



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <b>15 WALTON ST PORTLAND</b>		
Total Square Footage of Proposed Structure/Area	Square Footage of Lot	Number of Stories <b>3 1/2</b>
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot# <b>140      C 021      001</b>	Applicant * <u>must</u> be owner, Lessee or Buyer* Name <b>DUNCAN MAC DOUGALL</b> Address <b>P.O. BOX 3789</b> City, State & Zip <b>PORTLAND ME 04104</b>	Telephone: <b>232-4991</b>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <b>131,180.00</b> C of O Fee: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) <u>3 FAMILY</u> Number of Residential Units <u>3</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>3 Family</u> Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>3 FAMILY REMODEL AFTER FIRE</u>		
Contractor's name: <u>TBD</u> Address: _____ City, State & Zip _____ Telephone: _____ Who should we contact when the permit is ready: <u>DUNCAN MAC DOUGALL</u> Telephone: <u>232-4991</u> Mailing address: <u>PO BOX 3789 Portland ME 04104</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: *[Signature]*      Date: 10-7-11

This is **not** a permit; you may not commence ANY work until the permit is issued



# Administrative Authorization Application

Portland, Maine

Planning and Urban Development Department, Planning Division

PROJECT NAME: WALTON ST 3 UNIT

PROJECT ADDRESS: 15 WALTON ST CHART/BLOCK/LOT: 140 0021 001

APPLICATION FEE: \_\_\_\_\_ (\$50.00)

PROJECT DESCRIPTION: (Please Attach Sketch/Plan of the Proposal/Development)

**REMODEL AFTER FIRE**

### CONTACT INFORMATION:

#### OWNER/APPLICANT

Name: DUNCAN MACDOUGALL

Address: P.O. BOX 3789  
PORTLAND ME 04104

Work #: \_\_\_\_\_

Cell #: 207 232-4991

Fax #: 207 774-4225

Home #: \_\_\_\_\_

E-mail: duncanmacd@hotmail.com

#### CONSULTANT/AGENT

Name: ALPHA architects

Address: Mark Sengelmann  
17 Chestnut St 04101

Work #: 761-9500

Cell #: 671-4110

Fax #: 761-9595

Home #: NA

E-mail: mark@ALPHAarchitects.com

### Criteria for an Administrative Authorizations:

(see section 14-523(4) on pg .2 of this appl.)

### Applicant's Assessment Planning Division

Y(yes), N(no), N/A

Y(yes), N(no), N/A

- a) Is the proposal within existing structures? Y
- b) Are there any new buildings, additions, or demolitions? Y
- c) Is the footprint increase less than 500 sq. ft.? Y
- d) Are there any new curb cuts, driveways or parking areas? N
- e) Are the curbs and sidewalks in sound condition? Y
- f) Do the curbs and sidewalks comply with ADA? Y
- g) Is there any additional parking? N
- h) Is there an increase in traffic? N
- i) Are there any known stormwater problems? N
- j) Does sufficient property screening exist? Y
- k) Are there adequate utilities? Y
- l) Are there any zoning violations? N
- m) Is an emergency generator located to minimize noise? NA
- n) Are there any noise, vibration, glare, fumes or other impacts? N

Signature of Applicant:

Date:

9/23/11



# Certificate of Design Application

From Designer:

ALPHA architects

Date:

OCTOBER 7, 2011

Job Name:

WALTON ST 3 UNIT

Address of Construction:

15 WALTON ST 04103

## 2009 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year 2009 IBC Use Group Classification (s) R-2

Type of Construction V

Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2009 IRC YES

Is the Structure mixed use? NO If yes, separated or non separated or non separated (section 302.3) ---

Supervisory alarm System? YES Geotechnical/Soils report required? (See Section 1802.2) NA

### Structural Design Calculations

Submitted for all structural members (106.1 - 106.11)

### Design Loads on Construction Documents (1603)

Uniformly distributed floor live loads (7603.11, 1807)

Floor Area Use	Loads Shown
<u>LIVING AREAS</u>	<u>40 PSF</u>

Wind loads (1603.1.4, 1609) N/A

- ~~Design option utilized (1609.1.1, 1609.6)~~
- ~~Basic wind speed (1809.3)~~
- ~~Building category and wind importance Factor,  $I_w$  (Table 1604.5, 1609.5)~~
- ~~Wind exposure category (1609.4)~~
- ~~Internal pressure coefficient (ASCE 7)~~
- ~~Component and cladding pressures (1609.1.1, 1609.6.2.2)~~
- ~~Main force wind pressures (7603.1.1, 1609.6.2.1)~~

Earth design data (1603.1.5, 1614-1623) N/A

- ~~Design option utilized (1614.1)~~
- ~~Seismic use group ("Category")~~
- ~~Spectral response coefficients,  $S_D$ s &  $S_{DI}$  (1615.1)~~
- ~~Site class (1615.1.5)~~

- N/A Live load reduction
- N/A Roof live loads (1603.1.2, 1607.11)
- 46 PSF Roof snow loads (1603.7.3, 1608)
- 60 PSF Ground snow load,  $P_g$  (1608.2)
- 46 PSF If  $P_g > 10$  psf, flat-roof snow load  $P_f$
- 1.0 If  $P_g > 10$  psf, snow exposure factor,  $C_e$
- 1.0 If  $P_g > 10$  psf, snow load importance factor,  $I_s$
- 1.1 Roof thermal factor,  $C_t$  (1608.4)
- 46 PSF Sloped roof snowload,  $P_s$  (1608.4)
- ~~Seismic design category (1616.3)~~
- ~~Basic seismic force resisting system (1617.6.2)~~
- N/A Response modification coefficient,  $R$ , and deflection amplification factor,  $C_d$  (1617.6.2)
- ~~Analysis procedure (1616.6, 1617.5)~~
- ~~Design base shear (1617.4, 1617.5.1)~~

### Flood loads (1803.1.6, 1612)

- ~~Flood Hazard area (1612.3)~~
- ~~Elevation of structure~~

### Other loads

- ~~Concentrated loads (1607.4)~~
- ~~Partition loads (1607.5)~~
- ~~Misc. loads (Table 1607.8, 1607.6.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404)~~



# Accessibility Building Code Certificate

Designer: ALPHA architects

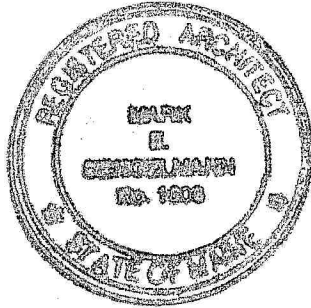
Address of Project: 15 WALTON ST 04103

Nature of Project: REMODEL AFTER FIRE

\_\_\_\_\_

\_\_\_\_\_

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.



(SEAL)

Signature: Mark Gershelmann

Title: Principal

Firm: ALPHA architects

Address: 17 Chestnut St  
Portland ME 04101

Phone: 207-761-9500

For more information or to download this form and other permit applications visit the Inspections Division on our website at [www.portlandmaine.gov](http://www.portlandmaine.gov)



# Certificate of Design

Date: 10 - 7 - 11

From: ALPHA architects

These plans and / or specifications covering construction work on:

15 WALTON ST REMODEL AFTER FIRE

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the *200 International Building Code* and local amendments.



(SEAL)

Signature: Mark Generali

Title: Principal

Firm: ALPHA architects

Address: 17 Chestnut St

Suite 201 Portland 04101

Phone: 207 761-9500

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