

Renovations to: Walton Street 3 Unit

15 Walton Street, Portland, Maine

TYPICAL ABBREVIATIONS:

&	AND	ENCL	ENCLOSE	RO	ROUGH OPENING
ANG	ANGLE	ENT	ENTRY or ENTRANCE	RM	ROOM
@	AT	EQ	EQUAL	RTU	ROOF TOP UNIT
ADA	AMERICAN DISABILITIES ACT	EQUIP	EQUIPMENT	S	SOUTH
ADJ	ADJUST OR ADJACENT	EWC	ELECTRIC WATER COOLER	SOCHED	SCHEDULE
AFF	ABOVE FINISH FLOOR	EXH	EXHAUST	SD	STORY DRAIN
ALUM	ALUMINUM	EXIST	EXISTING	SECT	SECTION
ARCH	ARCHITECT OR ARCHITECTURAL	EXP	EXPANSION	SF	SQUARE FEET
AVG	AVERAGE	EXT	EXTERIOR	SIM	SIMILAR
BD	BOARD	FEN	FOUNDATION	SP	SHELL PACKAGE
BLDG	BUILDING	FF	FINISH FLOOR	SPEC	SPECIFICATIONS
BLKG	BLOCKING	FEE	FINISH FLOOR ELEVATION	SS	STAINLESS STEEL
BM	BEAM	FIN	FINISH	SQ	SQUARE
BO	BOTTOM OF	FIX	FIXTURE	STD	STANDARD
¢	CENTER LINE	FLR	FLOORING	STL	STEEL
CAB	CABINET	FLR	FLOOR	STRUC	STRUCTURAL
CLG	CEILING	FLU	FLOUORESCENT	SUSP	SUSPENDED
CLR	CLEAR	FP	FIRE PLACE	SYMM	SYMMETRICAL
CLD	CLOSET	FT	FOOT or FEET	T	THERMOSTAT
CMU	CONCRETE MASONRY UNIT	GA	GAUGE	T & B	TOP AND BOTTOM
CNTR	COUNTER	GC	GALVANIZED	TEL	TELEPHONE
COL	COLUMN	GALV	GENERAL CONTRACTOR	TEL	TEMPERED GLASS
CONC	CONCRETE	GL	GLASS	THK	THICKNESS
CONT	CONTINUOUS	GNB	Gypsum WALL BOARD	T.O.	TOP OF
COORD	COORDINATE	HGT	HEIGHT	TP	TYPICAL
CPT	CARPET	HM	HOLLOW METAL	UL	UNDERWRITERS LABORATORIES, INC
DBL	DOUBLE	HORIZ	HORIZONTAL	UNO	UNLESS NOTED OTHERWISE
DEG	DEGREE	HR	HOUR	VB	VERTICAL
DIA	DIAMETER	HVAC	HEATING, VENTILATION & AIR CONDITION	VCT	VINYL BASE
DM	DIMENSION	IBC	INSTALLED BY CONTRACTOR	VERT	VERTICAL
DN	DOWN	IN	INCHES	VIF	VINYL COMPOSITE TILE
DR	DOWN SPOUT	INSUL	INSULATION	W	WIDE or WEST
DS	DISH WASHER	INT	INTERIOR	WC	WOOD WATER COOLER
DWG	DRAWING	LAM	LAMINATED	WD	WOOD WATER COOLER
EA	EACH	LB	POUNDS	W/	WITH
EJ	EXPANSION JOINT	LF	LINEAR FEET	W/O	WITHOUT
ELEC	ELECTRIC	LL	LIVE LOAD		
ELEV	ELEVATION				

RENOVATION NOTES:

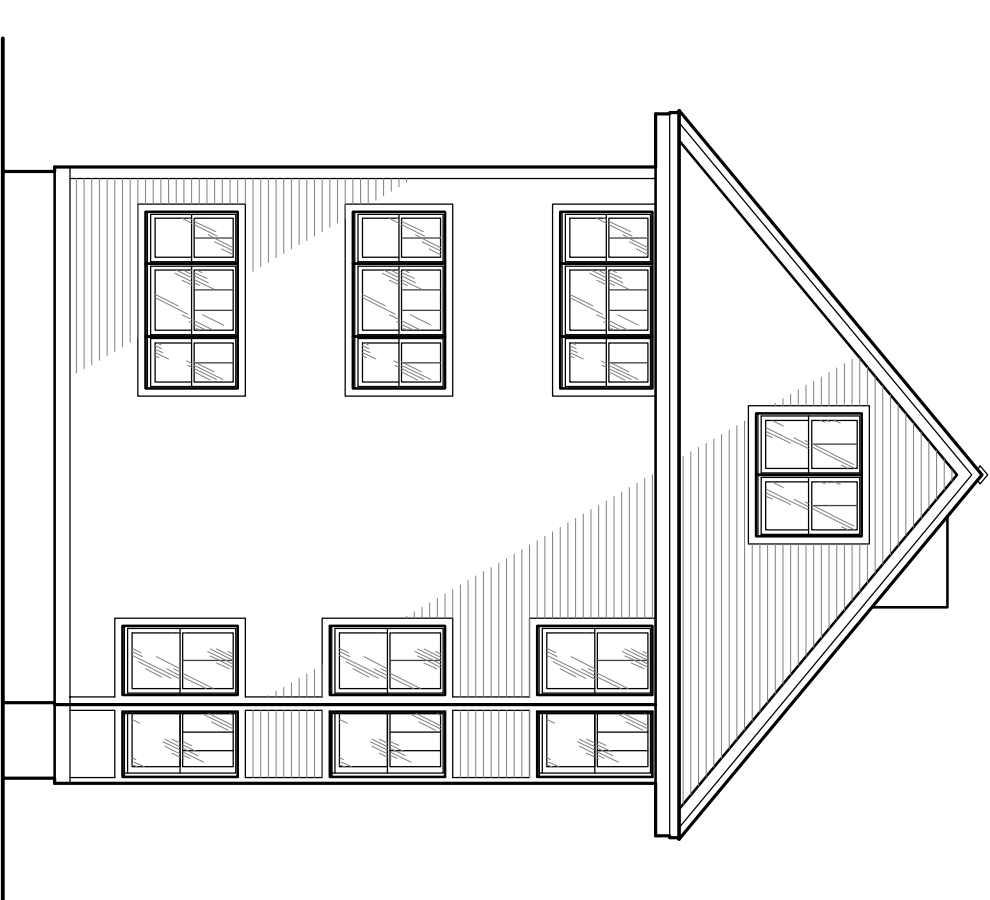
- REMOVE WALLS AS NOTED ON PLANS. VERIFY THAT WALLS TO BE REMOVED ARE NON-LOAD BEARING. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE PENETRATING JOISTS, BEAMS, OR OTHER STRUCTURAL MEMBERS. CONSULT WITH THE ARCHITECT FOR APPROVAL.
- UNLESS OTHERWISE NOTED, REMOVE DOORS, BASE TRIM, OLD WINDOW BLIND BRACKETS, ELECTRICAL ITEMS, SURFACE MOUNTED ITEMS AND INTERIOR WINDOWS WITHIN WALLS TO BE REMOVED. UNLESS NOTED OTHERWISE, REMOVE WALLS TO THEIR FULL HEIGHT WHERE THEY ARE INDICATED FOR REMOVAL.
- CARE SHALL BE TAKEN BY THE CONTRACTOR TO PROTECT EXISTING SYSTEMS AND SURFACES TO REMAIN. ALL DAMAGE RESULTING FROM THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED OR REPLACED (AS APPROVED BY THE ARCHITECT) AT NO ADDITIONAL COST TO THE OWNER.
- WHERE REMOVALS OCCUR, PATCH HOLES AND AREAS OF MISSING FINISH (IE EXPOSED STUD AREAS WHERE WALLS ARE REMOVED, FLOOR FINISHES, ETC. TO MATCH EXISTING ADJACENT SURFACE. PROVIDE A SMOOTH CONTINUOUS SURFACE FREE OF SHADOW LINES.
- WHERE NEW WALLS OR INFILLS ABUT OR INTERSECT EXISTING WALLS, ALONG NEW FINISH WITH EXISTING FINISH AND FINISH JOINTS AT INTERSECTIONS SMOOTH AND CONTIGUOUS.
- IF SUSPECT MATERIALS ARE UNCOVERED DURING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY FOR TESTING AND/OR REMOVAL.
- PROVIDE CODE COMPLIANT, PAINTABLE (WHERE EXPOSED), FIRE SEALANT AT ALL RATED WALL PERIMETERS AND WALL/ FLOOR PENETRATIONS.

2009 IBC/NFPA 101 CODE REVIEW

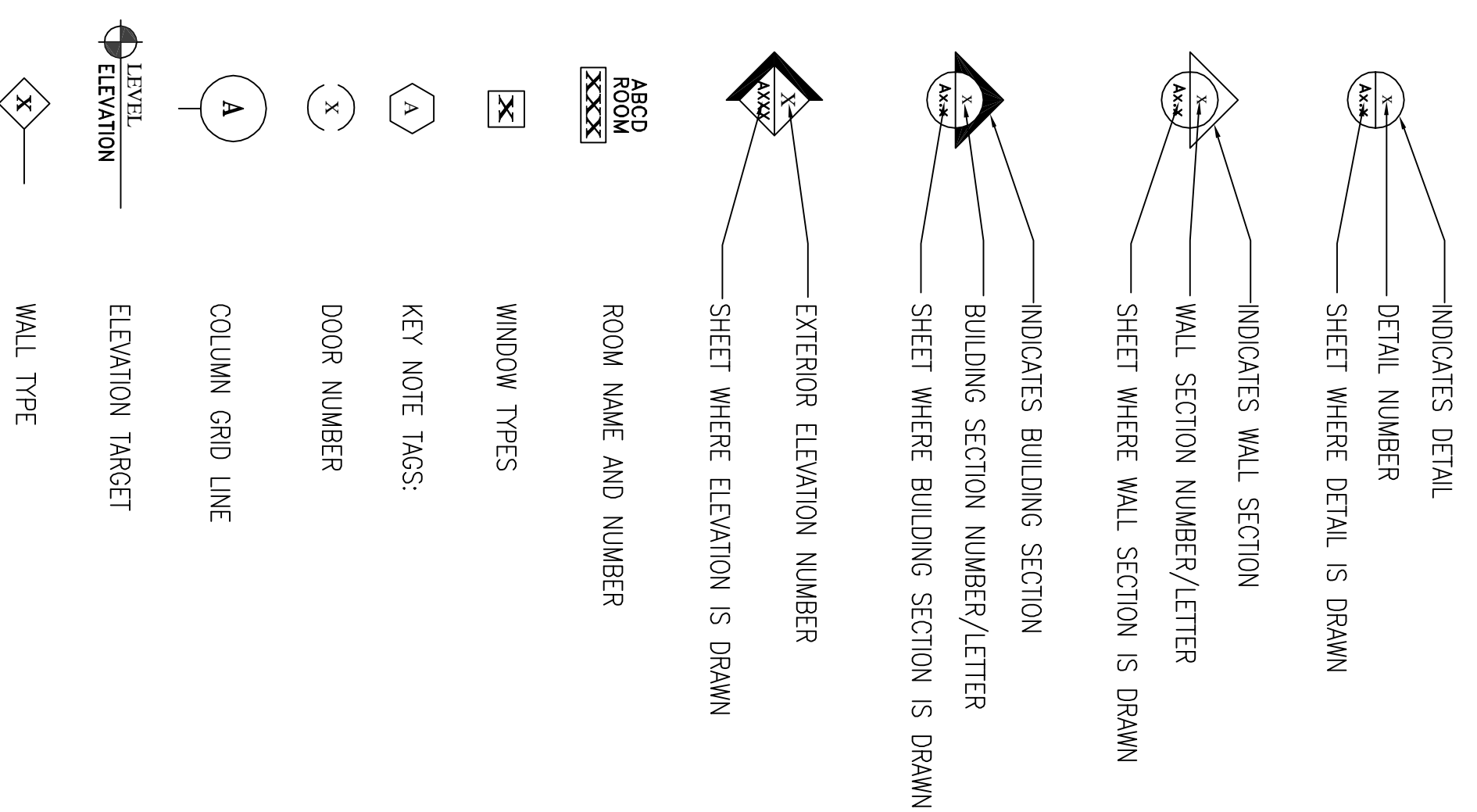
Occupancy:	R-2, Existing 3 Unit Apartment Building- Option 2 protected by a new NFPA 13R-2010 automatic fire detection and monitored notification system.
Height:	3 Story
Construction Type:	5B
Fire Rating:	Tenent Separations 1 Hour Exit Access Corridors 1 Hour Chase Spaces 1 Hour blocking/floor
Exit Width	3'-6" total
New Stairs	6'75" R, 11" T, 6'-8" headroom, 3'-6" width, guard 42", Handrails +34"
New Stairto 4th Floor	7'89" R, 10" T, 6'-8" headroom, 3'-6" width, Handrails +34"
Travel Distance to Exits	Option 2- 125' max
Wall and Ceiling Finish	Class B- Option 2
Egress Floor Finish	Class II- Option 2
Hazardous Area Protection	Boiler- sprinklered with residential head
Single Means of Egress	Per IBC 1029.1- 7 exceptions met and NFPA 101 31.2.4.3- 7 exceptions met.

GENERAL NOTES:

- ALL MATERIALS, COMPONENTS, EQUIPMENT AND WORK ARE NEW AND SHALL BE PROVIDED IN THIS CONTRACT BY THE CONTRACTOR UNLESS NOTED OTHERWISE.
- ALL WORK INCLUDED IN THE CONTRACT SHALL CONFORM TO ALL STATE, NATIONAL, AND OTHER CODES AND ORDINANCES WHICH APPLY TO THIS PROJECT.
- ALL WORK SHALL BE COMPLETED TO INDUSTRY STANDARDS IN A PROFESSIONAL WORKMAN LIKE MANNER.
- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCY(IES) IMMEDIATELY TO THE ARCHITECT.
- AT THE END OF EACH WORKING DAY, THE CONSTRUCTION SITE SHALL BE LEFT IN A NEAT AND CLEAN MANNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS WHICH ARE REQUIRED FOR THE SATISFACTORY COMPLETION OF THE WORK. (GENERAL PERMIT BY OWNER)
- THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE OWNER FOR THE SEQUENCE AND TIMING OF OPERATIONS PRIOR TO COMMENCING WORK. AREAS FOR STAGING ETC. MUST BE APPROVED BY THE OWNER.
- THE CONTRACTOR SHALL DISPOSE OF AND/OR RECYCLE ANY CONSTRUCTION DEBRIS FROM THE PROJECT SITE AS REQUIRED BY THE STATE OF MAINE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING DISPOSAL PERMITS WHICH ARE REQUIRED. CONSTRUCTION DEBRIS FROM THE PROJECT SITE SHALL BE DISPOSED OF IN A STATE APPROVED LANDFILL.
- INSULATION: R-13 batt sound insulation in new interior walls, R-19 batt in new walls and new floors, R-38 blown in cellulose in new ceilings and Hill Steep Attic, and R-15 spray closed cell poly at oil rim joists. Insulate oil hot water piping and cold water supply line piping from water meter.
- PROVIDE SOLID BLOCKING BEHIND ALL NEW CABINETS AND TOWEL BARS, ETC.
- DUTY OF COOPERATION: RELEASE OF THESE PLANS CONTEMPLATES FURTHER COOPERATION AMONG THE OWNER, THE CONTRACTOR, THE ARCHITECT AND THEIR CONSULTANTS. DESIGN AND CONSTRUCTION ARE COMPLEX. ALTHOUGH THE ARCHITECT AND HIS CONSULTANTS HAVE PERFORMED THEIR SERVICES WITH DUE CARE AND DILIGENCE, THEY CANNOT GUARANTEE PERFECTION. COMMUNICATION IS IMPERATIVE, AND EVERY CONTINGENCY CANNOT BE ANTICIPATED. ANY AMBIGUITY OR DISCREPANCY DISCOVERED BY THE USE OF THESE PLANS SHALL BE REPORTED IMMEDIATELY TO THE OWNER. FAILURE TO NOTIFY THE OWNER COMPOUNDS MISUNDERSTANDING AND MAY INCREASE CONSTRUCTION COSTS. A FAILURE TO COOPERATE BY A SIMPLE NOTICE TO THE OWNER SHALL RELIEVE THE OWNER AND THE ARCHITECT FROM RESPONSIBILITY FOR ALL COST.
- CONSTRUCTION SAFETY: THESE DRAWINGS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. THE GENERAL CONTRACTOR SHALL PROVIDE FOR THE SAFETY, CARE OF UTILITIES AND ADJACENT PROPERTIES DURING CONSTRUCTION, AND SHALL COMPLY WITH STATE AND FEDERAL SAFETY REGULATIONS.
- BACKPANEL ALL NEW INTERIOR TRIM.
- ALL PREP. / CONDUIT SHOULD BE CONCEALED EXCEPT IN UNFINISHED LOCATIONS AND CLOSETS UNLESS NOTED OTHERWISE.
- ALL MATERIALS AND WORK SHALL BE GUARANTEED FOR A MINIMUM OF ONE YEAR FROM THE DATE OF FINAL PAYMENT.
- DO NOT SCALE DRAWINGS



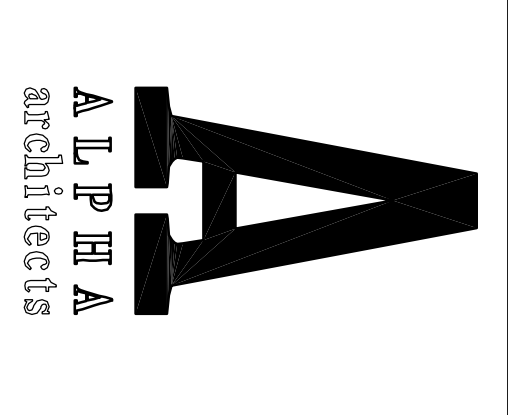
LEGEND:



LIST OF DRAWINGS:

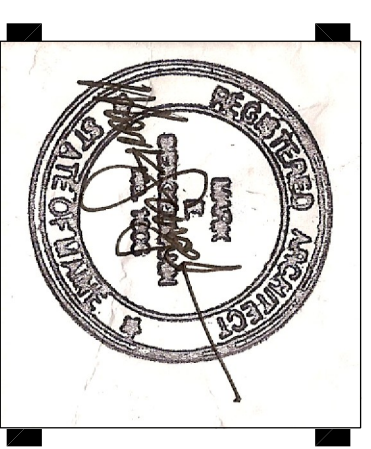
T-1	TITLE SHEET
D1.1	BASEMENT, 1, 2, 3, 4, ROOF DEMO PLANS
A1.1	BASEMENT & 1st FLOOR PLANS
A1.2	SECOND & THIRD FLOOR PLANS
A1.3	FOURTH FLOOR & ROOF PLANS
A2.1	EXTERIOR ELEVATIONS AND WINDOW SCHEDULE
A2.2	EXTERIOR ELEVATIONS
A3.1	BUILDING SECTIONS
A5.1	DOOR AND FINISH SCHEDULES
S1.1	1st & 2nd FLOOR FRAMING PLANS
S1.2	3rd & 4th FLOOR FRAMING PLANS
S1.3	ROOF FRAMING PLANS
LS1.1	BASEMENT, 1, 2, 3, 4 LIFE SAFETY PLANS

PERMIT SET 10-12-11



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Walton Street 3 Unit
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Portland Maine 04103

JOB: 11024

ISSUE DATE	PRELIM.	08-25-11
Revised	Not Revid	
CDs	10-12-11	
REV. 1	-	
REV. 2	-	
PRINT	10-12-11	

TITLE SHEET
T-1