

# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read  
Application And  
Notes, If Any,  
Attached

## BUILDING INSPECTION

# PERMIT

Permit Number 060283  
**PERMIT ISSUED**  
MAR - 2 2006  
CITY OF PORTLAND

This is to certify that Rinehart Kevan L. & /no contractor / self

has permission to add rear deck 12' - 6" x 25' - 6" and 50 sf front porch

AT 90 Wellington Rd City of Portland 141 C029001

provided that the person or persons who perform or supervise the construction accepting this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission procured before this building or part thereof is occupied or service closed-in. 4 HOUR NOTICE REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

### OTHER REQUIRED APPROVALS

Fire Dept. \_\_\_\_\_

Health Dept. \_\_\_\_\_

Appeal Board \_\_\_\_\_

Other \_\_\_\_\_

DepartmentName

*[Signature]*  
Director, Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>PERMIT ISSUED</b>		
Permit No: 06-0284	Issue Date: MAR - 2 2006	GBL: 141 C029001
Owner Address: 90 Wellington Rd		Phone:
Contractor Address: Portland		Phone:
Permit Type: Additions - Dwellings		Zone: R-3

Location of Construction: 90 Wellington Rd	Owner Name: Rinehart Kevan L &
Business Name:	Contractor Name: no contractor / self
Lessee/Buyer's Name	Phone:

Past Use: single family	Proposed Use: single family - add rear deck and front porch
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Permit Fee:	Cost of Work: \$0.00	CEO District: 4
FIRE DEPT: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied <i>N/A</i>	INSPECTION: Use Group: <i>R-3-5B</i> Type: <i>IRC 2003</i>	
Signature	Signature	
<b>PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)</b>		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature:	Date:	

Proposed Project Description:  
add rear deck 12' - 6" x 25'-6" and 50 sf front porch

Permit Taken By: tmm	Date Applied For: 03/02/2006
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Zoning Approval		
<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p><b>Special Zone or Reviews</b></p> <p><input type="checkbox"/> Shoreland</p> <p><input type="checkbox"/> Wetland</p> <p><input type="checkbox"/> Flood Zone</p> <p><input type="checkbox"/> Subdivision</p> <p><input type="checkbox"/> Site Plan</p> <p>Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/></p> <p>Date: <i>3/1/06</i></p>	<p><b>Zoning Appeal</b></p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date:</p>
		<p><b>Historic Preservation</b></p> <p><input checked="" type="checkbox"/> Not in District or Landmar</p> <p><input type="checkbox"/> Does Not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date: <i>3/1/06</i></p>

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

# BUILDING PERMIT INSPECTION PROCEDURES

Please call ~~874-8703~~ or ~~874-8693~~ to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- Footing/Building Location Inspection: Prior to pouring concrete *Tube depth*
- Re-Bar Schedule Inspection: Prior to pouring concrete
- Foundation Inspection: Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

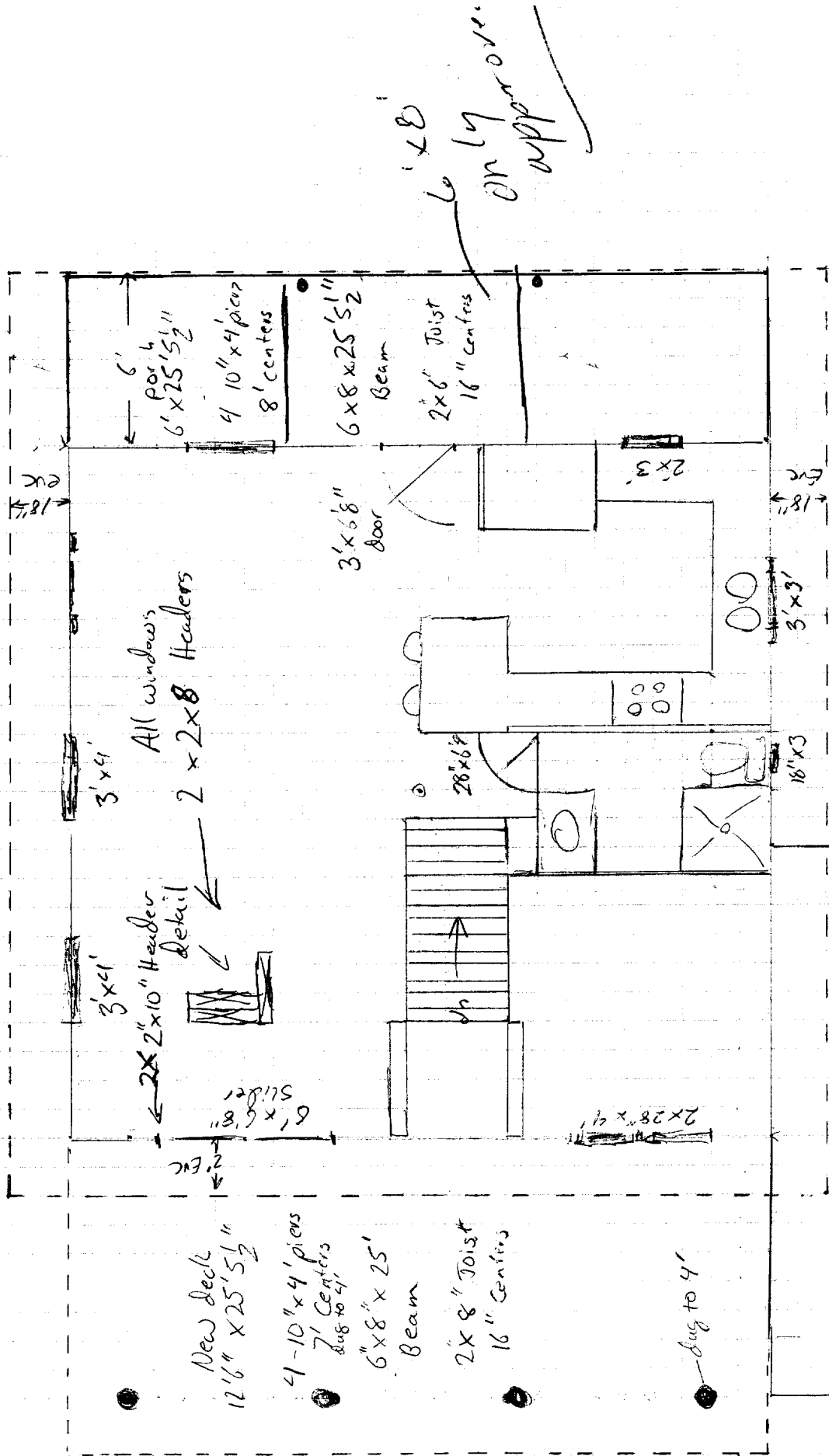
If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

**CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED**

*[Signature]* 3/1/06  
Signature of Applicant/Designee Date  
*[Signature]* 3/1/06  
Signature of Inspections Official Date  
CBL: 141-C-89 Building Permit #: 06-0284

*5/16*

Proposed Floor plan 1st floor  
+ Deck details



Street →

first floor -

Original  
Garage  
unchanged

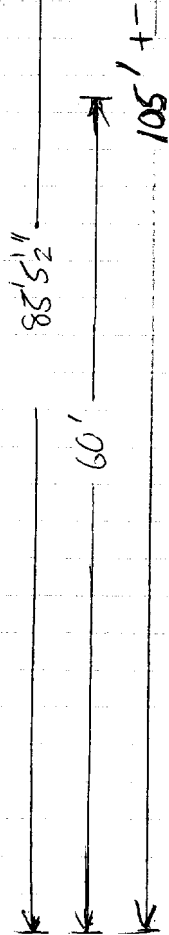
- New deck  
12'6" x 25'5 1/2"
- 4-10" x 4' piers  
7' Centers  
8'8" to 4'
- 6' x 8" x 25'  
Beam
- 2' x 8" Joist  
16" Centers
- dig to 4'

All windows  
2 x 2' x 8' Headers

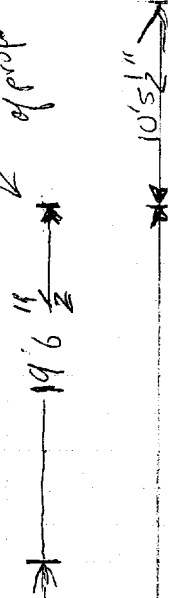
2 x 2' x 10" Header  
detail

2' x 8"  
OR by over  
upper over

Existing Foot Print  
plus proposed decks



Estimated  
Edge of  
prop line



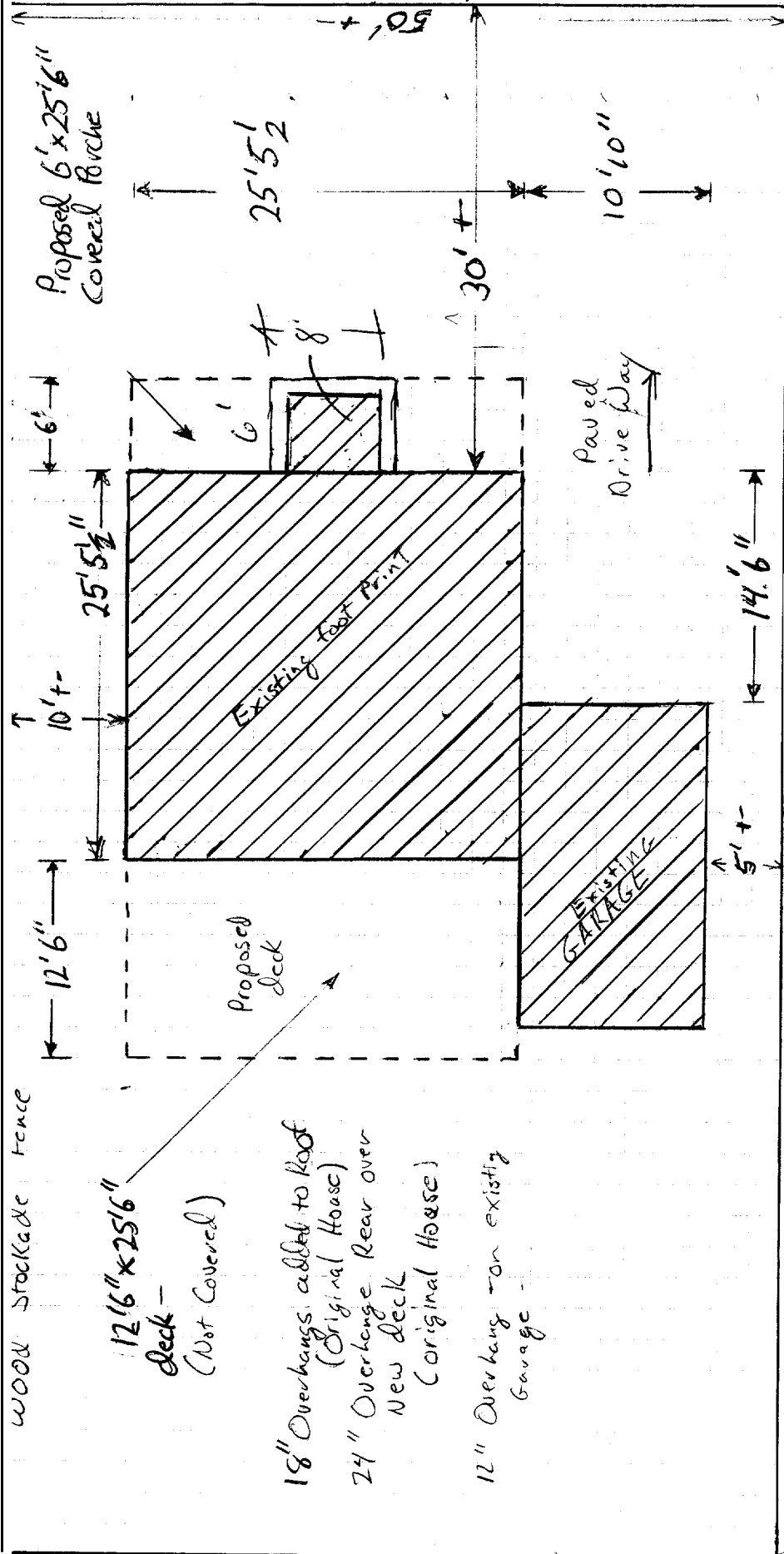
WOOD STOCKADE FENCE

12'6" x 25'6"  
deck -  
(Not Covered)

18" Overhang, added to roof  
(Original House)

24" Overhang Rear over  
New deck  
(Original House)

12" Overhang on existing  
Garage



Wood Stockade Fence



Cross sections with framing details  
Elevations

Gable 12/12 pitch  
2x6 Walls 16" OC  
R-19 Fiberglass  
Cedar Shingles

Ridge  
2x12x25'5 1/2"  
ND Structural

Exist floor  
2x10" 16" OC  
5/8 CDX Subfloor

Dormer 6.5/12 pitch  
2" x 10" Rafters 16" OC  
2x6" Walls 16" OC  
1/2 CDX All  
CF

Asphalt Architectural Shingles  
R-19 walls Fiber Glass  
R-38 ceiling fiber Glass  
+ foam

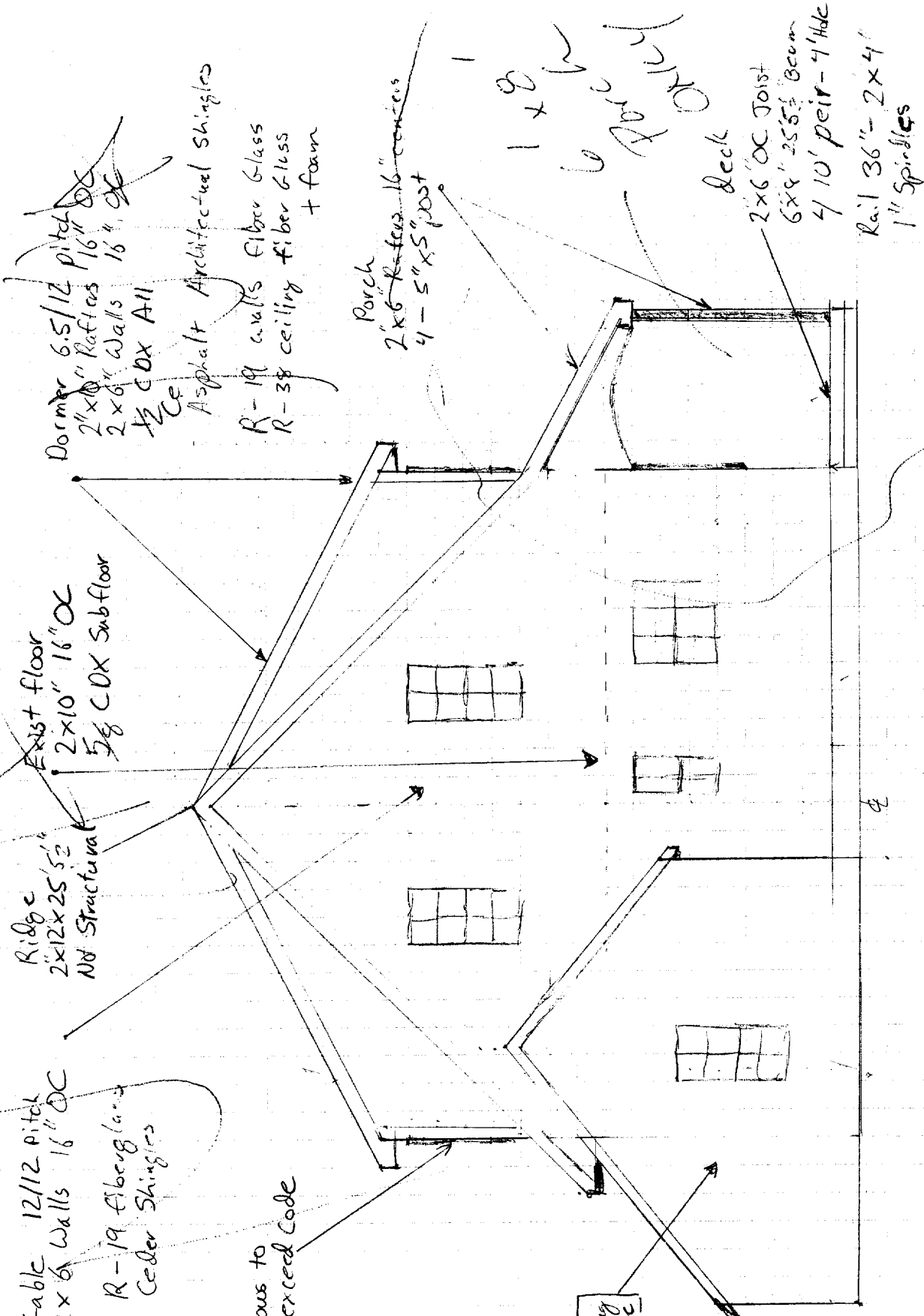
Porch  
2x6 Rafters 16" centers  
4-5" x 5" post

Deck  
2x6 OC Joist  
6x9" 255# Beam  
4 10' pair-4' Hdc  
Rail 36" - 2x4"  
1" Spindles

Windows to meet/exceed code

Existing Garage

Proposed Structure - same foot print - plus porch -



Street

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 06-0284	<b>Date Applied For:</b> 0310212006	<b>CBL:</b> 141 C029001
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<b>Business Name:</b>	<b>Contractor Name:</b> no contractor / self	<b>Contractor Address:</b> Portland	<b>Phone</b>
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Additions - Dwellings	

<b>Proposed Use:</b> single family - add rear deck and front porch	<b>Proposed Project Description:</b> add rear deck 12' - 6" x 25'-6" and 50 sf front porch
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**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Tammy Munson      **Approval Date:** 0310212006  
**Note:**      **Ok to Issue:**

1) The front porch shall be 6' x 8' maximum as discussed.

**Dept:** Building      **Status:** Approved      **Reviewer:** Tammy Munson      **Approval Date:** 0310212006  
**Note:**      **Ok to Issue:**

**City of Portland, Maine - Building or Use Permit**

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