

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

PERMIT ISSUED

Permit Number: 041716
DEC 21 2004

CITY OF PORTLAND

BUILDING PERMIT

This is to certify that Harmon Norman D Iii & /Ow
 has permission to Build 1152 sq ft 2nd floor addition on single family house
 AT 29 Pva Rd C. 140 E020001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is altered or closed-in. **HEAR NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

- Fire Dept. _____
- Health Dept. _____
- Appeal Board _____
- Other _____
Department Name

Jeannie Bouke 12/20/04
 Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-1716	Issue Date: PERMIT ISSUED DEC 21 2004	CBL: 140 E020001
-----------------------	--	---------------------

Location of Construction: 29 Pya Rd	Owner Name: Harmon Norman D Iii &	Owner Address: 29 Pya Rd	Phone: 749-5605
Business Name:	Contractor Name: Owner	Contractor Address: Portland	Phone: 0000000000
Tenant/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone: R3

Current Use: single family home	Proposed Use: single family home w/1152 sq ft 2nd floor addition-2 baths 3 bedrooms	Permit Fee: \$516.00	Cost of Work: \$55,000.00	CEO District: 4
------------------------------------	--	-------------------------	------------------------------	--------------------

Proposed Project Description: Build 1152 sq ft 2nd floor addition on single family house	<input type="checkbox"/> Denied	Use Group: R3	Type: GB
	Signature	Signature: JMB 12/20/04	

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)

Action: Approved Approved w/Conditions Denied

Signature: _____ Date: _____

Permit Taken By: jharris	Date Applied For: 11/17/2004	Zoning Approval	
-----------------------------	---------------------------------	------------------------	--

Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: JMB 12/07/04	<input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	<input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: JMB

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK. TITLE		DATE	PHONE

7/12/05 Spoke w/ contractor Charlie Huff. Apparently stairs will not meet code as approved - must get amendment for windows or structural change - JMB

8/2/05 Close in inspection. Checked all plumbing, framing and electrical gave ok. to close in JMB

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-1716	Date Applied For: 11/17/2004	CBL: 140 E020001
------------------------------	--	----------------------------

Location of Construction: 29 Pya Rd	Owner Name: Harmon Norman D Iii &	Owner Address: 29 Pya Rd	Phone: () 773-4702
Business Name:	Contractor Name: Owner	Contractor Address: Portland	Phone (000) 000-0000
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	

single family home w/1152 sq ft 2nd floor addition-2 baths 3 bedrooms

Build 1152 sq ft 2nd floor addition on single family house

Dept: Zoning **Status:** Approved **Reviewer:** Jeanine Bourke **Approval Date:** 12/07/2004**Note:** **Ok to Issue:**

- 1) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Jeanine Bourke **Approval Date:** 12/20/2004**Note:** 12/7/04 spoke w/Norm H. About required construction details, he will submit **Ok to Issue:**

12/16 received plans

12/20 spoke w/Norm H. About some details, and noted on plans. **Ok to issue**

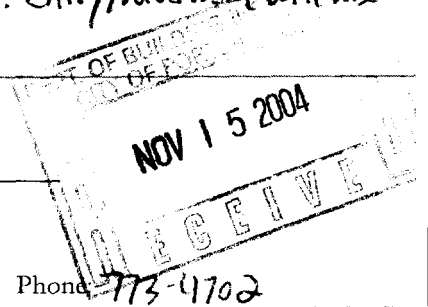
- 1) The design load spec sheets for any engineered beam(s) must be submitted to this office.
- 2) A copy of the enclosed chimney disclosure must be submitted to this office upon completion of the permitted work or for the Certificate of Occupancy.
- 3) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.
- 4) Separate permits are required for any electrical, plumbing, or heating.



Residential Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>29 PYA ROAD</u>		
Total Square Footage of Proposed Structure <u>2304 sq ft</u> (<u>1152 existing, 1152 sq ft. addition</u>)	Square Footage of Lot <u>10,631 sq ft</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>140</u> Block# <u>E</u> Lot# <u>20</u>	Owner: <u>NORMAN D. HARMON III</u> <u>DAWN-MARIE HARMON</u>	Telephone: <u>773-4702</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>NORM HARMON</u> <u>29 PYA RD.</u> <u>PORTLAND, ME 04103 773-4702</u>	Cost Of Work: \$ <u>55,000</u> Fee: \$ <u>516.⁰⁰</u>
Current Specific use: <u>SINGLE FAMILY HOME</u>		
Proposed Specific use: <u>SINGLE FAMILY HOME</u>		
Project description: <u>The project will be a 1152 sq. ft addition to the existing home. The addition will be a second floor, using the same footprint as the first floor. It will include 2 bathrooms and 3 bedrooms. A roughly 56 sq ft. entry/mudroom will also be added to replace the existing entry.</u>		
Contractor's name, address & telephone:		
Who should we contact when the permit is ready: <u>NORM HARMON</u>		
Mailing address: <u>29 PYA RD.</u> <u>PORTLAND, ME 04103</u>		
		Phone: <u>773-4702</u>



Please submit all of the information outlined in the Residential Application Checklist. Failure to do so will result in the automatic denial of your permit.

At the discretion of the Planning and Development Department, additional information may be required prior to permit approval. For further information stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Norm D. Harmon III</u>	Date: <u>11/15/04</u>
---	-----------------------

Permit Fee: \$30.00 for the first \$1000.00 Construction Cost, \$9.00 per additional \$1000.00 cost

This is not a Permit; you may not commence any work until the Permit is issued.

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- ~~NA~~ Footing/Building Location Inspection; Prior to pouring concrete
- ~~NA~~ Re-Bar Schedule Inspection: Prior to pouring concrete
- ~~NA~~ Foundation Inspection: Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical Prior to any insulating or drywalling
- ~~Final/Certificate of Occupancy~~ Prior to any occupancy of the structure or use. NOTE: There is a ~~975.00~~ fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

If any of the inspection do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

~~NA~~ **CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED**

[Signature]
Signature of Applicant/Designee

12/22/04
Date

[Signature]
Signature of Inspections Official

12/27/04
Date

CBL: 150 E 090 Building Permit #: 041716



This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number	1 of 2
Parcel ID	140 E020001
Location	29 PYA RD
Land Use	SINGLE FAMILY
Owner Address	HARMON NORMAN D III & DAWN-MARIE HARMON 29 PYA RD PORTLAND ME 04103
Book/Page	20620/299
Legal	2110-E-20 PYA RD 27-33 10631 SF

R3

Valuation Information

Land	Building	Total
\$46,200	\$71,090	\$117,290

Property Information

Year Built	Style	Story Height	Sq. Ft.	Total Acres	
1954	Ranch	1	1152	0.244	
Bedrooms	Full Baths	Half Baths	Total Rooms	Attic	Basement
2	1	1	5	None	Full

Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition
------	----------	------------	------	-------	-----------

Sales Information

Date	Type	Price	Book/Page
12/01/2003	LAND + BLDING	\$210,000	20620-299

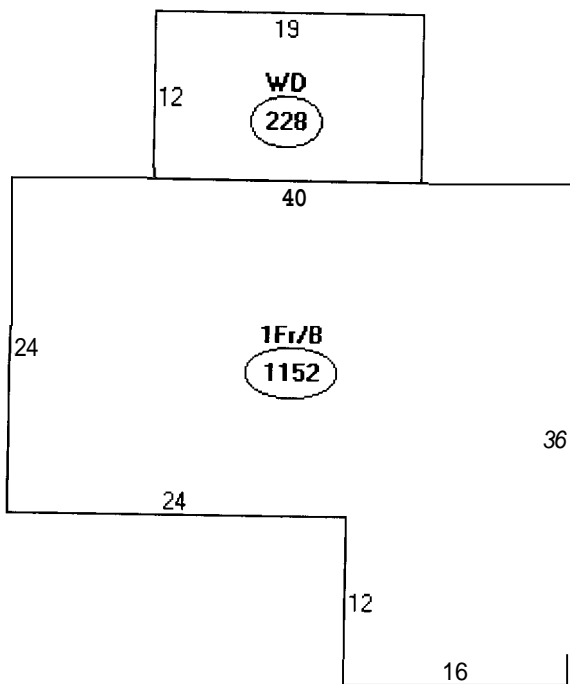
Picture and Sketch

Picture	Sketch	Tax Map
---------	--------	---------

Click here to view Tax Roll Information.

Any information concerning tax payments should be directed to the Treasury office at **874-8490** or e-mailed.

New Search!



Descriptor/Area

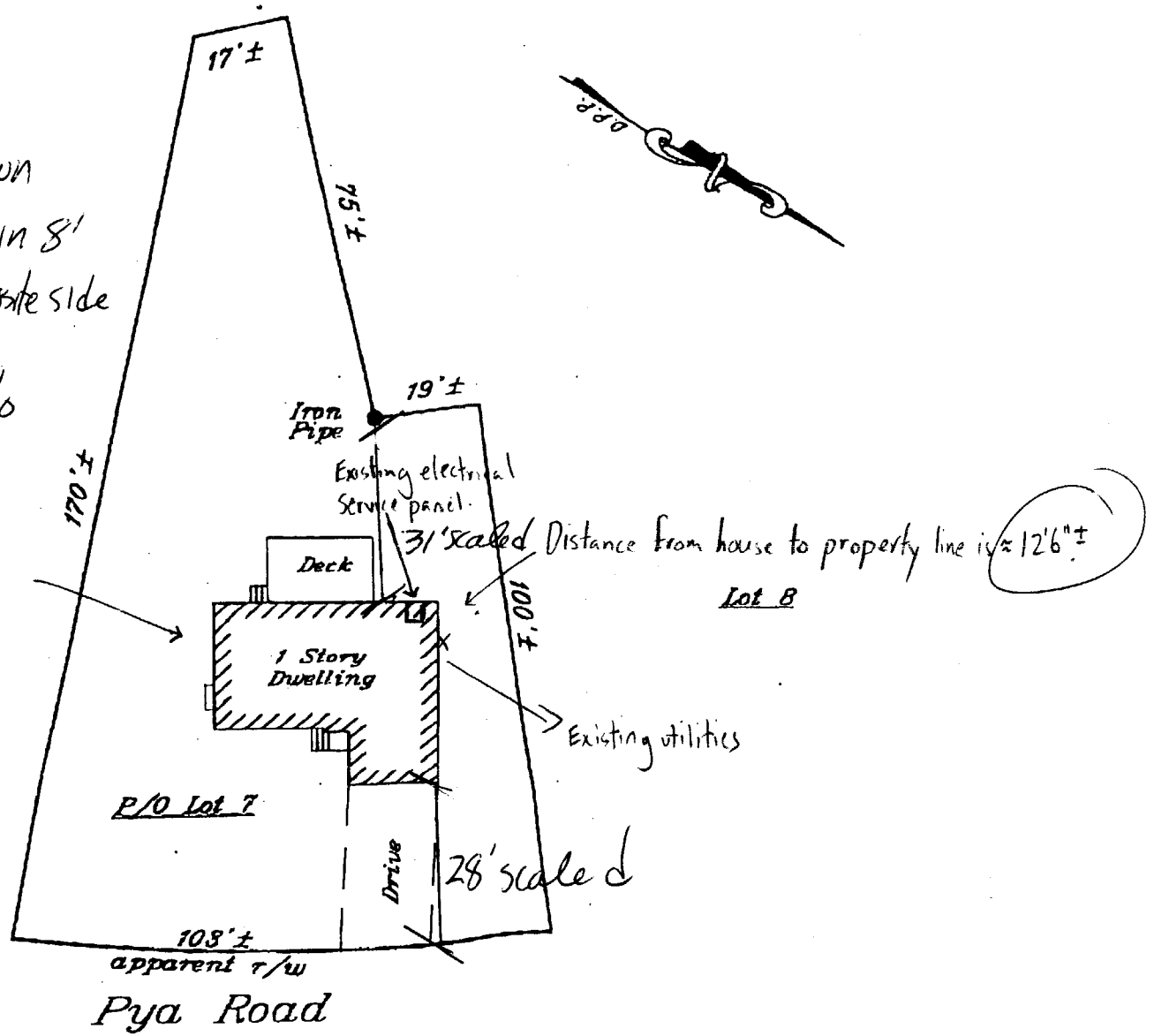
A: 1Fr/B
1152 sqft

B: WD
228 sqft

R3 Zone

Front 25' Req 28' shown
 2 story 14' Req 12'6" shown
 Can reduce one side to min 8'
 for every foot increase on opposite side
 rear 25' Req 31' scaled OK
 to EX PMD 100%
P/O Lot 7

Distance from
 house to property line
 is $\approx 22'6'' \pm$



HOUSE DRAWING w/ SETBACKS
 ZONING DISTRICT IS R-3

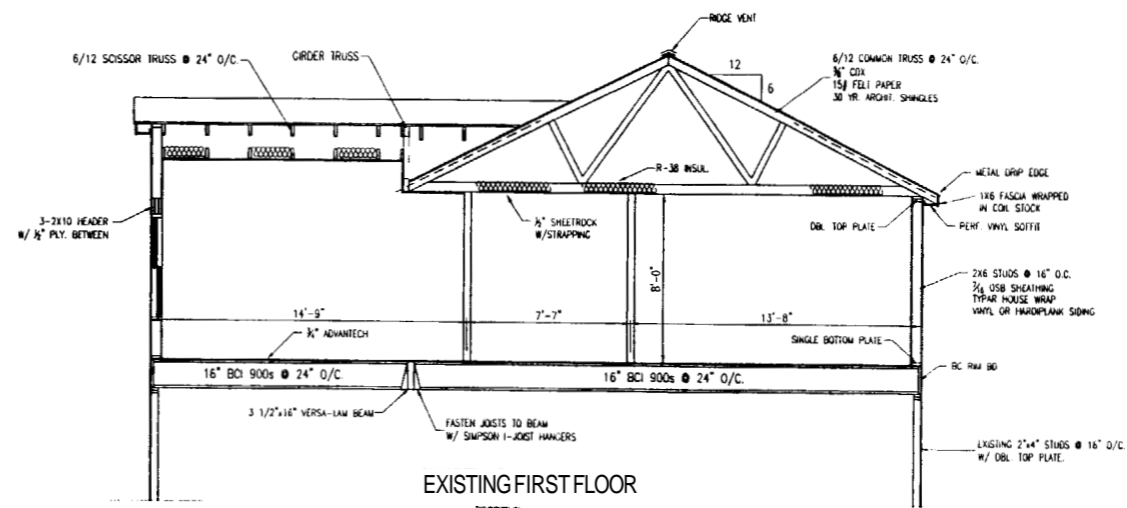
1" = 30'

THIS INFORMATION IS PROVIDED TO OUR CUSTOMERS AS A SERVICE OF HANCOCK LUMBER. CUSTOMERS SHOULD APPRECIATE, HOWEVER, THAT THIS INFORMATION IS NOT THE PRODUCT OF ANY ARCHITECT NEITHER HANCOCK LUMBER NOR ANY OF ITS REGISTERED ARCHITECTS WITHIN THE STATE OF MAINE. AND CUSTOMERS SHOULD CONSULT WITH AN ARCHITECT BEFORE TAKING FINAL ACTION WITH REGARD TO ANY STRUCTURE. CUSTOMERS SHOULD ALSO APPRECIATE THAT, BY PURCHASING WITH THIS INFORMATION, HANCOCK LUMBER DOES NOT GUARANTEE THE ACCURACY OR SUITABILITY OF THE INFORMATION FOR ANY PURPOSE OF THE CUSTOMER.

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME
DEC 16 2004
RECEIVED



SECOND FLOOR PLAN



EXISTING FIRST FLOOR

Egress anderson

*Notes
Per Norm Harmon
Tel/can 12/20/04
JMB*

*STAIRS: RISE = 7 3/4" max 7 3/4"
RUN = 11" min 10" stringer*

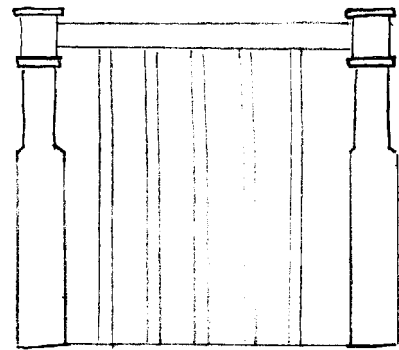
3'6" FROM LAST STEP TO WALL

4'6" FROM LAST STEP TO DOOR

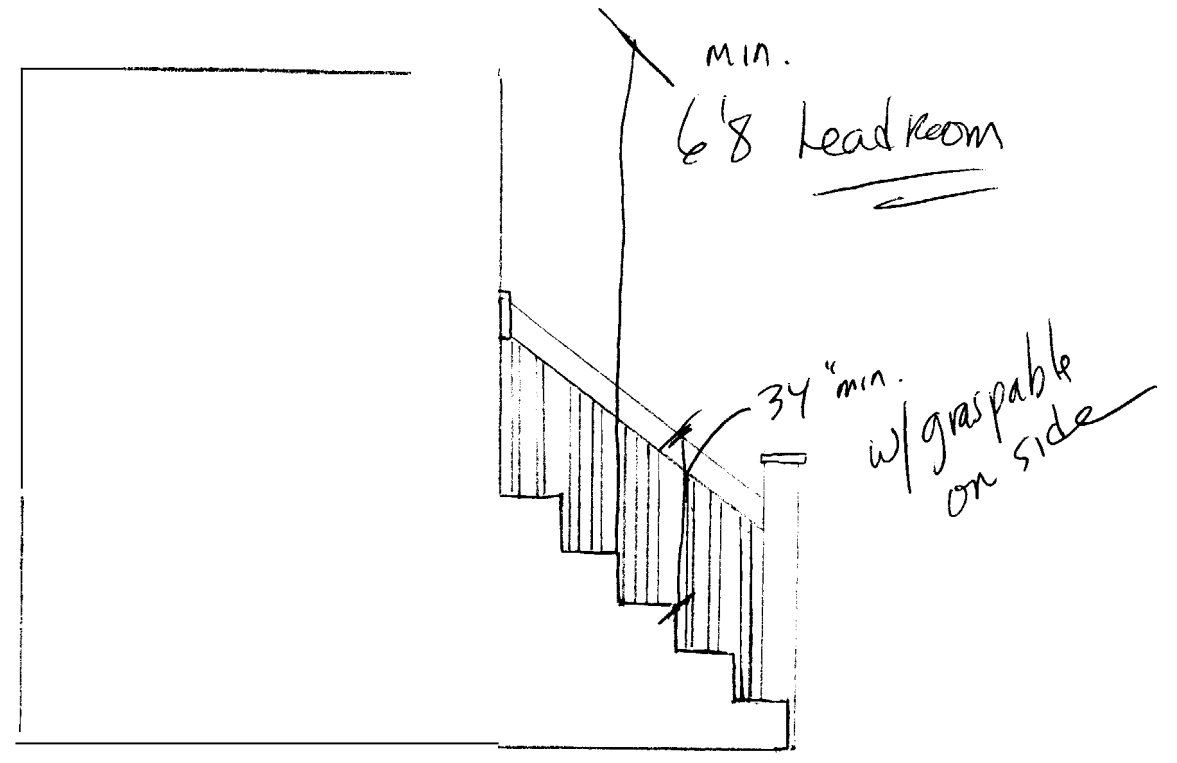


SCALE: 1/4" = 1'-0"	ADDITION	DRAWN BY: MTA
DATE: 8/20/04		REVISED:
HARMON RESIDENCE		DRAWING NUMBER
SECOND FLOOR PLAN, SECTION		PACAW024 504
		1 of 1

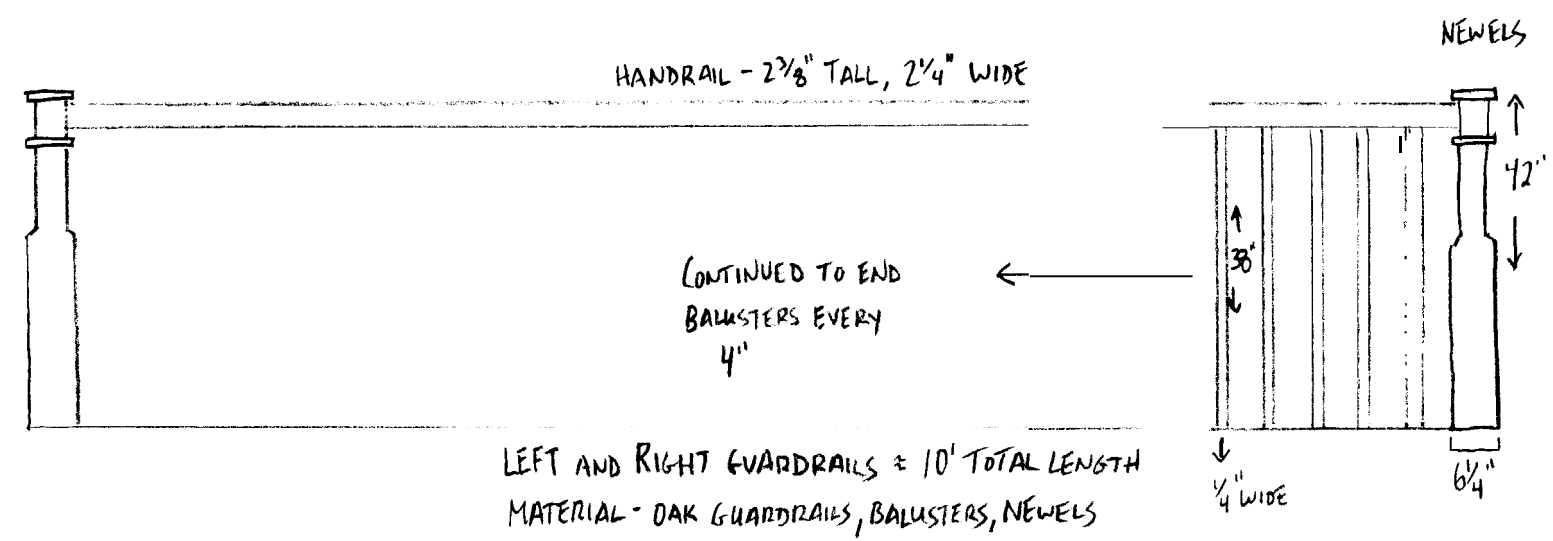
NORM HARMON
29 PYA RD
773-4702



BACK GUARDRAIL
SAME MATERIALS & SPECS



STAIRCASE UP
LEFT & RIGHT VIEW



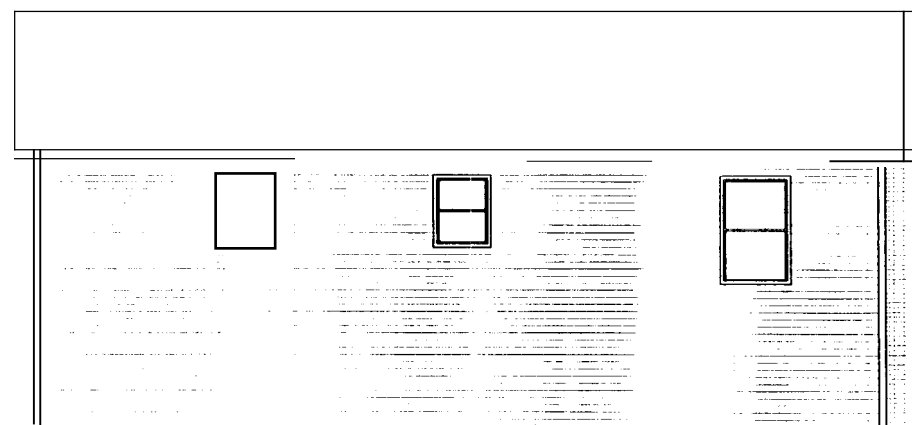
DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME
DEC 16 2004
RECEIVED

THIS INFORMATION IS PROVIDED TO OUR CUSTOMERS AS A SERVICE OF HANCOCK LUMBER. CUSTOMERS SHOULD APPRECIATE, HOWEVER, THAT THIS INFORMATION IS NOT THE WORK PRODUCT OF ANY ARCHITECT. NEITHER HANCOCK LUMBER NOR ANY OF ITS EMPLOYEES ARE REGISTERED ARCHITECTS WITHIN THE STATE OF MAINE, AND CUSTOMERS MAY WANT TO CONSULT WITH AN ARCHITECT BEFORE TAKING FINAL ACTION WITH REGARD TO ANY BUILDING OR STRUCTURE. CUSTOMERS SHOULD ALSO APPRECIATE THAT, BY PROVIDING CUSTOMERS WITH THIS INFORMATION, HANCOCK LUMBER DOES NOT GUARANTEE THE ACCURACY OR SUITABILITY OF THE INFORMATION FOR ANY PURPOSE OF THE CUSTOMER.

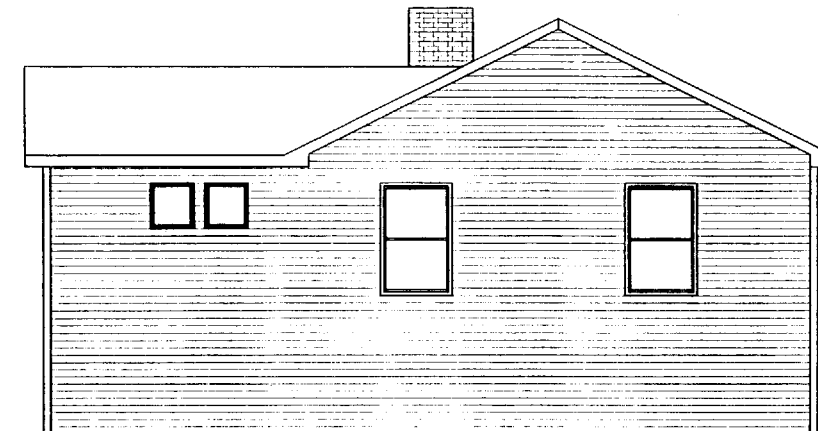


FRONT ELEVATION

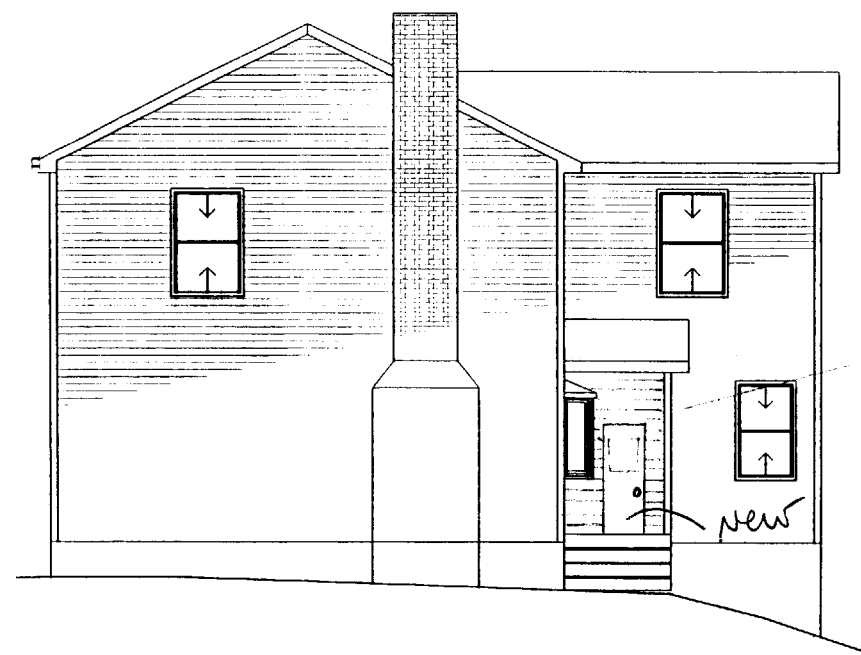
guard
14' 7 3/4" @ grade
handrail
@ 4 Risers or more



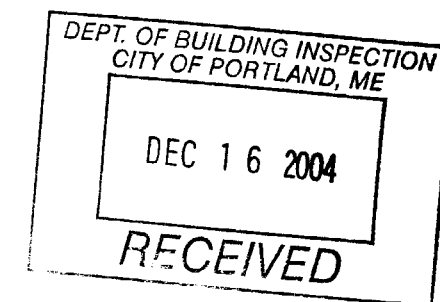
REAR ELEVATION



RIGHT ELEVATION



LEM ELEVATION



29 PVA RD
773-4702
NORM HARMON

ENCLOSED MUDROOM

- 1 SONATUBE (48" D x 10" DIA w/POST ANCHOR)
- DECK FRAME - 2x6 K.D. / 3/4" 7#6
- WALLS 2x4 K.D. 16" O.C.
- ROOF - 2x6 KD. 16" O.C.
- SIDING - FIBER CEMENT
- ROOFING - ASPHALT SHINGLES



SCALE: 1/4" = 1'-0"	ADDITION	DRAWN BY: MIA
DATE: 8/20/04		REVISED:
HARMON RESIDENCE		DRAWING NUMBER: AW071504
ELEVATIONS		PAGE NUMBER: 1 OF



CITY OF PORTLAND, MAINE

Department of Building Inspections

11.15 20 07

Received from Norman Herman III

Location of Work 29 PTH RD

Cost of Construction \$

Permit Fee \$ 516.00

Building (I1) Plumbing (I5) Electrical (I2) Site Plan (U2)

Other

CBL: 110 E 20

Check #: 1391

Total Collected \$ 516.00

THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy