

CITY OF PORTLAND, MAINE
IN THE BOARD OF APPEALS

MISCELLANEOUS APPEAL

Alfred Waxler, owner of property at Walton Street
943-945 Forest Avenue, corner of
under the provisions of Section 24 of the Zoning Ordinance of the City of Portland, hereby respectfully petitions the Board of Appeals to permit: erection of a detached rotating pole sign having a maximum horizontal diameter of about 7 feet and a height of about 6-1/2 feet, with top about 24 feet above the surface of the ground beneath it. This permit is presently not issuable under the Zoning Ordinance because the sign will be an unlawful encroachment upon the 25-foot front yard area required by Section I2-C-2 of the Ordinance applying to the I-2 Industrial Zone in which the property is located.

LEGAL BASIS OF APPEAL: Such permit may be granted only if the Board of Appeals finds that enforcement of the terms of the Ordinance would result in undue hardship and desirable relief may be granted without substantially departing from the intent and purpose of the Ordinance.

Alfred Waxler
APPELLANT

DECISION

After public hearing held September 12, 1963 the Board of Appeals finds that enforcement of the terms of the Ordinance would result in undue hardship and desirable relief may be granted without substantially departing from the intent and purpose of the Ordinance, provided that the overall height of the sign shall not exceed 20 feet.

It is, therefore, determined that such permit may be issued, provided that the overall height of the sign shall not exceed 20 feet.

BOARD OF APPEALS

Franklin G. Hinckley
Harrold M. Stewart
Joseph J. Young

CITY OF PORTLAND, MAINE
IN THE BOARD OF APPEALS

September 9, 1963

TO WHOM IT MAY CONCERN:

The Board of Appeals will hold a public hearing in the Council Chamber at City Hall, Portland, Maine, on Thursday, September 12, 1963, at 4:00 p. m. to hear the appeal of Alfred Waxler requesting an exception to the Zoning Ordinance to permit erection of a detached rotating pole sign having a maximum horizontal diameter of about 7 feet and a height of about 6-1/2 feet, with top about 24 feet above the surface of ground beneath it at 943-945 Forest Avenue, corner of Walton Street.

This permit is presently not issuable because the sign will be an unlawful encroachment upon the 25-foot front yard area required by Section 12-C-2 of the Ordinance applying to the I-2 Industrial Zone in which the property is located.

All persons interested either for or against this appeal will be heard at the above time and place.

BOARD OF APPEALS

Franklin G. Hinckley

Chairman

cc: Ellis G. Jones, 173 Walton Street
Marbeth Realty Corporation, 749 Congress Street

September 9, 1963

Mr. Alfred Waxler
5 Bancroft Court
Portland, Maine

Dear Mr. Waxler:

September 12, 1963,

ALBERT J. SEARS
INSPECTOR OF BUILDINGS

CITY OF PORTLAND, MAINE
Department of Building Inspection

AP-943-945 Forest Ave., corner of Walton Street

August 27, 1963

House of Hay Mains Ltd.
Donald Hay
700 Lisbon Street
Lewiston, Maine

cc to: Mr. Alfred Saxler
5 Bancroft Court
cc to: Corporation Counsel

Gentlemen:

Permit for erection at the above named location of a detached rotating pole sign having a maximum horizontal diameter of about 7 feet and a height of about 6 1/2 feet, with top about 24 feet above the surface of the ground beneath it, is not issuable under the zoning ordinance because the sign will be an unlawful encroachment upon the 25 foot front yard area required by Section 12-102 of the ordinance applying to the I-2 Industrial zone in which the property is located.

We understand that you would like to exercise your appeal rights in this matter. Accordingly we are certifying the case to the Corporation Counsel, to whose office in Room 208, City Hall, an authorized representative of the owner of the property should go to file the appeal. In order for it to be considered at the next meeting of the Appeal Board, it is necessary that the appeal be filed not later than Friday, August 30th.

Very truly yours,

Albert J. Sears
Building Inspection Director

AJS:m

AP-943-945 Forest Ave. corner of Walton St.

July 1, 1963

Mr. Alfred Waxler
726 Forest Avenue

cc to: Mr. Norman A. Gray
649 Forest Avenue

Dear Mr. Waxler:

Building permit to erect a one-story masonry building 24 feet by 64 feet to be used for a drive-in refreshment stand at the above named location is issued here-with based on plans filed with application for permit but subject to the following conditions:

1. Compliance is to be provided with requirements of the City Sidewalk Ordinance as outlined in a previous letter.
2. It is understood that service of food and drink for consumption inside the building is not to be provided and that there will never be more than 20 people inside the building at any one time. Permit is issued on this basis.
3. Interior partitions, if of wood, are to be framed with no less than 2x3 studs spaced not over 16 inches on centers. Covering of walls, partitions and ceilings, at least in those areas where food or drink are to be manufactured or prepared, is not to be of undressed wood or other absorbent material.
4. Doors to toilet rooms and vestibules are to be equipped with self-closing devices.
- ✓ 5. Anchorage for front and rear walls at roof line is to be obtained by nailing the roof decking to the wood plates on top of the walls.
- ✓ 6. Steel roof decking is to be of a make that will provide a live load carrying capacity of not less than 40 pounds per square foot on the spans involved when applied on the basis of continuous beam action. Approval is to be secured from this office of the type, weight, etc. to be used before it is purchased.
7. Paving of lot is to be done in such a way that surface water will be drained into a catch basin to be installed on the lot and connected to the sewer, and not across the public sidewalk of either street.

Mr. Alfred Walker

Page 2

July 1, 1963

8. Separate permits issuable only to the actual installers are required from this department for the installation of heating and cooking equipment, systems of mechanical ventilation, and any detached, projecting, or roof signs.
9. As indicated in a previous letter, locations of detached signs on the premises are restricted by the Zoning Ordinance and information is to be furnished this office concerning any such signs as soon as it is available. In view of the fact that a zoning appeal may be necessary if erection in certain areas of the lot is desired, such information should be furnished well in advance of the desired time of their erection.
10. Notification is to be given this office for inspection before covering is applied inside building to walls, partitions, or ceilings.

Very truly yours,

Albert C. Sears
Building Inspection Director

AJS:m

GRAY ENGINEERING INC.

849 FOREST AVENUE • PORTLAND, MAINE • Telephone: Area Code 207, 772-5312

June 21, 1963

Mr. Albert J. Sears, Inspector of Buildings

Department of Building Inspection

City Hall

Portland, Maine

Re: AP-943-945 Forest Ave., corner of Walton St.

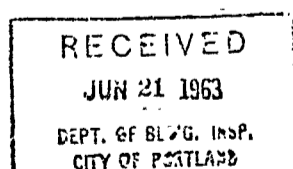
Dear Mr. Sears:

In reference to your letter of June 19, 1963, the first nine questions are answered in order:

1. The toilet room will have a power vent.
2. The toilet and vestibule doors will be self closing.
3. The interior partitions will be wood framed. *Plywood*
4. The store front will be aluminum tube frame with glass and porcelain enamel panels.
5. Wall covering will be plywood and the ceiling will be plaster or exposed steel.
6. The building is to be heated by Portland Gas Company equipment.
7. The front and rear walls will be anchored by the roof deck.
8. The steel roof design is based on A-36 steel.
9. The steel roof deck will have continuous beam action.

Very truly yours,

Norman A. Gray
Norman A. Gray



AP-943-945 Forest Ave., corner of Walton Street

June 19, 1963

Mr. Alfred Waxler
726 Forest Avenue
Mr. Norman A. Gray
649 Forest Avenue

Gentlemen:

Check of plans filed with application for permit for construction of a one-story masonry building 24 feet by 64 feet at the above named location discloses that the following additional information is needed before a building permit can be issued:

1. How is inside toilet room to be vented to meet requirements of the Plumbing Code.
2. Indication needs to be made that doors to toilet room and its vestibule are to be made self-closing.
3. What is construction of interior partitions to be?
4. Details of construction of store front are needed.
5. What is covering of walls and ceiling to be?
6. How is building to be heated and the heating equipment vented?
7. Anchorage of front and rear walls to roof framing at intervals of not over 8 feet in compliance with Building Code requirements needs to be shown. *Mr. Gray says roof decking will be fastened to wood plate which is anchored to wall. This is O.K.*
8. Is design of roof framing based on the use of A-7 or A-36 steel? *We are unable to find data on the 14" B at 17.2' beams shown in roof construction. 14" B @ 17.2' has 5 of 21 says Mr. Gray.*
9. Is steel roof decking designed on the basis of simple or continuous beam action? *- Mr. Gray says continuous span*
10. Under requirements of the City Sidewalk Ordinance it is necessary that, unless sidewalks and curbing are existing along both street frontages of the property, they be provided unless approval for their omission is secured from the City Council. Mr. Conner, the City Traffic Engineer should be consulted concerning application of this Ordinance.

This information furnished over phone by Mr. Gray on 6/20/63

Mr. Alfred Waxler
Mr. Norman Gray

Page 2

June 19, 1963

11. Information needs to be shown on revised plot plan as to surfacing of parking area and as to manner in which it is to be graded so that surface water will not run across the public sidewalk of either street. The plot plan already filed has been sent to the Planning Board for approval of location of driveway entrances to the lot, as must be done before issuance of a permit where access to the lot from more than one street is available.
12. Information is also needed as to the location, type, and construction of any signs proposed on the premises. Detached signs are not allowed closer than 25 feet to Forest Avenue or within a distance equal to the height of the building from Walton Street, nor within a 25-foot corner clearance area at the street corner.

Very truly yours,

Albert J. Sears
Building Inspection Director

AJS:m

(COPY)



Copy to:

CITY OF PORTLAND, MAINE
Department of Building Inspection

House of
Hay
Donald Hay
945 Forest Ave.

Certificate of Occupancy

LOCATION 1945 Forest Ave.

Issued to: Albert Sears

Date of Issue: October 26, 1963

This is to certify that the building, premises, or part thereof, at the above location, built—altered—changed as to use under Building Permit No. 157123, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below

PORTION OF BUILDING OR PREMISES
Entire

APPROVED OCCUPANCY
Drive-in Refreshment Stand

Limiting Conditions:

This certificate supersedes
certificate issued

Approved:

(Date)

E. Smith
Inspector

Albert A. Sears
Inspector of Buildings

CS 147

Notice: This certificate identifies lawful use of building or premises and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.



I-2 INDUSTRIAL ZONE

APPLICATION FOR PERMIT

Class of Building or Type of Structure Second Class
Portland, Maine, May 24, 1963

PERMIT ISSUED
00780
JUL 1 1963
CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 945 Forest Ave. Within Fire Limits? _____ Dist. No. _____
Owner's name and address Alfred Waxler, 726 Forest Ave. Telephone _____
Lessee's name and address _____ Telephone _____
Contractor's name and address owner Telephone _____
Architect _____ Specifications _____ Plans yes No. of sheets 3.4
Proposed use of building restaurant (DRIVE-IN REFRESHMENT STAND) No. families _____
Last use _____ No. families _____
Material _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____
Other buildings on same lot _____
Estimated cost \$ 14,000 Fee \$ 28.00

General Description of New Work

paid 6-14-63

To construct 1-story concrete block and steel restaurant 64'x24' as per plans

~~This application is preliminary to get settled the question of zoning appeal. In event the appeal is sustained the applicant will furnish complete information, the estimated cost and will pay legal fee. Permit Issued with Letter~~

appeal sustained 6/13/63

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO owner

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
Has septic tank notice been sent? _____ Form notice sent? _____
Height average grade to top of plate _____ Height average grade to highest point of roof _____
Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
Kind of roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
Framing Lumber—Kind _____ Dressed or full size? _____ Corner posts _____ Sills _____
Size Girder _____ Columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet:
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

with letter by AJJ

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto observed? yes
Alfred Waxler

CS 301

INSPECTION COPY

Signature of owner

Alfred Waxler

NOTES

7/19/63 - Rough excavation made S/S

7/26/63 - Formwork made S/S

8/12/63 - Laying up blocks. E. P. O.

9/16/63 - Roof laid. 1 door being ordered for concrete. S/S

10/11/63 - Partition partitions being constructed. Total 10' x 10' would be made to same cert. as all appears to same installed S/S

10/28/63 - Work done - Cert. to be issued, S. S. S.

Permit No. 10128/63

Location 4455 Avenue 116e

Owner Clifford H. Taylor

Date of permit 7/1/63

Notif. closing-in

Inspn. closing-in

Final Notif. 10/28/63

Final Inspn. 10/28/63

Cert. of Occupancy issued 10/29/63

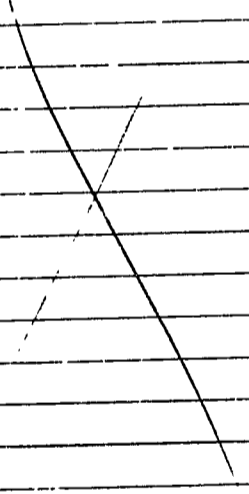
Staking Out Notice

Form Check Notice

10128/63

11/23/63

F



*Sustained 6/13/63
63/62*

DATE: June 14, 1963

HEARING ON APPEAL UNDER THE ZONING ORDINANCE OF Alfred Waxler

AT 943-945 Forest Avenue, corner of Walton Street

Public Hearing on the above appeal was held before the Board of Appeals.

BOARD OF APPEALS

	YES	NO
Franklin G. Hinckley	(x)	()
Robert L. Young Frederick L. Nelson	(x)	()
Harry M. Shwartz	(x)	()

Record of Hearing

No opposition.

CITY OF PORTLAND, MAINE
IN THE BOARD OF APPEALS

MISCELLANEOUS APPEAL

Alfred Waxler, owner of property at 943-945 Forest Ave., corner of Walton St. under the provisions of Section 24 of the Zoning Ordinance of the City of Portland, hereby respectfully petitions the Board of Appeals to permit: erection of a one-story masonry building 24 feet by 64 feet for use as a refreshment stand. This permit is presently not issuable under the Zoning Ordinance because one side wall is to be only 3 feet from the side lot line, and the rear wall is to be a minimum of 11 feet from the rear lot line instead of the minimum of 13 feet (height of building) required in each case by Sections 12-C-1 and 12-C-4 of the Ordinance applying to the I-2 Industrial Zone in which the property is located.

LEGAL BASIS OF APPEAL: Such permit may be granted only if the Board of Appeals finds that enforcement of the terms of the Ordinance would result in undue hardship and desirable relief may be granted without substantially departing from the intent and purpose of the Ordinance.

X Alfred Waxler
APPELLANT

DECISION

After public hearing held June 13, 1963 the Board of Appeals finds that enforcement of the terms of the Ordinance would result in undue hardship and desirable relief may be granted without substantially departing from the intent and purpose of the Ordinance.

It is, therefore, determined that such permit may

be issued.

BOARD OF APPEALS

Charles E. Hindley
Thomas J. Hurd
Pedro A. Nelson

CITY OF PORTLAND, MAINE
IN THE BOARD OF APPEALS

June 11, 1963

TO APPEAR AT THE HEARING:

The Board of Appeals will hold a public hearing in the Council Chamber at City Hall, Portland, Maine, on Thursday, June 13, 1963, at 9:00 a.m. to hear the appeal of Alfred Waxler regarding an exception to the zoning ordinance to permit erection of a masonry building 24 feet by 64 feet for use as a refreshment stand at 943-945 Forest Avenue, corner of Walton Street.

This permit is especially desirable because one side wall is to be only 1 foot from the side lot line, and the rear wall is to be a minimum of 11 feet from the rear lot line, instead of the minimum of 13 feet (height of building) required in each case by Sections 17-C-1 and 17-C-4 of the Ordinance applying to the 1-2 residential zone in which the property is located.

All persons interested either for or against this appeal will be heard at the above time and place.

BOARD OF APPEALS

FRANKLIN C. BRIDGES

Chairman

cc: Mr. and Mrs. Ellis G. Jones, 173 Walton Street
Marbeth Realty Company, 749 Congress Street

June 10, 1963

Mr. Alfred Waxler
726 Forest Avenue
Portland, Maine

Dear Mr. Waxler:

June 13, 1963,

Misc.
\$5

ALBERT J. SEARS
INSPECTOR OF BUILDINGS

CITY OF PORTLAND, MAINE
Department of Building Inspection

AP 943-945 Forest Ave., corner of Walton St.

May 27, 1963

Mr. Alfred Waxler
726 Forest Avenue

cc to: Mr. Norman A Gray
649 Forest Avenue
cc to: Corporation Counsel

Dear Mr. Waxler:

Building permit for erection of a one story masonry building 24 feet by 64 feet for use as a refreshment stand at the above named location is not issuable under the Zoning Ordinance for the following reasons:

1. One side wall is to be only 3 feet from the side lot line, and the rear wall is to be a minimum of 11 feet from the rear lot line, instead of the minimum of 13 feet (height of building) required in each case by Sections 12-C-1 and 12-C-4 of the Ordinance applying to the I-2 Industrial Zone in which the property is located.

We understand that you would like to exercise your appeal rights concerning these discrepancies. Accordingly we are certifying the case to the Corporation Counsel, to whose office in Room 208, City Hall, you should go to file the appeal.

Very truly yours,

Albert J. Sears
Building Inspection Director

AJS:m

C
O
P
Y



1-2 INDUSTRIAL ZONE

APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class
Portland, Maine, March 29, 1962

PERMIT ISSUED

002681
MAR 29 1962

CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 945 Forest Ave. Within Fire Limits? _____ Dist. No. _____
 Owner's name and address Alfred Waxler, 5 Bancroft Court Telephone _____
 Lessee's name and address _____ Telephone _____
 Contractor's name and address owner Telephone _____
 Architect _____ Specifications _____ Plans No. _____ No. of sheets _____
 Proposed use of building _____ No. families _____
 Last use Apartment house No. families 6
 Material frame _____ No. stories 3 Heat _____ Style of roof _____ Roofing _____
 Other buildings on same lot _____
 Estimated cost \$ _____ Fee \$ 5.00

General Description of New Work

To demolish existing 3-story frame building.

To demolish 2-2 car garages. (frame)

Do you agree to tightly and permanently close all sewers or drains connecting with public or private sewers from this building or structure to be demolished under the supervision and to the approval of the Dept. of Public Works of the City of Portland? Yes

Land to be left vacant

Evacuation letter sent 3-29-62
It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO** owner

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
 Is connection to be made to public sewer? _____ If not, what is proposed for sewerage? _____
 Has septic tank notice been sent? _____ Form notice sent? _____
 Height average grade to top of plate _____ Height average grade to highest point of _____
 Size, front _____ depth _____ No. stories _____ solid or filled land? _____
 Material of foundation _____ Thickness, top _____ bottom _____
 Kind of roof _____ Rise per foot _____ Roof covering _____
 No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
 Framing Lumber—Kind _____ Dressed or full size? _____ Corner posts _____ Sills _____
 Size Girder _____ Columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

CS 301

INSPECTION COPY

Signature of owner

Alfred Waxler

P.H.

NOTES

4/30/62 - No work started

SH

5/16/62 - Same SH

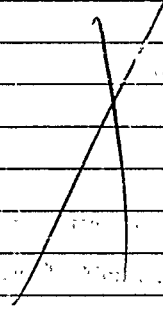
5/28/62 - Same SH

6/20/62 - Demolition
nearly completed

SH

7/13/62 - work done

SH



Permit No.	62/206
Location	945 Reed Ave
Owner	Robert Miller
Date of permit	3/30/62
Notif. closing-in	
Inspn. closing-in	
Final Notif.	
Final Inspn.	7/12/62
Cert. of Occupancy issued	
Staking Out Notice	
Form Check Notice	

5/19/62
SH

CITY OF PORTLAND, MAINE
DEPARTMENT OF BUILDING INSPECTION

April 19, 1962

Alfred W. Lerner
Director of Building Inspection
Portland, Maine

With relation to permit applied for to demolish a building or portion of building at 1055 Forest Ave. it is unlawful to commence demolition work until a permit has been issued from this department.

Section 6 of the ordinance for rodent and vermin control provides: "It shall be unlawful to demolish any building or structure unless provision is made for rodent and vermin eradication. No permit for the demolition of a building or structure shall be issued by the Building Inspector until and unless provisions for rodent and vermin eradication have been carried out under supervision of a pest control operator registered with the Health Department.

The building permit for demolition cannot be issued until the provisions of this section have been satisfied. It is the obligation of owner or demolition contractor or both to take up with the Health Department the matter of complying with this section, being prepared to inform that department what registered pest control operator is to be employed.

Very truly yours,

Albert J. Sears

Albert J. Sears
Inspector of Buildings

AJS/H

Eradication of ^{these} buildings has been completed.

J. L. Lerner
3-30-62

29434 - 21427
29167 -



I-2 INDUSTRIAL ZONE

APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class
Portland, Maine, Sept. 7, 1960

PERMIT ISSUED

SEP 7 1960

CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 945 Forest Ave. Within Fire Limits? _____ Dist. No. _____
 Owner's name and address William S. Mann, 381 Falmouth Rd., Falmouth, Me. Telephone _____
 Lessee's name and address _____ Telephone _____
 Contractor's name and address B. G. Builders, 32 Longfellow Dr., Cape Eliz. Telephone _____
 Architect _____ Specifications _____ Plans _____ No. of sheets _____
 Proposed use of building _____ No. families _____
 Last use apt. house No. families _____
 Material wood frame No. stories 3 Heat _____ Style of roof pitch Roofing _____
 Other buildings on same lot _____
 Estimated cost \$ 300. Fee \$ 2.00

General Description of New Work

To demolish existing 1-story porch - 8'x25'
to construct new steps to use temporarily

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO** contractor

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
 Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
 Has septic tank notice been sent? _____ Form notice sent? _____
 Height average grade to top of plate _____ Height average grade to highest point of roof _____
 Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
 Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
 Material of underpinning _____ Height _____ Thickness _____
 Kind of roof _____ Rise per foot _____ Roof covering _____
 No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
 Framing Lumber—Kind _____ Dressed or full size? _____ Corner posts _____ Sills _____
 Size Girder _____ Columns under girders _____ Size _____ Max. on centers _____
 Kind and thickness of outside sheathing of exterior walls? _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will work require disturbing of any tree on a public street? _____
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? Yes

B. G. Builders

By: Harold D. Gathrow

Signature of owner

APPROVED:
OK-9/7/60-ags

INSPECTION COPY

NOTES

9/18/60 - No insp made
E.S.S.

Lined area for notes, mostly blank with a large 'X' drawn through the middle.

Permit No.	60112883
Location	945 1/2 Street Ave
Owner	William J. Mares
Date of permit	9/7/60
Notif. closing-in	
Inspn. closing-in	
Final Notif.	
Final Inspn.	
Cert. of Occupancy issued	
Staking Out Notice	
Form Check Notice	

Large lined area for additional notes or observations, mostly blank.



FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, June 24, 1958

PERMIT ISSUED
JUN 24 1958
CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 945 Forest Ave. Use of Building Residence No. Stories 2 New Building
Name and address of owner of appliance Mr. Merritt Munde 945 Forest Ave. Existing
Installer's name and address Ballard Oil & Equipment Co. Telephone

General Description of Work

To install conversion oil burner in existing steam boiler (replacement)

IF HEATER, OR POWER BOILER

Location of appliance Any burnable material in floor surface or beneath?
If so, how protected? Kind of fuel?
Minimum distance to burnable material, from top of appliance or casing top of furnace
From top of smoke pipe From front of appliance From sides or back of appliance
Size of chimney flue Other connections to same flue
If gas fired, how vented? Rated maximum demand per hour
Will sufficient fresh air be supplied to the appliance to insure proper and safe combustion?

IF OIL BURNER

Name and type of burner Ballard Gun Type Model SA-2 Labeled by underwriters' laboratories? Yes
Will operator be always in attendance? No Does oil supply line feed from top or bottom of tank? Bottom
Type of floor beneath burner Concrete Size of vent pipe 1 1/4"
Location of oil storage Basement Number and capacity of tanks 1 - 275 existing
Low water shut off Make Mc Donnell & Miller No. #67
Will all tanks be more than five feet from any flame? Yes How many tanks enclosed? None
Total capacity of any existing storage tanks for furnace burners None

IF COOKING APPLIANCE

Location of appliance Any burnable material in floor surface or beneath?
If so, how protected? Height of Legs, if any
Skirting at bottom of appliance? Distance to combustible material from top of appliance?
From front of appliance From sides and back From top of smoke pipe
Size of chimney flue Other connections to same flue
Is hood to be provided? If so, how vented? Forced or gravity?
If gas fired, how vented? Rated maximum demand per hour

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

Replacing old oil burner

Amount of fee enclosed? \$2.00 (\$2.00 for one heater, etc., 50 cents additional for each additional heater, etc., same building at same time.)

APPROVED:
6-24-58
[Signature]

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?

BALLARD OIL & EQUIPMENT CO.

[Signature]
R. J. Cole, Manager
Oil Heating Department

C17 MAINE PRINTING CO.
INSPECTION COPY

Signature of Installer

P.T.T.

7-1 B-6

Permit No. 55/791

Location 945 Jewell Ave

Owner Permitt Licensee

Date of permit 6/24/55

Approved [Signature]

NOTES

1	Joint	
2	Hand in Hand	
3	Harmer Mixality & Support	
4	Shocks & Layout	
5	Shock Control	
6	High Limit Control	
7	Leakage Control	
8	Shielding Support & Protection	
9	Valves in Supply Line	
10	Capacity of Tanks	
11	Flow Rate	
12	Flow Rate	
13	Flow Rate	
14	Flow Rate	
15	Flow Rate	
16	Flow Rate	
17	Flow Rate	
18	Flow Rate	
19	Flow Rate	
20	Flow Rate	
21	Flow Rate	
22	Flow Rate	
23	Flow Rate	
24	Flow Rate	
25	Flow Rate	
26	Flow Rate	
27	Flow Rate	
28	Flow Rate	
29	Flow Rate	
30	Flow Rate	

7.7.58. [Signature]

[Large blank lined area for notes]

Amend. 21

August 23, 1933

A. J. Bird Co.,
52 1/2 Portland Street
Portland, Maine

Gentlemen:

Enclosed is amendment to building permit to cover construction of an outside stairway on the building owned by Mrs. W. P. Goss at 345 Forest Avenue.

If the brackets indicated at the lower end of the lower run of stairs is not an existing one intended to support the present platform, I presume you will follow our regular practice and introduce a through bolt at the top of any new brackets.

I note the absence of any vertical members or balusters in the railings of the landings. I think there should be enough vertical members introduced so that a person getting out of the window at the second floor level and walking from the door window to the landing at the third floor level could not possibly slip under the horizontal rail and fall to the ground, such an accident being particularly eminent in the winter time when the walk, steps and landings probably will be slippery. I also think that some additional vertical members should be introduced into the stair rails for the same purpose.

I presume ample means will be taken of anchoring down the inside ends of the cantilevered landing at the roof level.

Very truly yours,

W McD/H

CC: Mrs. W. P. Goss
345 Forest Avenue

Albert R. Farrington
178 Dartmouth Street

Inspector of Buildings



APPLICATION FOR PERMIT PERMIT ISSUED

Class of Building or Type of Structure Third Class

Portland, Maine, August 9, 1939 AUG 10 1939

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 945 Forest Avenue Within Fire Limits? no Dist. No.
Owner's or Lessee's name and address Mrs. W. P. Goss, 945 Forest Avenue Telephone
Contractor's name and address A. J. Bird Co., 524 Portland St. Telephone 2-2723
Proposed use of building Tenement house No. families 6
Estimated cost \$ 80. Fee \$.50 .25

Description of Present Building to be Altered

Material wood No. stories 2 1/2 Heat steam Style of roof hip Roofing asphalt
Last use Tenement house No. families 6

General Description of New Work

To cut in new skylight in south side of roof for ventilation of new bath room on third floor, window to be at least three square feet in area
To put in new 9' partition (2x3 studs 16" OC) for this new bath room

This permit will be amended to cover fire escape to provide an additional means of egress from this third floor apartment

EXEMPT FROM CITY PERMIT
EXEMPT FROM STATE PERMIT

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Is any plumbing work involved in this work? yes
Is any electrical work involved in this work? yes Height average grade to top of plate
Size, front depth No. stories Height average grade to highest point of roof
To be erected on solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Material of underpinning Height Thickness
Kind of Roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining
Kind of heat Type of fuel Is gas fitting involved?
Framing Lumber—Kind Dressed or Full Size?
Corner posts Sills Girt or ledger board? Size
Material columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 o. larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
Joists and rafters: 1st floor, 2nd, 3rd, roof
On centers: 1st floor, 2nd, 3rd, roof
Maximum span: 1st floor, 2nd, 3rd, roof
If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot, to be accommodated
Total number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? Mrs. W. P. Goss

Signature of owner Mrs. W. P. Goss
By A. J. Bird

INSTRUCTION COPY CHIEF OF FIRE DEPT.

5026C



Original Permit No. 39/1225
Amendment No. 1

PERMIT ISSUED

AMENDMENT TO APPLICATION FOR PERMIT 29 1939

Portland, Maine, August 19, 1939

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for an amendment to Permit No. 39/1225 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 943-953 Forest Avenue Ward _____ Within Fire Limits? NO Dist. No. _____

Owner's or Lessee's name and address Mrs. W. P. Goss, 945 Forest Avenue

Contractor's name and address A. J. Bird Co., 52A Portland Street

Plans filed as part of this Amendment yes No. of Sheets 1

Increased cost of work .75 Additional fee .25

Description of Proposed Work

To construct wooden fire escape from third floor to grade, as per plan.

Sent to Fire Dept. 8/19/39
Rec'd from Fire Dept. _____

Mrs. W. P. Goss
A. J. Bird Co.
Signature of Owner: [Signature]

Approved: _____
Chief of Fire Department.

Approved: 9-9/39
Inspector of Buildings

INSPECTION COPY
Commissioner of Public Works.

5/27/39
9/6

P.33/1210-I
Reaad. #1

August 23, 1933

A. J. Bird Co.,
522 Portland Street,
Portland, Maine

Gentlemen:

I am unable to approve and issue your application for an amendment to the building permit for Mrs. W. P. Goss at 945 Forest Avenue, to cover construction of an outside stairway, evidently to act as a fire escape, because the stairway as shown on the plan does not comply with the Building Code for stairways of tenement houses.

The building Code requires that stairs for existing buildings used or to be used for tenement houses shall have risers no more than eight and one-half inches and treads no less than eight and one-half inches and shall be at least two feet ten inches in width. The building Code also provides that outside wooden stairways may be used in place of standard fire escapes of metal, provided they receive the approval of the Inspector of Buildings. We have had some unfortunate experiences in the past with wooden stairways to serve as fire escapes, and it has become the practice of many years of this department to require that such outside wooden stairways comply with the building Code as to risers and treads and that such stairways be at least 30 inches wide.

The upper run of the proposed stairs is very much deeper than allowed by the Building Code and the width of the stairs seems as though it might be somewhat less than 30 inches. It may be that the width will actually satisfy the Code, and I note there is a dimension of two feet and six inches on one part of the plan. The upper run of stairs as to pitch obviously does not satisfy the requirements.

It would be well to have the plan adjusted so as to satisfy Building Code requirements, at the same time elaborating more fully on the unusual way of supporting the landings (it is our practice to require bolts through the wall in all such cases as occurs at one side of the second story landings); or to adopt a standard fire escape for this situation.

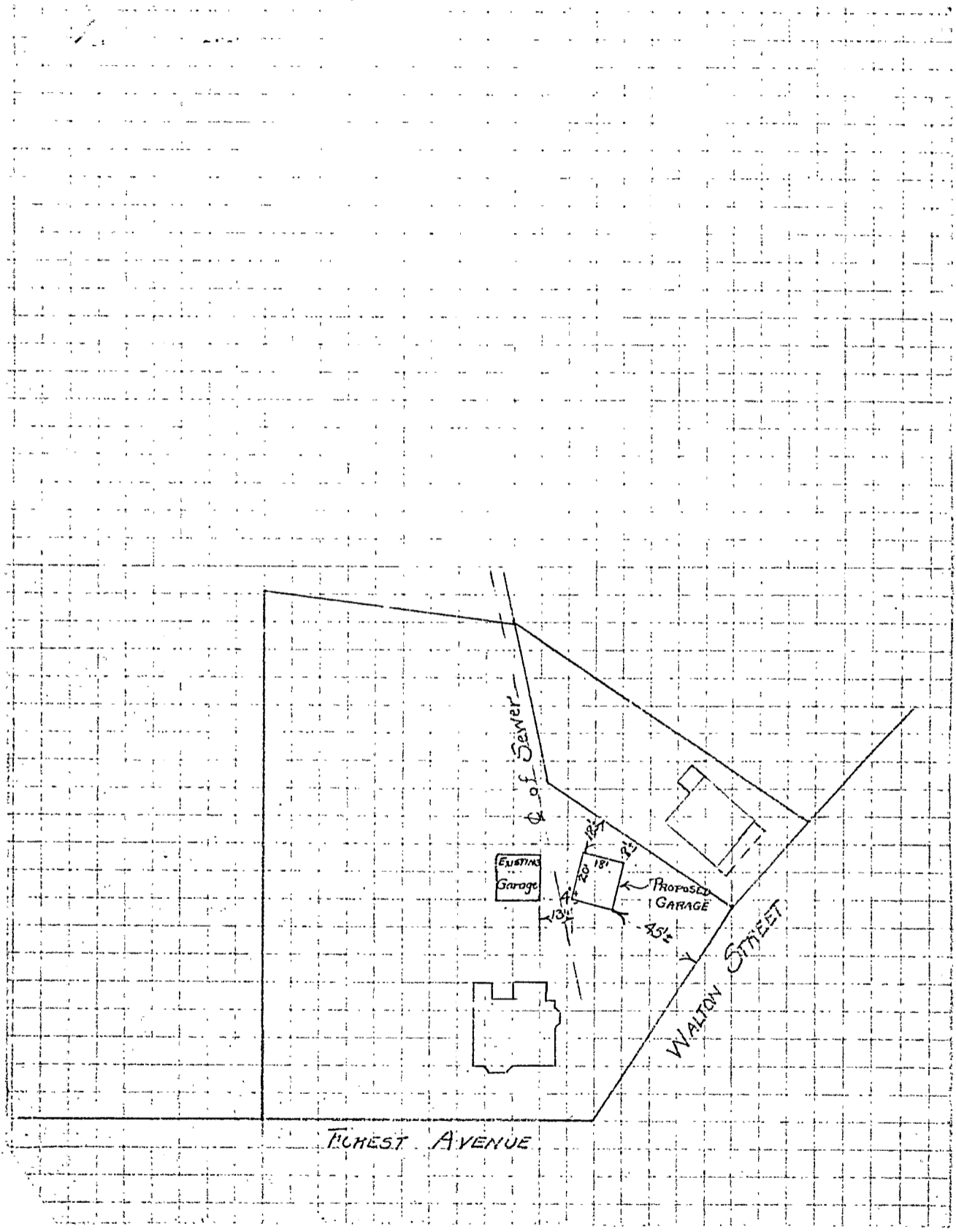
Both Mrs. Goss and Mr. Farrington are receiving a copy of this letter.

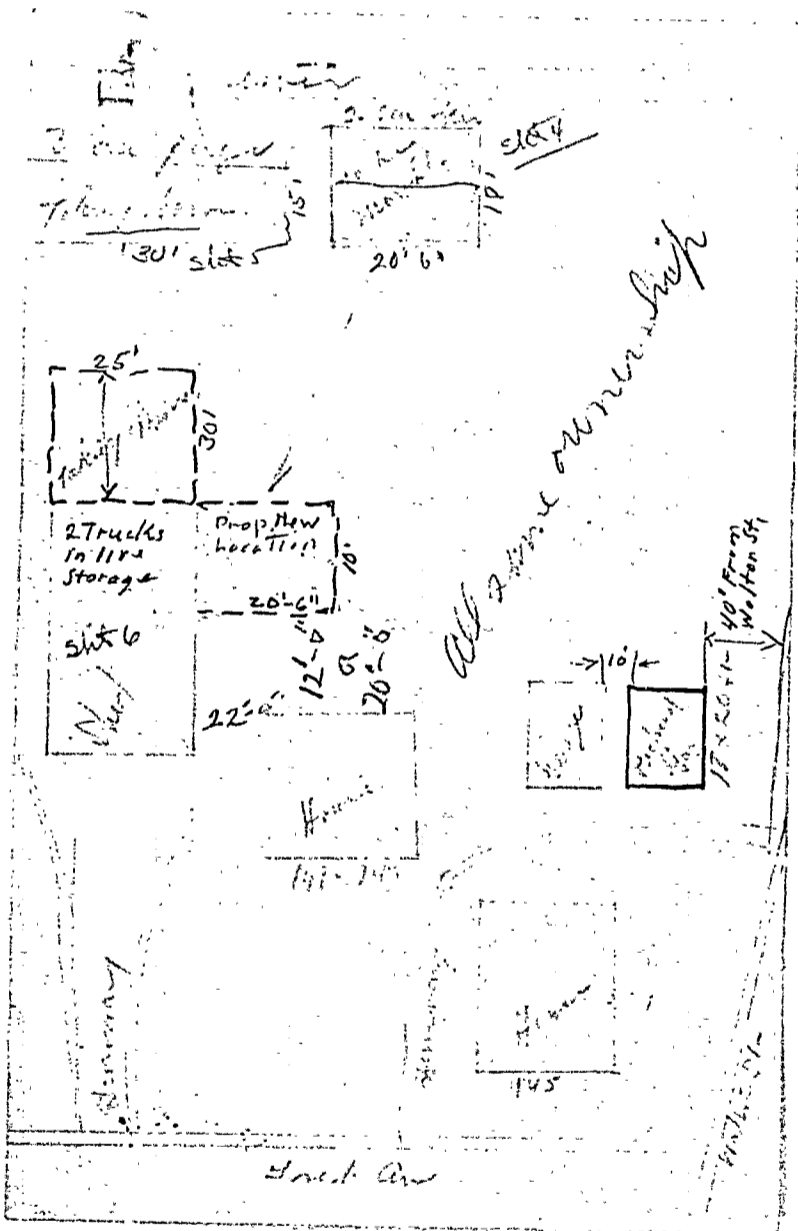
Very truly yours,

WMcD/H CC: Mrs. W. P. Goss, 945 Forest Ave. Inspector of Buildings
* CC: Albert R. Farrington
178 Dartmouth Street

Dear Mr. Farrington: Will you be good enough to get straightened out as to how far we can go with these outside wooden stairways. An owner in such a case looks to you to make a plan which will satisfy the Building Code; we are unable to depart from our rules or usual procedure; and when a proposition gets as far as this one has and then has to be denied by this department, it makes an unhappy situation for everyone concerned.

Warren McDonald





STATEMENT ACCOMPANYING APPLICATION FOR BUILDING PERMIT
for two car garage
at 945 Forest Avenue

Date 9/25/36

1. In whose name is the title of the property now recorded? *M. J. Jones, Esq.*
2. Are the boundaries of the property in the vicinity of the proposed work shown clearly on the ground, and how? *yes, by markers + fence*
3. Is the outline of the proposed work now staked out upon the ground? *no*. If not, will you notify the Inspection Office when the work is staked out and before any of the work is commenced? *yes*
4. What is to be maximum projection or overhang of eaves or drip? *5"*
5. Do you assume full responsibility for the correctness of the location plan or statement of location filed with this application, and does it show the complete outline of the proposed work on the ground, including bay windows, porches and other projections? *yes*
6. Do you assume full responsibility for the correctness of all statements in the application concerning the sizes, design and use of the proposed building? *yes*
7. Do you understand that in case changes are proposed in the location of the work or in any of the details specified in the application that a revised plan and application must be submitted to this office before the changes are made? *yes*

Arthur H. Hanson



APPLICATION FOR PERMIT

PERMIT No. 1000

SEP 28 1936

Class of Building or Type of Structure Third Class

Portland, Maine, September 27, 1936

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 345 Forest Avenue, Ward 9, Within Fire Limits? no, Dist. No.
Owner's or Lessee's name and address F. Goss Estate, 345 Forest Ave., Telephone
Contractor's name and address Arthur Larson, Portland, Maine, Telephone
Architect's name and address
Proposed use of building 2 car garage, No. families
Other buildings on same lot Tenement house and two car garage
Plans filed as part of this application? yes, No. of sheets 1
Estimated cost \$200., Fee \$.75

Description of Present Building to be Altered

Material, No. stories, Heat, Style of roof, Roofing, No. families, Last use

General Description of New Work

To erect two car garage 18' x 10'. This roof is to be framed with 2x6's running the width of the building getting the bearing on each outside wall and on a center bearing partition which will be built of 2x4 studs spaced 24" on center so as to come directly beneath the 2x6's. Wedge shaped 2" stock is to be fitted on top of the 2x6's on either side and roof boards will be nailed to these pieces.

Emlock Dressed 4 sides

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Size, front 20', depth 18', No. stories 1, Height average grade to top of plate, Height average grade to highest point of roof 11'
To be erected on solid or filled land? solid, earth or rock? earth
Material of foundation cedar posts, Thickness, top, bottom
Material of underpinning, Height, Thickness
Kind of Roof pitch flat, Rise per foot 1/2", Roof covering asphalt shingles Class C Und. Lsb.
No. of chimneys none, Material of chimneys, of lining
Kind of heat none, Type of fuel, Is gas fitting involved?
Corner posts 4x6, Sills 4x6, Girt or ledger board?, Size
Material columns under girders, Size, Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
Joists and rafters: 1st floor 2x6 plank floor, 2nd, 3rd, roof 2x6
On centers: 1st floor 16", 2nd, 3rd, roof 24"
Maximum span: 1st floor 10', 2nd, 3rd, roof
If one story building with masonry walls, thickness of walls?, height?

If a Garage

No. cars now accommodated on same lot 2, to be accommodated 4
Total number commercial cars to be accommodated none
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? no

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

INSPECTION COPY

Signature of owner By: F. P. Goss Estate

CHIEF OF FIRE DEPT

-17

Ward 9 Permit No. 36/1577

Location 945 Forest Ave.

Owner W.P. Goss Estate

Date of permit 7/28/36

Notif. closing-in _____

Insp. closing-in _____

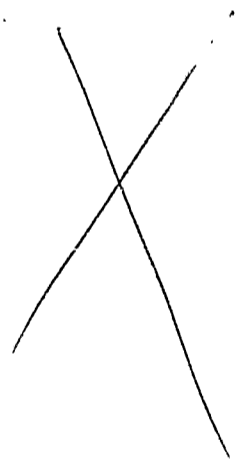
Final Notif. _____

Final Inspn. 10/21/36

Cert. of Occupancy issued None

NOTES

9/26/36 Location OK
27c
10/5/36 Floor framed
OK



Helen

Mr. Reali is
coming in for
a permanent sign
permit. He is also
to pay a related
fee, whereas his
permit was overdue
from Oct. 4

Arthur



CITY OF PORTLAND

JOSEPH E. GRAY, JR.
DIRECTOR OF PLANNING
AND URBAN DEVELOPMENT

November 24, 1982

Ms. Margaret Reali
2 Tall Pine Road
Cape Elizabeth, Maine

Re: Reali's Sandwich Shop - 945 Forest Avenue

Dear Ms. Reali:

A recent inspection was made by Code Enforcement Officer Addato of the property owned by you at 945 Forest Avenue, known as Reali's Sandwich Shop, in Portland, Maine. As a result of several inspections, you are ordered to correct the following violation that exists:

Expired Permit for Temporary Sign, retro to October 4, 1982.

The above mentioned violation as pertaining to Section 602.16.C of the Municipal Code of the City of Portland, Maine must be corrected on/or before Oct. 29, 1982. Failure to comply will result in a complaint being filed for prosecution in District Court.

If I can be of any assistance in this matter, please don't hesitate to call me at 775-5451, Ext. 316.

Yours truly,

P. S. Hoffes
Chief of Inspection Services

Code Enforcement Officer - Addato (7)

PSH/jmr

Forest Ave.

US
SIS

Washington St.

Realis
store.

RECEIVED
SEP-8 1982
DEPT. OF BLDG. INSP.
CITY OF PORTLAND

APPLICATION FOR PERMIT

B.O.C.A. USE GROUP
 B.O.C.A. TYPE OF CONSTRUCTION **00752**
 ZONING LOCATION **B-2** PORTLAND, MAINE Sept. 7, 1982

PERMIT ISSUED

SEP 8 1982

CITY of PORTLAND

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE
 The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

- LOCATION 945 Forest Avenue
 1. Owner's name and address Margaret Reali - 2 Tall Pine Rd., Cape Eliz. Fire District #1 #2
 2. Lessee's name and address Reali's Corp. - same Telephone 797-7752
 3. Contractor's name and address Owner & lessee Telephone same

Proposed use of building ... sandwich shop No. of sheets
 Last use No. families
 Material No. stories Heat Style of roof Roofing
 Other buildings on same lot
 Estimated contractual cost \$

FIELD INSPECTOR—Mr.
 @ 775-5451

Appeal Fees \$
 Base Fee 10.00
 Late Fee
 TOTAL \$ 10.00

To set 4' x 8' temporary portable sign to be used from Sept 4 to Oct. 4, 1982
 3rd time for sign this year.

Stamp of Special Conditions

send permit to Reali's Sandwich Shop - 04103

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work? Is any electrical work involved in this work?
 Is connection to be made to public sewer? If not, what is proposed for sewage?
 Has septic tank notice been sent? Form notice sent?
 Height average grade to top of plate Height average grade to highest point of roof
 Size, front depth No. stories solid or filled land? earth or rock?
 Material of foundation Thickness, top bottom cellar
 Kind of roof Rise per foot Roof covering
 No. of chimneys Material of chimneys of lining Kind of heat fuel
 Framing Lumber—Kind Dressed or full size? Corner posts Sills
 Size Girder Columns under girders Size Max. on centers
 Studs (outside walls and carrying partitions) 2x4 16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor 2nd 3rd roof
 On centers: 1st floor 2nd 3rd roof
 Maximum span: 1st floor 2nd 3rd roof
 If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot to be accommodated number commercial cars to be accommodated
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY:
 BUILDING INSPECTION—PLAN EXAMINER
 ZONING: *A.H. M.C.D. 9/9/82*
 BUILDING CODE:
 Fire Dept.:
 Health Dept.:
 Others:

MISCELLANEOUS
 Will work require disturbing of any tree on a public street?
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?

Signature of Applicant *James V. Reali* Phone # same
 Type Name of above James Reali for 1 2 3 4
 Reali's Corporation Other
 and Address

[Signature]
 FIELD INSPECTOR'S COPY

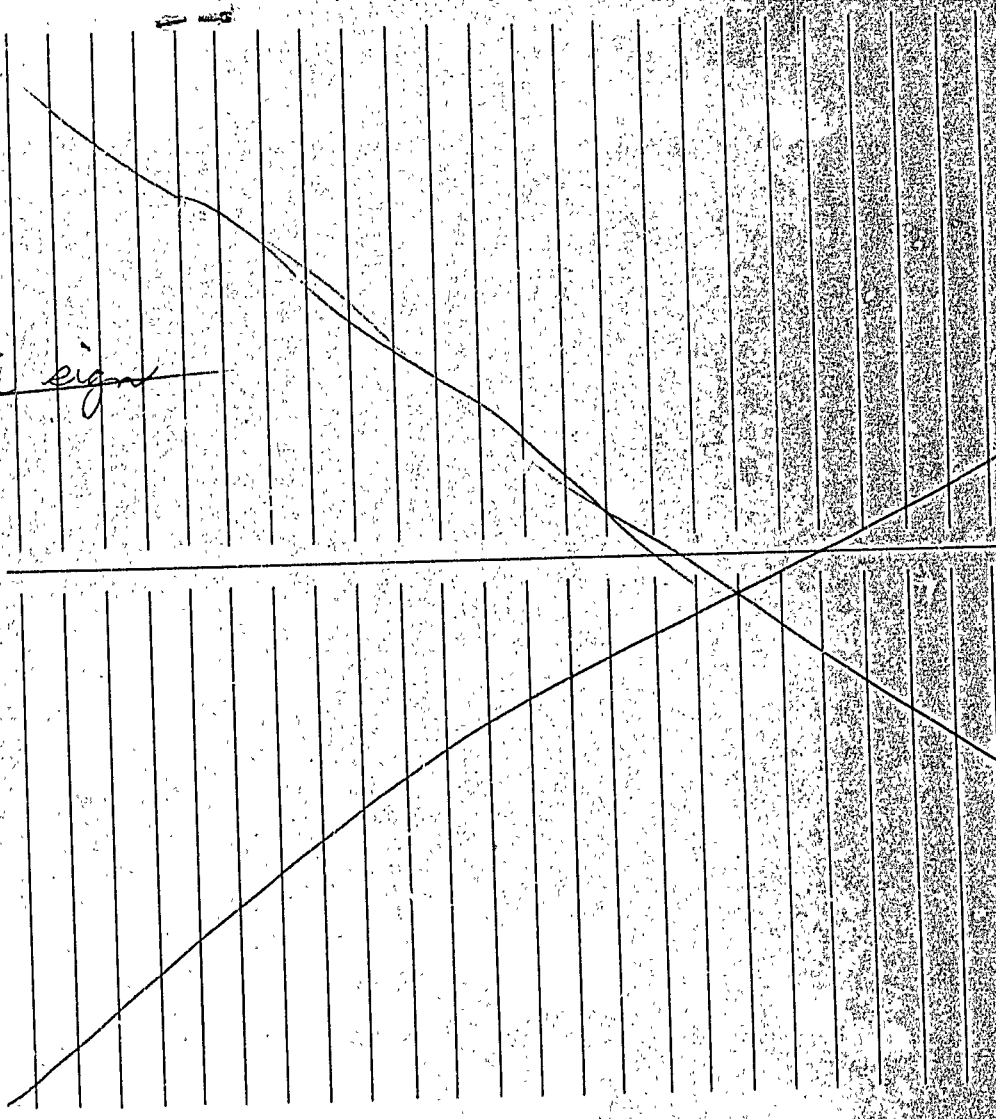
APPLICANT'S COPY

OFFICE FILE COPY

Permit No. 82/752
 Location 945 Forest Ave.
 Owner Margaret Deali
 Date of permit 9-7-82
 Approved 9-8-82
 Dwelling _____
 Garage _____
 Alteration Temporary Portalk sign

NOTES

9-9-82 - OK
 10-21-82 - Perm. exp. 10.22
 10-25-82 - ..
 11-23-82 - Invt. owner
 to remove sign or related
 a permit for sign. signed
 5-2-83 - ESTABLISHMENT UNDER
 NEW OWNERSHIP (ATB VAREY) AND
 THE NEW OWNER HAS APPLIED FOR
 A PERMIT AND





APPLICATION FOR PERMIT

PERMIT ISSUED
MAY 6 1983

B.O.C.A. USE GROUP
B.O.C.A. TYPE OF CONSTRUCTION 00383
ZONING LOCATION PORTLAND, MAINE

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE
The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland R.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 945 Forest Avenue A & B Variety - Grand Edwards - same Fire District #1-7763
1. Owner's name and address Telephone
2. Lessee's name and address Peall Odyssey - Monument Square Telephone
3. Contractor's name and address Telephone
Proposed use of building variety store & sandwich shop No. of sheets
Last use No. families
Material No. stories Heat Style of roof Roofing

Estimated contractual cost \$
FIELD INSPECTOR—Mr.
@ 775-5451
portable tx
To set 4' x 8' temporary portable sign to be used from May 6 to June 6, 1983. 1st time for sign for new owner.

Appeal Fees \$
Base Fee
Late Fee
TOTAL \$ 10.00

Stamp of Special Conditions

and permit to # 1 04103

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work? Is any electrical work involved in this work?
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber—Kind Dressed or full size? Corner posts Sills
Size Girder Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor , 2nd , 3rd , roof
On centers: 1st floor , 2nd , 3rd , roof
Maximum span: 1st floor , 2nd , 3rd , roof
If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot , to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: DATE MISCELLANEOUS
BUILDING INSPECTION—PLAN EXAMINER Will work require disturbing of any tree on a public street?
ZONING:
BUILDING CODE: Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?
Fire Dept.:
Health Dept.:
Others:

Signature of Applicant Grand Edwards for A & B Variety Phone #
Type Name of above 1 2 3 4

9

FIELD INSPECTOR'S COPY APPLICANT'S COPY OFFICE FILE COPY

②

APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP
B.O.C.A. TYPE OF CONSTRUCTION 00528

JUN 7 1983

ZONING LOCATION PORTLAND, MAINE ... June 6, 1983

CITY of PORTLAND

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 945 Forest Avenue A & B Variety Fire District #1 , #2
1. Owner's name and address Armand Edwards - same Telephone B. 797-7162.
2. Lessee's name and address
3. Contractor's name and address Odyssey - Monument Square Telephone

Proposed use of building variety store with temp sign No. of sheets
Last use No. families
Material No. stories Heat Style of roof Roofing
Other buildings on same lot
Estimated contractual cost \$.....

FIELD INSPECTOR—Mr. @ 775-5451

Appeal Fees \$
Base Fee 10.00
Late Fee
TOTAL \$ 10.00

To set 4' x 8' temporary portable sign to be used from June 6 to July 6, 1983. 2nd time for sign this year.

Stamp of Special Conditions

send permit to # 1 04

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work? ..no..... Is any electrical work involved in this work? ...no.....
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber—Kind Dressed or full size? Corner posts Sills
Size Girder Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor 2nd 3rd roof
On centers: 1st floor 2nd 3rd roof
Maximum span. 1st floor 2nd 3rd roof
If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot , to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY:
BUILDING INSPECTION—PLAN EXAMINER
ZONING:
BUILDING CODE:
Fire Dept.:
Health Dept.:
Others:

DATE

MISCELLANEOUS

Will work require disturbing of any tree on a public street?no.....
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes.....

⑨

Signature of Applicant Phone # same
Type Name of above Armand Edwards for 1 2 3 4
Other
and Address

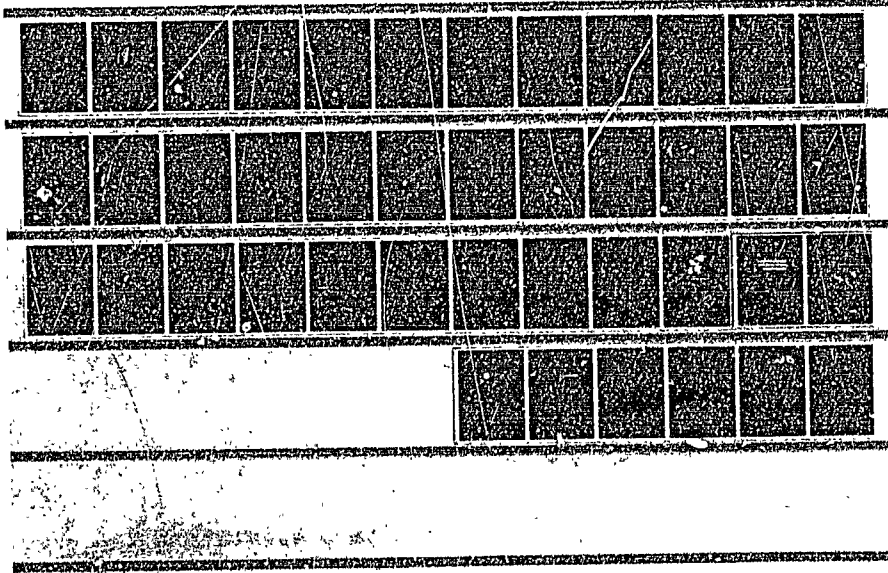
FIELD INSPECTOR'S COPY

APPLICANT'S COPY

OFFICE FILE COPY

943-945 FOREST AVE.

2



WALTON ST.

Forest Ave

8 FT.
Sign

Building
A+B
Variety.
945 Forest
Ave.

RECEIVED
JUN - 6 1983
DEPT. OF BLDG. INSP.
CITY OF PORTLAND

APPLICATION FOR PERMIT

B.O.C.A. USE GROUP
B.O.C.A. TYPE OF CONSTRUCTION 00528
ZONING LOCATION B-2 PORTLAND, MAINE June 6, 1983

PERMIT ISSUED
JUN 7 1983
CITY OF PORTLAND

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 945 Forest Avenue - A & B Variety
1. Owner's name and address Armand Edwards - same Fire District #1 [] #2 []
2. Lessee's name and address Telephone B. 797-7762
3. Contractor's name and address Odyssey - Monument Square Telephone
Proposed use of building variety store with temp sign No. of sheets
Last use No. families
Material No. stories Heat Style of roof Roofing
Other buildings on same lot
Estimated contractual cost \$

FIELD INSPECTOR - Mr. @ 775-5451
Appeal Fees \$
Base Fee 10.00
Late Fee
TOTAL \$ 10.00

To set 4' x 8' temporary portable sign to be used from June 6 to July 6, 1983. 2nd time for sign this year.
send permit to # 1 04

Stamp of Special Conditions

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work? NO Is any electrical work involved in this work? NO
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber - Kind Dressed or full size? Corner posts Sills
Size Girder Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet
Joists and rafters: 1st floor 2nd 3rd roof
On centers: 1st floor 2nd 3rd roof
Maximum span: 1st floor 2nd 3rd roof
If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: DATE MISCELLANEOUS
BUILDING INSPECTION - PLAN EXAMINER Will work require disturbing of any tree on a public street? NO
ZONING: O.A.M.C.O. 6/6/83
BUILDING CODE: Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes
Fire Dept.
Health Dept.
Others:

Signature of Applicant Armand P. Edwards Phone # same
Type Name of above Armand Edwards for 1 [] 2 [] 3 [] 4 []
A & B Variety
Other and Address

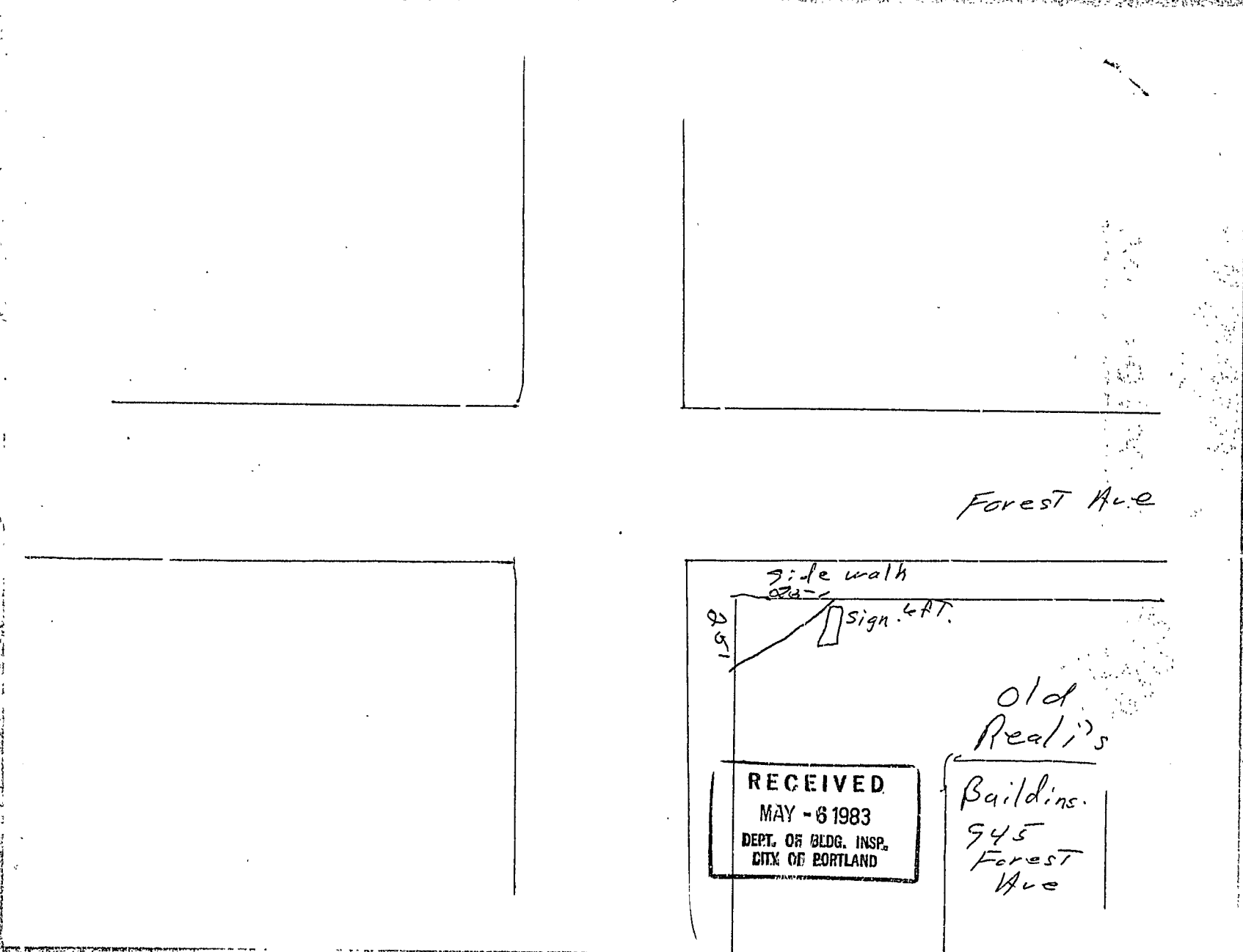
FIELD INSPECTOR'S COPY APPLICANT'S COPY OFFICE FILE COPY

MA, WILLIAM

Permit No. 83/528
Location 915/11th Ave
Owner Armand Edwards
Date of permit 6-6-83
Approved 6-7-83
Dwelling Temp sign
Garage _____
Alteration _____

NOTES

Vertical lines for notes, crossed out with a large diagonal line.



Forest Ave

side walk
945-1
sign. left.

RECEIVED
MAY - 6 1983
DEPT. OF BLDG. INSP.
CITY OF PORTLAND

Old
Realty's
Buildings
945
Forest
Ave

APPLICATION FOR PERMIT

B.O.C.A. USE GROUP
B.O.C.A. TYPE OF CONSTRUCTION 00383
ZONING LOCATION B-2 PORTLAND, MAINE May 6, 1983

PERMIT ISSUED
MAY 6 1983

CITY OF PORTLAND

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE
The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 945 Forest Avenue Fire District #1 [], #2 []
1. Owner's name and address A. & B. Variety - Armand Edwards - same Telephone 797-7762
2. Lessee's name and address Telephone
3. Contractor's name and address Reali, Oddssey - Monument Square Telephone
Proposed use of building variety store & sandwich shop No. of sheets
Last use same No. families
Material No. stories Heat Style of roof Roofing
Other buildings on same lot
Estimated contractual cost \$

FIELD INSPECTOR-Mr. @ 775-5451
Appeal Fees \$
Base Fee 10.00
Late Fee
TOTAL \$ 10.00

portable sign
To set 4' x 8' temporary portable sign to be used from May 6 to June 6, 1983. 1st time for sign for new owner.

Stamp of Special Conditions

send permit to # 1 04103

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work? no Is any electrical work involved in this work? no
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber-Kind Dressed or full size? Corner posts Sills
Size Girder Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor, 2nd, 3rd, roof
On centers: 1st floor, 2nd, 3rd, roof
Maximum span: 1st floor, 2nd, 3rd, roof
If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: DATE
BUILDING INSPECTION-PLAN EXAMINER
ZONING: O.L. MA. CO. 5/6/83
BUILDING CODE:
Fire Dept.:
Health Dept.:
Others:

MISCELLANEOUS
Will work require disturbing of any tree on a public street?
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?

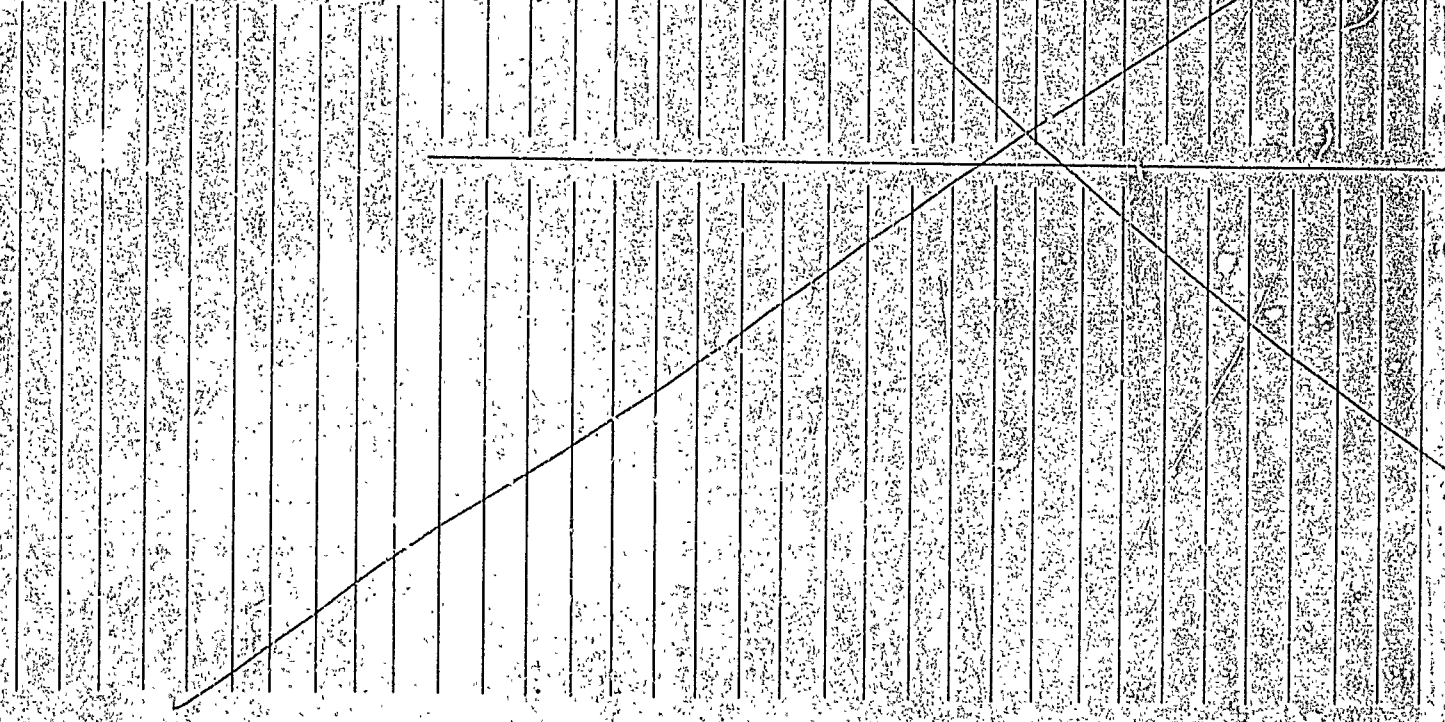
Signature of Applicant Armand P. Edwards Phone # same
Type Name of above Armand Edwards for A. & B. Variety 1 [] 2 [] 3 [] 4 []
Other and Address

FIELD INSPECTOR'S COPY APPLICANT'S COPY OFFICE FILE COPY

MA. WILLIAMS

Permit No. 83/383
Location 915 Forest Ave
Owner A & B Variety
Date of permit 5-6-83
Approved 5-6-83
Dwelling _____
Garage Temporary sign
Alteration _____

NOTES



APPLICATION FOR PERMIT 00988

PERMIT ISSUED

B.O.C.A. USE GROUP

JUL 31 1986

B.O.C.A. TYPE OF CONSTRUCTION

July 18, 1986

ZONING LOCATION PORTLAND, MAINE

City Of Portland

By the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

1. LOCATION ... 945 Forest Avenue ... Fire District #1 [] #2 []
1. Owner's name and address ... Kilton Appliance Center, Inc. - same ... Telephone ... 797-5958
2. Lessee's name and address ...
3. Contractor's name and address ... O.J. Construction - Portland, Me. ... Telephone ...
Proposed use of building ... retail ... No. of sheets ...
Last use ... same ... No. families ...
Material ... No. stories ... Heat ... Style of roof ... Roofing ...
Other buildings on same lot ...
Estimated contractual cost \$... 80,000 ...
Appeal Fees \$...
Base Fee ... 420.00
Late Fee ...
TOTAL \$...

To construct 2nd story addition 1,790 sq ft. front addition 1,162 sq ft, warehouse area 24 x 24as per plans. 3 sheets of plans.

Stamp of Special Conditions

send permit to # 1 04103

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF WORK

Is any plumbing involved in this work? ... yes
Is electrical work involved in this work? ... yes
Is connection to be made to public sewer? ... existing
Has septic tank notice been sent? ...
Form notice sent? ...
Height average grade to top of plate ...
Height average grade to highest point of roof ...
Size, front ... depth ... No. stories ... solid or filled land? ... earth or rock? ...
Material of foundation ... Thickness, top ... bottom ... ccllor ...
Kind of roof ... Rise per foot ... Roof covering ...
No. of chimneys ... Material of chimneys ... of lining ... Kind of heat ... fuel ...
Framing Lumber—Kind ... Dressed or full size? ... Corner posts ... Sills ...
Size Girder ... Columns under girders ... Size ... Max. centers ...
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor ... 2nd ... 3rd ... roof ...
On centers: 1st floor ... 2nd ... 3rd ... roof ...
Maximum span: 1st floor ... 2nd ... 3rd ... roof ...
If one story building with masonry walls, thickness of walls? ... height? ...

IF A GARAGE

No. cars now accommodated on same lot ... to be accommodated ... number commercial cars to be accommodated ...
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? ...

APPROVALS BY: DATE
BUILDING INSPECTION - PLAN EXAMINER
ZONING:
BUILDING CODE:
Fire Dept
Health Dept
Others:

MISCELLANEOUS

Will work require disturbing of any tree on a public street? No.
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? Yes

Signature of Applicant ... Phone # same
Type Name of above ... David Kilton for ... 1 [x] 2 [] 3 [] 4 []
Kilton Appliance Center Inc. Other ...
and Address ...

PERMIT # 1551 CITY OF PORTLAND BUILDING PERMIT APPLICATION

Please fill out any part which applies to job. Proper plans must accompany form.

Owner: Kilton Appliance MAP # _____ LOT# _____
Address: 945 Forest Avenue Portland, 971-5958
LOCATION OF CONSTRUCTION: 945 Forest Avenue
CONTRACTOR: NEOPA SUBCONTRACTORS:
ADDRESS: 17 Elm Street, Gorham 04038 839-3569
Est. Construction Cost: _____
Past Use: _____ Type of Use: Commercial sell appliances

Building Dimensions: L _____ W _____ Sq. Ft. _____ # Stories _____ Lot Size _____
Is Proposed Use: _____ Seasonal _____ Condominium _____ Apartment _____
Conversion - Explain Temp. sign from 11/25-12/25
COMPLETE ONLY IF THE NUMBER OF UNITS WILL CHANGE
Residential Buildings Only: _____ # of Dwelling Units _____ # of New Dwelling Units _____

Foundation:
1. Type of Soil: _____
2. Set Backs - Front _____ Rear _____ Sides _____
3. Footings Size: _____
4. Foundation Size: _____
5. Other _____

Floor:
1. Sills Size: _____ Sills must be anchored.
2. Girder Size: _____
3. Lally Column Spacing: _____ Size: _____
4. Joists Size: _____
5. Bridging Type: _____ Size: _____ Spacing 16" O.C.
6. Floor Sheathing Type: _____ Size: _____
7. Other Material: _____

Exterior Walls:
1. Scaffolding Size _____ Spacing _____
2. No. windows _____
3. No. Doors _____
4. Header Sizes Yes _____ No _____ Span(s) _____
5. Bracing Yes _____ No _____
6. Corner Posts Size _____
7. Insulation Type _____ Size _____
8. Sheathing Type _____ Size _____
9. Siding Type _____
10. Masonry Materials _____
11. Metal Materials _____
Weather Exposure _____

Interior Walls:
1. Studding Size _____ Spacing _____
2. Header Size _____ Span(s) _____
3. Wall Covering Type _____
4. Fire Wall: _____
5. Other Materials _____

For Official Use Only
Date: December 1, 1987
Subdivision: Yes / No _____
Name: _____
Loc: _____
Block: _____
Permit Expiration: _____
Ownership: _____
Public Private _____

Ceiling:
1. Ceiling Joists Size: _____
2. Ceiling Strapping Size: _____ Spacing _____
3. Type Ceiling: _____
4. Insulation Type _____ Size _____
5. Ceiling Height: _____

Roof:
1. Truss or Rafter Size: _____ Span _____
2. Sheathing Type _____ Size _____
3. Roof Covering Type _____
4. Other _____

Chimneys:
Type: _____ Number of Fire Places _____

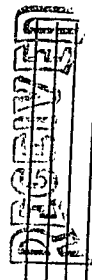
Heating:
Type of Heat: _____
Electrical: _____
Service Entrance Size: _____ Smoke Detector Required: Yes _____ No _____

Plumbing:
1. Approval of soil test if required: Yes _____ No _____
2. No. of Tubs or Showers _____
3. No. of Flushes _____
4. No. of Lavatories _____
5. No. of Other Fixtures _____

Swimming Pools:
1. Type: _____
2. Pool Size: _____ Square Footage _____
3. Must conform to National Electrical Code and State Law.

Zoning:
District: _____ Street Frontage Req: _____ Provided _____
Required setbacks: Front _____ Back _____ Side _____
Review Required: _____
Zoning Board Approval: Yes _____ No _____ Date: _____
Planning Board Approval: Yes _____ No _____ Date: _____
Conditional Use: _____ Variance _____ Site Plan _____
Shore and Floodplain Mgmt. _____ Special Exception _____
Other: _____ (Explain) _____
Date Approved: _____

Permit Received By: Lynne Benoit
Signature of Applicant: [Signature] Date: 12/1/87
Signature of CEO: Tim Olmsted Date: _____
Inspection Dates: _____
White-Tax Assessor: Yellow-GPCOG White Tag-CEO: _____
© Copyright GPCOG 1987



PERMIT # 104 PORTLAND BUILDING PERMIT APPLICATION DATE 8/11/87 PERMIT ISSUED

I. GENERAL INFORMATION
 Location/address of construction 343 Forest Avenue
 1. Owner's name Dave Kilton Tel. 797-5958
 Address same 04105
 2. Lessee's name _____ Tel. _____
 Address _____
 3. Contractor's name Owner Tel. _____
 Address _____
 4. Is this a legally recorded lot? yes _____ no _____

AUG 12 1987
 City Of Portland

II. DESCRIPTION OF WORK:
B to move sign - relocate 4' x 6'

III. BUILDING DIMENSIONS: length _____ width _____ square footage _____ height _____ #stories _____
IV. ZONE _____ Street frontage _____ Zoning board approval: no yes date _____
 Setbacks: front _____ back _____ side _____ side _____ Planning board approval: no yes date _____
V. REVIEW REQUIRED: variance _____ other _____ Number of off-street parking spaces:
 site plan _____ subdivision _____ shore _____ floodplain mgmt _____ enclosed _____ outdoors _____
VI. FEES:
 basic fee _____ other fees _____
 subdivision fee _____ late fee _____
 site plan review fee _____ TOTAL \$29.00

VII. DETAILS OF WORK

1. WATER SUPPLY: <input type="checkbox"/> public <input type="checkbox"/> private	7. ELECTRICAL: service entrance size _____ # smoke detectors _____	8. CHIMNEY: # flues _____ material _____ # fireplaces _____
2. SEWER: <input type="checkbox"/> public <input type="checkbox"/> private, type _____	9. FRAMING: floor joists _____ size _____ max. on center _____ ceiling joists _____ rafters _____ studs _____ wall studs _____	
3. HEAT: type _____ fuel _____	10. If 1-story building w/masonry walls: wall thickness _____ height _____	11. BEDROOM WINDOWS height _____ width _____ sill height _____ egress window? yes <input type="checkbox"/> no <input type="checkbox"/>
4. FOUNDATION: type _____ thickness _____ footing _____		
5. ROOF: type _____ pitch _____ covering _____ load _____		
6. PLUMBING: SPRINKLER SYSTEM? yes <input type="checkbox"/> no <input type="checkbox"/>		

VIII. OFFICE USE:
 TAX MAP # _____
 LOT # _____
 VALUE/STRUCTURE _____
 PERMIT EXPIRATION _____

IX. NEW OR PHASED SUBDIVISION REFERENCE
 Name _____
 Lot _____
 Block _____

X. PROPOSED USE: 437 - relocation sign Seasonal _____ Condominium _____ Apartment _____
XI. PAST USE: _____
XII. OWNERSHIP: PUBLIC _____ PRIVATE _____

XIII. EST. CONSTRUCTION COST: _____ **XIV. GR. SQ. FT. OF LOT BUILDING:** _____

COMPLETE XV AND XVI ONLY IF THE NUMBER OF UNITS WILL CHANGE

XV. RESIDENTIAL BUILDINGS ONLY:	BEDROOMS	XVI. # RESIDENTIAL UNITS:
# NEW DWELLING UNITS WITH:	1. BDRM. _____ 2. BDRMS. _____ 3. BDRMS. _____	# NEW DWELLINGS _____
# EXISTING DWELLING UNITS WITH:		# EXISTING DWELLINGS _____
		TOTAL RESIDENTIAL UNITS _____

APPROVALS BY: _____ DATE _____

BUILDING INSPECTION - PLAN EXAMINER _____

ZONING: _____

C.E.O.: _____

FIRE DEPT.: _____

MISCELLANEOUS
 Will work require disturbing of any tree on a public street? _____
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? _____

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical, and mechanicals.

District No. _____

XVII. SIGNATURE OF APPLICANT: Dave Kilton PHONE # _____

TYPE NAME OF ABOVE: Dave Kilton 1 _____ 2 _____ 3 _____ 4 _____

white - GPCOG Green - Applicant Yellow - Assessor Pink - Office File Gold - Field Inspector



APPLICATION FOR PERMIT
DEPARTMENT OF BUILDING INSPECTIONS SERVICES
ELECTRICAL INSTALLATIONS

Date Dec. 23, 1986
 Receipt and Permit number D 09830

To the CHIEF ELECTRICAL INSPECTOR, Portland, Maine:

The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of Maine, the Portland Electrical Ordinance, the National Electrical Code and the following specifications:

LOCATION OF WORK: 945 Forest Ave.
 OWNER'S NAME: Kilton Appliance ADDRESS: same

	FEES
OUTLETS:	
Receptacles _____ Switches _____ Plugmold _____ ft. TOTAL <u>31-60</u>	<u>5.00</u>
FIXTURES: (number of)	
Incaudescant <u>40</u> Flourescent <u>20</u> (not strip) TOTAL <u>60</u>	<u>8.00</u>
Strip Flourescent _____ ft.	
SERVICES:	
Overhead <input checked="" type="checkbox"/> Underground _____ Temporary _____ TOTAL amperes <u>400</u>	<u>6.00</u>
METERS: (number of) <u>5</u>	<u>2.50</u>
MOTORS: (number of)	
Fractional _____	
1 HP or over _____	
RESIDENTIAL HEATING:	
Oil or Gas (number of units) _____	
Electric (number of rooms) _____	
COMMERCIAL OR INDUSTRIAL HEATING:	
Oil or Gas (by a main boiler) <input checked="" type="checkbox"/>	<u>5.00</u>
Oil or Gas (by separate units) _____	
Electric Under 20 kws <input checked="" type="checkbox"/> Over 20 kws _____	<u>5.00</u>
APPLIANCES: (number of)	
Ranges _____	Water Heaters _____
Cook Tops _____	Disposals _____
Wall Ovens _____	Dishwashers _____
Dryers _____	Compactors _____
Fans _____	Others (denote) _____
TOTAL	
MISCELLANEOUS: (number of)	
Branch Panels _____	
Transformers _____	
Air Conditioners Central Unit _____	
Separate Units (windows) _____	
Signs 20 sq. ft. and under _____	
Over 20 sq. ft. _____	
Swimming Pools Above Ground _____	
In Ground _____	
Fire/Burglar Alarms Residential _____	
Commercial _____	
Heavy Duty Outlets, 220 Volt (such as welders) 30 amps and under _____	
over 30 amps _____	
Circus, Fairs, etc. _____	
Alterations to wires _____	
Repairs after fire _____	
Emergency Lights, battery _____	
Emergency Generators _____	
FOR ADDITIONAL WORK NOT ON ORIGINAL PERMIT	INSTALLATION FEE DUE: _____
FOR REMOVAL OF A "STOP ORDER" (304-16.b)	DOUBLE FEE DUE: _____
	TOTAL AMOUNT DUE: <u>31.50</u>

INSPECTION:
 Will be ready on _____, 19____; or Will Call
CONTRACTOR'S NAME: Michael Floridino
ADDRESS: 35 Lawrence Ave.
TEL.: 772-3136
MASTER LICENSE NO.: 4234 **SIGNATURE OF CONTRACTOR:** Michael Floridino
LIMITED LICENSE NO.: _____



APPLICATION FOR PERMIT
DEPARTMENT OF BUILDING INSPECTIONS SERVICES
ELECTRICAL INSTALLATIONS

Date Dec. 23, 1986
 Receipt and Permit number D 09830

To the CHIEF ELECTRICAL INSPECTOR, Portland, Maine:

The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of Maine, the Portland Electrical Ordinance, the National Electrical Code and the following specifications:

LOCATION OF WORK: 945 Forest Ave.
 OWNER'S NAME: Kilton Appliance ADDRESS: same

	FEES
OUTLETS:	
Receptacles _____ Switches _____ Plugmold _____ ft. TOTAL <u>31-60</u>	<u>5.00</u>
FIXTURES: (number of)	
Incandescent <u>40</u> Fluorescent <u>20</u> (not strip) TOTAL <u>60</u>	<u>8.00</u>
Strip Fluorescent _____ ft.	
SERVICES:	
Overhead <input checked="" type="checkbox"/> Underground _____ Temporary _____ TOTAL amperes <u>400</u>	<u>6.00</u>
METERS: (number of) <u>5</u>	<u>2.50</u>
MOTORS: (number of)	
Fractional _____	
1 HP or over _____	
RESIDENTIAL HEATING:	
Oil or Gas (number of units) _____	
Electric (number of rooms) _____	
COMMERCIAL OR INDUSTRIAL HEATING:	<u>5.00</u>
Oil or Gas (by a main boiler) <input checked="" type="checkbox"/>	
Oil or Gas (by separate units) _____	<u>5.00</u>
Electric Under 20 kws <input checked="" type="checkbox"/> Over 20 kws _____	
APPLIANCES: (number of)	
Ranges _____ Water Heaters _____	
Cook Tops _____ Disposals _____	
Wall Ovens _____ Dishwashers _____	
Dryers _____ Compactors _____	
Fans _____ Others (denote) _____	
TOTAL	
MISCELLANEOUS: (number of)	
Branch Panels _____	
Transformers _____	
Air Conditioners Central Unit _____	
Separate Units (windows) _____	
Signs 20 sq. ft. and under _____	
Over 20 sq. ft. _____	
Swimming Pools Above Ground _____	
In Ground _____	
Fire/Burglar Alarms Residential _____	
Commercial _____	
Heavy Duty Outlets, 220 Volt (such as welders) 30 amps and under _____	
over 30 amps _____	
Circus, Fairs, etc. _____	
Alterations to wires _____	
Repairs after fire _____	
Emergency Lights, battery _____	
Emergency Generators _____	

INSTALLATION FEE DUE: _____
 FOR ADDITIONAL WORK NOT ON ORIGINAL PERMIT DOUBLE FEE DUE: _____
 FOR REMOVAL OF A "STOP ORDER" (304-16.b)
 TOTAL AMOUNT DUE: 31.50

INSPECTION:
 Will be ready on _____, 19__; or Will Call
 CONTRACTOR'S NAME: Michael Floridino
 ADDRESS: 35 Lawrence Ave.
 TEL.: 772-3136
 MASTER LICENSE NO.: 4234 SIGNATURE OF CONTRACTOR: Michael Floridino
 LIMITED LICENSE NO.: _____

PERMIT # 001551 CITY OF PORTLAND BUILDING PERMIT APPLICATION MAP # LOT #

Please fill out any part which applies to job. Proper plans must accompany form.

Owner: Kilton Appliance

Address: 965 Forest Avenue Portland, 797-5958

LOCATION OF CONSTRUCTION \$45 GREAT AVENUE

CONTRACTOR: NEOPA SUBCONTRACTORS

ADDRESS: 17 Elm Street, Gorham 04038 839-3569

Est. Construction (sq. ft.) type of Use: Commercial sell appliances

Per Use: _____

Building Dimensions: L W Sq. Ft. # Stories Lot Size

is Proposed Use: Seasonal Condominium Apartment

Conversion - Explain Temp. sign from 11/25-12/25

COMPLETE ONLY IF THE NUMBER OF UNITS WILL CHANGE

Residential Buildings Only: _____

of Dwelling Units: _____ # of New Dwelling Units: _____

Ceiling

1. Ceiling Joists Size: _____
2. Ceiling Strapping Size: _____ Spacing _____
3. Type Ceiling: _____
4. Insulation Type _____ Size _____
5. Ceiling Height: _____

Roof

1. Truss or Rafter Size _____ Span _____
2. Sheathing Type _____ Size _____
3. Roof Covering Type _____
4. Other _____

Chimneys:

Type: _____ Number of Finishes _____

Heating:

Type of Heat: _____ DEC 3 1987

Electrical:

Service Entrance Size: _____ Smoke Detector Required: Yes No

Plumbing:

1. Approval of soil test if required _____
2. No. of Tubs or Showers _____
3. No. of Flushes _____
4. No. of Lavatories _____
5. No. of Other Fixtures _____

Swimming Pools:

1. Type: _____
2. Pool Size: _____ x _____ Square Footage _____
3. Must conform to National Electrical Code and State Law.

Zoning:

District: B-2 Street Frontage Req.: _____ Provided _____

Review Required:

Required Setbacks: Front _____ Back _____ Side _____

Zoning Board Approval: Yes _____ No _____ Date: _____

Planning Board Approval: Yes _____ No _____ Date: _____

Conditional Use: _____ Variance _____ Site Plan _____

Shore and Floodplain Mgmt. _____ Special Exception _____

Other: (Explain) _____

Date Approved: Dec 1, 1987

Permit Received By: Lynne Menci

Signature of Applicant: _____ Date: 12/1/87

Signature of CEO: Tim Olmsted Date: _____

Inspection Dates: _____

White-Tax Assessor: White Tax Assessor Yellow-GPCOG

Copyright GPCOG 1987

For Official Use Only

Date: December 1, 1987

Subdivision: _____ Yes / No _____

Name: _____

Block: _____

Permit Expiration: _____

Ownership: _____ Public _____ Private _____

RECEIVED

DEC 3 1987

DEPT. OF BUILDING INSPECTIONS
CITY OF PORTLAND

PERMIT ISSUED

DEC 3 1987

City of Portland

5/1/81

WHITE TAX CEO
19/87

PLOT PLAN



FEES (Breakdown From Front)

Base Fee \$ _____

Subdivision Fee \$ _____

Site Plan Review Fee \$ _____

Other Fees \$ _____

(Explain) _____

Late Fee \$ _____

Inspection Record

Type	Date

COMMENTS

PERMIT EXPIRED 1/2

[Large handwritten signature]

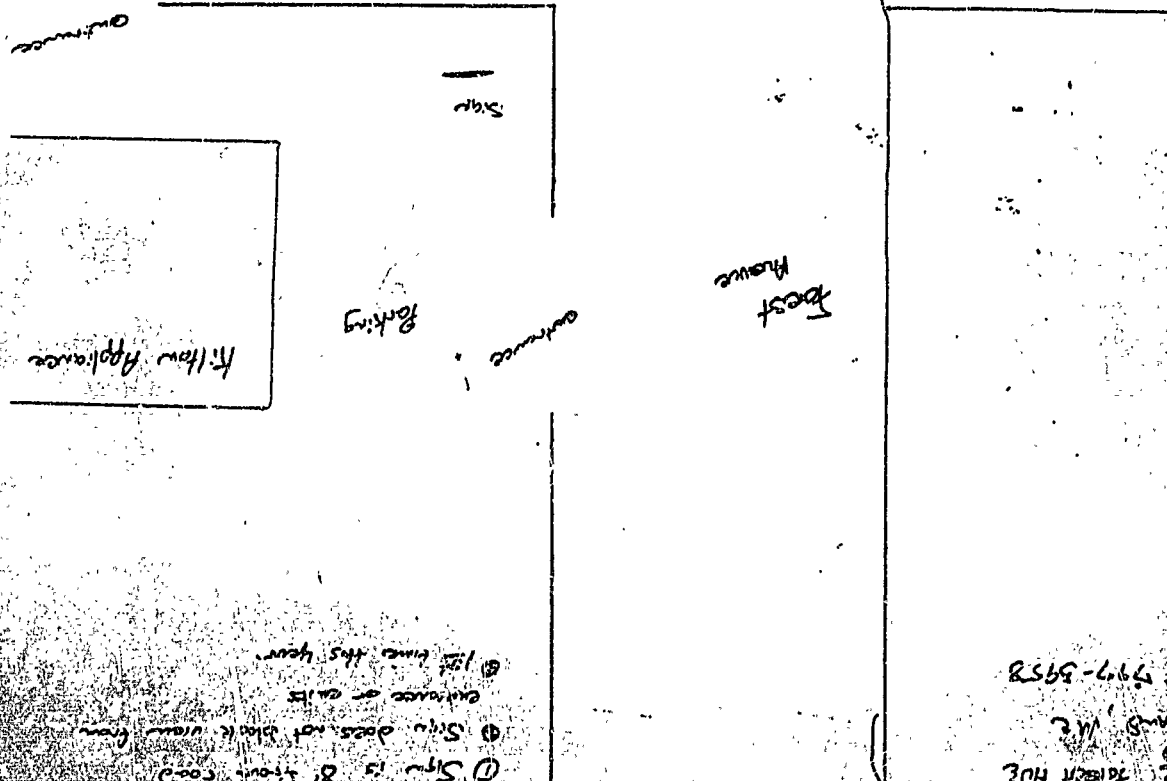
Signature of Applicant *[Signature]*

Date 12/2/97

DEPT. OF BUILDING INSPECTIONS
CITY OF PORTLAND

DEC 1 1987

RECEIVED



- ① Sign is 2' square (cont.)
- ② Sign does not block view from entrance or exit
- ③ 1st time this year

Kilboe Appliances
915 Forest Ave
Portland, ME
Tel: 797-5958



17 Elm Street
Gorham, Maine 04038
Tel. (207) 839-3500

Peter Wentworth

DEPT OF BUILDING INSPECTIONS
CITY OF PORTLAND

OCT 14 1997

REGISTERED

CH 1214

