

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND

BUILDING PERMIT

This is to certify that Moody Street Development

Located At 16 AUSTIN ST

Job ID: 2012-11-5390-ALTR

CBL: 140- F-021-001

has permission to build a 15' 4" by 15' 8" deck (Single Family Residence).

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

Fire Prevention Officer

Code Enforcement Officer / Plan Reviewer

12/06/2012

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY
PENALTY FOR REMOVING THIS CARD

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
 - **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
 - **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**
1. Footings/Setbacks prior to pouring concrete
 2. Close In: Electrical & Framing
 3. Final Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Director of Planning and Urban Development
Jeff Levine

Job ID: 2012-11-5390-ALTR

Located At: 16 AUSTIN ST

CBL: 140- F-021-001

Conditions of Approval:

Building

1. Separate permits are required for any electrical: plumbing, sprinkler, fire alarm, HVAC systems, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
2. Frost protection must be installed per the enclosed detail as discussed w/owner/contractor (at least 4' from grade).
3. Section R317 Protection of Wood and Wood Based Products against decay. All wood framing members that rest on concrete or masonry exterior foundation walls and are less than 8 inches from the exposed ground.
4. A graspable handrail (34-38 inches in height) shall be provided on at least one side of each continuous run of treads or flight with four or more risers. Fall protection (36 inches) from exterior decks may be required if floor joist are at or above thirty (30) inches from grade.
5. R502.6 Bearing. The ends of each joist, beam or girder shall have not less than 1.5 inches of bearing on wood or metal and not less than 3 inches on masonry or concrete except where supported on a 1-inch-by-4-inch ribbon strip and nailed to the adjacent stud or by the use of approved joist hangers.
6. **Note: See changes on plan dated 12/06/2012; Field Inspector will verify bulk head access vs fall protection requirements.**

TABLE R502.2.2.1
FASTENER SPACING FOR A SOUTHERN PINE OR HEM-FIR DECK LEDGER
AND A 2-INCH NOMINAL SOLID-SAWN SPRUCE-PINE-FIR BAND JOIST^{a, b}
(Deck live load = 40 psf, deck dead load = 10 psf)

JOIST SPAN	6' and less	6'1" to 8'	8'1" to 10'	10'1" to 12'	12'1" to 14'	14'1" to 16'	16'1" to 18'
Connection details	On-center spacing of fasteners ^{a, c}						
1/2 inch diameter lag screw with 15/32 inch maximum sheathing ^d	30	23	18	15	13	11	10
1/2 inch diameter bolt with 15/32 inch maximum sheathing	36	36	34	29	24	21	19
1/2 inch diameter bolt with 15/32 inch maximum sheathing and 1/2 inch stacked washers ^{d, h}	36	36	29	24	21	18	16

For SI: 1 inch = 25.4 mm, 1 foot = 304.8 mm, 1 pound per square foot = 0.0479 kPa.

a. The tip of the lag screw shall fully extend beyond the inside face of the band joist.

b. The maximum gap between the face of the ledger board and face of the wall sheathing shall be 1/2"

c. Ledgers shall be flashed to prevent water from contacting the house band joist.

d. Lag screws and bolts shall be staggered in accordance with Section R502.2.2.1.1.

e. Deck ledger shall be minimum 2 x 8 pressure-preservative-treated No.2 grade lumber, or other approved materials as established by standard engineering practice.

f. When solid-sawn pressure-preservative-treated deck ledgers are attached to a minimum 1 inch thick engineered wood product (structural composite lumber, laminated veneer lumber or wood structural panel band joist), the ledger attachment shall be designed in accordance with accepted engineering practice.

g. A minimum 1 x 9 1/2 Douglas Fir laminated veneer lumber rimboard shall be permitted in lieu of the 2-inch nominal band joist.

h. Wood structural panel sheathing, gypsum board sheathing or foam sheathing not exceeding 1 inch in thickness shall be permitted. The maximum distance between the face of the ledger board and the face of the band joist shall be 1 inch.

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2012-11-5390-ALTR	Date Applied: 11/14/2012	CBL: 140- F-021-001		
Location of Construction: 16 AUSTIN ST	Owner Name: MOODY STREET DEVELOPMENT	Owner Address: 57 MACKWORTH ST PORTLAND, ME 04103	Phone: 207-749-7388	
Business Name:	Contractor Name: Joe McGonigal	Contractor Address: 57 Mackworth St., Portland, ME 04103	Phone: 207-749-7388	
Lessee/Buyer's Name:	Phone:	Permit Type: Building	Zone: R-3	
Past Use: Single family	Proposed Use: Same – single family – build a rear deck – 15'4" x 15'8"	Cost of Work: \$3,000.00 Fire Dept: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied <input type="checkbox"/> N/A Signature:	CEO District: Inspection: Use Group: R3 Type: SB IRC, 2009 MBEC Signature: AR	
Proposed Project Description: Build 256 sq. ft. deck		Pedestrian Activities District (P.A.D.)		
Permit Taken By: Gayle		Zoning Approval		
<ol style="list-style-type: none">1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.2. Building Permits do not include plumbing, septic or electrical work.3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.		Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetlands <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan ___ Maj ___ Min ___ MM Date: OK 11/14/12 ABA	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in Dist or Landmark <input type="checkbox"/> Does not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: ABN

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT

ADDRESS

DATE

PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE

DATE

PHONE

R-3

2012 11 5390⁶⁶



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>16 Austin ST</u>		
Total Square Footage of Proposed Structure/Area <u>256</u>	Square Footage of Lot <u>9022</u>	Number of Stories <u>2</u>
Tax Assessor's Chart, Block & Lot Chart# <u>140-F-21</u> Block# Lot#	Applicant: (must be owner, lessee or buyer) Name <u>Joe McBonigal</u> Address <u>57 Mackworth</u> City, State & Zip <u>Portland 04103</u>	Telephone: <u>749-7358</u>
Lessee/DBA <u>Nov 14, 2012</u> <u>Dept. of Public Works</u> <u>City of Portland Maine</u>	Owner: (if different from applicant) Name <u>Moby ST Development</u> Address <u>57 Mackworth</u> City, State & Zip <u>Portland 04103</u>	Cost of Work: \$ <u>2600.</u> C of O Fee: \$ _____ Historic Review: \$ _____ Planning Admin.: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) <u>Single Family</u> Number of Residential Units <u>1</u> If vacant, what was the previous use? _____ Proposed Specific use: _____ Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>Build Deck where landing was 256 SF</u>		
Contractor's name: <u>Joe McBonigal</u>		Email: <u>Joeage@aol.com</u>
Address: <u>57 Mackworth ST</u>		
City, State & Zip: <u>Portland 04103</u>	Telephone: <u>749-7358</u>	
Who should we contact when the permit is ready: <u>Joe McBonigal</u>		Telephone: <u>749-7358</u>
Mailing address: <u>57 Mackworth ST 04103</u>		

Please submit all of the information outlined on the applicable checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

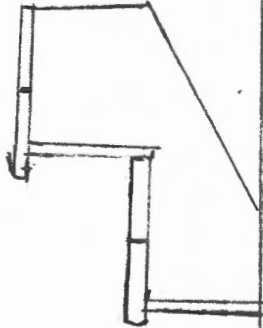
and I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: _____ Date: Nov 12 12

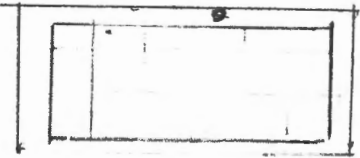
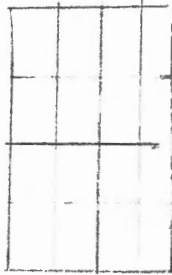
This is not a permit; you may not commence ANY work until the permit is issued

12" overhang
12" tread

rise 7 1/2"



NO RAILING REQUIRED

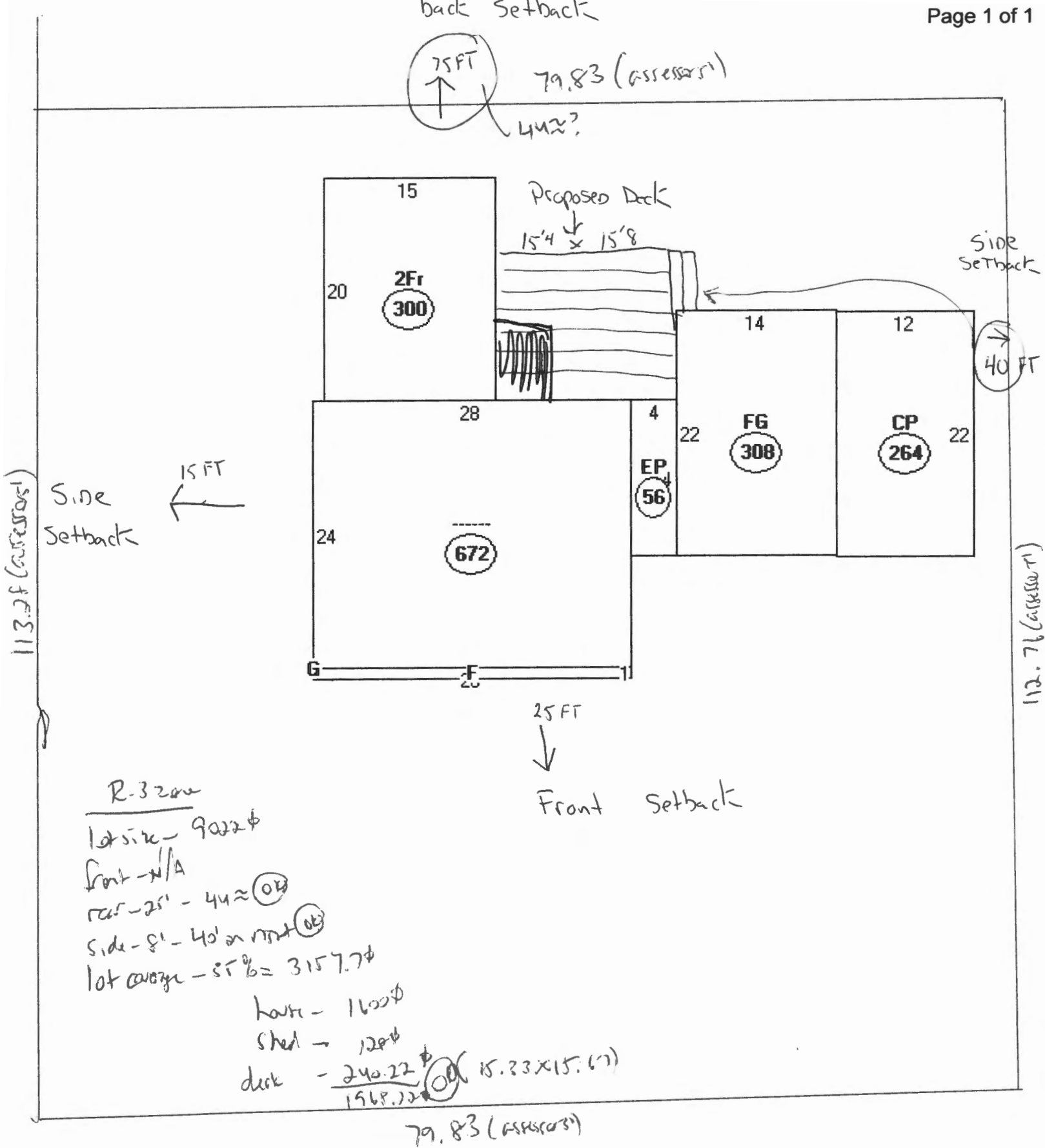


9 1/2" head

33"

4x4 Attached with 1/2 x 3" Lags
Post Brackets

4 precast pier



Main House

Garage

(X) = Sonotube or
Pre-cast pier
4'-0" Frost

2x12 (3)

Hangers w/ Bolts

Triple Joist
Hanger

Existing
Bulk Head

Triple
2x12

15'-8"

Main House

Pre-cast 48" Deck
Pier 4x4 Post Support

Joist Hangers on Each

15'-4"

2x12 Joist 16" OC

2x12 Ledger 2) 1/2x4 Lag Bolts 24 OC

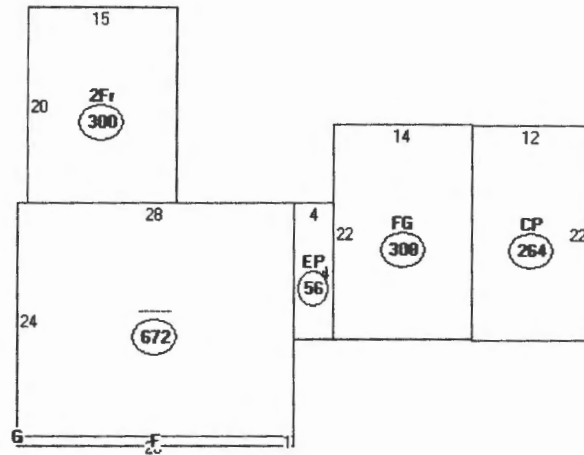
5/4 Cedar Decking

lags staggered
2" From edge

RECEIVED

DEC 06 2012

Dept. of Building Inspections
City of Portland Maine

Descriptor/Area

A: ---
672 sqft
B: 2Fr
300 sqft
C: EP
56 sqft
D: FG
308 sqft
E: CP
264 sqft
F: ---
28 sqft
G: RS1
128 sqft