	1		
F		Fixed	HM	4'-0"Wx3'-4"H	Single Glazing	1		

11 ROOM FINISH SCHEDULE

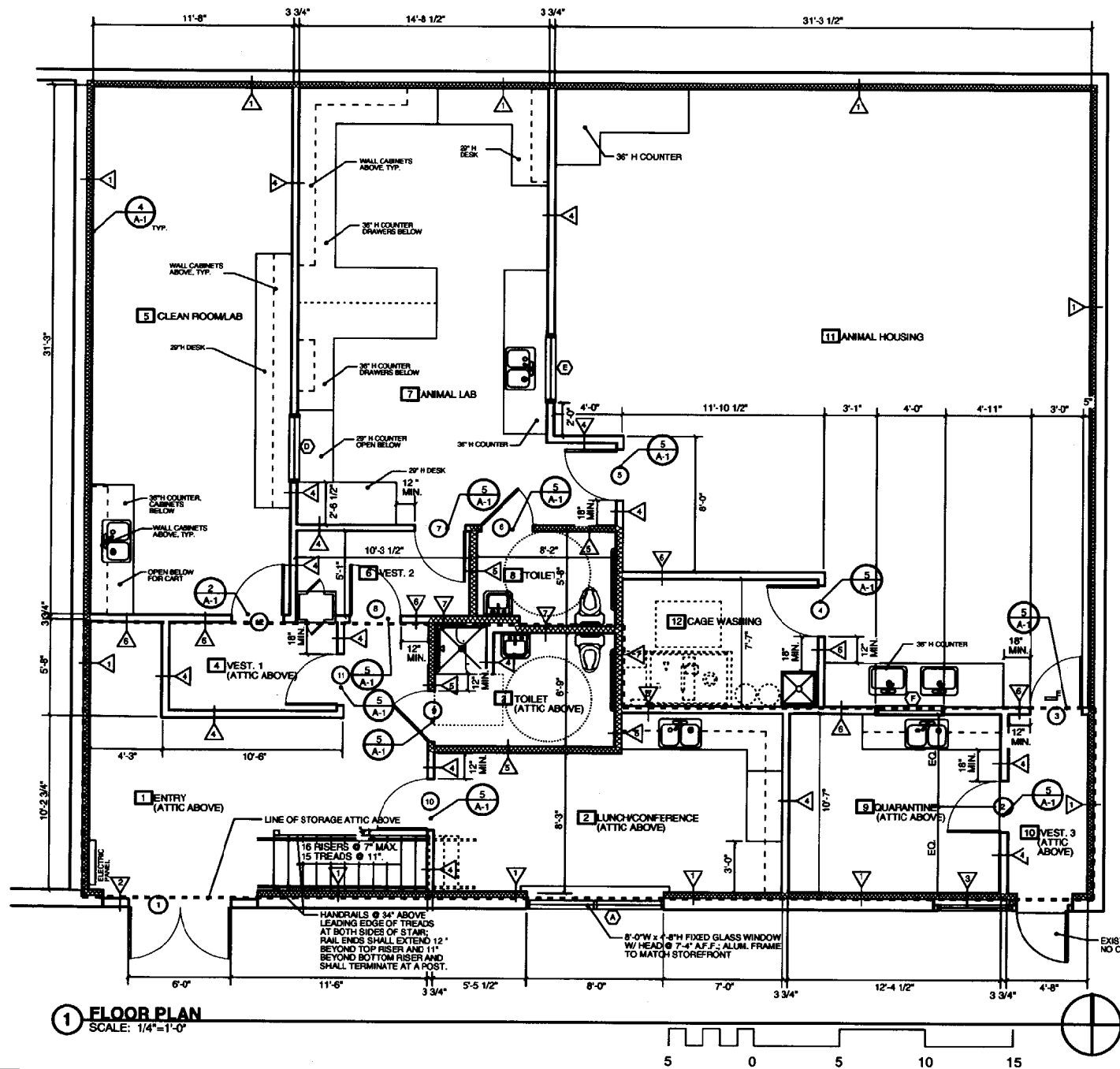
MARK	NAME	FLOORS		BASE		WALLS		CEILING		NOTES
		MAT.	FIN.	MAT.	FIN.	MAT.	FIN.	HT.	MAT.	
1	Entry	VCT		VB		GWB	P	8'-0"	ACT	2,4,5
2	Lunch/Conference	VCT		VB		GWB	P	8'-0"	ACT	
3	Toilet 1	VCT		VB		GWB	P	8'-0"	ACT	6
4	Vest 1	VCT		VB		GWB	P	8'-0"	ACT	
5	Clean Room	SHEET VINYL		SHEET VINYL		GWB	EP	10'-0"	GWB PAINT	1
6	Vest 2	VCT		VB		GWB	P	8'-0"	ACT	
7	Animal Lab	VCT		VB		GWB	EP	10'-0"	ACT	
8	Toilet 2	VCT		VB		GWB	P	8'-0"	ACT	6
9	Quarantine	CONC	SEALED	VB		GWB	EP	8'-0"	ACT	3
10	Vest 3	CONC	SEALED	VB		GWB	P	8'-0"	ACT	3
11	Animal Housing	CONC	SEALED	VB		GWB	EP	10'-0"	ACT	
12	Cage Washing	CONC	SEALED	VB		MRGWB	EP	10'-0"	GWB PAINT	

- NOTES:
- WELD ALL FLOORING SEAMS
 - PROVIDE RAILING OR 1/2 WALL 42" HIGH AT TOP OF STAIR TO ATTIC.
 - PAINT INSIDE OF EXTERIOR WINDOW. FIN NEW WALL PAST WINDOW.
 - REMOVE OVERHEAD DOOR. INSTALL STUD WALL W/ INSULATION, VAPOR BARRIER, GWB AND WITH METAL WALL PANEL @ EXTERIOR FACE TO MATCH EXIST. STOREFRONT.
 - WOOD STAIRS: 3/4" PLYWOOD TREAD AND RISER, PTD.
 - MR GWB W/ EPOXY PAINT @ PLUMBING WALL.

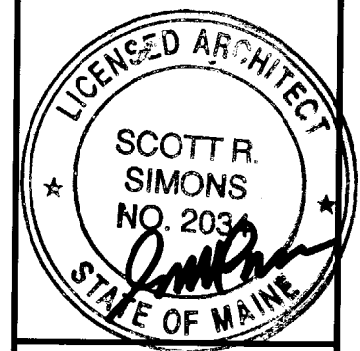
12 WALL TYPES

Symbol	Description
—	NEW WALLS
▨	WALLS W BATT INSULATION
△	NEW 6" STEEL STUDS AT 16" O.C. @ INTERIOR FACE OF CMU WALLS, 6" FIBERGLASS BATT INSULATION, VAPOR BARRIER, 1/2" GWB.
△	NEW 6" STEEL STUDS AT 16" O.C. METAL PANELS TO MATCH ALUM. STOREFRONT @ EXTERIOR FACE, BUILDING PAPER WRAP, 6" FIBERGLASS BATT INSULATION, VAPOR BARRIER, 1/2" GWB.
△	NEW 6" STEEL STUDS AT 16" O.C. INSTALL GWB. PAINT INTERIOR FACE OF EXIST. WINDOW. 6" FIBERGLASS BATT INSULATION, VAPOR BARRIER, 1/2" GWB.
△	NEW INTERIOR WALL. 3 5/8" STEEL STUDS AT 16" O.C. TO ABOVE CEILING, W 1/2" GWB, BOTH SIDES, PTD.
△	NEW INTERIOR WALL. 3 5/8" STEEL STUDS AT 16" O.C. TO ABOVE CEILING, W SOUND ATTENUATION BATTS AND 1/2" GWB, BOTH SIDES, PTD.
△	NEW INTERIOR WALL. 2 x 6 WOOD STUDS AT 16" O.C.
△	NEW INTERIOR WALL. 2 x 6 WOOD STUDS AT 16" O.C. W SOUND ATTENUATION BATTS AND 1/2" GWB, BOTH SIDES, PTD.

NOTE: DIMENSIONS TO FACE OF FRAMING. DRAWINGS DIMENSIONED FOR METAL FRAMING. ADJUST AS NECESSARY FOR WOOD FRAMING.



1 FLOOR PLAN
SCALE: 1/4"=1'-0"



SS
Scott Simons Architects
15 Franklin Street 4th
Portland, Maine 04101
Phone 857 772 6866
Fax 857 428 4999

THIS DRAWING IS THE PROPERTY OF SCOTT SIMONS ARCHITECTS AND IS NOT TO BE COPIED OR REPRODUCED IN PART OR WHOLE.

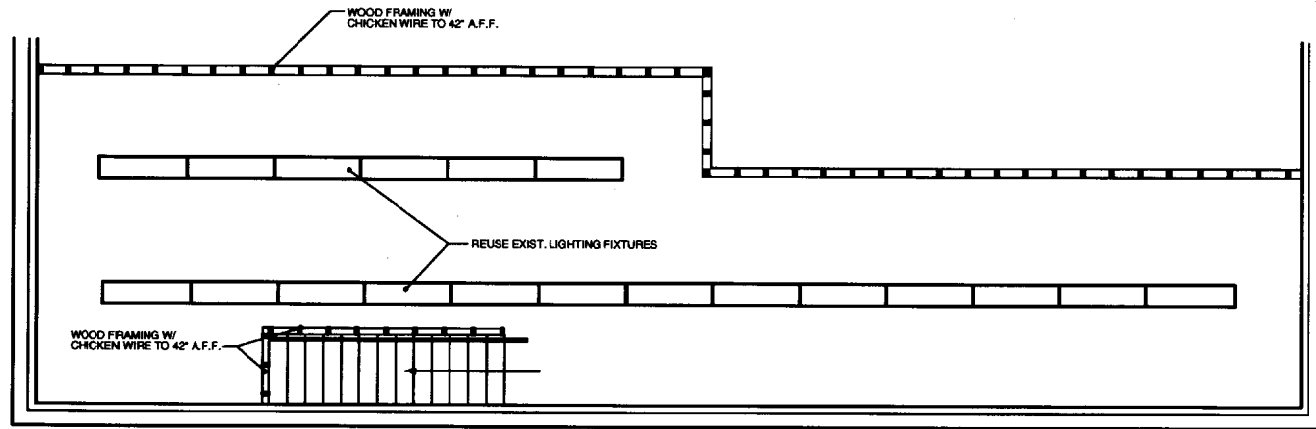
PROJECT
MAINE BIOTECHNOLOGY SERVICES
1037R FOREST AVENUE
PORTLAND, ME 04103

TITLE
PLAN

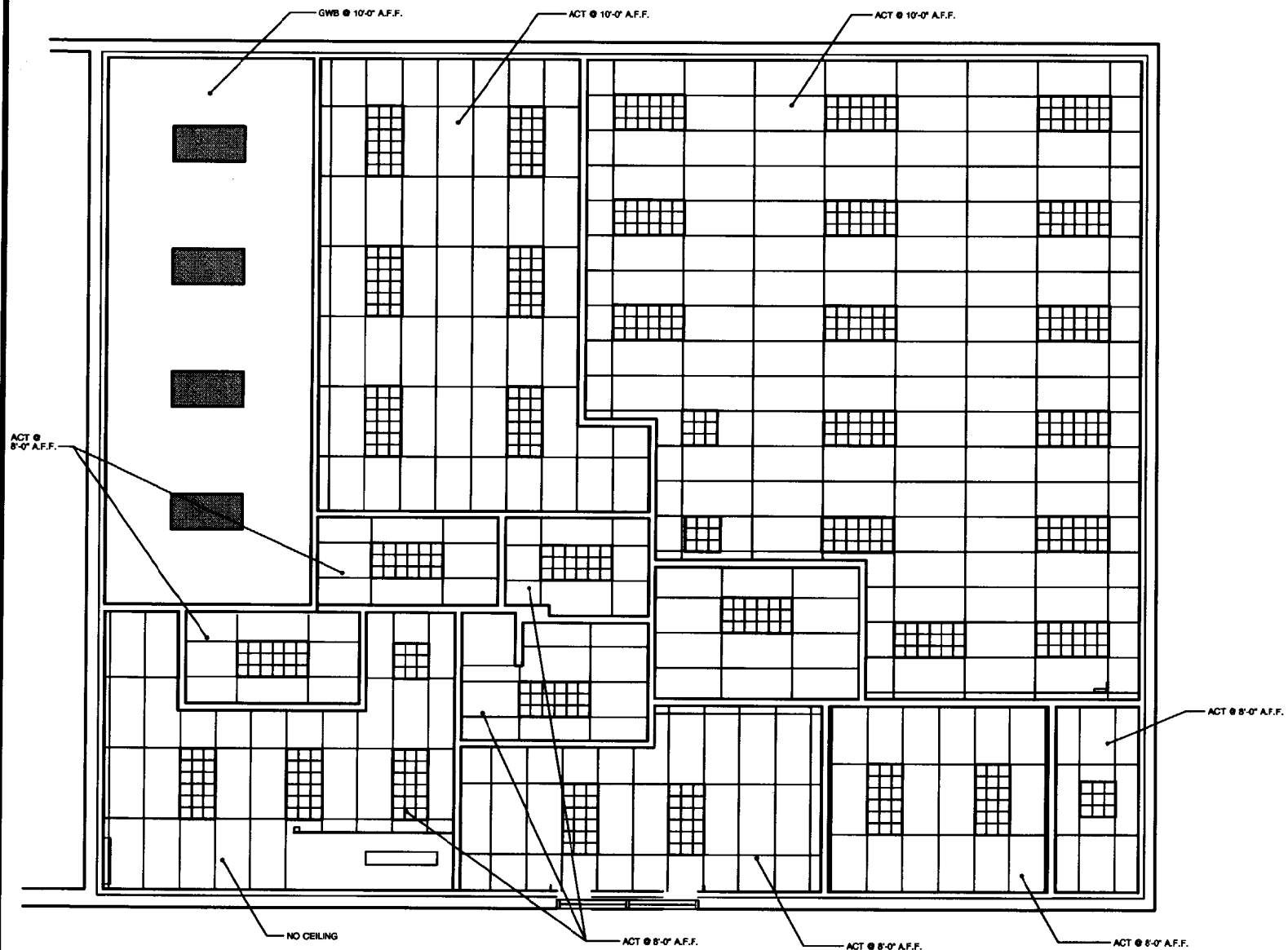
STATUS:
ISSUED FOR PERMITS
11.30.01

DATE: 09/18/01
SCALE: AS NOTED
PROJECT NO. 01120.00
DRAWN BY:
2001 © Scott Simons Architects

DWG NO. **A-1**



2 STORAGE ATTIC PLAN AND LIGHTING PLAN
SCALE: 1/4"=1'-0"



1 REFLECTED CEILING PLAN
SCALE: 1/4"=1'-0"

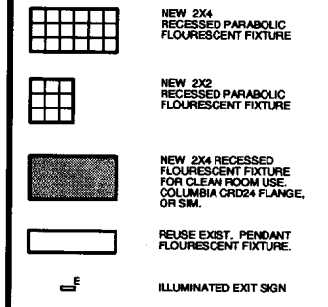
REFLECTED CEILING PLAN NOTES

1. INSTALL NEW CEILING TILES IN NEW TEE SUSPENSION SYSTEM.
2. USE NO COMBUSTIBLE MATERIALS OVER SUSPENDED CEILINGS.
3. INSTALL 5/8" TYPE X GWB @ CEILING AREAS NOTED. ATTACH TO METAL FRAMING. INSTALL IN STRICT CONFORMANCE WITH GWB MFG'S PRINTED SPECIFICATIONS.
4. SUPPORT WIRES FOR LAY-IN CEILING GRID MUST NOT BE CONNECTED TO ANY OF THE MECHANICAL, ELECTRICAL, PLUMBING, OR FIRE PROTECTION PIPING OR EQUIPMENT, OR TO THE ROOF DECK. ATTACH TO STRUCTURAL MEMBERS ONLY.
5. CEILING TILES: 2 X 4 ACUSTICAL CEILING PANELS, ARMSTRONG CORTEGA "SECOND LOOK", COLOR: WHITE (REGULAR TYPE) NON DIRECTIONAL WITH EXISTING EXPOSED TEE SYSTEM AT SALES AREA. INSTALL ALL WORK IN STRICT CONFORMANCE WITH MFG'S PRINTED SPECIFICATIONS. CEILING TILES WITH GOUGES, CHIPS OR STAINS WILL NOT BE ACCEPTED.
6. PROVIDE AN EXTRA CASE OF CEILING TILES FOR FUTURE USE.
7. G.C. TO COORDINATE COLOR OF CEILING DIFFUSERS WITH COLOR OF CEILING TILES.

SPRINKLERS

EXISTING SPRINKLER SYSTEM TO REMAIN. RECONFIGURE AS REQD TO CONFORM TO NEW FLOOR PLAN LAYOUT AND AS REQD BY CODE.
ADD NEW SPRINKLER HEADS AS REQD BY NEW FLOOR PLAN LAYOUT AND AS REQD BY CODE.
OBTAIN APPROVALS OF ALL AUTHORITIES HAVING JURISDICTION.

FLOURESCENT LIGHTING KEY



THIS DRAWING IS THE PROPERTY OF SCOTT SIMONS ARCHITECTS AND IS NOT TO BE COPIED OR REPRODUCED IN PART OR WHOLE.

PROJECT
MAINE BIOTECHNOLOGY SERVICES
1037R FOREST AVENUE
PORTLAND, ME 04103

TITLE

STATUS:
ISSUED FOR PERMITS
11.30.01

DATE: 0919.01	REVISION /DATE:
SCALE: AS NOTED	
PROJECT NO. 01120.00	
DRAWN BY:	

DWG NO. **A-2**

DUPLICATE

GENERAL RECEIPT

CITY OF PORTLAND, MAINE

DEPARTMENT Inspection	DATE 12/12/01
RECEIVED FROM Home Depot	
ADDRESS 1037 1/2 Front Ave	

UNIT	ITEM	REVENUE CODE	DOLLAR AMOUNT
	Building permit		678.00
	Check 7699		480.00
	cash		20.00
	CBX 142 Cool		
<input type="checkbox"/> CASH <input checked="" type="checkbox"/> CHECK <input type="checkbox"/> OTHER		TOTAL	478.00

RECEIVED BY

GPF INFORMATION SYSTEMS Box 878, Portland, ME 04104 (207) 774-1482 200747 GPF
 Commercial Printing • Business Forms • Advertising Societies • Labels