

# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read  
Application And  
Notes, If Any,  
Attached

BUILDING INSPECTION

## PERMIT

**PERMIT ISSUED**

Permit Number: 050139  
MAR 22 2005

**CITY OF PORTLAND**

This is to certify that Sargent Cynthia J. & /Owner  
 has permission to 3 unit Remove, repair and replace existing porch  
 AT 103 Road St 141 J014001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is altered or closed-in.  
**HEAR NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

### OTHER REQUIRED APPROVALS

Fire Dept. [Signature]  
 Health Dept. \_\_\_\_\_  
 Appeal Board \_\_\_\_\_  
 Other \_\_\_\_\_  
Department Name

[Signature] 3/21/05  
 Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No:	Issue Date:	CBL:
05-039		D 41 J014001

103 Read St	Sargent Cynthia J &	103 Read St	
Business Name:	Contractor Name:	Contractor Address:	Phone
	Owner	Portland	
			Zone: R3

Past Use: Residential 3 unit	Proposed Use: Residential 3 unit Remove, repair and replace existing porch	Permit Fee: \$209.00	Cost of Work: \$1,680.00	CEO District: 4
Proposed Project Description: 3 unit Remove, repair and replace existing porch  <i>LEGAL use: Three (3) residential dwelling units</i>		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group R2 Type: EB IBC-2003 Signature: JMB 3/21/05	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
		Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
		Signature: _____ Date: _____		

Permit Taken By: dmartin	Date Applied For: 02/08/2005	<b>Zoning Approval</b>
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.  2. Building permits do not include plumbing, septic or electrical work.  3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan <i>MASA Site Plan extent of work approved</i> Maj <input type="checkbox"/> Minor <input checked="" type="checkbox"/> MM <input type="checkbox"/> Date: <i>3/15/05</i>	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: _____
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**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

\_\_\_\_\_  
SIGNATURE OF APPLICANT ADDRESS DATE PHONE

\_\_\_\_\_  
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

4/11/05 Sono Tube inspection. All GRE @ 48" OK to  
pour. JN Setbacks Also A.K. JN

5/2/05 Was able to finish final inspection. Work complete  
close permit JN

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 05-0139	Date Applied For: 02/08/2005	CBL: 141 J014001
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Location of Construction: 103 Read St	Owner Name: Sargent Cynthia J &	Owner Address: 103 Read St	Phone:
Business Name:	Contractor Name: Owner	Contractor Address: Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	

Proposed Use: Residential 3 unit Remove, repair and replace existing porch	Proposed Project Description: 3 unit Remove, repair and replace existing porch
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**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Marge Schmuckal      **Approval Date:** 03/15/2005

**Note:** 2/17/05 see letter - this is not a replacement front porch but a new one - we need an amendment to the permit **Ok to Issue:**   
 and all the required documentation.  
 2/23/05 brought in new plans but didn't fill out a site plan exemption yet - I will do it & give to planning  
 3/4/05 received site plan exemption from planning - owner showing only 23' front setback instead of the required 25' - see letter  
 3/14/05 revised plans to show a 5' wide deck and a 25' front setback as required *\* ALL MAR 16 AMMENDMENTS*

- 1) Separate permits shall be required for future decks, sheds, pools, and/or garages.
- 2) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.
- 3) This property shall remain a three (3) family dwelling. Any change of use shall require a separate permit application for review and approval.
- 4) This permit is being approved on the basis of plans submitted on 3/14/05. Any deviations shall require a separate approval before starting that work.

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Jeanine Bourke      **Approval Date:** 03/21/2005

**Note:** 3/21/05 left vm w/John S. For more details on railings, roof rafters & if any new stairs. He called back and **Ok to Issue:**   
 confirmed details as noted on plans. Ok to issue

- 1) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.

**Dept:** Fire      **Status:** Approved with Conditions      **Reviewer:** Lt. MacDougal      **Approval Date:** 03/17/2005

**Note:** **Ok to Issue:**

- 1) stairs shall be a minimum of 11" tread and a maximum of 7" riser with no nosing
- 2) handrails shall be graspable with a minimum of 1 1/4" to 2" in diameter
- 3) the guards shall be a minimum of 42" in height

**Comments:**  
 03/07/2005-gg: received granted site plan exemption. /gg

*MAR 16 - Submitted amended plan  
 DECK = 7' width  
 DISTANCE TO PROPERTY LINE 26' (25' req'd)*

# All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>103 READ ST</u>		
Total Square Footage of Proposed Structure		Square Footage of Lot
Tax Assessor's Chart#	Block# <u>014</u>	Lot#
Owner: <u>John &amp; Cynthia SARGENT</u>		Telephone: <u>773 0660</u>
Lessee/Buyer's Name (If Applicable) <u>N/A</u>	Applicant name, address & telephone: <u>J. M. SARGENT 103 READ ST PORTLAND ME 04103 7730660</u>	cost Of Work: <u>\$1680.00</u> Fee: \$ <u>109.00</u>
<u>PORT FRONT ENTRANCE</u>		
<u>Remove Rear porch</u>		
Contractor's name, address & telephone:		
Who should we contact when the permit is ready: <u>John Sargent Jr. or Sr.</u>		
Mailing address:		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. <b>PHONE:</b> <u>773 0660</u>		

**IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.**

*I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.*

Signature of applicant: <u>[Signature]</u>	DEPT. OF BUILDING INSPECTION CITY OF PORTLAND, ME
Date: <u>1-2-05</u>	FEB 8 2005

**This is NOT a permit, you may not commence ANY work until the permit is issued.**  
If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4<sup>th</sup> floor of City Hall.

RECEIVED





APPLICATION FOR EXEMPTION FROM SITE PLAN REVIEW

Applicant: John A SARGENT
Applicant's Mailing Address: 103 READ ST, PORTLAND ME 04103
Consultant/Agent/Phone Number: 773 0660

Application Date: 7 Feb 05
Project Name/Description: ADDITION PORCH
Address of Proposed Site: 103 READ ST

CBL: 141-J-014 R3 ZONE.

Description of Proposed Development:

ADDITION OF PORCH TO FRONT OF HOUSE.

Please Attach Sketch/Plan of Proposal/Development

Criteria for Exemptions: See Section 14-523 (4) on back side of form

- a) Within Existing Structures; No New Buildings, Demolitions or Additions
b) Footprint Increase Less Than 500 Sq. Ft.
c) No New Curb Cuts, Driveways, Parking Areas
d) Curbs and Sidewalks in Sound Condition/Comply with ADA
e) No Additional Parking/ No Traffic Increase
f) No Stormwater Problems
g) Sufficient Property Screening
h) Adequate Utilities

Table with 2 columns: Applicant's Assessment (Yes, No, N/A) and Planning Office Use Only. Contains checkmarks for each criterion.

Planning Division Use Only

Exemption Granted [checked] Partial Exemption

Exemption Denied
DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME
MAR - 4 2005
RECEIVED

Planner's Signature [Signature]

Date: 3/2/05

Applicant: John Sargent  
Address: 103 Read St

Date: 3/10/05  
C-B-L: 141-J-014

CHECK-LIST AGAINST ZONING ORDINANCE

Date - 2/18/05

# 05-0139

Zone Location - R-3

Interior or corner lot -

Proposed Use/Work -

add 5' x 22' front porch

Savage Disposal - city

Lot Street Frontage -

ok

Front Yard -

25' min

25' min shown on 3/14/05  
on 3/14/05

Rear Yard -

N/A

Side Yard -

14' min - 14' shown

Projections -

Width of Lot -

Height -

Lot Area -

15,000<sup>#</sup> given

Lot Coverage Impervious Surface -

35% max

5250<sup>#</sup> max

Area per Family -

Off-street Parking -

from Assessors = 2590

Loading Bays -

garage 24x40 = 960

Site Plan -

exemption granted  
2/4/05

Shoreland Zoning/ Stream Protection -

Flood Plains -

3558<sup>#</sup>

# BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

Call Footing/Building Location Inspection: Prior to pouring concrete  
N/A Re-Bar Schedule Inspection: Prior to pouring concrete  
Call Foundation Inspection: Prior to placing ANY backfill  
Call Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling  
Call Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

       If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

       CERTIFICATE OF OCCUPANCIES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

Adrian Smith  
Signature of Applicant/Designee      Date  
Paula Stewart      3/22/05  
Signature of Inspections Official      Date  
CBL: 141 2014      Building Permit #: 05 0139



This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

**Current Owner Information**

Card Number	1 of 1
Parcel ID	141 I014001
Location	103 READ ST
Land Use	THREE FAMILY
Owner Address	SARGENT CYNTHIA I & JOHN P ITS 103 READ ST PORTLAND ME 04103
Book/Page	
Legal	141-1-14 READ ST 103 15000 SF

**Valuation Information**

Land	Building	Total
\$37,070	\$77,280	\$114,350

**Property Information**

Year Built	Style	Story	Height	Sq. Ft.	Total Acres
1860	old style	2		3971	0.344
Bedrooms	Full Baths	Half Baths	Total Rooms	Attic	Basement
7	3		3	Full Finish	Full

**Outbuildings**

Type	Quantity	year Built	Size	Grade	condition
GARAGE-WD/CB	1	1990	24x40	C	F

**Sales Information**

Date	Type	Price	Book/Page
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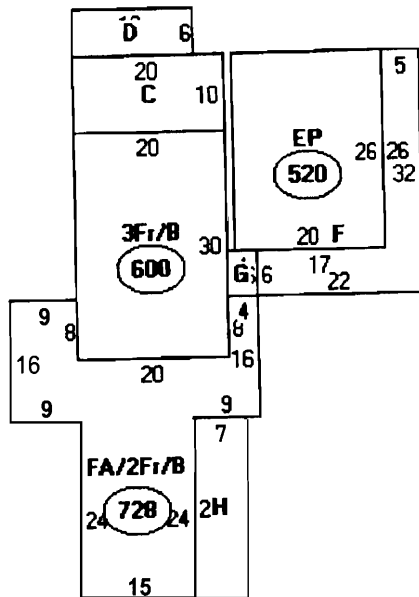
**Picture and Sketch**

[Picture](#)      [Sketch](#)      [Tax Map](#)

[Click here](#) to view Tax Roll Information.

Any information concerning **tax** payments should be directed to the Treasury office at 874-8490 or e-mailed.





Descriptor/Area

- A: FA/2Fr/B  
728 sqft
- G: 3Fr/B  
600 sqft
- C: 2Fr/B  
200 sqft
- D: WD  
96 sqft
- E: EP  
520 sqft
- F: WD  
262 sqft
- G: 1Fr/B  
24 sqft
- H: OFF  
168 sqft

2  
 728  
 600  
 200  
 96  
 520  
 262  
 24  
 168  


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 2590<sup>sqft</sup>



# PORTLAND MAINE

*Strengthening a Remarkable City, Building a Community for Life* - [www.portlandmaine.gov](http://www.portlandmaine.gov)

*Lee Urban- Director of Planning and Development  
Marge Schmuckal, Zoning Administrator*

March 10,2005

Cynthia & John Sargent  
103 Read Street  
Portland, **ME** 04103

RE: 103 Read Street – 141-J-014 – R-3 Zone – application #05-0139

Dear Mr. & Mrs. Sargent,


I ~~am~~ in receipt of your revised plans for a new front porch at 103 Read Street. Your permit has been denied because you are not meeting the requirements of the Land Use **Zoning** Ordinance.

Section 14-90 of the R-3 Residential Zone requires twenty-five (25) feet as a front setback from the property line instead of the twenty-three (23) feet shown on your latest submittal.

If you wish to revise your plans to show a narrower porch, you could meet the required setbacks. Your permit is on hold until such time that this office receives revised plans or over thirty days have passed from the date of this letter. Your application will be void at that time.

You have the right to appeal my decision. If you wish to exercise your right to appeal, you have 30 days from the date of this letter in which to appeal. If you should fail to do so, my decision is binding and not subject to appeal. Please contact this office for the necessary paperwork that is required to file an appeal.

Very truly yours,

  
Marge Schmuckal  
Zoning Administrator

Cc: Mike Nugent, Inspections Supervisor  
Jon Reed, Code Enforcement Officer  
File

*see revised plans dated 3/14/05  
made deck smaller  
& just meeting the 25' front setback*

Zoning Division  
Marge Schmuckal  
Zoning Administrator

Department of Planning & Development  
Lee Urban, Director



February 17, 2005

*Hand delivered  
Copy At The  
counter 2/17/05*  
CITY OF PORTLAND

Cynthia & John Sargent  
103 Read Street  
Portland, ME 04103

RE: 103 Read Street – 141-J-014 - R-3 Zone – application #05-0139

Dear Mr. & Mrs. Sargent,

*TON Reed is Code Inf. Officer*

I am in receipt of your application to "remove, repair, and replace" a front porch on your property located at 103 Read Street. Your permit is denied because this office has no record of a pre-existing front porch. Your microfiche file contains pictures submitted by you previously in 1983 that indicates no existing front porch. In addition, in 1990, a survey performed by Herbert P. Gray, shows no front porch. Our microfiche files show no previous application for a front porch. The current Assessor's records also show no indication of a front porch.

If you wish to erect a **new** front porch, you will need to submit a dimensioned plot plan showing your lot and all the structures on your lot. This plot plan must accurately show the building setbacks from your property lines. Setbacks are required to be from your property lines, not from sidewalks, not from fences, not from curb lines. Owners are responsible to know where their actual property lines are located. Your new structure must meet all the current requirements of the R-3 zone. You can find those requirements in our office at the front counter. The zoning ordinance is also available at our web site at [www.portlandmaine.gov](http://www.portlandmaine.gov). Complete structural details must also be submitted to review for compliance with the City's building codes.

Because this is a legal three family dwelling, additions are also required to be reviewed by the planning division under a site plan review. However, if the footprint of the new structure is less than 500 square feet, you may be able to obtain a site plan exemption from planning. I have included a site plan exemption form for you with this letter. This office requires an approved site plan or site plan exemption prior to issuing a building permit.

Please note that the stop work order that has been placed on your job is still in effect. You are not permitted to engage in any work until a permit is reviewed and approved by the City.

Your current permit is denied and cannot be issued as proposed. **As** stated above, you can amend your present application. You will need to submit all the above information to review for compliance with all City Ordinances.

If you have any questions regarding this letter, please do not hesitate to contact this office.

Very truly yours,

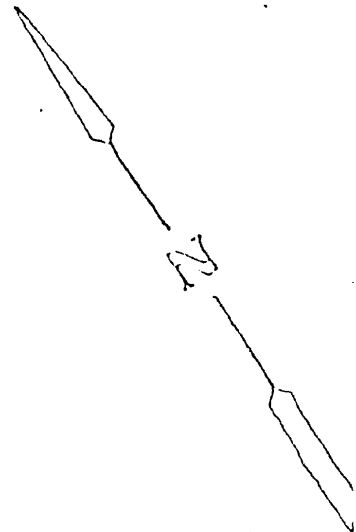
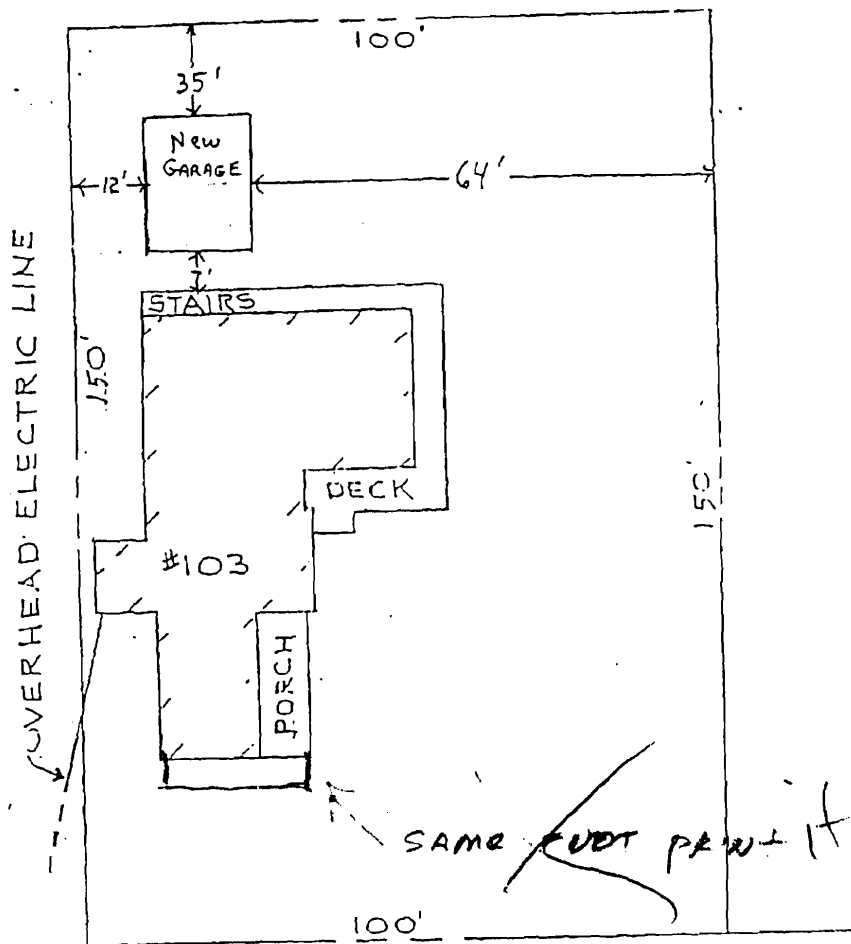
A handwritten signature in black ink, appearing to read "Marge Schmuckal", with a long horizontal flourish extending to the right.

Marge Schmuckal  
Zoning Administrator

Cc: **Mike** Nugent, Code Enforcement  
Jon Reed, Code Enforcement Officer  
file



Herbert P. Gray



SCALE 1"=30'

SAME FOOT PRINT AS ITS A NEW PORCH

READ STREET.



CITY OF PORTLAND, MAINE

389 CONGRESS STREET  
PORTLAND, MAINE 04101  
(207) 874-8300

DEPARTMENT OF PLANNING & URBAN DEVELOPMENT

P. SAMUEL HOFFSES, CHIEF  
INSPECTION SERVICES DIVISION

103 Read Street

June 13, 1990

Mr. John P. Sargent  
103 Read Street  
Portland, Maine 04103

773-0660

Dear Mr. Sargent:

This is in reference to your building permit application for demolition and replacement of your garage at 103 Read Street in the R-3 Residence Zone. Since it appears that the proposed garage is larger than the existing one, this office will require a plot plan showing the front, side and rear setbacks for the new garage.

Please therefore prepare a plot plan showing these setbacks and furnish two copies to this office to supplement your building permit application.

Sincerely,

Warren J. Turner  
Administrative Assistant

cc: P. Samuel Hoffses, Chief, Inspection Services  
William D. Giroux, Zoning Enforcement Officer  
Arthur Rowe, Code Enforcement Officer

PERMIT ISSUED

APPLICATION FOR PERMIT

B.O.C.A. USE GROUP .....

JUN 11 1995

B.O.C.A. TYPE OF CONSTRUCTION 73.3,.....

ZONING LOCATION ... R-5 ... PORTLAND, MAINE ... 5/8/86 ...

City Of Portland

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION ... 103 Road St ... Fire District #10
1. Owner's name and address ... John Sargent ... Telephone 773-0660
2. Lessee's name and address ... same ... Telephone same
3. Contractor's name and address ... John Sargent ... Telephone same
Proposed use of building ... No. of sheets 3
Last use ... No. families
Material ... No. stories ... Heat ... Style of roof ... Roofing

Other buildings on same lot
Estimated contractual cost \$ 750.00
Appeal Fees \$ 25.00

FIELD INSPECTOR—Mr. @ 773-5451
Base Fee
Late Fee

Attach a 13' by 16' deck
as per plan
on side of dwelling

TOTAL \$

Stamp of Special Conditions
WITH DATED

04103

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work? no
Is any electrical work involved in this work? no
Is connection to be made to public sewer?
If not, what is proposed for sewage?
Has septic tank notice been sent?
Form notice sent?
Height average grade to top of plate
Height average grade to highest point of roof
Size, front ... depth ... No. stories ... solid or filled land? ... earth or rock?
Material of foundation ... Thickness, top ... bottom ... cellar
Kind of roof ... Rise per foot ... Roof covering
No. of chimneys ... Material of chimneys ... of lining ... Kind of heat ... fuel
Framing Lumber—Kind ... Dressed or full size? ... Corner posts ... Sills
Size Girder ... Columns under girders ... Size ... Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bracing in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor ... 3rd ... roof
On centers: 1st floor ... 2nd ... 3rd ... roof
Maximum span: 1st floor ... 2nd ... 3rd ... roof
If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot ... to be accommodated ... number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: DATE

MISCELLANEOUS

BUILDING INSPECTION—PLAN EXAMINER Will work require disturbing of any tree on a public street? no
ZONING: D. N. W. Fitts, Mayor, 1995

BUILDING CODE: Will there be in charge of the above work a person competent

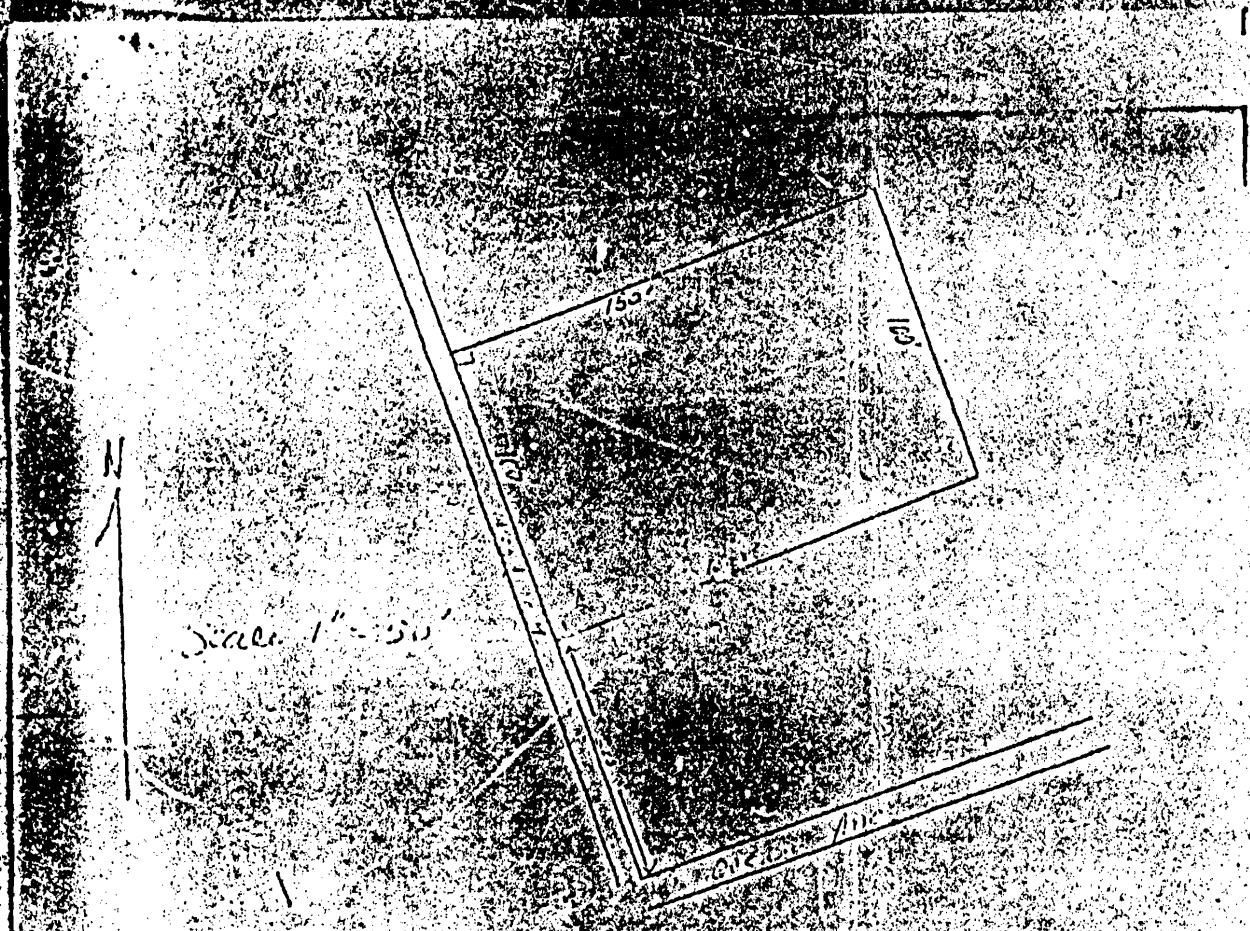
Fire Dept. to see that the State and City requirements pertaining thereto

Health Dept. are observed?

Others:

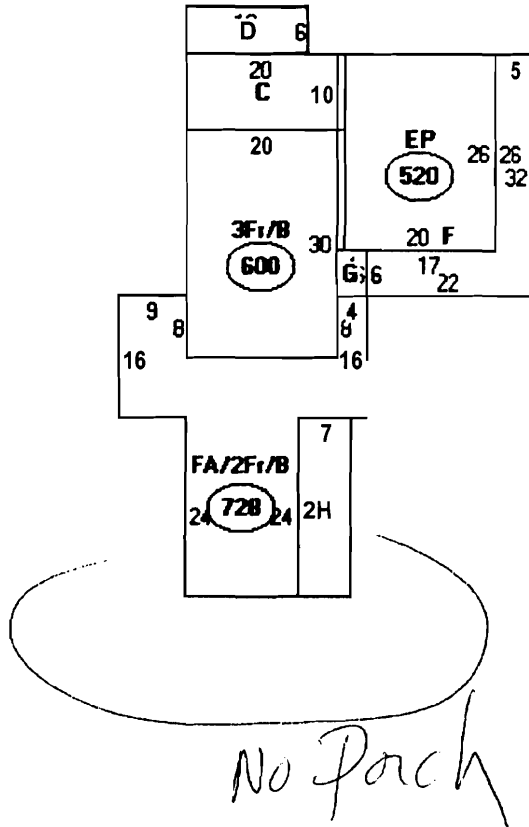
Signature of Applicant John Sargent Phone #

10 20 30 40



**RECEIVED**  
 AUG 23 1983  
 DEPT. OF BLDG. INSP.  
 CITY OF PORTLAND

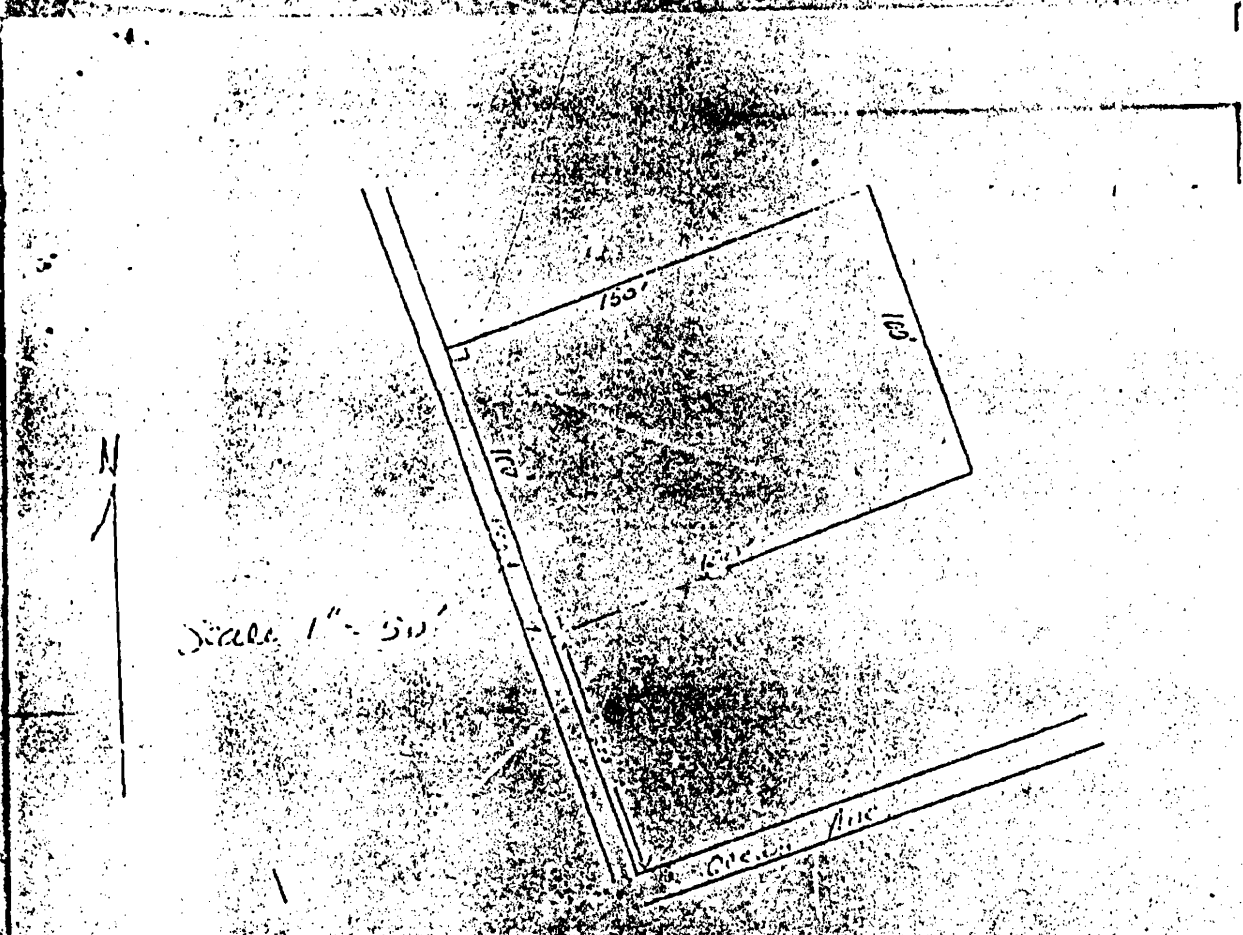
**RECEIVED**  
 MAR 25 1983  
 DEPT. OF BLDG. INSP.  
 CITY OF PORTLAND



Descriptor/Area

- A: FA/2Fr/B  
728 sqft
- B: 3Fr/B  
600 sqft
- C: 2Fr/B  
200 sqft
- D: WD  
96 sqft
- E: EP  
520 sqft
- F: WD  
262 sqft
- G: 1Fr/B  
24 sqft
- H: OFP  
168 sqft





RECEIVED  
 AUG 28 1983  
 DEPT. OF BLDG. INSP.  
 CITY OF PORTLAND

RECEIVED  
 MAR 25 1983  
 DEPT. OF BLDG. INSP.  
 CITY OF PORTLAND

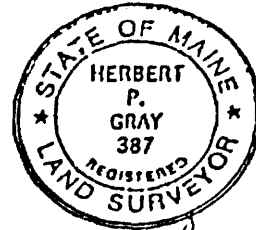
103 Read Street  
Portland, Maine  
Scale 1"=30'

To the lending institution and its insurer: I hereby certify that the location of the dwelling shown on this plan does conform with the local zoning laws in affect at the time of construction. The property does not fall within the special flood hazard zone.

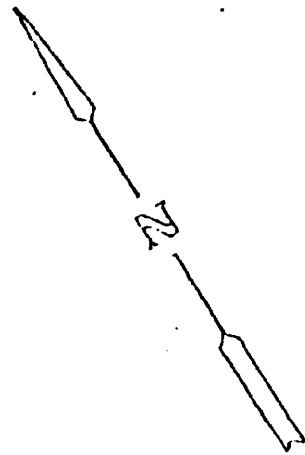
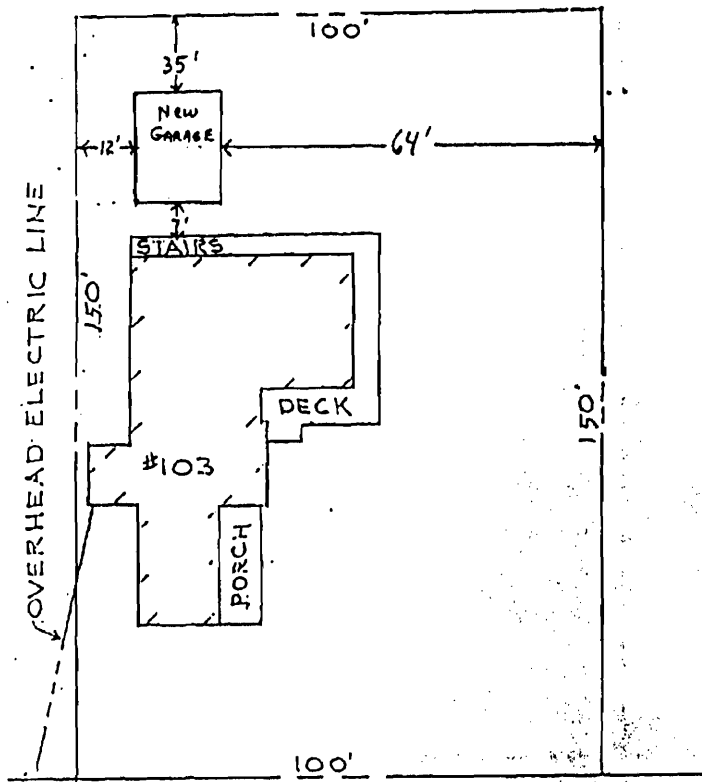
This plan was not made from an instrument survey. The certifications are for mortgage purposes only. This plan applies only to conditions as of the date shown hereon. This plan is not for recording.

Owners: John P. Sargent,  
Cynthia J. Sargent

To all parties in title of the premises surveyed: I, Herbert P. Gray hereby certify that this survey was made by me on February 2, 1990, that this survey was actually made upon the ground as per record description and is correct and there are no encroachments either way across property lines except as shown on this survey.



*H. P. Gray*  
1/22/90



SCALE 1"=30'

READ STREET



# CITY OF PORTLAND, MAINE

## Department of Building Inspections

Feb 8 20 05

Received from John Sargent Sr.

Location of Work 103 Broad St.

Cost of Construction \$ \_\_\_\_\_

Permit Fee \$ 109.00

Building (IL)  Plumbing (I5) \_\_\_\_\_ Electrical (I2) \_\_\_\_\_ Site Plan (U2) \_\_\_\_\_

Other w/late Fee

CBL: 141 JON

Check #: 2103 Total Collected \$ 109.00

# THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy  
YELLOW - Office Copy  
PINK - Permit Copy

Deposit



**CITY OF PORTLAND, MAINE**  
Department of Building Inspections

March 14 20 05

Received from John Sargent

Location of Work 103 Beach St

Cost of Construction \$ \_\_\_\_\_

Permit Fee \$ 100.00

Building (IL) \_\_\_\_\_ Plumbing (IS) \_\_\_\_\_ Electrical (I2) \_\_\_\_\_ Site Plan (U2) \_\_\_\_\_

Other Site work fee

CBL: 141 JCC1

Check #: 2041 Total Collected \$ 100.00

**THIS IS NOT A PERMIT**

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be issued the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.





# CITY OF PORTLAND, MAINE

## Department of Building Inspections

March 29 2005

Received from John P. Sargent, Sr.

Location of Work 103 Pearl St

Cost of Construction \$ \_\_\_\_\_

Permit Fee \$ 300

Building (I1)  Plumbing (I5)  Electrical (I2)  Site Plan (U2)

Other \_\_\_\_\_

CBL: 141 5014

Check #: 2351

Total Collected \$ 300

## THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy  
YELLOW - Office Copy  
PINK - Permit Copy

*Handwritten signature*