

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

BUILDING DEPARTMENT PERMIT

Permit Number: 051229

This is to certify that SARGENT CYNTHIA J & JOHN P JTS/C

has permission to Raise roof on garage to add storage space

AT 103 READ ST Call 141 J014001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission procured before this building or part thereof is lashed or closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____

Department Name

PERMIT DENIED

Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD



Prmt Text93 21106 Constr Type New Num1 51229

Permit Nbr 05-1229 Location of Construction 103 READ ST Appl. Date 08/25/2005
Status Hold Permit Type Alterations - Dwellings Issue Date
CBL 141 J014001 District Nbr 4 Estimated Cost \$3,836.00 Date Closed

Comment Date	Comment				
09/27/2005	spoke w/owner - proposed too high - will resubmit - told him to verify setbacks - possibly non-conforming/tmm				
Name	tmm	Follow Up Date		Completed	<input type="checkbox"/>

CreatedBy ldobson CreateDate 08/26/2005 ModBy tmm ModDate 09/27/2005

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 05-1229	Issue Date:	CBL: 141 J014001
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Location of Construction: 103 READ ST	Owner Name: SARGENT CYNTHIA J & JOHN P	Owner Address: 103 READ ST	Phone:
Business Name:	Contractor Name: Owner	Contractor Address: Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	Zone:

Past Use: Single Family Home	Proposed Use: Single Family Home/ Raise roof on garage to add storage space	Permit Fee: \$57.00	Cost of Work: \$3,836.00	CEO District: 4
Proposed Project Description: Raise roof on garage to add storage space		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: PERMIT DENIED Type:	
		Signature:	Signature:	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: _____ Date: _____				

Permit Taken By: ldobson	Date Applied For: 08/25/2005	Zoning Approval		
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: _____	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: _____
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CERTIFICATION

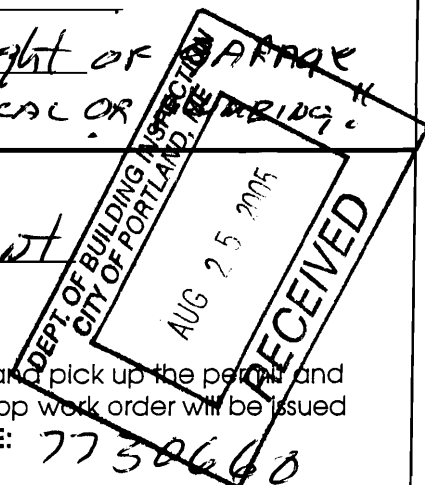
I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>103 Reed</u>		
Total Square Footage of Proposed Structure <u>960 SF.</u>	Square Footage of Lot <u>18400 S.F.</u>	
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>CBL 141-J-014-001</u>	Owner: <u>John + Cynthia SARGENT</u>	Telephone: <u>773 0660</u>
Lessee/Buyer's Name (If Applicable) <u>N/A</u>	Applicant name, address & telephone: <u>JOHN SARGENT 103 READ ST PORTLAND ME 04103</u>	Cost Of Work: <u>\$3836.00</u> Fee: \$ <u>57⁰⁰/00</u>
Current use: <u>GARAGE DETACHED</u> <u>773-0660</u>		
If the location is currently vacant, what was prior use: <u>N/A</u>		
Approximately how long has it been vacant: <u>N/A</u>		
Proposed use: <u>"STORAGE SPACE" RAISE height of</u> Project description: <u>eight FEET." NO ELECTRICAL OR</u>		
Contractor's name, address & telephone:		
Who should we contact when the permit is ready: <u>John P. SARGENT</u>		
Mailing address: <u>103 READ ST PORTLAND ME 04103</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>773 0660</u>		

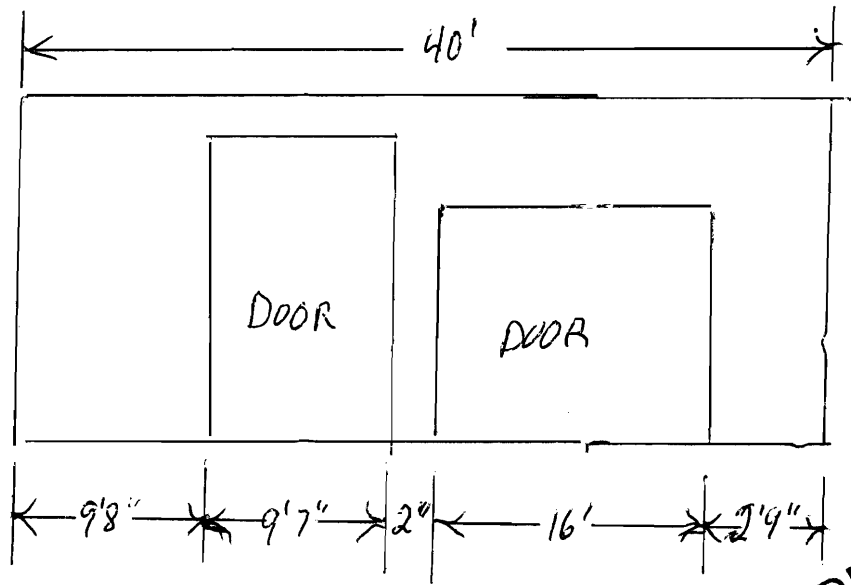


IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

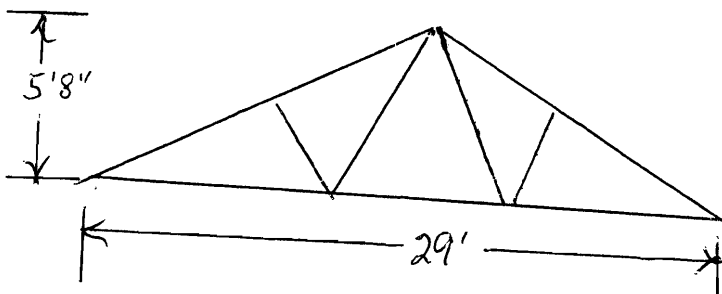
Signature of applicant: <u>[Handwritten Signature]</u>	Date: <u>Aug 25 05</u>
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**This is NOT a permit, you may not commence ANY work until the permit is issued.
If you are in a Historic District you may be subject to additional permitting and fees with the
Planning Department on the 4th floor of City Hall**

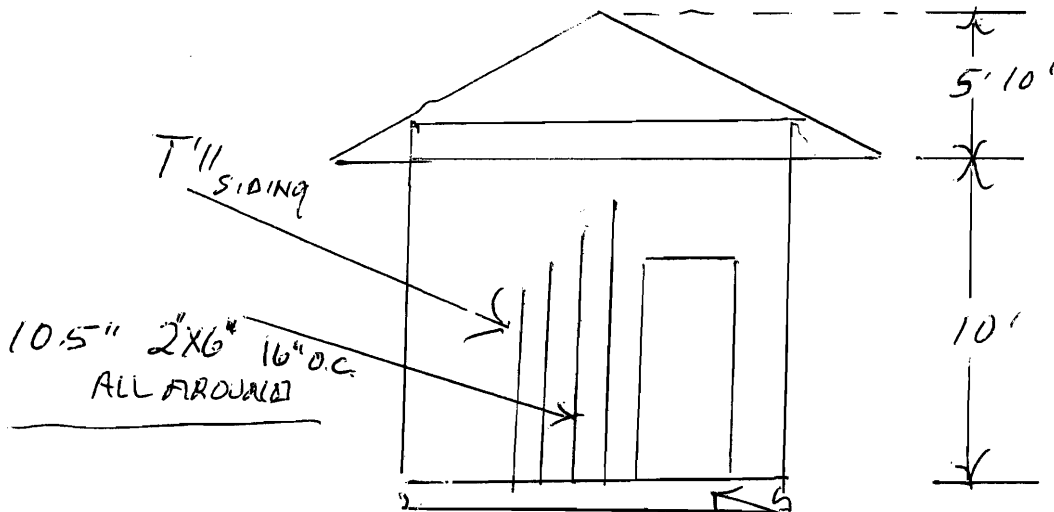


FRONT VIEW

PERMIT DENIED



RAFTERS (WOOD STRUCTURES INC.)
24" O.C. 2" X 4" P.T.



SIDE VIEW

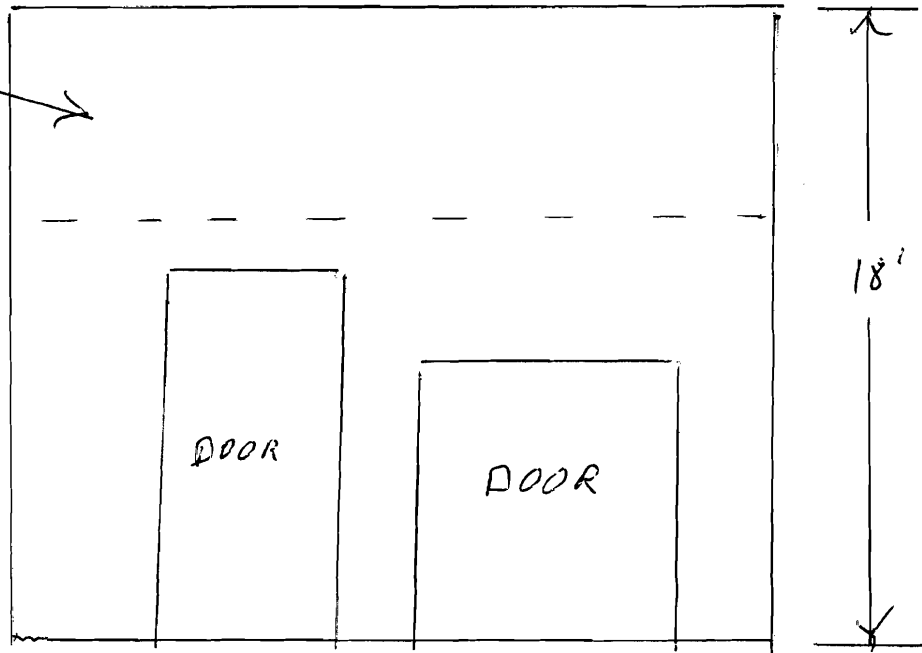
18" CONCRETE SLAB
REINFORCED

EXISTING GARAGE

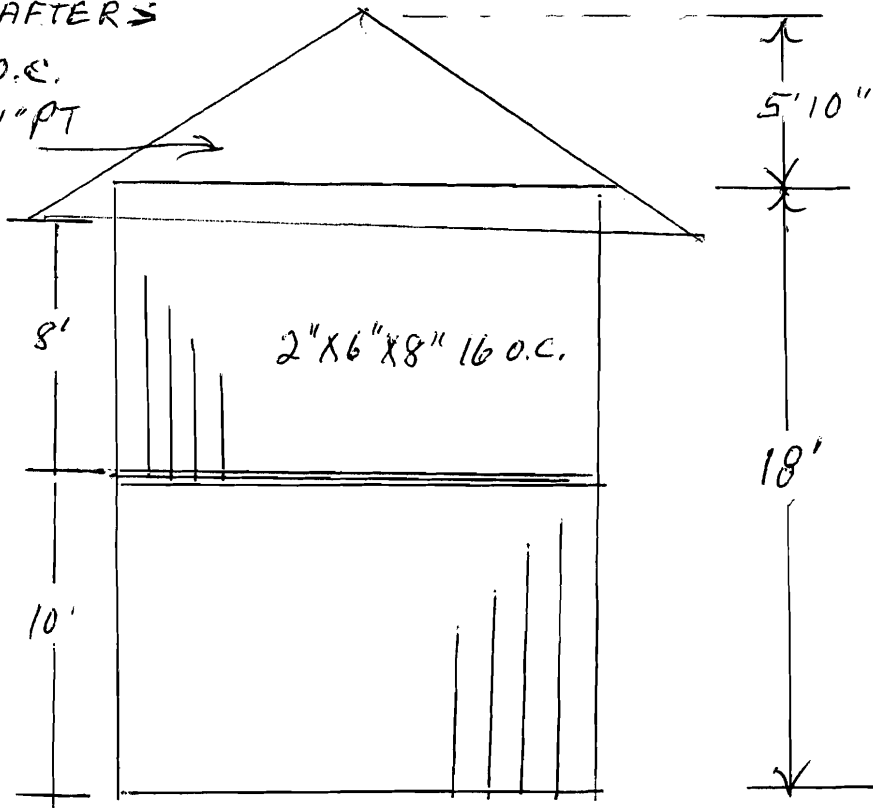


John Sargent
103 Read St
Portland, ME 04103

8' height ADDED
FOR STORAGE
SPACE,



RAFTERS
24" O.C.
2" X 4" PT

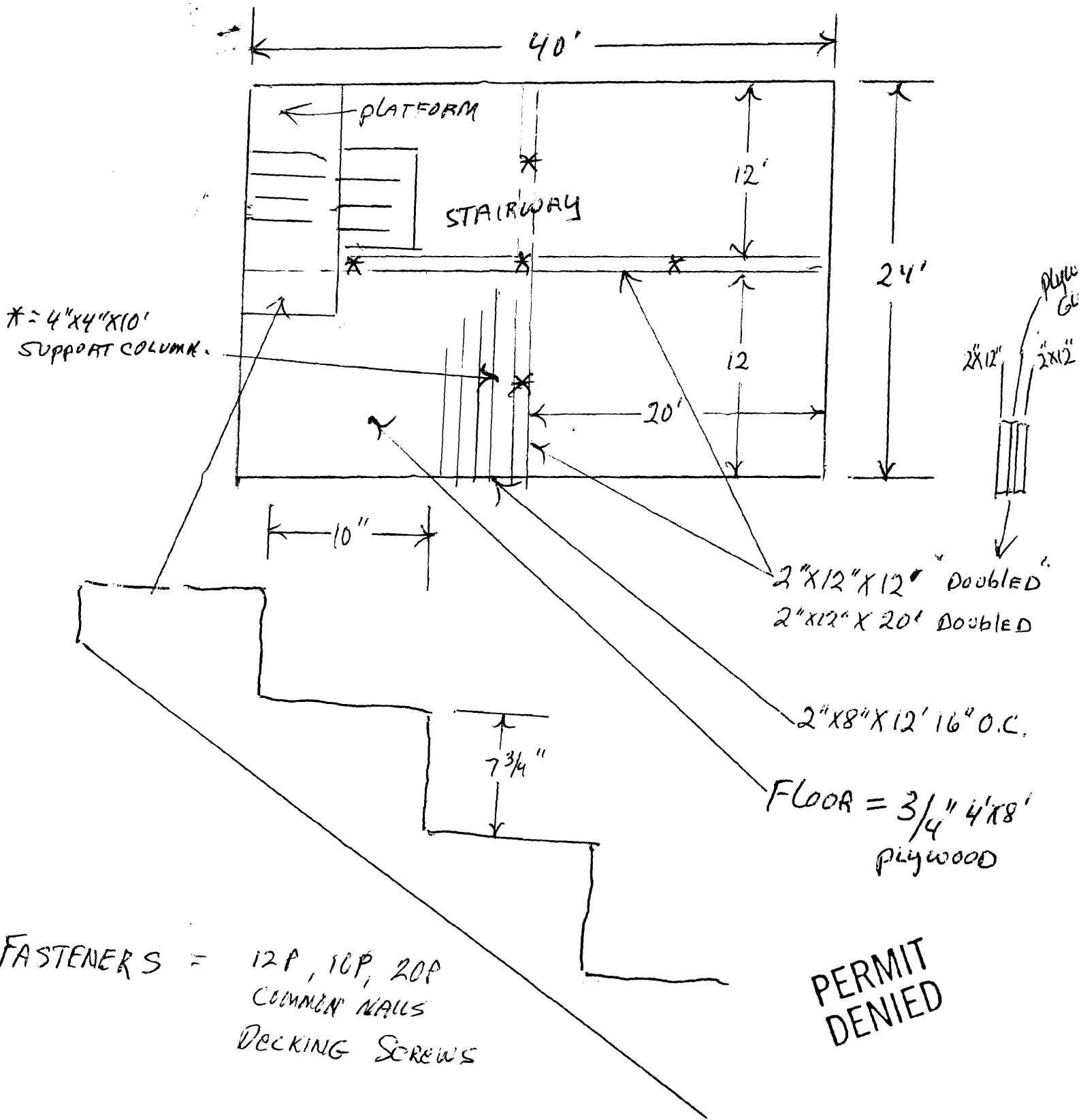


PERMIT
DENIED

1. RAFTERS DISCONNECTED FROM SILL
2. ROOF 2 PARTS REMOVED BY LIFT CRANE.
3. 8" ADDED HEIGHT.
 - A. 2 X 6^o 16" O.C.
 - B. RAFTERS 24" O.C.
 - C. T'IL 8' X 4" SIDING
 - D. ROOF REPLACED BY LIFT CRANE.

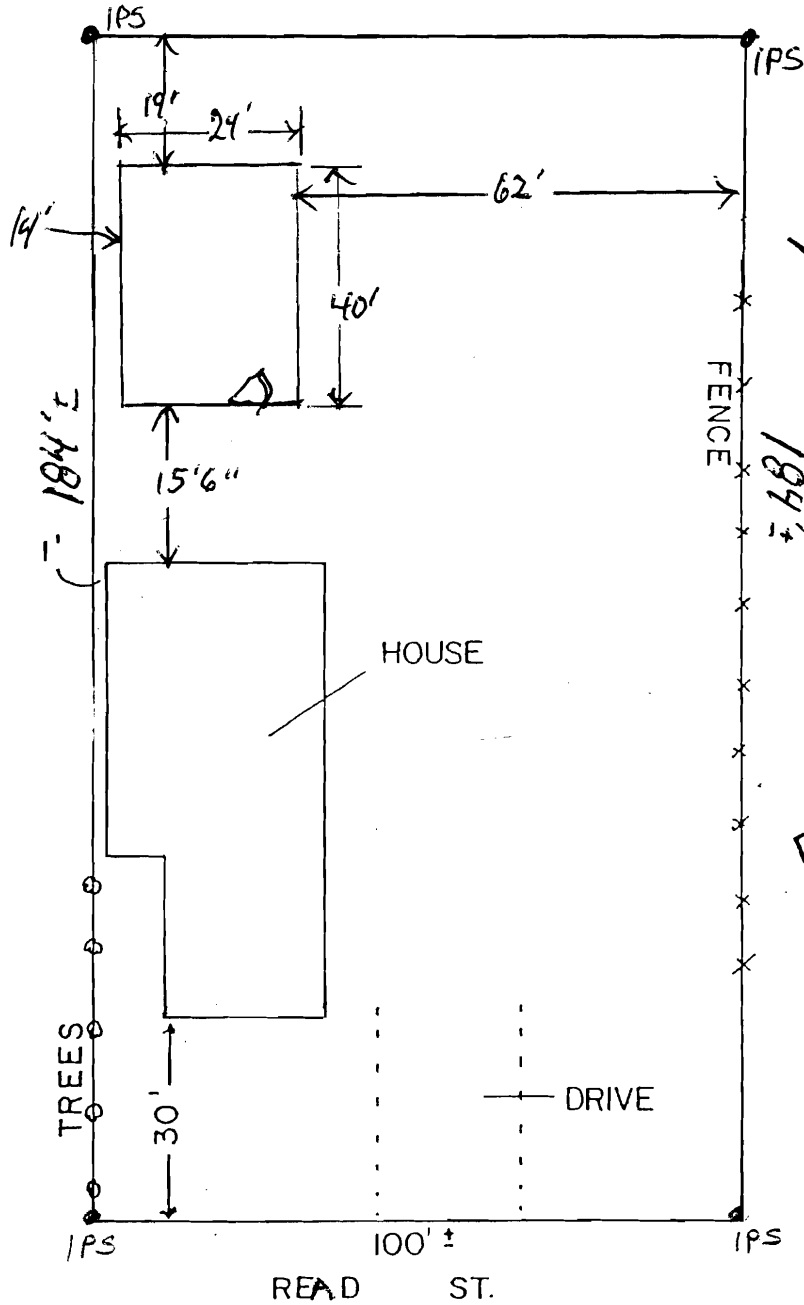


John Sargent
103 Read St
Portland, ME 04103



John Sargent
103 Read St
Portland, ME 04103

PLOT PLAN




PERMIT DENIED

IPS = IRON POST SET
IPF = IRON POST FOUND

18400 SF. ±
141-J-4

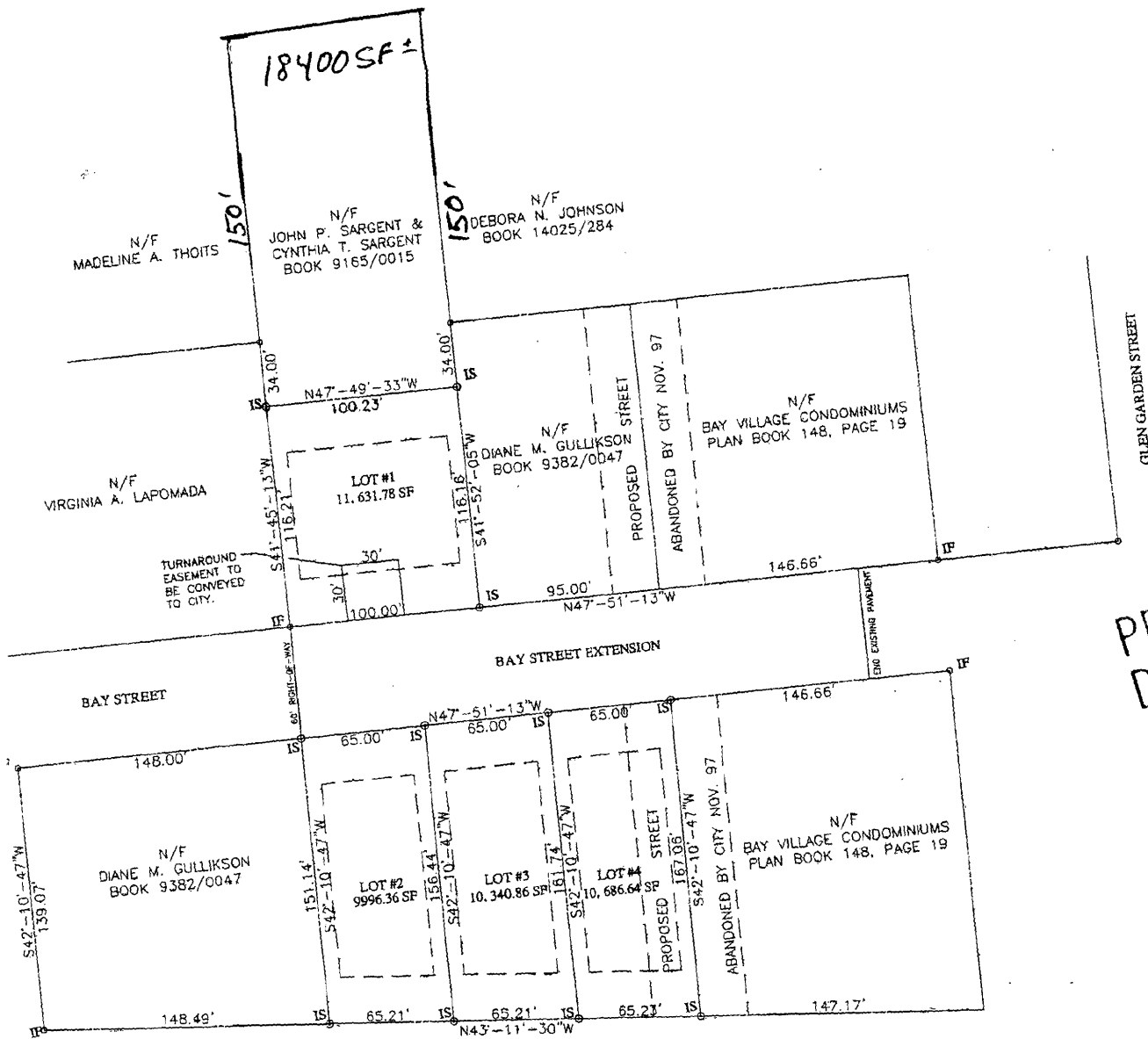
OWNER OF RECORD: John & Cynthia Sargent
103 READ ST.
LOCUS: Portland, Maine

CBL 141-J-014-001
SCALE: 1" = 30'



John Sargent
103 Read St
Portland, ME 04103

READ STREET



PERMIT DENIED

LEGEND

- IRON SET
- IRON FOUND
- PROPERTY LINE
- - - EXISTING EASEMENT

Herbert P. Gray

CERTIFICATION

THIS SURVEY CONFORMS TO CATEGORY 1, CONDITION III, AS DEFINED BY THE STANDARDS OF MAINE STATE BOARD OF REGISTRATION FOR LAND SURVEYORS.

HERBERT P. GRAY PLS #387

SURVEYOR

HERBERT P. GRAY
 PLS #387
 111 SIMMONS ROAD
 SOUTH PORTLAND, MAINE
 04106

400

051229



APPLICATION FOR EXEMPTION FROM SITE PLAN REVIEW

John + Cynthia SARGENT 25 AUGUST 05
Applicant Application Date

103 READ ST. PORTLAND ME 04103 GARAGE DETACHED
Applicant's Mailing Address Project Name/Description
RAISE HEIGHT 8 FT

JOHN SARGENT 773-0660 103 READ ST
Consultant/Agent/Phone Number Address of Proposed Site

CBL: 141-J-014-001

Description of Proposed Development:

RAISE HEIGHT OF GARAGE (DETACHED) 8 FEET
FOR ADDITIONAL STORAGE SPACE,

Please Attach Sketch/Plan of Proposal/Development

Criteria for Exemptions:
See Section 14-523 (4) on back side of form

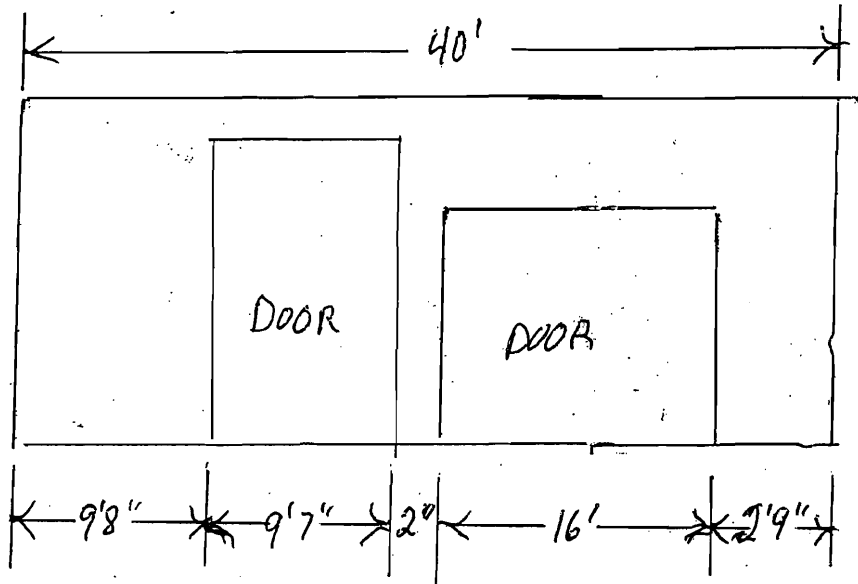
- a) Within Existing Structures; No New Buildings, Demolitions or Additions
- b) Footprint Increase Less Than 500 Sq. Ft.
- c) No New Curb Cuts, Driveways, Parking Areas
- d) Curbs and Sidewalks in Sound Condition/Comply with ADA
- e) No Additional Parking/ No Traffic Increase
- f) No Stormwater Problems
- g) Sufficient Property Screening
- h) Adequate Utilities

Applicant's Assessment (Yes, No, N/A)	Planning Office Use Only

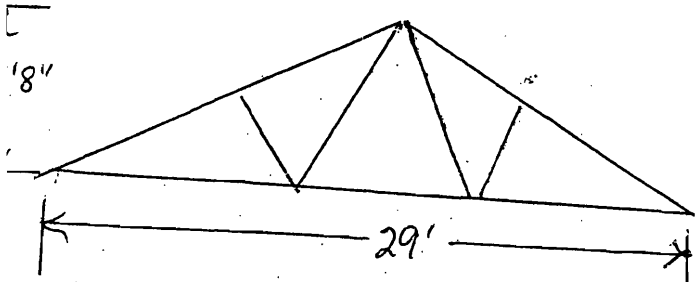
DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME

SEP 27 2005

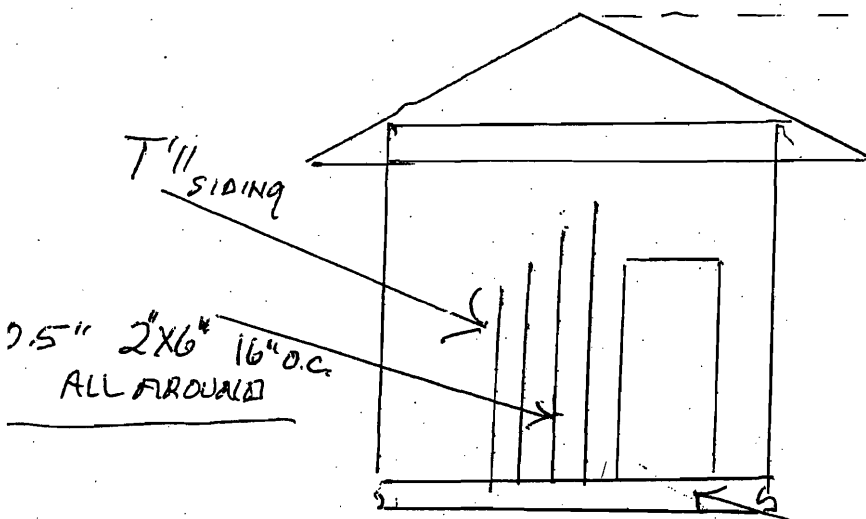
RECEIVED



FRONT VIEW



RAFTERS (WOOD STRUCTURES INC.)
24" O.C. 2" X 4" P.T.



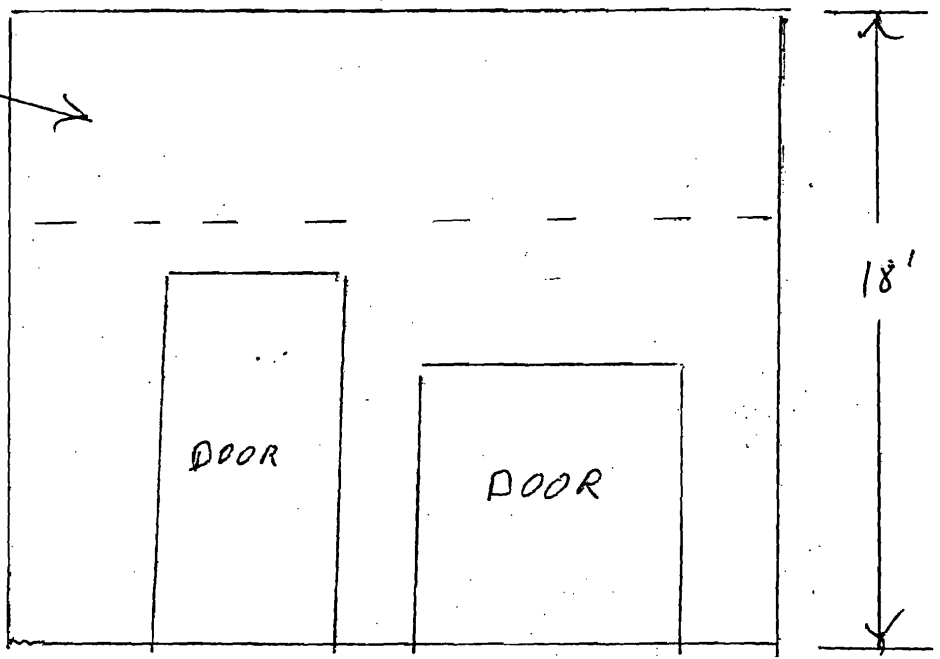
EXISTING

0.5" 2" X 6" 16" O.C.
ALL AROUND

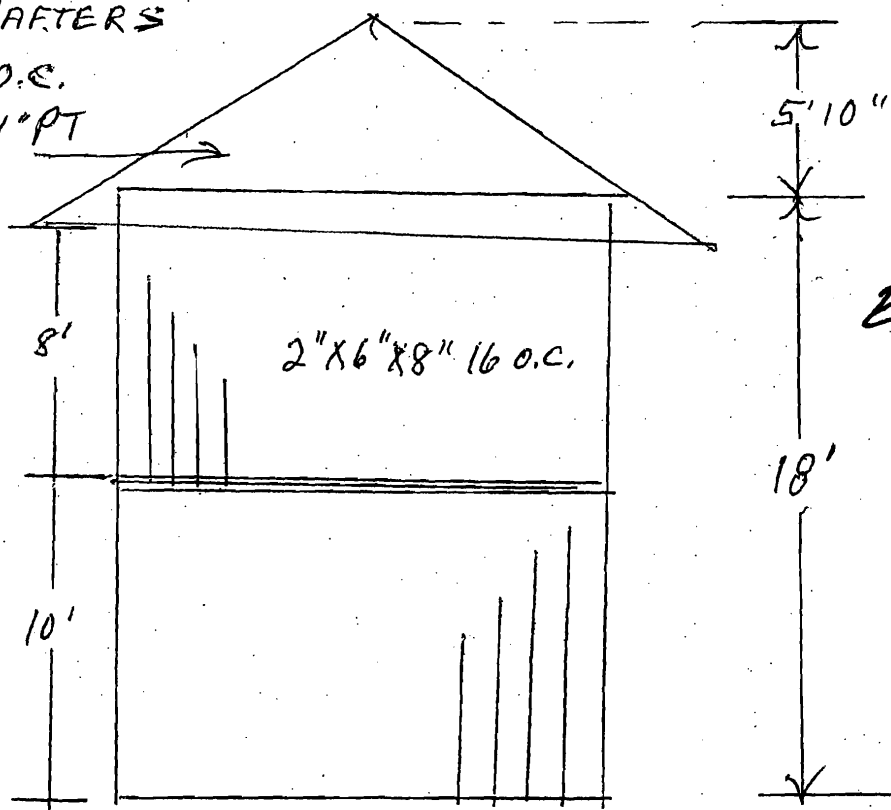
SIDE VIEW

18" CONCRETE SLAB
REINFORCED

8' height ADDED
FOR STORAGE SPACE,



RAFTERS
4" O.C.
8' X 4" PT



MAX HEIGHT UNDER
ZONING = 18'

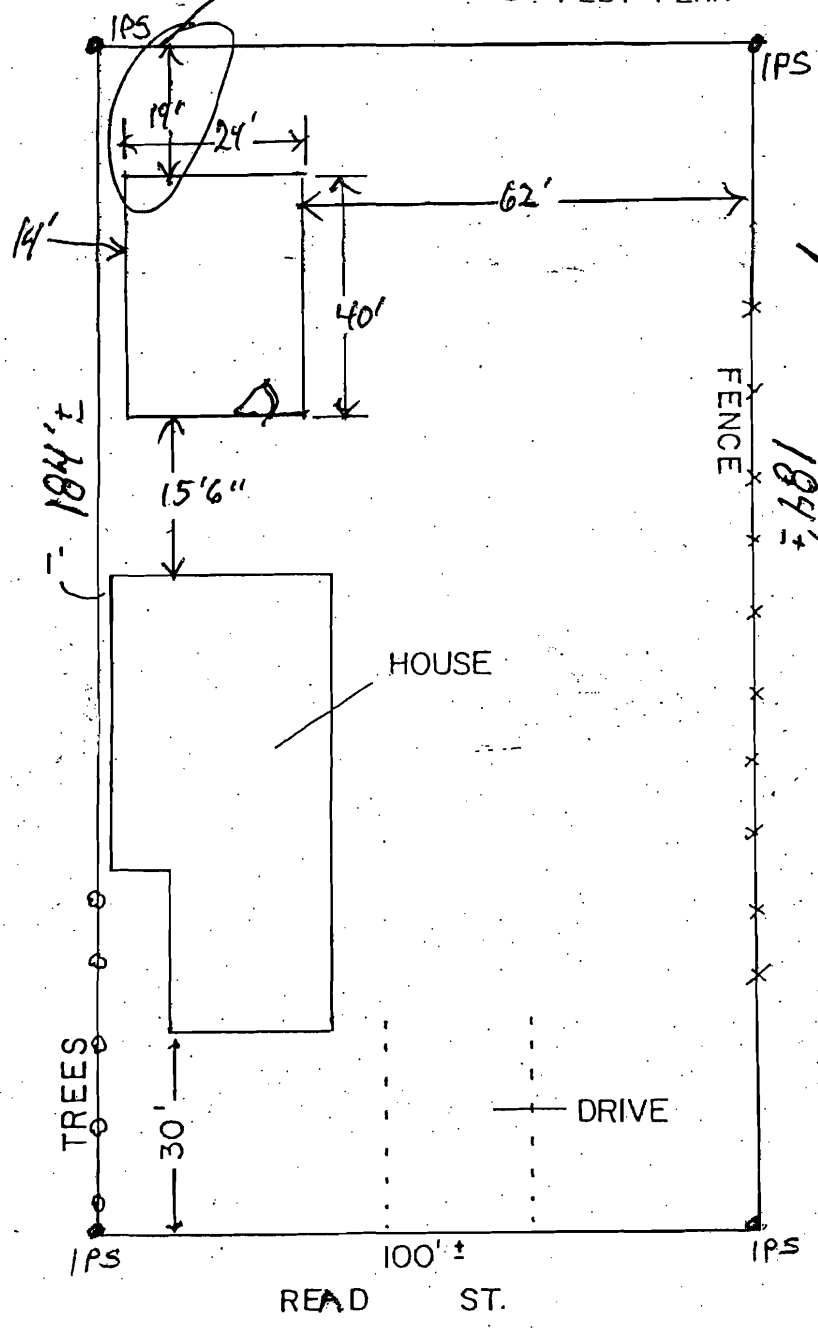
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 - B. RAFTERS 24" O.C.
 - C. T'ILL 8' X 4" SIDING
 - D. ROOF REPLACED BY LIFT CRANE.

PROPOSED

#

NON-CONFORMING
(25' REQ'D)

PLOT PLAN



IPS = IRON POST SET
IPF = IRON POST FOUND

18400 SF.±
141-J-4

OWNER OF RECORD: John & Cynthia Sargent
103 READ ST.

CBL 141-J-014-001

LOCUS: Portland, Maine

SCALE: 1" = 30'

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 Portland, ME 04103