

City of Portland, Maine – Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 16 Austin St		Owner: Delores Hendrickson		Phone: 772-2088		Permit No: 981379	
Owner Address: Same		Lessee/Buyer's Name:		Phone:		BusinessName:	
Contractor Name: *** Eastern Shore Home Improvements		Address: 1 Birkdale Rd Cumberland 04021		Phone: 821-4992 SCOTT		<div style="border: 2px solid black; padding: 5px; text-align: center;"> PERMIT ISSUED DEC - 9 1998 CITY OF PORTLAND </div>	
Past Use: 1-Family		Proposed Use: Same w/addition		COST OF WORK: \$ 37,700 PERMIT FEE: \$ 210.00		INSPECTION: Use Group 13 Type: 5B BOCA 96	
Proposed Project Description: Construct 15' x 20' Addition w/bath				FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied Signature:		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied Signature:	
				INSPECTION: Use Group 13 Type: 5B BOCA 96 Signature:		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied Signature:	
Permit Taken By: SP		Date Applied For: 12/1/98					

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Zoning: CBL: 140-F-021

Zoning Approval:

Special Zone or Reviews:

☐ Shoreland
☐ Wetland
☐ Flood Zone
☐ Subdivision
☐ Site Plan maj ☐ minor ☐ mm ☐

Zoning Appeal

☐ Variance
☐ Miscellaneous
☐ Conditional Use
☐ Interpretation
☐ Approved
☐ Denied

Historic Preservation

☐ Not in District or Landmark
☐ Does Not Require Review
☐ Requires Review

Action:

☐ Approved
☐ Approved with Conditions
☐ Denied

Date: _____

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

December 3, 1998

SIGNATURE OF APPLICANT ADDRESS: DATE: PHONE:

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE PHONE:

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

CEO DISTRICT



COMMENTS

12/15/98 - Met w/ builder on site - discussed project - setbacks appear ok.

12/18/98 - Poured footing & walls - not backfilled yet - ~~concerned~~ check footing width for 8" w/ 4" ext. on left side near bushes.

1/4/99 Foundation poured - ok (D)

2/17/99 - Scott Called - Can't meet 7'6" Ciel Hgt on 1st floor of new addition because of line up w/ old addition - will meet 7'5 to 7'5 1/2 - discussed w/ Mike Nugent - ok (D)

3/19/99 - Work complete - appears to be done per plans & Jm.

Inspection Record

Type	Date
Foundation: _____	_____
Framing: _____	_____
Plumbing: _____	_____
Final: _____	_____
Other: _____	_____

**THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE
PERMIT IS ISSUED**

**Building or Use Permit Pre-Application
Additions/Alterations/Accessory Structures
To Detached Single Family Dwelling**

In the interest of processing your application in the quickest possible manner, please complete the Information below for a Building or Use Permit.

NOTEIf you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.**

Location/Address of Construction: 16 Austin St.

Tax Assessor's Chart, Block & Lot Number Chart# <u>140</u> Block# <u>F</u> Lot# <u>021</u>	Owner: <u>Dolores Hendrickson</u>	Telephone#: <u>772-2088</u>
Owner's Address: <u>Same</u>	Lessee/Buyer's Name (If Applicable)	Cost Of Work: <u>\$37,700.00</u> Fee: <u>\$210</u>

Proposed Project Description:(Please be as specific as possible)

2 story 15' x 20' Addition w/ Bath

Contractor's Name, Address & Telephone: Eastern Shore Home Improvement, 1 Birkdale Rd., Cumberland, ME 04021 Rec'd By: JP

Separate permits are required for Internal & External Plumbing, HVAC and Electrical installation.

- All construction must be conducted in compliance with the 1996 B.O.C.A. Building Code as amended by Section 6-Art II.
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1996 National Electrical Code as amended by Section 6-Art III.
- HVAC(Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.

You must Include the following with you application:

- 1) A Copy of Your Deed or Purchase and Sale Agreement
- 2) A Copy of your Construction Contract, if available
- 3) A Plot Plan (Sample Attached)

If there is expansion to the structure, a complete plot plan (Site Plan) must include:

- The shape and dimension of the lot, all existing buildings (if any), the proposed structure and the distance from the actual property lines. Structures include decks porches, a bow windows cantilever sections and roof overhangs, as well as, sheds, pools, garages and any other accessory structures.
- Scale and required zoning district setbacks

4) Building Plans (Sample Attached)

A complete set of construction drawings showing all of the following elements of construction:

- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and dampproofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

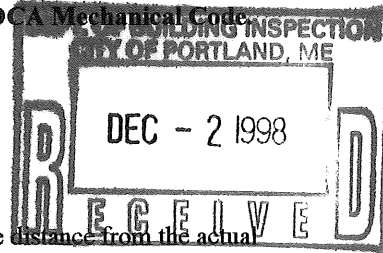
Certification

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: Robert Munn Date: 12-2-98

Building Permit Fee: \$25.00 for the 1st \$1000.cost plus \$5.00 per \$1,000.00 construction cost thereafter.

O:\INSP\CORRESP\MNUGENT\APADSFD.WPD



Applicant:

Date: 12/8/98

Address: 16 Austin St

C-B-L: 140-F-21

CHECK-LIST AGAINST ZONING ORDINANCE

Date - Existed 1920

Zone Location - R-3

Interior or corner lot -

Proposed Use/Work - Construct Addition 15' x 20'

Sewage Disposal - City

Lot Street Frontage - 50' - 79.83' shown

Front Yard - 25' req - 26' shown on existing here

Rear Yard - 25' req - 43' ± shown

OK → Side Yard - 14' req - using the reduction feature of: for every 1' reduced on one side, It must be added on the other side - over 22' shown on other side where 16' would be req. of

Projections -

Width of Lot - 75' req - 79.83' shown

Height - 2 story shown

Lot Area - 6,500 ^{sq}ft req 9,022 ^{sq}ft shown

Lot Coverage/Impervious Surface -

25% or 2255.5 ^{sq}ft max

Area per Family -

Off-street Parking - 2 req. - 2 shown

Loading Bays -

Site Plan - N/A

Shoreland Zoning/Stream Protection - N/A

Flood Plains - 2nd

11
15 x 20 = 300
24 x 28 = 672
4 x 14 = 56
14 x 22 = 308

1336 ^{sq}ft

BUILDING PERMIT REPORT

DATE: 5 DEC. 96 ADDRESS: 16 Austin ST. CBL 140-F-021
REASON FOR PERMIT: To Construct a 15'x20' addition w/bath.
BUILDING OWNER: D. Hendricksen
CONTRACTOR: Eastern Shore Home Improvements
PERMIT APPLICANT: ↑
USE GROUP R-3 BOCA 1996 CONSTRUCTION TYPE 5B

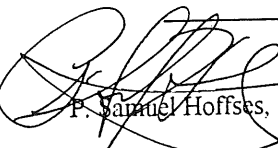
CONDITION(S) OF APPROVAL

This Permit is being issued with the understanding that the following conditions are met:

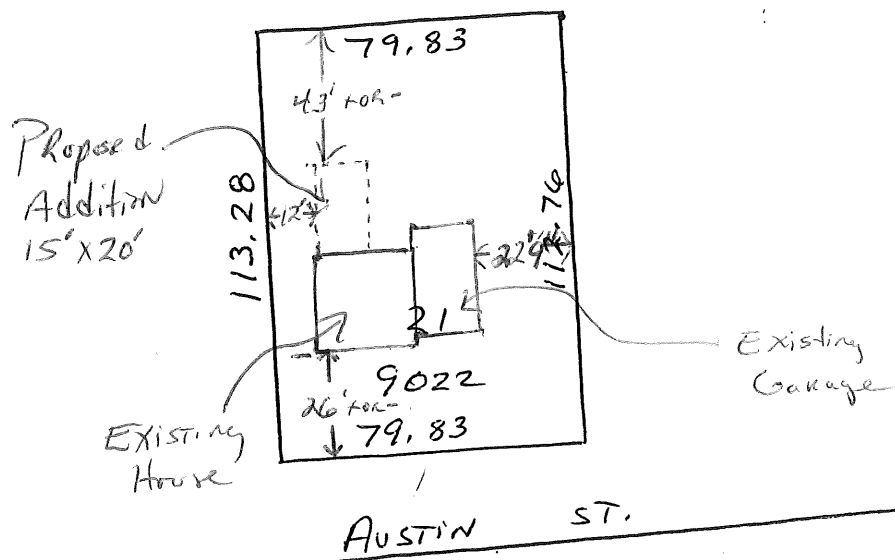
Approved with the following conditions: *1, *2, *2.5, *2.6, *9, *12, *16, *23, *24, *26, *29, *31, #28

- ☒ 1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
- ☒ 2. Before concrete for foundation is placed, approval from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection)
- ☒ 2.5 Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve. The drain shall extend a minimum of 12 inches beyond the outside edge of the footing. The thickness shall be such that the bottom of the drain is not higher than the bottom of the base under the floor, and that the top of the drain is not less than 6 inches above the top of the footing. The top of the drain shall be covered with an approved filter membrane material. Where a drain tile or perforated pipe is used, the invert of the pipe or tile shall not be higher than the floor elevation. The top of joints or top of perforations shall be protected with an approved filter membrane material. The pipe or tile shall be placed on not less than 2" of gravel or crushed stone, and shall be covered with not less than 6" of the same material. Section 1813.5.2
- ☒ 2.6 Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6' o.c. between bolts. (Section 2305.17)
3. Precaution must be taken to protect concrete from freezing. Section 1908.0
4. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
5. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of 1/2 inch gypsum board or the equivalent applied to the garage means of 1/2 inch gypsum board or the equivalent applied to the garage side. (Chapter 4 Section 407.0 of the BOCA/1996)
6. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993). Chapter 12 & NFPA 211
7. Sound transmission control in residential building shall be done in accordance with Chapter 12 section 1214.0 of the city's building code.
8. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42", except Use Group R which is 36". In occupancies in Use Group A, B, H-4, I-1, I-2 M and R and public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect. (Handrails shall be a minimum of 34" but not more than 38". Use Group R-3 shall not be less than 30", but not more than 38".) Handrail grip size shall have a circular cross section with an outside diameter of at least 1 1/4" and not greater than 2". (Sections 1021 & 1022.0) - Handrails shall be on both sides of stairway. (Section 1014.7)
- ☒ 9. Headroom in habitable space is a minimum of 7'6". (Section 1204.0)
10. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 3/4" maximum rise. All other Use group minimum 11" tread, 7" maximum rise. (Section 1014.0)
11. The minimum headroom in all parts of a stairway shall not be less than 80 inches. (6' 8") 1014.4

- *12. Every sleeping room below the fourth story in buildings of use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. ft. (Section 1018.6)
13. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units. Section 1010.1
14. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closer's. (Over 3 stories in height requirements for fire rating is two (2) hours.) Section 710.0
15. The boiler shall be protected by enclosing with (1) hour fire-rated construction including fire doors and ceiling, or by providing automatic extinguishment. Table 302.1.1
- *16. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1996), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):
- In the immediate vicinity of bedrooms
 - In all bedrooms
 - In each story within a dwelling unit, including basements
- In addition to the required AC primary power source, required smoke detectors in occupancies in Use Groups R-2, R-3 and I-1 shall receive power from a battery when the AC primary power source is interrupted. (Interconnection is required) Section 920.3.2
17. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. Section 921.0
18. The Fire Alarm System shall be maintained to NFPA #72 Standard.
19. The Sprinkler System shall maintained to NFPA #13 Standard.
20. All exit signs, lights, and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023. & 1024. Of the City's building code. (The BOCA National Building Code/1996)
21. Section 25-135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
22. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification to the Division of Inspection Services.
- *23. Ventilation shall meet the requirements of Chapter 12 Sections 1210. Of the City's Building Code. (crawl spaces & attics)
- *24. All electrical, plumbing and HVAC permits must be obtained by a Master Licensed holders of their trade.
25. All requirements must be met before a final Certificate of Occupancy is issued.
- *26. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code. (The BOCA National Building Code/1996).
27. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical Code (The BOCA National Mechanical Code/1993). (Chapter M-16)
28. Please read and implement the attached Land Use-Zoning report requirements.
- *29. Boring, cutting and notching shall be done in accordance with Sections 2305.4.4, 2305.5.1 and 2305.3. of the City's building code.
30. Glass and glazing shall meet the requirements of Chapter 24 of the building code.
- *31. This permit is being issued with the understanding that before the floor systems are installed you will supply this office with the specifications of the manufactured floor joists (size, live & dead load requirements etc.)
33. _____


P. Samuel Hoffses, Building Inspector

cc: Lt. McDougall, PFD
Marge Schmuckal, Zoning Administrator



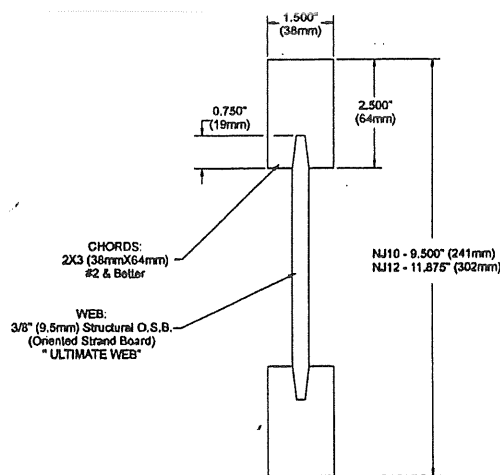
Dolores HENDRICKSON

Scale 1" = 50'

The NASCOR Joist, Product Description

THE NJ SERIES -

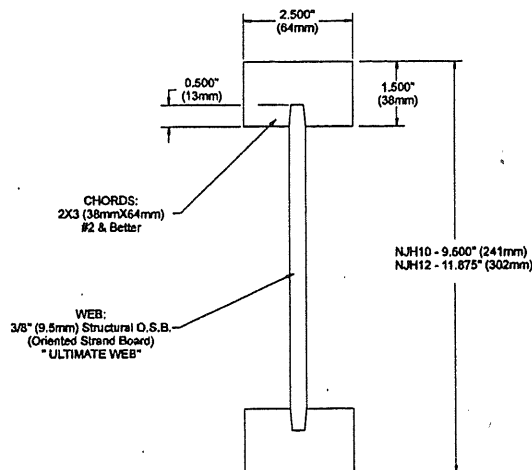
The NJ series joists use less web for lower costs. Due to the nature of its design, the NJ series is far easier to cut and handle than a traditional I shaped joist. The NJ design eliminates the need for squash blocks and bearing blocks typical in other systems. The NJ joist utilizes many of the same installation details typical in a conventional floor system. The NJ series is available in an 8'-0" length and in two foot increments to a maximum length of 20'-0"



Cross Section of NJ10 and NJ12 Joist.

THE NJH SERIES -

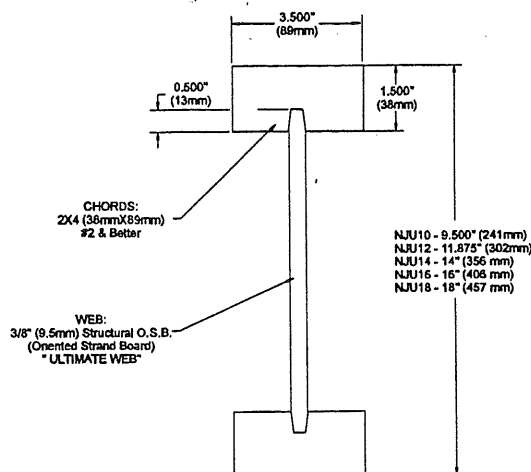
The NJH design allows for greater span capabilities while maintaining the same overall depth as the NJ series. This allows for more economical designs by maintaining a uniform on center spacing, even in longer spans. The NJH series allows for larger holes to be drilled through the web. The NJH series is also available in an 8'-0" length and in two foot increments to a maximum length of 20'-0"



Cross Section of NJH10 and NJH12 Joist.

THE NJU SERIES -

By utilizing larger top and bottom chords, the NJU series allows for the greatest span capabilities. The larger depths increase the hole size capacity of the webs and increase load carrying capacity, useful for commercial applications. The NJU series is also useful in roof situations and long length areas. The NJU series is available from an 8'-0" length and in two foot increments to a maximum length of 24'-0"



Cross Section of NJU Series Joist.

NASCOR JOIST FEATURES AND BENEFITS

- Structurally superior to conventional framing.
- Compatible with conventional construction hardware and framing methods.
- Dimensionally consistent.
- Constructed of kiln-dried lumber which eliminates shrinkage, warpage, twisting, crowning and splitting.
- Available in longer lengths than conventional lumber.
- Constructed of re-constituted lumber harvested from second-growth forests rather than 200 to 300 year old-growth from which 2x10s and 2x12s are typically cut.
- Utilizes 40% less wood than conventional methods.
- Computerized layout from state-of-the-art software that ensures the most economical but complete specifications of all required components.
- Warranted to be free from defects.
- Lighter than conventional framing, decreasing installation time.
- Load capacities are determined from test procedures and approved by structural engineers.
- Continual quality control measures implemented into the manufacturing process.
- Designed and manufactured to fit each job reducing site and material waste.

PRODUCT APPROVALS

The NASCOR Joist technical manual has been constructed and reviewed by NASCOR Incorporated staff engineers and reviewed by outside consultants. The following items comprise the outside authorities and internal engineers that have reviewed and approved the NASCOR Joist products.

NASCOR Incorporated -

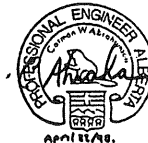
Richard Pelletier, P. Eng.
Vice President



Sao Hoang, P. Eng.
Technical Services Manager



Carman Abrahamson, P. Eng.
Staff Engineer



Third Party Certification -



NASCOR Incorporated retains Inchcape Testing Services - Warnock Hersey as a third party inspection agency for auditing the testing and quality assurance program.

Approval Boards



National Research Council Canada
Canadian Construction Materials Centre
CCMC #12564-R CCMC #12516-R



BOCA Evaluation Service, Inc.
Building Officials and Code Administrators International, Inc.

BOCA #94-29



ICBO Evaluation Service, Inc.
International Conference of Building Officials

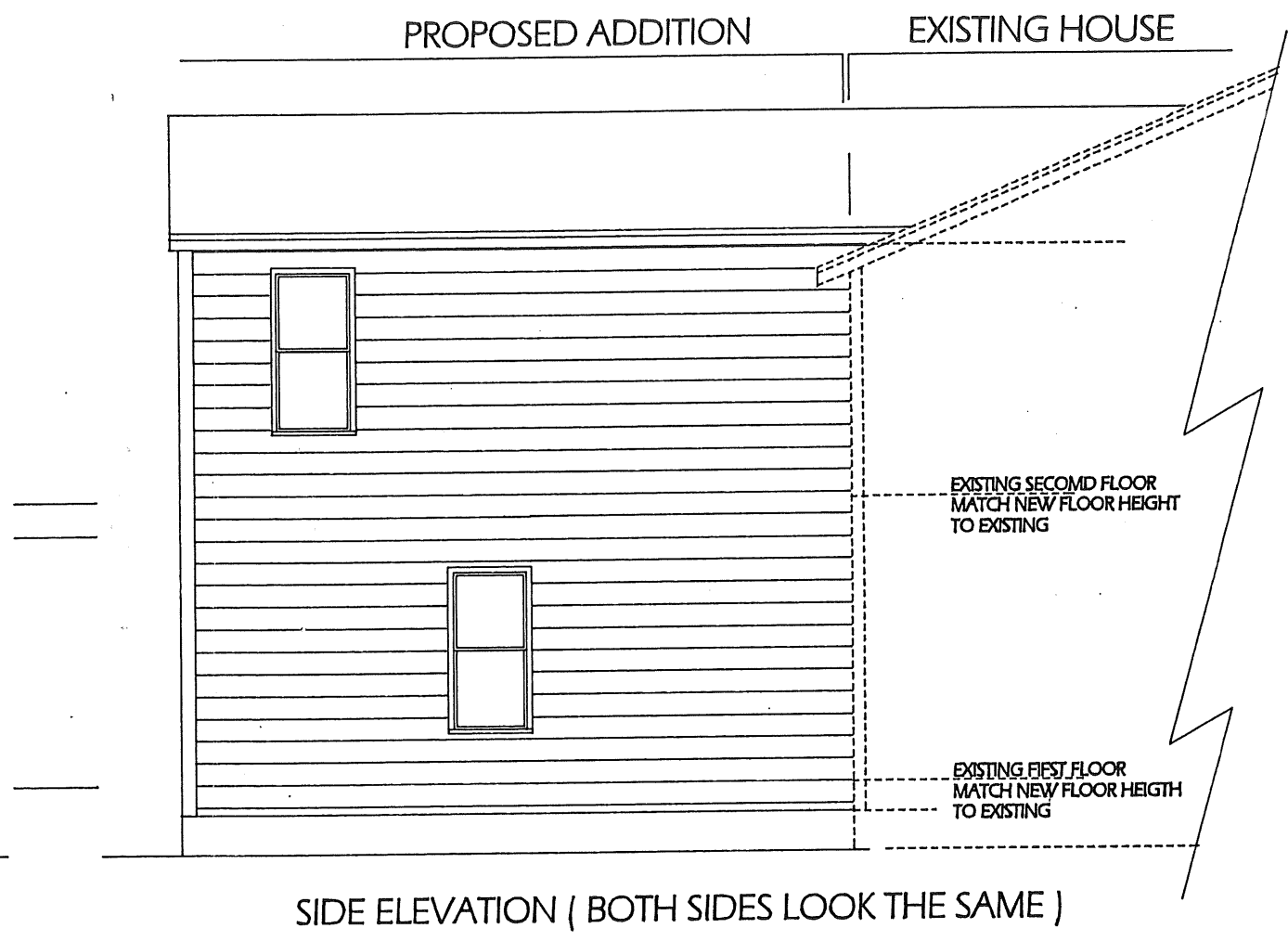
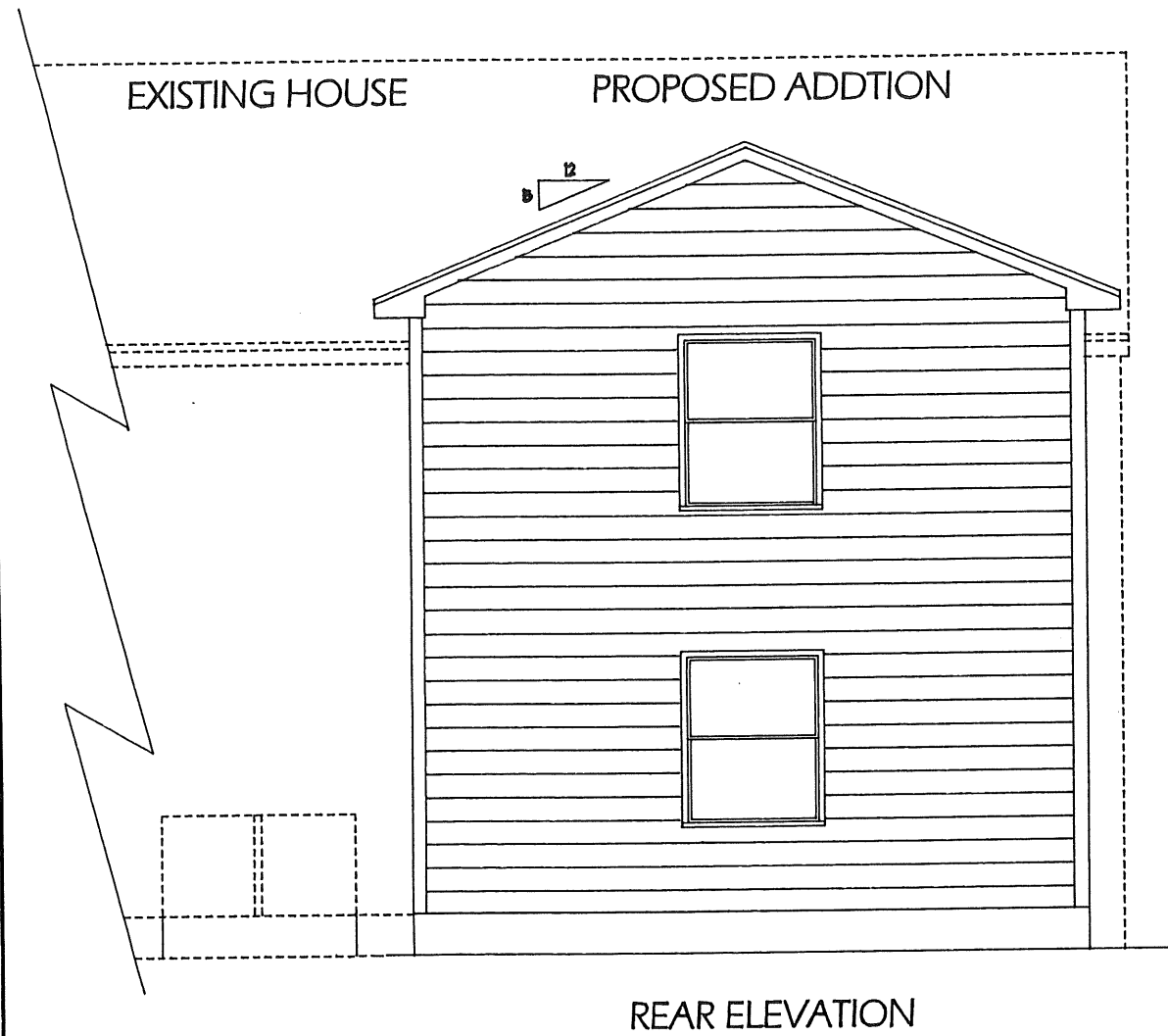
ICBO #5138



SBCCI - Public Safety Testing and Evaluation Services Inc.

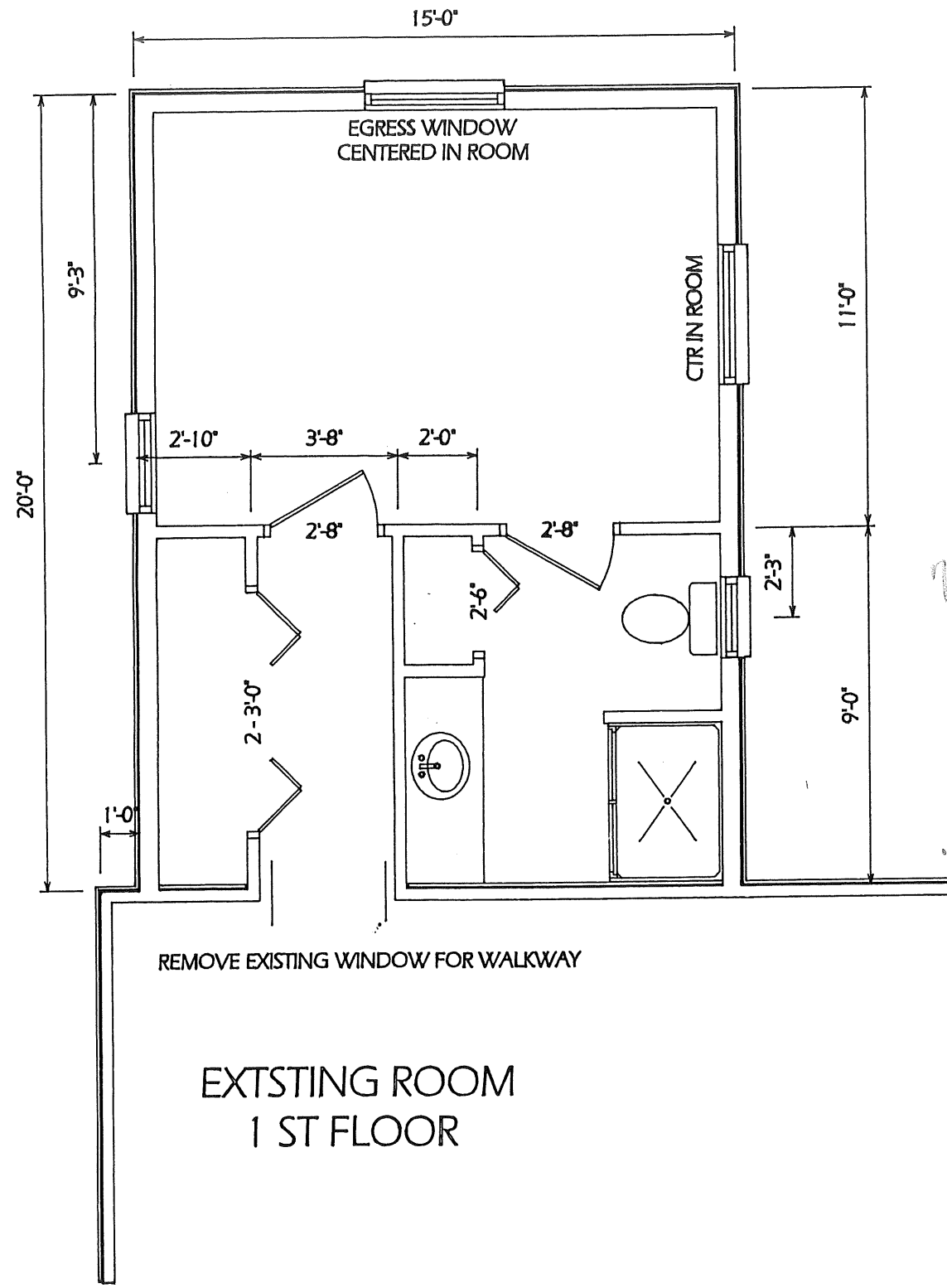
SBCCI # 9549

Please refer to the specific board report for further information.



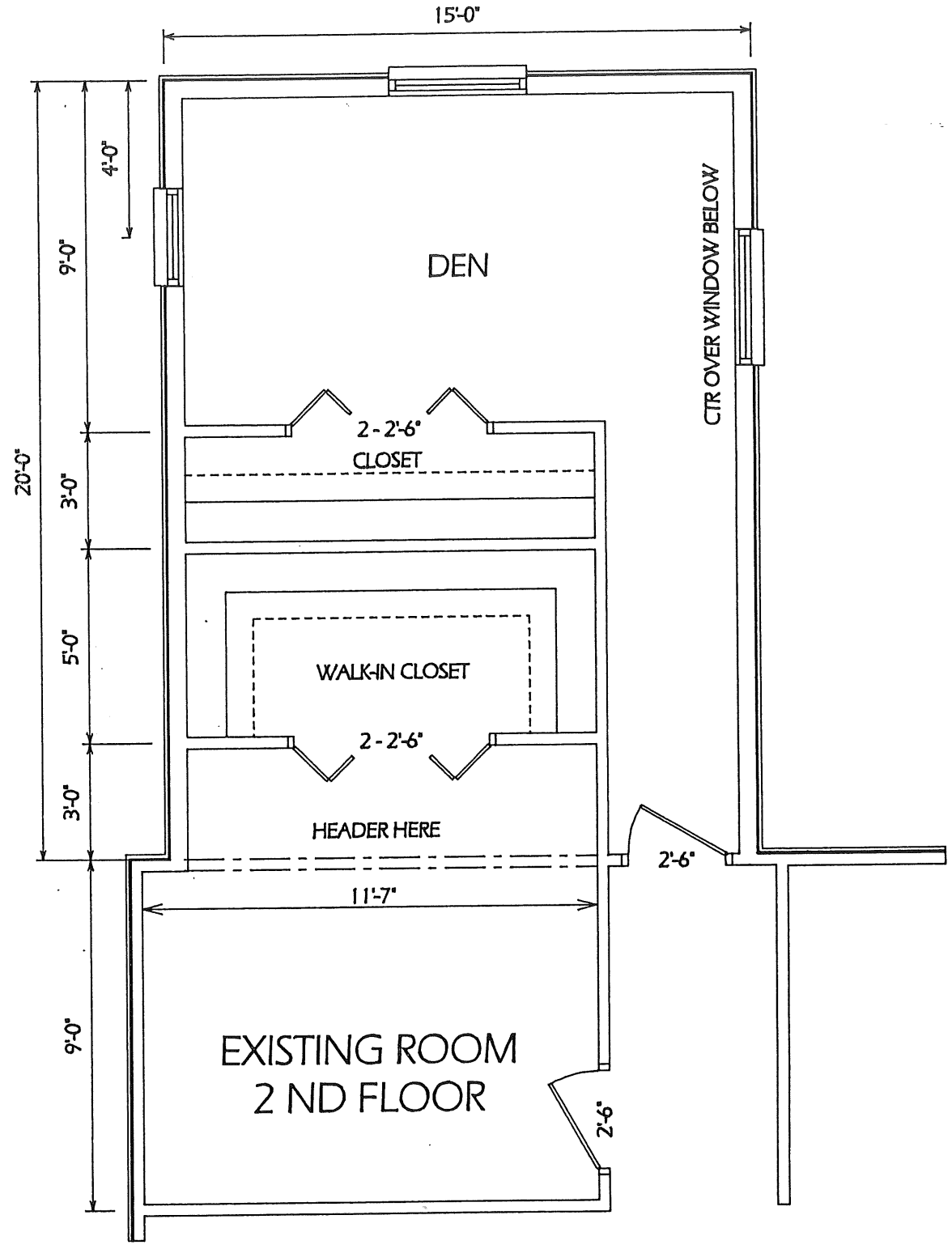
THESE DRAWINGS ARE AN INSTRUMENT OF SERVICE OF EASTERN SHORE HOME IMPROVEMENT, THEY ARE NOT TO BE COPIED, CONSTRUCTED FROM, OR GIVEN TO A THIRD PARTY WITHOUT WRITTEN PERMISSION.

EASTERN SHORE HOME IMPROVEMENT COMMERLAND, ME	RENRICKSSON RENOVATION	3/16" = 1'	↓ CALL
	ELEVATIONS	1/98	1 OF 3



EXTSTING ROOM
1 ST FLOOR

7'5
7'5 1/2



EXISTING ROOM
2 ND FLOOR

EASTERN SHORE
HOME IMPROVEMENT
CUMBERLAND, MD

HENDRICKSON RENOVATION

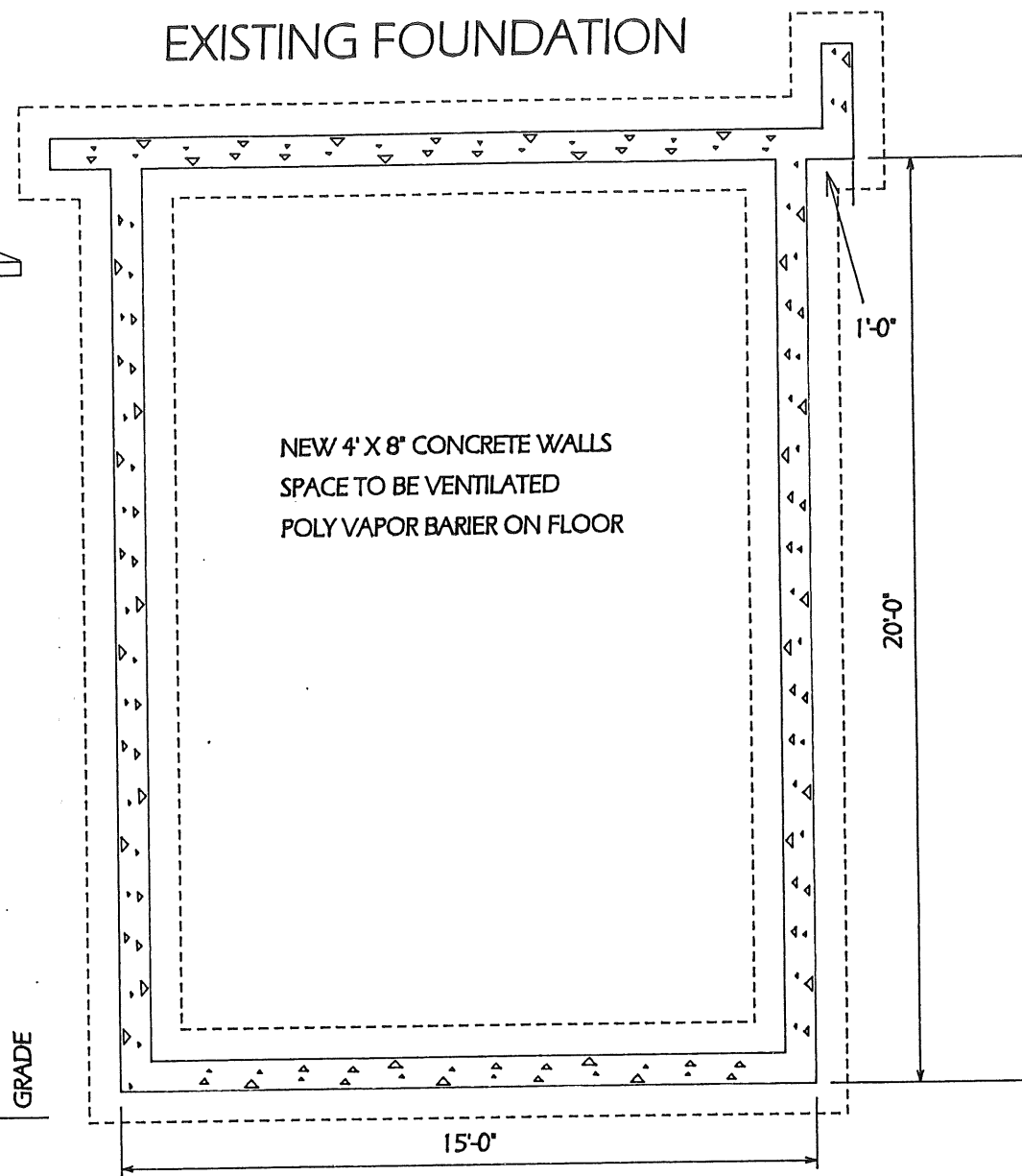
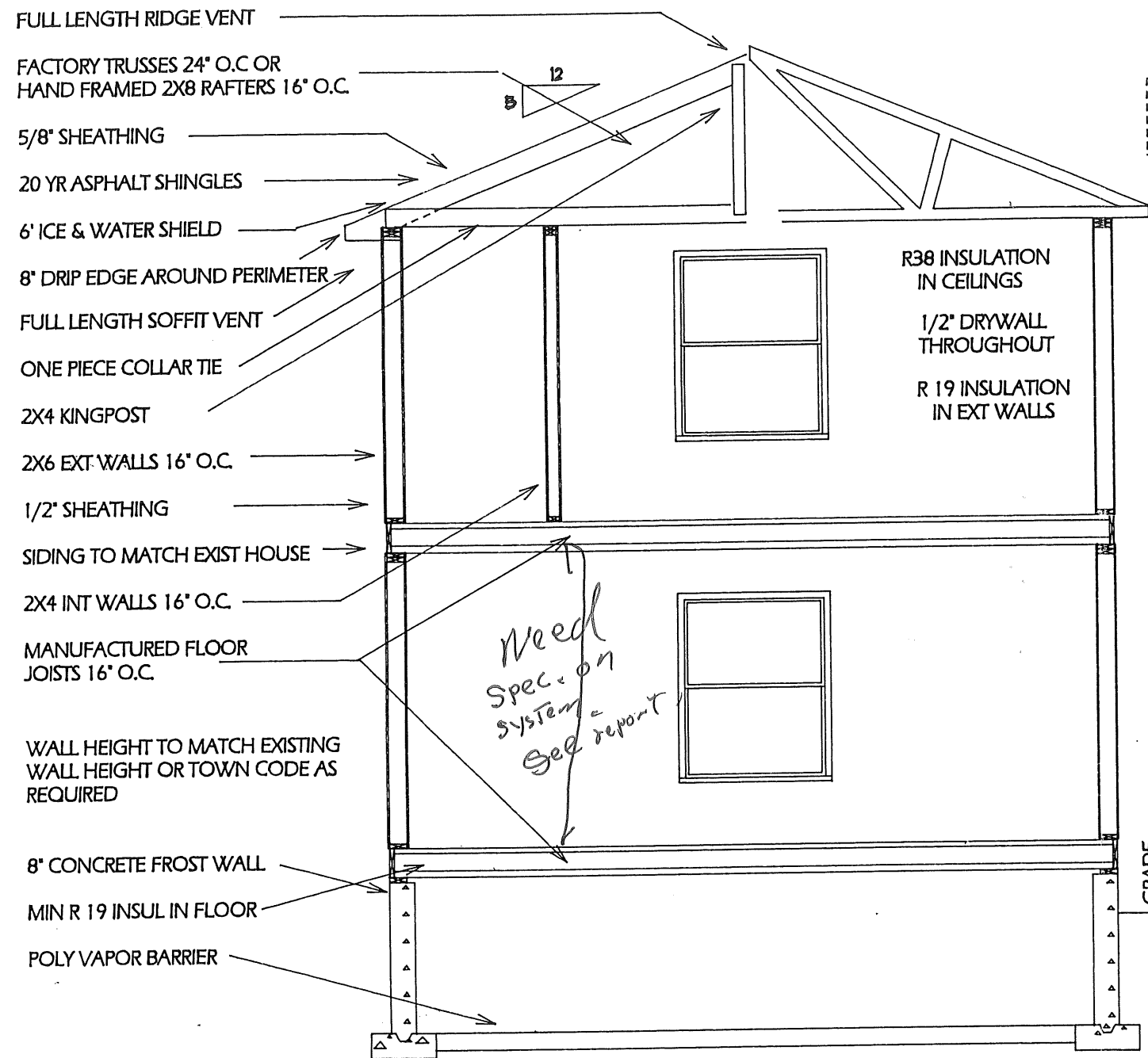
1/4" = 1'

J CALL

FLOOR PLANS

1/98

2 OF 3



EASTERN SHORE
HOME IMPROVEMENT
CUMBERLAND, ME

HENDRICKSON RENOVATION
STRUCTURAL & FOUNDATION

1/4" = 1'

1/98

J. CALL

3 OF 3