

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



# CITY OF PORTLAND

# BUILDING PERMIT

This is to certify that TIMOTHY GARDNER

Located At 83 WALTON ST.

Job ID: 2011-07-1723-ALTR

CBL: 141 - - A - 001 - 001 - - - -

has permission for a Change of Use/ Construction from a One (1) Family to a Two (2) Family Residence.  
provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

08/10/2011

\_\_\_\_\_  
Fire Prevention Officer

\_\_\_\_\_  
Code Enforcement Officer / Plan Reviewer

**THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY  
PENALTY FOR REMOVING THIS CARD**

**R302.3 Two-family dwellings.** *Dwelling units* in two-family dwellings shall be separated from each other by wall and/or floor assemblies having not less than a 1-hour fire-resistance rating when tested in accordance with ASTM E 119 or UL 263. Fire-resistance-rated floor-ceiling and wall assemblies shall extend to and be tight against the *exterior wall*, and wall assemblies shall extend from the foundation to the underside of the roof sheathing.

**Exceptions:**

1. A fire-resistance rating of  $\frac{1}{2}$  hour shall be permitted in buildings equipped throughout with an automatic sprinkler system installed in accordance with NFPA 13.
2. Wall assemblies need not extend through *attic* spaces when the ceiling is protected by not less than  $\frac{5}{8}$ -inch (15.9 mm) Type X gypsum board and an *attic* draft stop constructed as specified in Section R302.12.1 is provided above and along the wall assembly separating the *dwellings*. The structural framing supporting the ceiling shall also be protected by not less than  $\frac{1}{2}$ -inch (12.7 mm) gypsum board or equivalent.

**R302.3.1 Supporting construction.** When floor assemblies are required to be fire-resistance rated by Section R302.3, the supporting construction of such assemblies shall have an equal or greater fire-resistance rating.

**R302.4 Dwelling unit rated penetrations.** Penetrations of wall or floor/ceiling assemblies required to be fire-resistance rated in accordance with Section R302.2 or R302.3 shall be protected in accordance with this section.



# General Building Permit Application

R.T. 7/18/11 insystem X4/15

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>83 Walton St.</u>		
Total Square Footage of Proposed Structure/Area	Square Footage of Lot	Number of Stories <u>2</u>
Tax Assessor's Chart, Block & Lot Chart# <u>141</u> Block# <u>A</u> Lot# <u>001</u>	Applicant * <u>must be owner, Lessee or Buyer</u> * Name <u>Timothy Gardner</u> Address <u>83 Walton St</u> City, State & Zip <u>Portland, ME 04103</u>	Telephone: <u>772-8106</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>12,500.00</u> C of O Fee: \$ _____ Total Fee: \$ <u>150</u>
Current legal use (i.e. single family) <u>single family</u> Number of Residential Units <u>1</u> If vacant, what was the previous use? <u>1/2</u> Proposed Specific use: <u>single family w/ additional efficiency dwelling</u> Is property part of a subdivision? <u>no</u> If yes, please name _____ Project description: <u>Renovation of existing attached garage into an efficiency dwelling.</u> <u>build</u>		
Contractor's name: <u>Completing work myself</u> Address: _____ City, State & Zip _____ Telephone: _____ Who should we contact when the permit is ready: <u>Tim Gardner</u> Telephone: <u>772 8106</u> Mailing address: _____		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

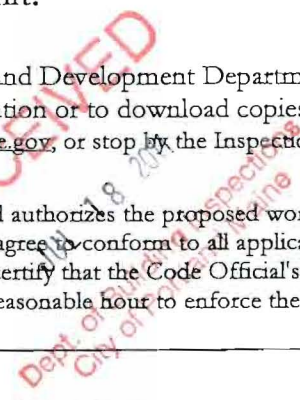
In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Tim Gardner

Date: 07/12/11

This is not a permit; you may not commence ANY work until the permit is issued



**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2011-07-1723-ALTR	Date Applied: 7/18/2011	CBL: 141 -- A - 001 - 001 - - - - -	
Location of Construction: 83 WALTON ST	Owner Name: TIMOTHY GARDNER	Owner Address: 83 WALTON ST PORTLAND, ME 04103	Phone: 207-772-8106
Business Name:	Contractor Name: OWNER	Contractor Address:	Phone:
Lessee/Buyer's Name:	Phone:	Permit Type: CHANGE OF USE	Zone: R-5
Past Use: Single family	Proposed Use: Two family – change of use from one dwelling unit to two dwelling units by converting attached garage to an apartment – add 8' x 9'8" deck.	Cost of Work: 13000.00	CEO District:
		Fire Dept: <input checked="" type="checkbox"/> Approved w/conditions <input type="checkbox"/> Denied <input type="checkbox"/> N/A	Inspection: Use Group: R3 Type: SB IRC, 2009
		Signature: <i>[Signature]</i>	Signature: <i>[Signature]</i>
Proposed Project Description: Change of use from Single Family to two family		Pedestrian Activities District (P.A.D.)	
Permit Taken By:		<b>Zoning Approval</b>	

<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building Permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.</p>	<p><b>Special Zone or Reviews</b></p> <p><input type="checkbox"/> Shoreland</p> <p><input type="checkbox"/> Wetlands</p> <p><input type="checkbox"/> Flood Zone</p> <p><input type="checkbox"/> Subdivision</p> <p><input type="checkbox"/> Site Plan <i>admin. author</i></p> <p><input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM</p> <p>Date: <i>OK w/ conditions</i> <i>7/26/11 ASM</i></p>	<p><b>Zoning Appeal</b></p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date:</p>	<p><b>Historic Preservation</b></p> <p><input checked="" type="checkbox"/> Not in Dist or Landmark</p> <p><input type="checkbox"/> Does not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date: <i>ASM</i></p>
	<b>CERTIFICATION</b>		

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHON



#2011 07 1723

# Administrative Authorization Application

Portland, Maine

Planning and Urban Development Department, Planning Division

PROJECT NAME: Converting existing attached garage into dwelling unit

PROJECT ADDRESS: 83 Walker St. CHART/BLOCK/LOT: 141 / A / 1

APPLICATION FEE: \_\_\_\_\_ (\$50.00)

### PROJECT DESCRIPTION: (Please Attach Sketch/Plan of the Proposal/Development)

Converting existing attached garage into dwelling unit

### CONTACT INFORMATION:

#### OWNER/APPLICANT

Name: Timothy Gardner  
Address: 83 Walker St.  
Portland 04103  
Work #: 854 2531 ext 513  
Cell #: 329 0657  
Fax #: \_\_\_\_\_  
Home #: 772 8106  
E-mail: gardner.t@gmail.com

#### CONSULTANT/AGENT

Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Work #: N  
Cell #: \_\_\_\_\_  
Fax #: A  
Home #: \_\_\_\_\_  
E-mail: \_\_\_\_\_

### Criteria for an Administrative Authorizations: (see section 14-523(4) on pg .2 of this appl.)

- a) Is the proposal within existing structures?
- b) Are there any new buildings, additions, or demolitions?
- c) Is the footprint increase less than 500 sq. ft.?
- d) Are there any new curb cuts, driveways or parking areas?
- e) Are the curbs and sidewalks in sound condition?
- f) Do the curbs and sidewalks comply with ADA?
- g) Is there any additional parking?
- h) Is there an increase in traffic?
- i) Are there any known stormwater problems?
- j) Does sufficient property screening exist?
- k) Are there adequate utilities?
- l) Are there any zoning violations?
- m) Is an emergency generator located to minimize noise?
- n) Are there any noise, vibration, glare, fumes or other impacts?

	Applicant's Assessment Y(yes), N(no), N/A	Planning Division Y(yes), N(no), N/A
a)	<u>yes</u>	_____
b)	<u>no</u>	_____
c)	<u>yes</u> <del>no increase</del>	_____
d)	<u>no</u>	_____
e)	<u>yes</u>	_____
f)	<u>yes</u>	_____
g)	<u>no</u>	_____
h)	<u>no</u>	_____
i)	<u>no</u>	_____
j)	<u>N/A</u>	_____
k)	<u>yes</u>	_____
l)	<u>no</u>	_____
m)	<u>none</u>	_____
n)	<u>no</u>	_____

Signature of Applicant: <u>Timothy Gardner</u>	Date: <u>07/28/11</u>
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**Planning Division Use Only**

Authorization Granted  Partial Exemption  Exemption Denied   
*with standard condition*

*Barbara Schuydt, Dev Rev. Services mgr - Aug 4, 2011*

**Standard Condition of Approval:** The applicant shall obtain all required City Permits, including building permits from the Inspection Division (Room 315, City Hall (874-8703)) prior to the start of any construction.

**IMPORTANT NOTICE TO APPLICANT:** The granting of an Administrative Authorization to exempt a development from site plan review does not exempt this proposal from other approvals or permits, nor is it an authorization for construction. You should first check with the Building Inspections Office, Room 315, City Hall (207)874-8703, to determine what other City permits, such as a building permit, will be required.

**PROVISION OF PORTLAND CITY CODE  
14-523 (SITE PLAN ORDINANCE)  
RE: Administrative Authorization**

**Sec. 14-523 (b). Applicability**

No person shall undertake any development identified in Section 14-523 without obtaining a site plan improvement permit under this article. (c) Administrative Authorization. Administrative Authorization means the Planning Authority may grant administrative authorization to exempt a development proposal from complete or partial site plan review that meets the standards below, as demonstrated by the applicant.

1. The proposed development will be located within existing structures, and there will be no new buildings, demolitions, or building additions other than those permitted by subsection b of this section;
2. Any building addition shall have a new building footprint expansion of less than five hundred (500) square feet;
3. The proposed site plan does not add any new curb cuts, driveways, or parking areas; the existing site has no more than one (1) curb cut and will not disrupt the circulation flows and parking on-site; and there will be no drive-through services provided;
4. The curbs and sidewalks adjacent to the lot are complete and in sound condition, as determined by the public works authority, with granite curb with at least four (4) inch reveal, and sidewalks are in good repair with uniform material and level surface and meet accessibility requirements of the Americans with Disabilities Act;
5. The use does not require additional or reduce existing parking, either on or off the site, and the project does not significantly increase traffic generation;
6. There are no known stormwater impacts from the proposed use or any existing deficient conditions of stormwater management on the site;
7. There are no evident deficiencies in existing screening from adjoining properties; and
8. Existing utility connections are adequate to serve the proposed development and there will be no disturbance to or improvements within the public right-of-way.
9. There are no current zoning violations;
10. Any emergency generators are to be located to minimize noise impacts to adjoining properties and documentation that routine testing of the generators occur on weekdays between the hours of 9 a.m. to 5 p.m. Documentation pertaining to the noise impacts of the emergency generator shall be submitted; and
11. There is no anticipated noise, vibration, glare, fumes or other foreseeable impacts associated with the project.

- a. **Filing the Application.** An applicant seeking an administrative authorization under this subsection shall submit an administrative authorization application for review, detailing the site plan with dimensions of proposed improvements and distances from all property lines, and stating that the proposal meets all of the provisions in standards 1-11 of Section 14-423 (b)1. **The application must be accompanied by an application fee of \$50.**
- b. **Review.** Upon receipt of such a complete application, the Planning Authority will process it and render a written decision of approval, approval with conditions or denial, with all associated findings.
- c. **Decision.** If a full administrative authorization is granted, the application shall be approved without further review under this article, and no performance guarantee shall be required. In the event that the Planning Authority determines that standards a and b of Section 14-523 (b) (1) and at least four (4) of the remaining standards have been met, the Planning Authority shall review the site plan according to all applicable review standards of Section 14-526 that are affected by the standards in this subsection that have not been met. If an exemption or partial exemption from site plan review is not granted, the applicant must submit a site plan application that will undergo a full review by the Planning Board or Planning Authority according to the standards of Section 14-526.

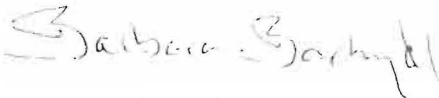
**Criteria for an Administrative Authorizations:**  
 (See Section 14-523 (4) on page 2 of this application)

**Applicant's Assessment**  
 Y(yes), N(no), N/A

**Planning Division**  
 Use Only

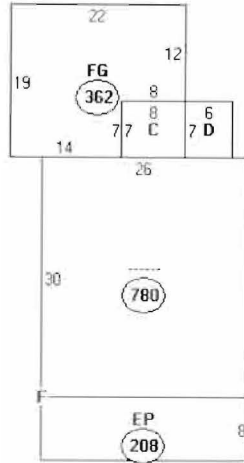
a) Is the proposal within existing structures?	Y	yes
b) Are there any new buildings, additions, or demolitions?	N	no
c) Is the footprint increase less than 500 sq. ft.?	Y	yes
d) Are there any new curb cuts, driveways or parking areas?	N	no
e) Are the curbs and sidewalks in sound condition?	Y	yes
f) Do the curbs and sidewalks comply with ADA?	Y	yes
g) Is there any additional parking?	N	no
h) Is there an increase in traffic?	N	no
i) Are there any known stormwater problems?	N	no
j) Does sufficient property screening exist?	N/A	yes
k) Are there adequate utilities?	Y	yes
l) Are there any zoning violations?	N	no
m) Is an emergency generator located to minimize noise?	N/A	n/a
n) Are there any noise, vibration, glare, fumes or other impacts?	N	no

The request for an administrative authorization is granted with the standard condition of approval that all required building permits are obtained from Portland's Inspection Division.



Barbara Barhydt  
 Development Review Services Manager

August 4, 2011



Descriptor/Area	Area
A: -----	780 sqft
B: FG	362 sqft
C 1Fr	56 sqft
D: EP	42 sqft
E: EP	208 sqft
F: FG1	240 sqft

1188



## BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: [buildinginspections@portlandmaine.gov](mailto:buildinginspections@portlandmaine.gov)

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

1. Footings/ Setbacks, *Inspection of Existing Foundation/ New Girder Footing(s)*
2. Foundation Wall
3. Close-In: (Electrical, Framing, Plumbing)
4. Final Inspection/ Certificate of Occupancy

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



# PORTLAND MAINE

*Strengthening a Remarkable City, Building a Community for Life* • [www.portlandmaine.gov](http://www.portlandmaine.gov)

Director of Planning and Urban Development  
Penny St. Louis

**Job ID:** 2011-07-1723-ALTR

**Located At:** 83 WALTON

**CBL:** 141 - - A - 001 - 001 - - - -

## **Conditions of Approval:**

### **Zoning**

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. With the issuance of this permit and the certificate of occupancy, this property shall remain a two family dwelling. Any change of use shall require a separate permit application for review and approval.

### **Fire**

1. All construction shall comply with City Code Chapter 10.
2. Permit is to convert existing single-family attached garage into small efficiency dwelling (in-law apt).
3. Construction area is less than 50% of total new living space. A sprinkler system is not required based on plans submitted.
4. All smoke detectors and smoke alarms shall be photoelectric.
5. Hardwired Carbon Monoxide alarms with battery back-up are required on each floor.

### **Building**

1. Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
2. Window sills in locations more than 72 inches from finished grade shall be a minimum of 24 inches above the finished floor of the room, unless a window fall prevention devices is installed in accordance with section R612.3.
3. A code compliant emergency escape shall be provided in the bedroom. Window sills in locations more than 72 inches from finished grade shall be a minimum of 24 inches (no higher than 44 inches) above the finished floor of the room.
4. Ventilation/ Access for the under floor space shall comply with Section R408.1 & R408.3.
5. Note: Max girder span is (2) 2 X 6 inch beam is 5 foot 11 inches for the exterior deck; Minimal footing(s) size for mid span "Master Suite" Girder shall comply with section R403, see attachments for Fire Separation/ Footing requirements.



# CITY OF PORTLAND, MAINE

Department of Building Inspections

## Original Receipt

7-13 20 11

Received from Gardner

Location of Work 23 Walker St

Cost of Construction \$ \_\_\_\_\_ Building Fee: \_\_\_\_\_

Permit Fee \$ \_\_\_\_\_ Site Fee: \_\_\_\_\_

Certificate of Occupancy Fee: \_\_\_\_\_

Total: 150

Building (IL) \_\_\_ Plumbing (I5) \_\_\_ Electrical (I2) \_\_\_ Site Plan (U2) \_\_\_

Other \_\_\_\_\_

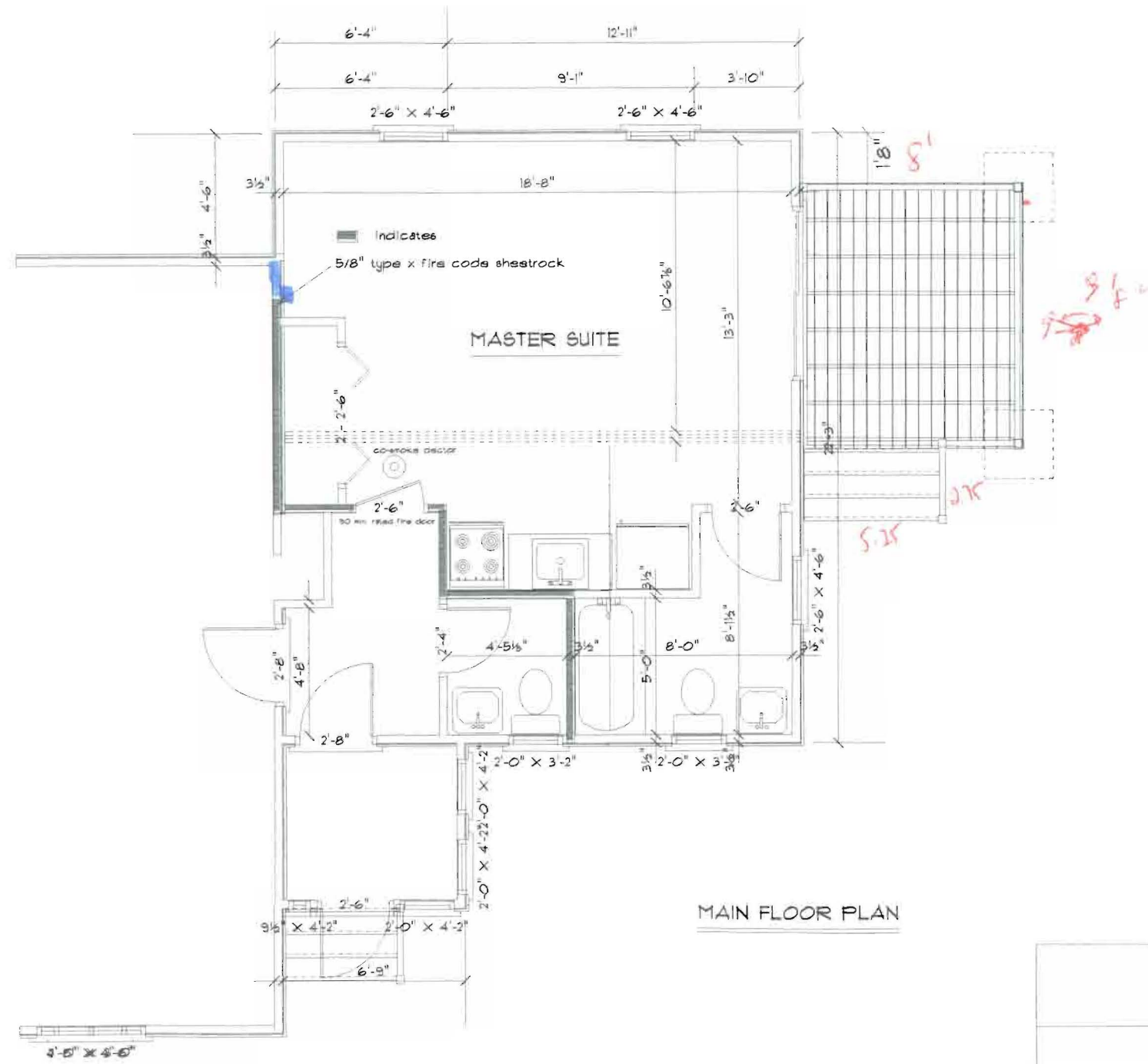
CBL: 141 A 001

Check #: \_\_\_\_\_ Total Collected \$ 150

**No work is to be started until permit issued.  
Please keep original receipt for your records.**

Taken by: [Signature]

WHITE - Applicant's Copy  
YELLOW - Office Copy  
PINK - Permit Copy



MAIN FLOOR PLAN

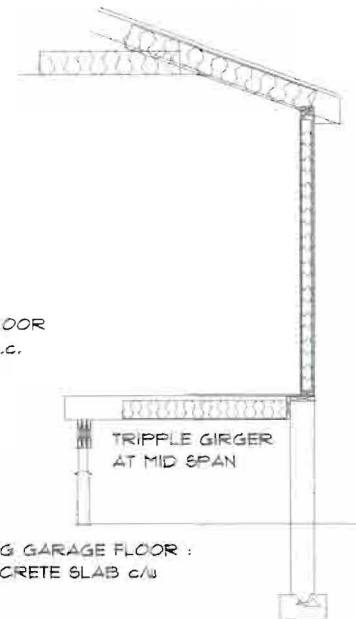
TIM AND CARRE GARDNER

LOCATION 83 WALTON ST. PORTLAND, ME	
BUILDER	PAGE 2
SCALE 3/16" = 1'	DRAWN BY: JNA

EXISTING FRAME ROOF:  
 #225 ASPHALT SHINGLES  
 3/4" ROOF BOARDS  
 2x8 RIDGEBOARD  
 2x6 RAFTERS @ 16" o.c.  
 2x6 CEILING JOISTS @ 16" o.c. w/  
 R38 BATT INSUL.  
 1/2" DRYWALL  
 TAPED & SANDED

EXISTING 2x4 SIDING EXTERIOR WALL:  
 ALUM. SIDING  
 3/4" SHEATHING BOARDS  
 2x4 STUDS @ 16" o.c.  
 R13 BATT INSULATION  
 1/2" DRYWALL  
 TAPED AND SANDED

NEW 2x8 FLOOR SYSTEM:  
 3/4" T&G PLYWOOD SUBFLOOR  
 2x8 FLOOR JOISTS @ 16" o.c.  
 WITH R13 INSULATION



top of foundation

8" FOUNDED CONCRETE  
 FOUNDATION WALL

GRADE

20" WIDE x 8" DEEP  
 CONCRETE FOOTING c/w  
 2 - RUNS 15M REBAR

CROSS SECTION

*Triple 2x10 girder  
 @ mid span*

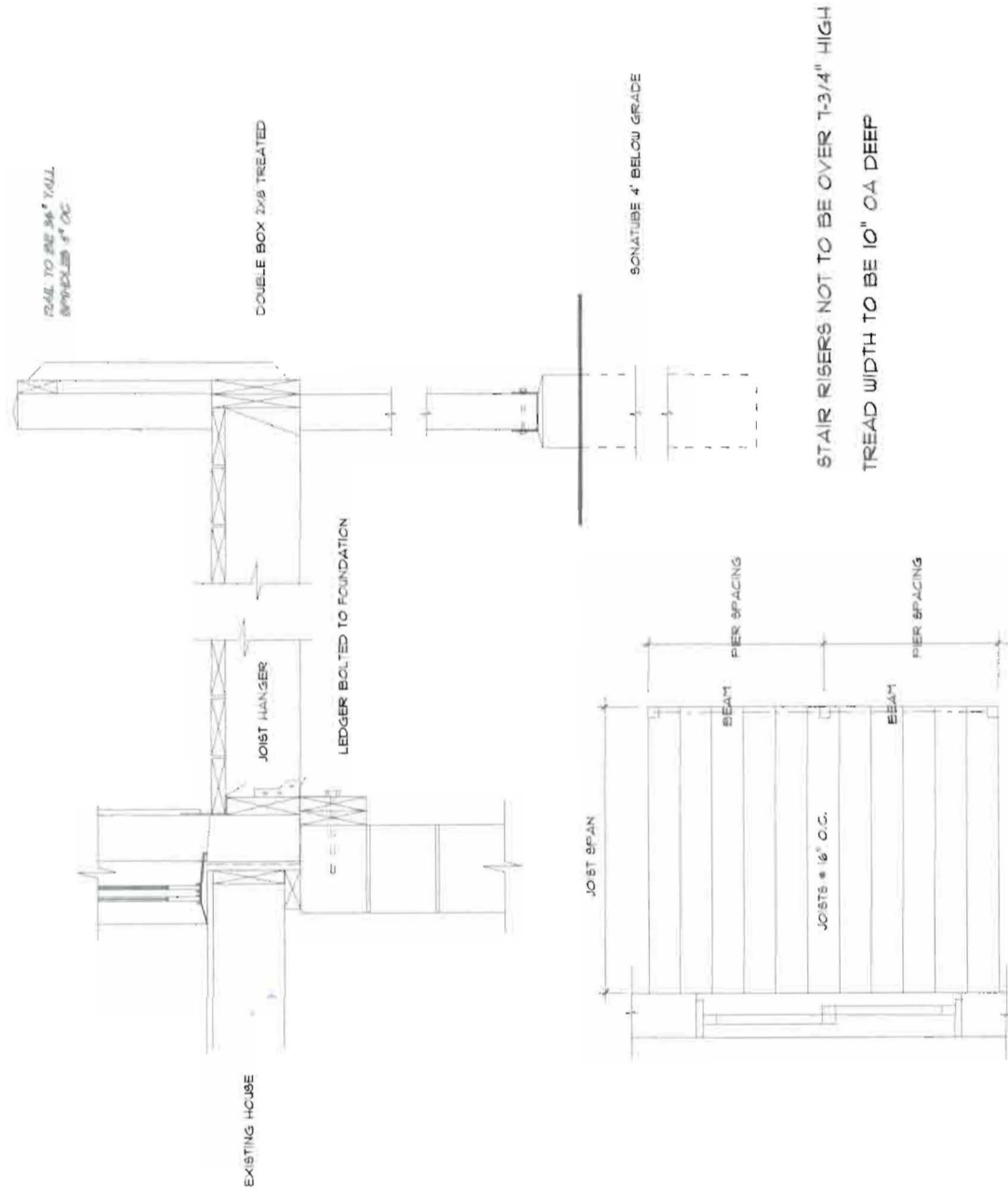
*Two concrete girder  
 footings @ 8' 2"*

EXISTING GARAGE FLOOR:  
 4" CONCRETE SLAB c/w

TRIPPLE GIRGER  
 AT MID SPAN

TIM AND CARRE GARDNER

LOCATION		83 WALTON ST. PORTLAND, ME.	
BUILDER	PAGE	5	
SCALE	DRAWN BY:	JNA	
NO SCALE			



TIM AND GARRIE GASOWES

LOCATION	83 WALTON ST. PORTLAND, ME.		
BUILDER		PAGE	
SCALE	NONE	DRAWN BY	JNA



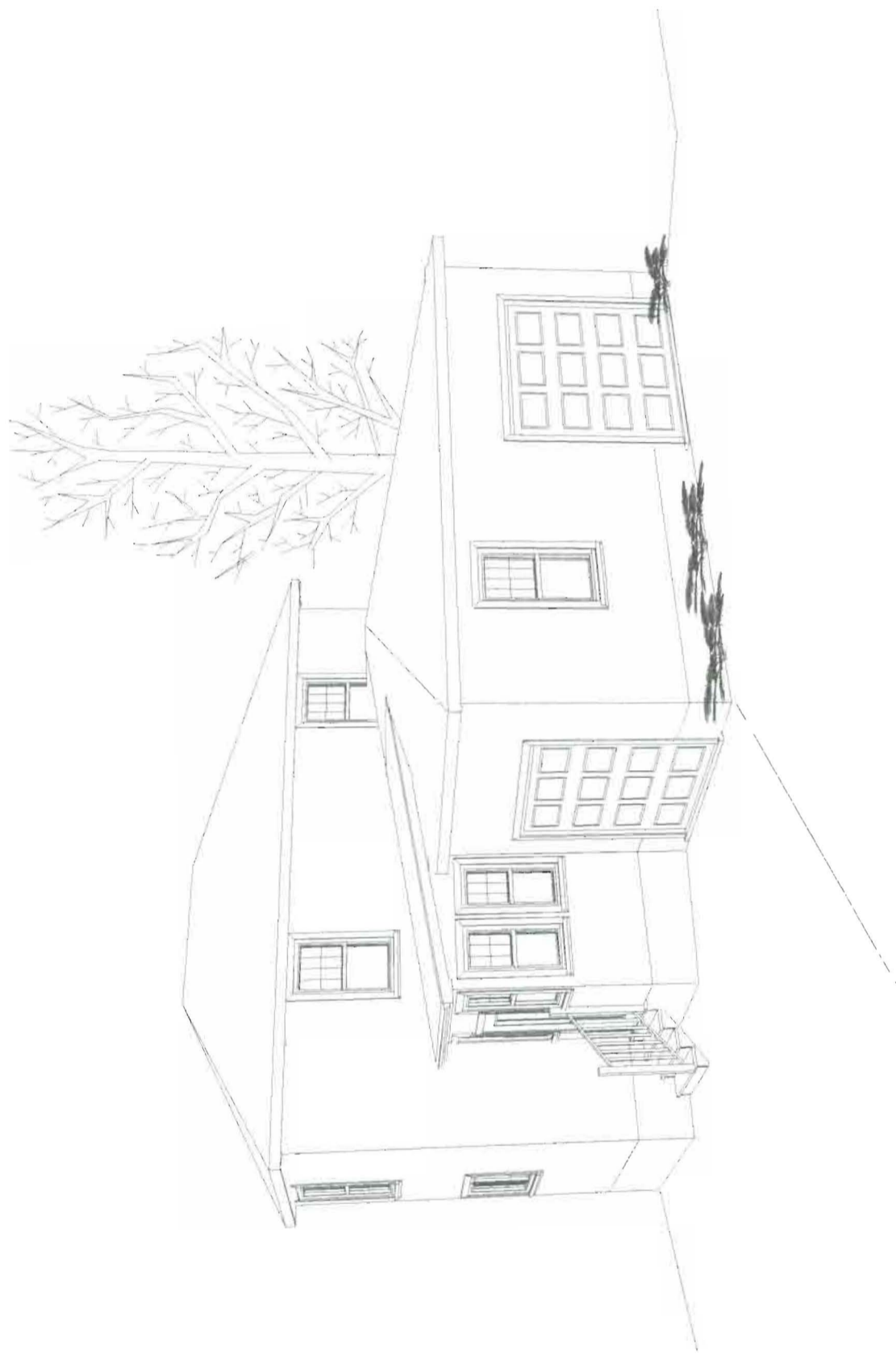
**NEW ELEVATION**

**TIM AND CARRE GARDNER**

LOCATION **83 WALTON ST. PORTLAND, ME.**

BUILDER PAGE **3**

SCALE **3/16" = 1'** DRAWN BY: **JNA**



TIM AND GABRIEL GARDNER

LOCATION

83 WALTON ST. PORTLAND ME.

BUILDER

PAGE COVER SHEET

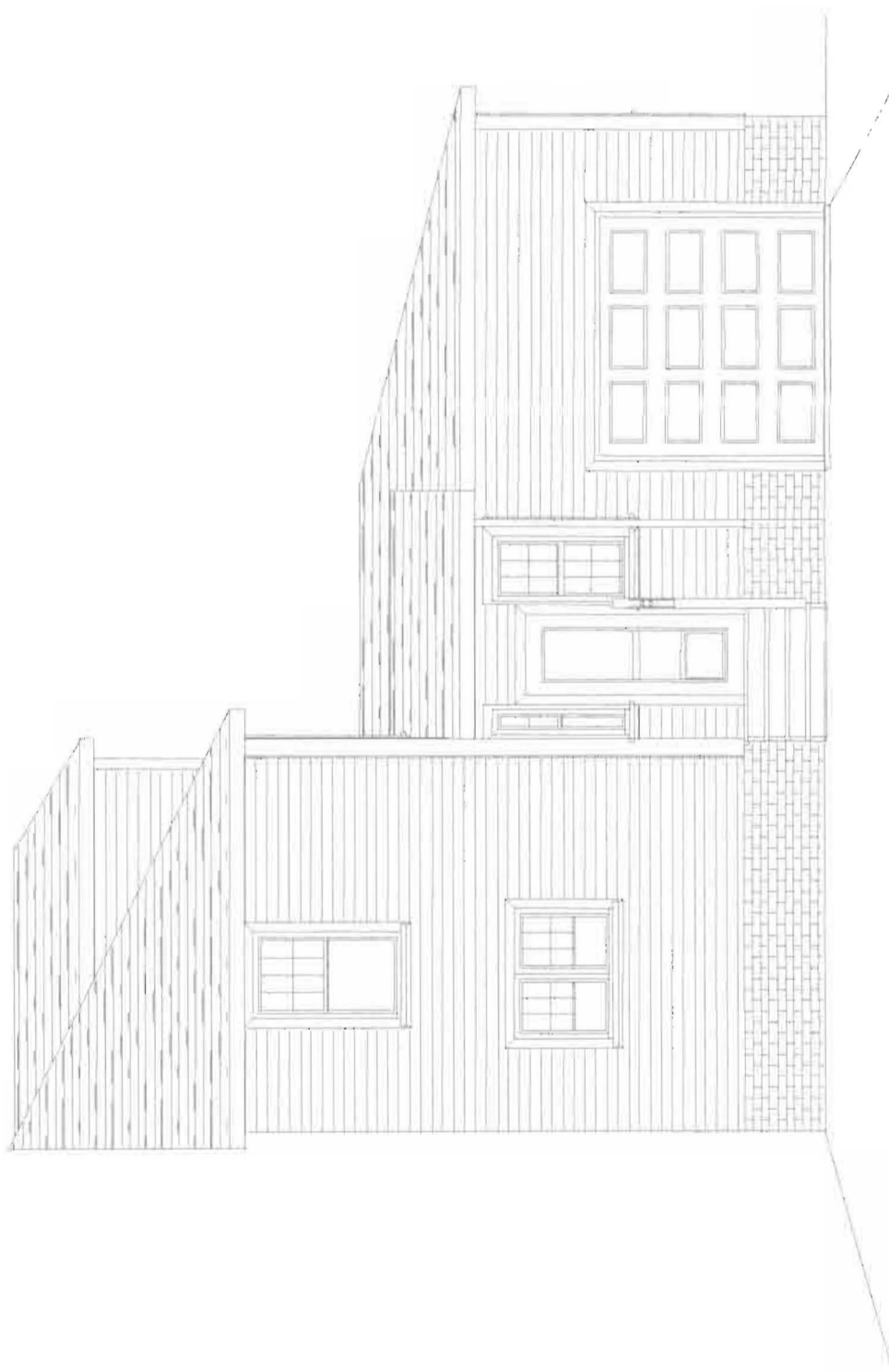
SCALE

NO SCALE

DRAWN BY:

JNA





EXISTING ELEVATION

TIM AND CARRE GARDNER

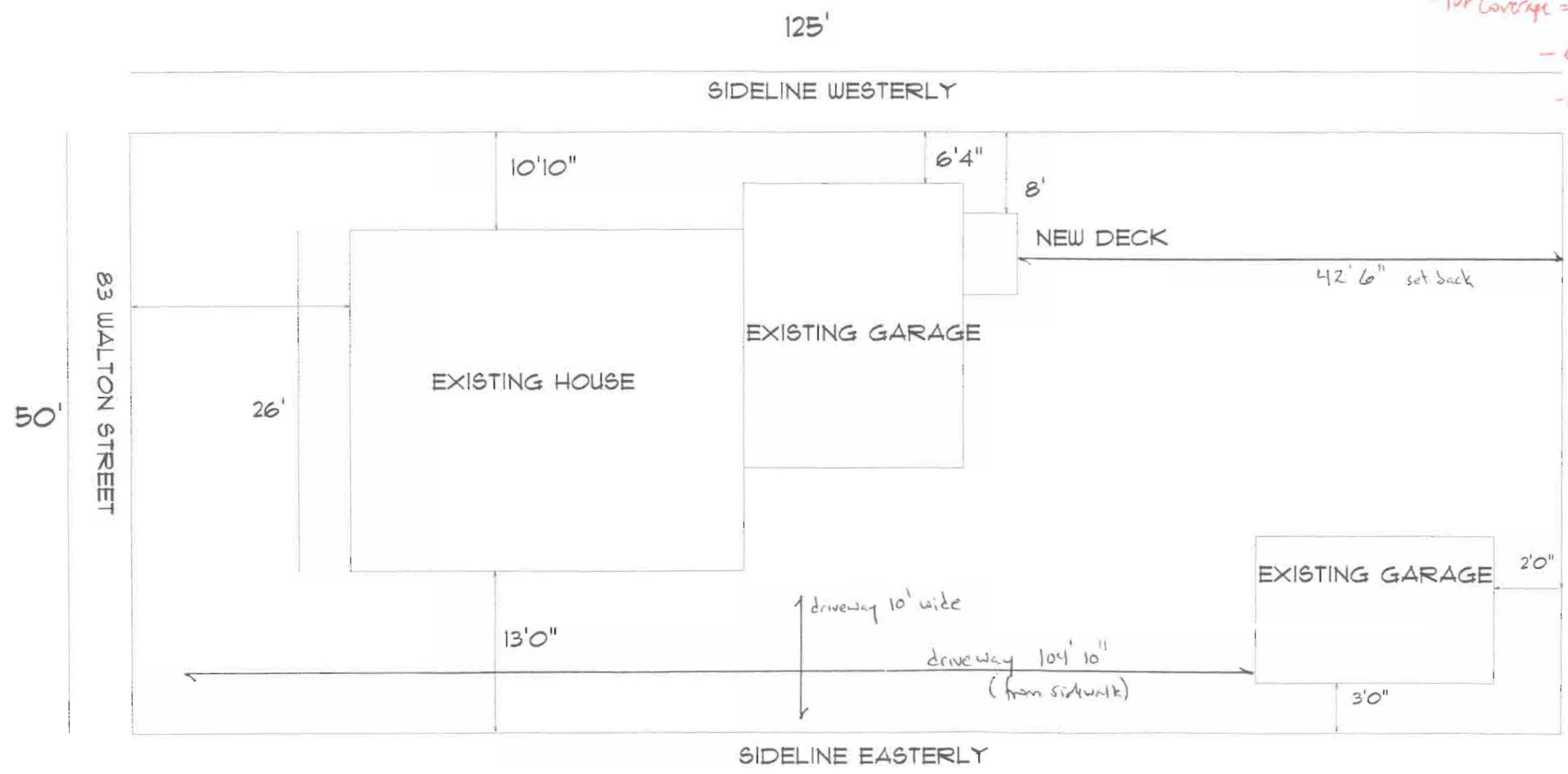
LOCATION  
83 WALTON ST. PORTLAND, ME

BUILDER  
PAGE 1

SCALE  
NO SCALE

DRAWN BY:  
JNA 5/16/2011

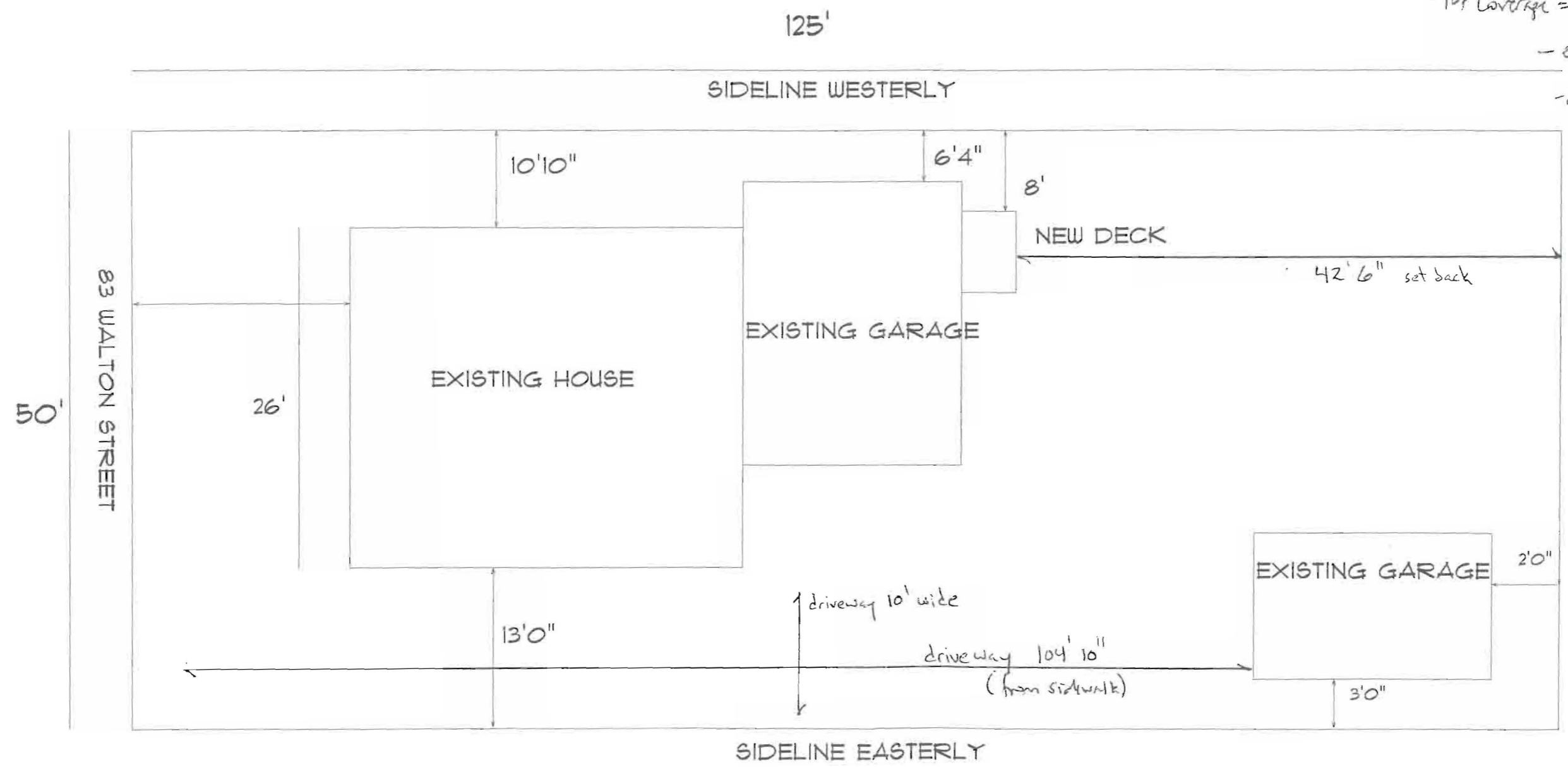
2-5  
 lot size - 6250 sq ft  
 land area per dw = 3000 sq ft (OK)  
 - new deck - side setback 8' - 8' given  
 ? - rear setback 20' - 42.5' (OK)  
 - lot coverage = 40% = 2500 sq ft  
 - existing 1688  
 - deck = 91.8 (9.67 x 9.4) = 77.34  
 1779.8 (OK)  
 15.25 x 275 = 4193.75



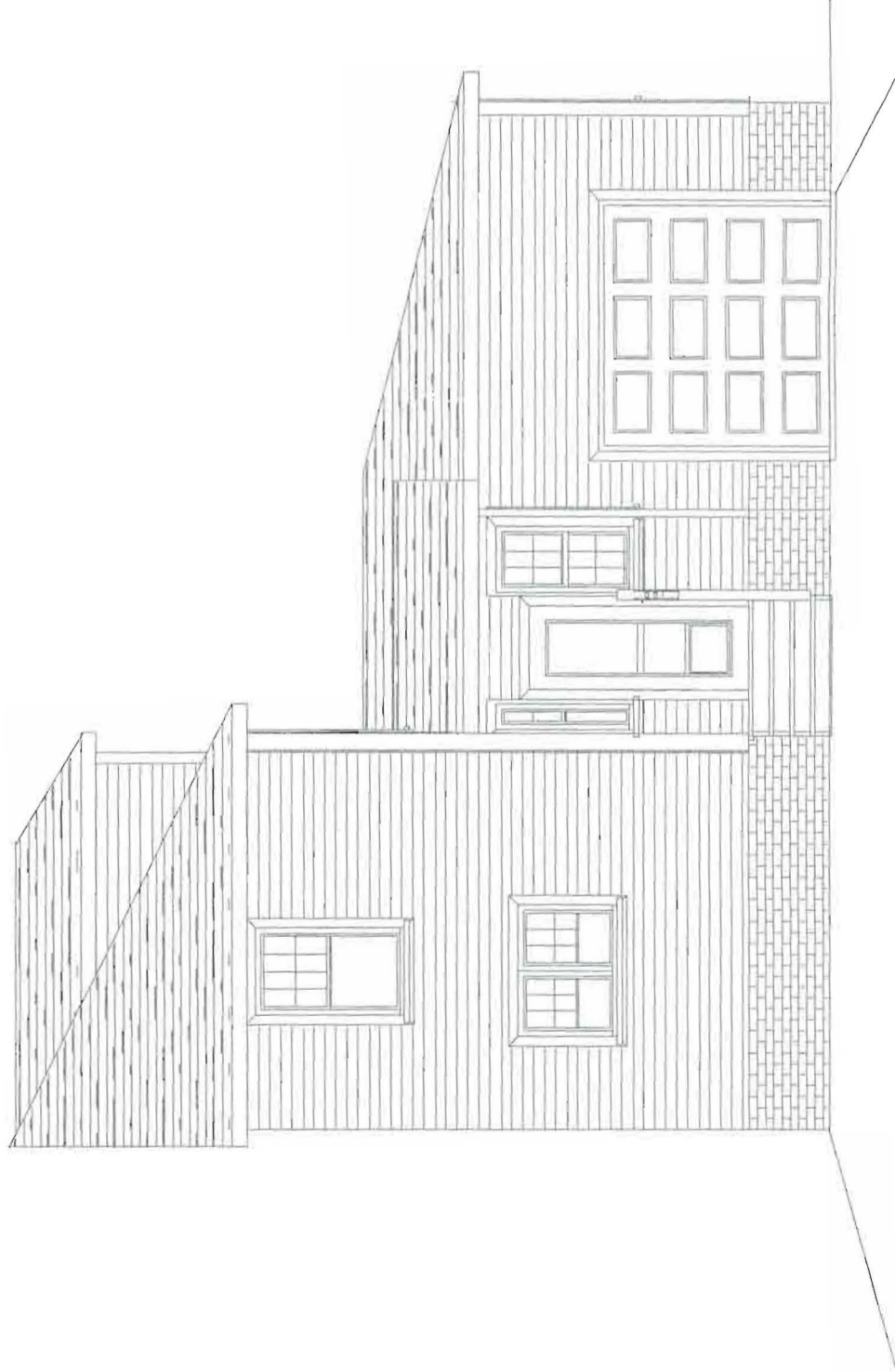
dwl 100 x 84  
 ÷ 3 = 28'  
 OK for parking.

TIM AND CARRE GARDNER	
LOCATION 83 WALTON ST. PORTLAND, ME	
BUILDER	PAGE
SCALE	DRAWN BY JNA

2-5  
 lot size - 6250  $\phi$   
 land area per dw  $\approx$  3000  $\phi$  (OK)  
 - new deck - side setback 8' - 8' given  
 ? - rear setback 20' -  
 - lot coverage = 40% = 2500  $\phi$   
 - existing 1688  
 - deck = 91.8 (9.67 x 9) = 77.34  
 (5.25 x 17.5) = 14.44  
 1779.8  $\phi$  (OK)

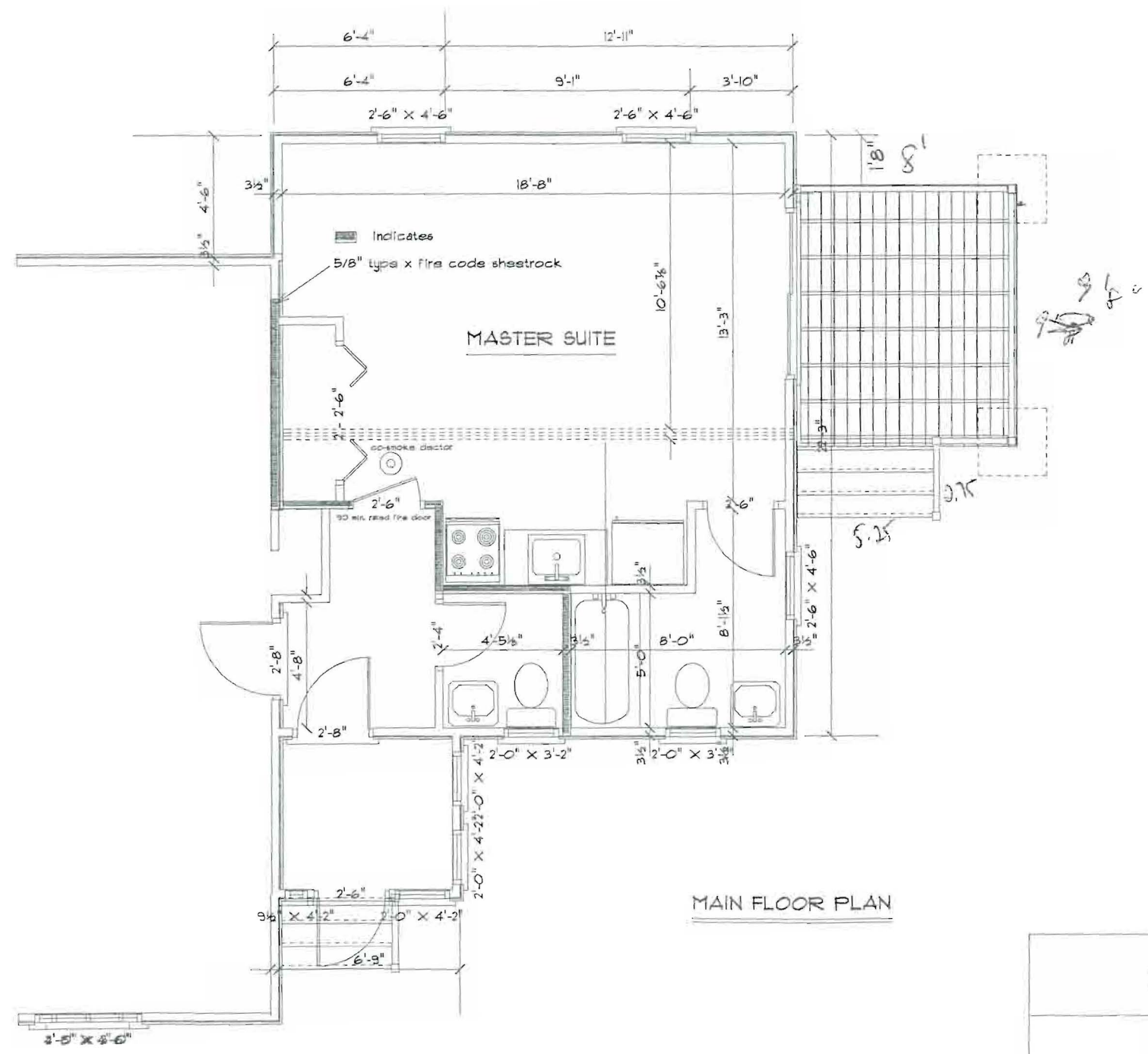


TIM AND CARRE GARDNER	
LOCATION AT WALTON ST. PORTLAND, ME	
BUILDER	PAGE
SCALE	DRAWN BY JNA

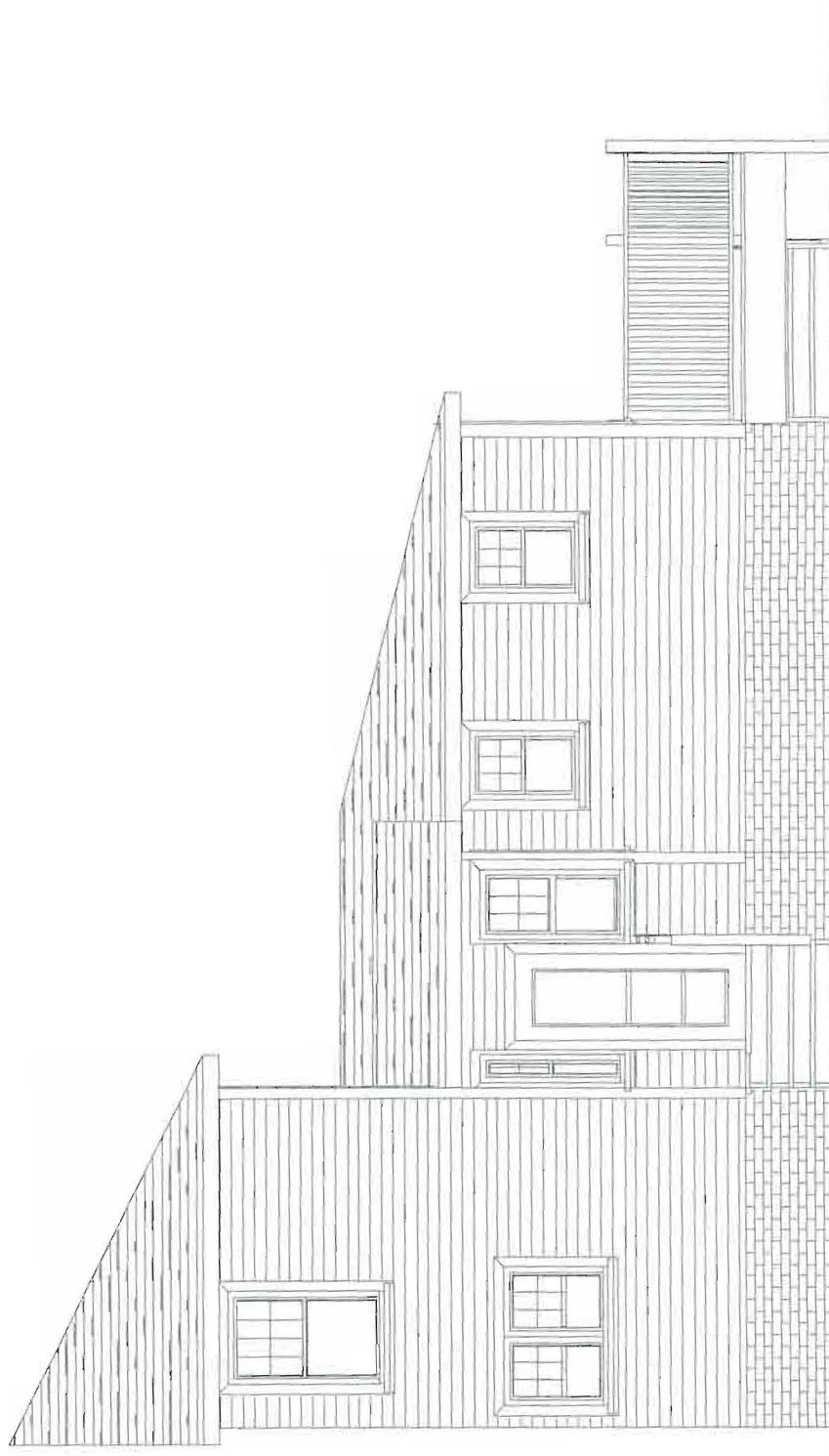


EXISTING ELEVATION

<i>TIM AND CARRE GARDNER</i>	
LOCATION	83 WALTON ST. PORTLAND, ME
BUILDER	PAGE 1
SCALE	NO SCALE
DRAWN BY:	JNA 5/16/2011



<b>TIM AND CARRE GARDNER</b>	
LOCATION 83 WALTON ST. PORTLAND, ME	
BUILDER	PAGE 2
SCALE 3/16" = 1'	DRAWN BY: JNA



NEW ELEVATION

TIM AND CARRE GARDNER

LOCATION 83 WALTON ST. PORTLAND, ME

BUILDER PAGE 3

SCALE 3/16" = 1' DRAIN BY: N/A