



Administrative Authorization Application

Portland, Maine

Planning and Urban Development Department, Planning Division

PROJECT NAME: WALTON ST 3 UNIT

PROJECT ADDRESS: 15 WALTON ST CHART/BLOCK/LOT: 140 c 021 001

APPLICATION FEE: _____ (\$50.00)

PROJECT DESCRIPTION: (Please Attach Sketch/Plan of the Proposal/Development)

REMODEL AFTER FIRE

CONTACT INFORMATION:

OWNER/APPLICANT

Name: DUNCAN MACDOUGALL

Address: P.O. BOX 3789
PORTLAND ME 04104

Work #: _____

Cell #: 207 232-4991

Fax #: 207 774-4225

Home #: _____

E-mail: duncanmald@hotmail.com

CONSULTANT/AGENT

Name: ALPHA architects

Address: Mark Sengelmann
17 Chestnut St 04101

Work #: 761-9500

Cell #: 671-4110

Fax #: 761-9595

Home #: NA

E-mail: mark@ALPHAarchitects.com

Criteria for an Administrative Authorizations:

(see section 14-523(4) on pg 2 of this appl.)

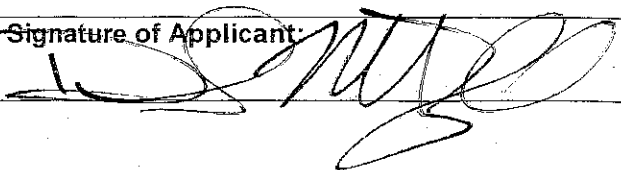
Applicant's Assessment Planning Division

Y(yes), N(no), N/A

Y(yes), N(no), N/A

- a) Is the proposal within existing structures? Y
- b) Are there any new buildings, additions, or demolitions? Y
- c) Is the footprint increase less than 500 sq. ft.? Y
- d) Are there any new curb cuts, driveways or parking areas? N
- e) Are the curbs and sidewalks in sound condition? Y
- f) Do the curbs and sidewalks comply with ADA? Y
- g) Is there any additional parking? N
- h) Is there an increase in traffic? N
- i) Are there any known stormwater problems? N
- j) Does sufficient property screening exist? Y
- k) Are there adequate utilities? Y
- l) Are there any zoning violations? N
- m) Is an emergency generator located to minimize noise? NA
- n) Are there any noise, vibration, glare, fumes or other impacts? N

<u>Y</u>	_____
<u>Y</u>	_____
<u>Y</u>	_____
<u>N</u>	_____
<u>Y</u>	_____
<u>Y</u>	_____
<u>N</u>	_____
<u>N</u>	_____
<u>N</u>	_____
<u>Y</u>	_____
<u>Y</u>	_____
<u>N</u>	_____
<u>NA</u>	_____
<u>N</u>	_____

Signature of Applicant:  Date: 9/23/11

Criteria for an Administrative Authorizations:
 (See Section 14-523 (4) on page 2 of this application)

Applicant's Assessment
 Y(yes), N(no), N/A

Planning Division
 Use Only

a) Is the proposal within existing structures?	Yes	Yes
b) Are there any new buildings, additions, or demolitions?	Yes	Yes, change in roof line – foot print the same
c) Is the footprint increase less than 500 sq. ft.?	Yes	Yes
d) Are there any new curb cuts, driveways or parking areas?	No	No
e) Are the curbs and sidewalks in sound condition?	Yes	Yes
f) Do the curbs and sidewalks comply with ADA?	Yes	Yes
g) Is there any additional parking?	No	No
h) Is there an increase in traffic?	No	No
i) Are there any known stormwater problems?	No	No
j) Does sufficient property screening exist?	Yes	Yes
k) Are there adequate utilities?	Yes	Yes
l) Are there any zoning violations?	No	No
m) Is an emergency generator located to minimize noise?	n/a	N/A
n) Are there any noise, vibration, glare, fumes or other impacts?	No	No

The Administrative Authorization for the reconstruction of a three family house that was destroyed by fire at 15 Walton Street was approved by Barbara Barhydt, Development Review Services Manager on October 27, 2011 with the following condition(s) of approval:

1. The applicant shall obtain all required City Permits, including building permits from the Inspection Division (874-8703) and any other permits that may be required from the Department of Public Services (874-8801) prior to the start of any construction.
2. The approval is based on the plan and Mr. Sengelmann's assurance that no site changes are proposed. If site alterations are proposed, then the plan may require additional review under the City's site plan ordinance.

Barbara Barhydt
 Development Review Services Manager
 October 27, 2011

October 12, 2011

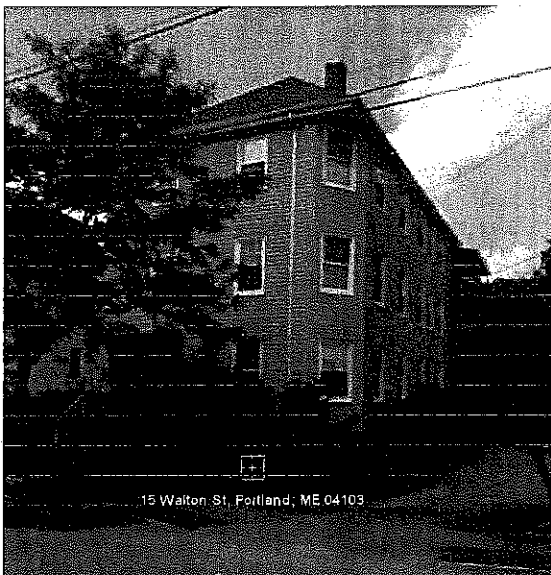
Building Inspections
City of Portland



RE: 15 Walton St 3 Unit, Portland , Maine



After the Fire



C:\General Office\Correspondance\Walton St Pictures.doc

ALPHAarchitects

17 Chestnut Street, Suite 201, Portland ME 04101 • 207.761-9500 • Fax 207.761.9595 • mark@ALPHAarchitects.com

10-26-11

Barbara Barbydt
Portland Planning Department

re: 15 Walton St Roof

Barbara,

I am sincerely sorry for losing my cool about the delays in the permit process. I realize that these matters are not fully under your control.

I just met with Anne Machado in zoning and she was satisfied with the attached explanation for the minor roof modifications to 15 Walton St. She is processing the review and passing the project to PFD in the morning.

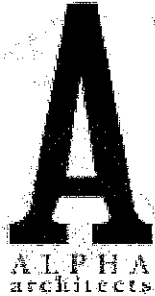
After your review, please call me with any questions or comments,

ALPHA architects

Mark Sengelmann

Mark Sengelmann

October 26, 2011



Anne Machado
Portland Zoning Department
City of Portland
389 Congress Street
Portland ME 04101

RE: **15 Walton St 3 Unit**

Anne,

In response to your comments we are providing copies of the elevations showing existing conditions and the proposed conditions and an overlay that illustrates the differences. The roof pitch is identical 10/12 to the existing. The roof has been modified replacing the existing hip roof with a gable roof.

Roof Ridge Height

The attic floor had to be upgraded to meet 2009 IBC structural requirements from 2x6 @ 18" o/c to 2x10 @ 18" oc raising the ridge +/- 4". Further the existing 2x6 attic floor was toe nailed into the sides of the wall studs. Modern framing practices call for a floor platform to be built on top of the stud wall (not toe nailed into the side) which raises the ridge an additional 10". Finally the roof rafters have been upgraded to meet 2009 IBC structural requirements from 2x6 @ 24" to 2x10 @ 16" oc which adds another 6" due to the 10/12 pitch of the rafters. In total the ridge is raised 1'-5 1/2" above the original roof line due to structural considerations.

Overhangs

The current roof overhangs are +/- 12" on four sides. In order to align the fascia with the structurally modified roof rafters the overhang was increased to 2'-3 1/2" on the two long sides of the building while the gable ends remain at 12" overhang. If we need to reduce the overhangs on the long sides of the building to 2'-0" maximum we can revise the drawings accordingly.

Dormer

A 5/12 pitch dormer was added on the parking lot side to properly shed water off the roof deck.

Sincerely,

ALPHAarchitects

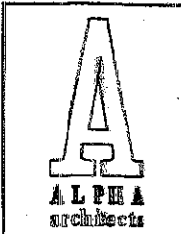
A handwritten signature in black ink that reads 'Mark Sengelmann' with a stylized flourish at the end.

Mark Sengelmann, NCARB
Principal

CA\General Office\Correspondance\Walton St. ROOF MODIFICATIONS.doc

ALPHAarchitects

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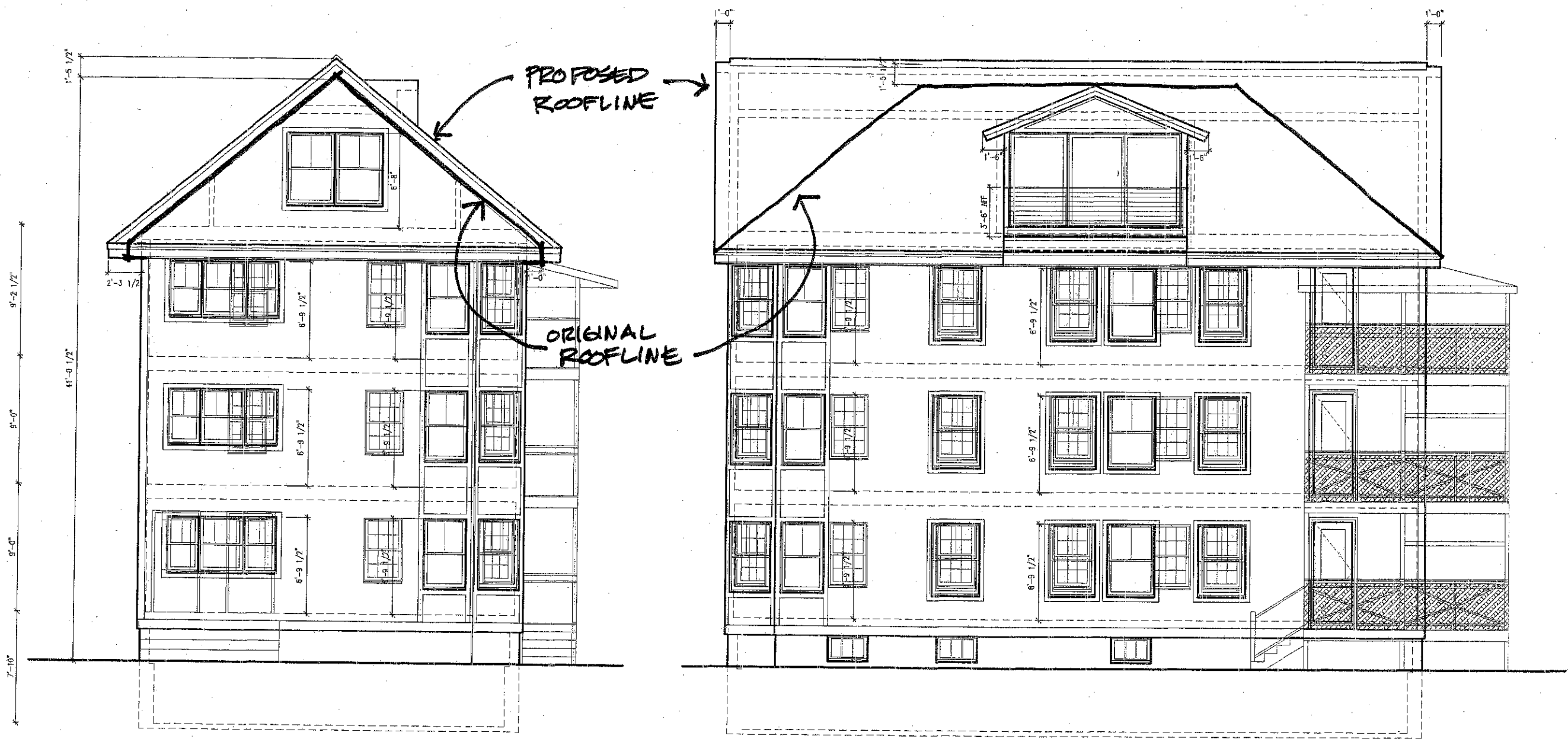
PRELIMINARY
NOT FOR
CONSTRUCTION

Walton Street 3 Unit
16 Walton Street
Portland Maine 04103

JOB: 11024

ISSUE DATE	
PRELIM	8-26-11
PBoard	-
CDs	-
REV. 1	-
REV. 2	-
PRINT	10-13-11

EXISTING
EXTERIOR
ELEVATIONS
SA6



STUDY
ELEVATION - **FRONT**
SCALE: 1/8" = 1'-0"

STUDY
ELEVATION - **PARKING**
SCALE: 1/8" = 1'-0"

NOTE:
SIDE & REAR ELEVATIONS
ARE MIRROR IMAGES OF
THIS STUDY

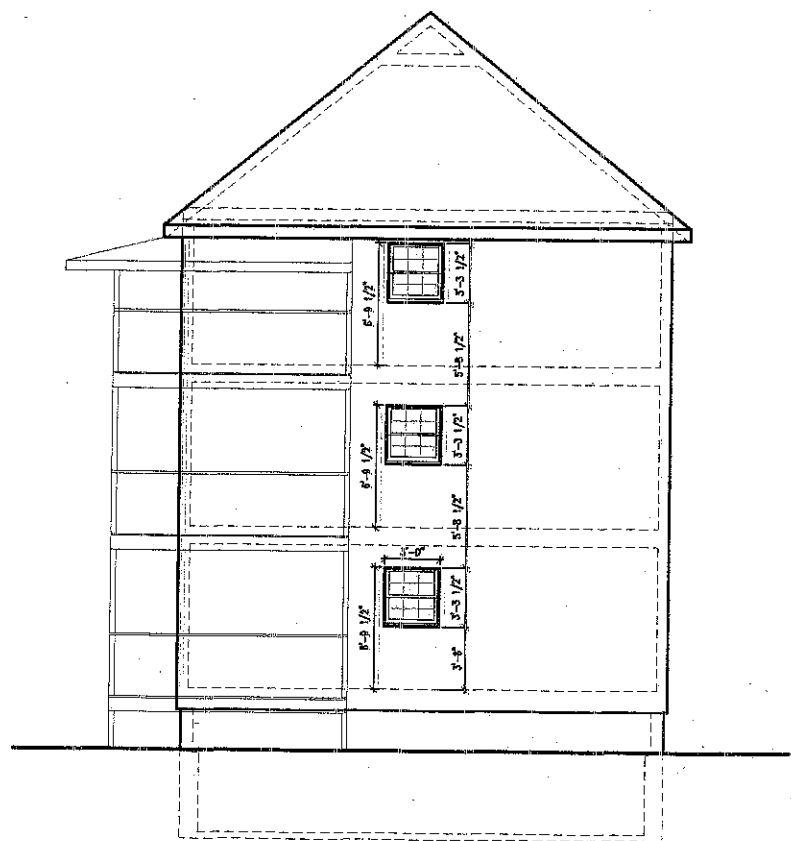
REVISED 10-26-11
10-13-11



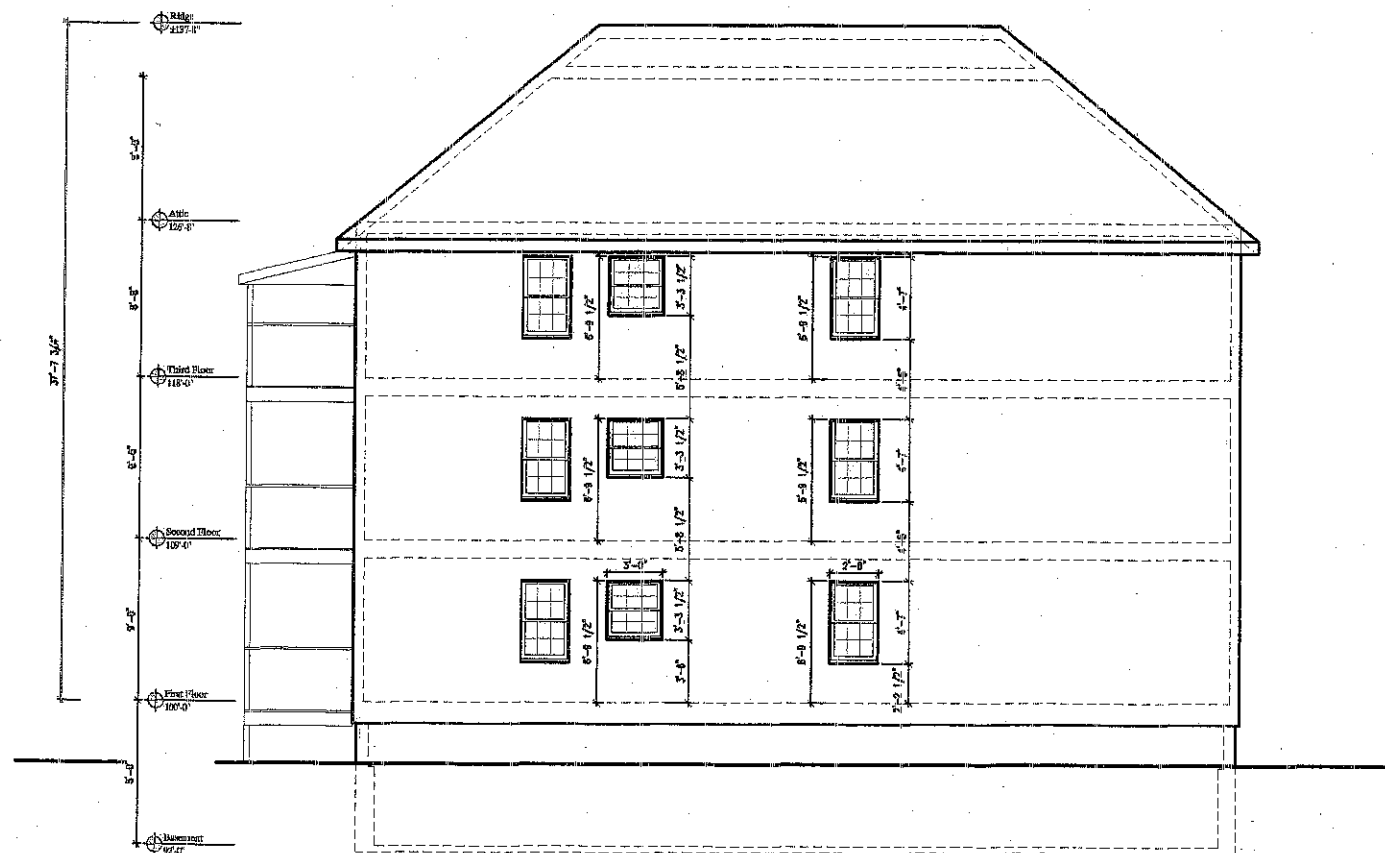
EXISTING STREET ELEVATION
SCALE: 3/32" = 1'-0"



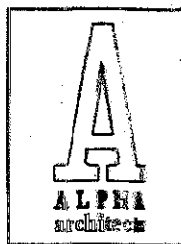
EXISTING PARKING LOT ELEVATION
SCALE: 3/32" = 1'-0"



EXISTING REAR ELEVATION
SCALE: 3/32" = 1'-0"



EXISTING SIDE ELEVATION
SCALE: 3/32" = 1'-0"



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PRELIMINARY
NOT FOR
CONSTRUCTION

Walton Street 3 Unit
705 WALTON STREET
PORTLAND MAINE 04103

JOB: 11004

ISSUE DATE	
PRELIM.	9-26-11
PBoard	-
CD's	-
REV. 1	-
REV. 2	-
PRINT	10-26-11

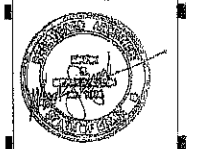
EXISTING
EXTERIOR
ELEVATIONS
XA6

10-13-11



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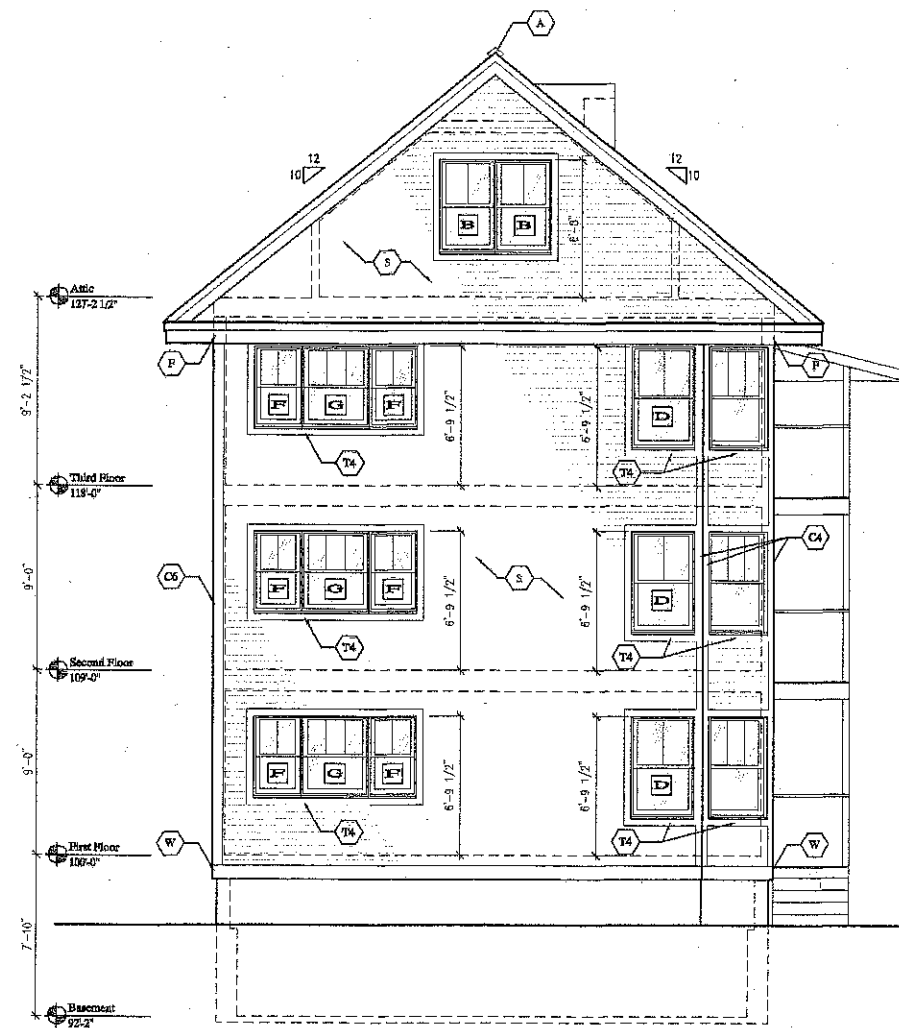


Walton Street 3 Unit
 15 Walton Street
 Portland Maine 04103

JOB: 11024

ISSUE DATE	
PRELIM	08-25-11
PBoard	Not Req'd
CD's	10-12-11
REV. 1	-
REV. 2	-
PRINT	10-12-11

EXTERIOR
 ELEVATIONS
A2.1



WALTON ST. ELEVATION
 SCALE: 1/4" = 1'-0"



PARKING LOT ELEVATION
 SCALE: 1/4" = 1'-0"

WINDOW SCHEDULE 15 Walton Street Portland 10-7-11

Qty.	No.	Size	Type	Grids/Pattern	Screen	Remarks
	A	2'-8" x 4'-7" V/F	Casement	2 over 1	Y	EGRESS, Wide Center Rail
	B	2'-8" x 4'-7" V/F	Double Hung	2 over 1	Y	Material Existing
	C	2'-8" x 3'-2" V/F	Double Hung	3 over 1	Y	Tempered Glass
	D	3'-0" x 6'-0" V/F	Double Hung	2 over 1	Y	
	E	4'-0" x 6'-0" V/F	Double Hung	3 over 1	Y	
	F	2'-2" x 4'-0" V/F	Double Hung	2 over 1	Y	Mull to G
	G	3'-0" x 4'-0" V/F	Double Hung	3 over 1	Y	Mull to F
	H	1'-8" x 2'-10" V/F	Double Hung	2 over 1	Y	Mull to street side
	X	Existing Windows				Replace Screens as required. Clean and Lube Tracks

Notes
 Review AA Drawings prior to ordering
 Field Verify where shown as required.
 Manufacturer to provide cut sheets for review and owner approval PRIOR to fabrication.

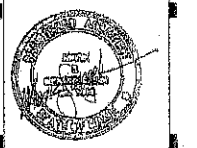
- MATERIAL LEGEND:**
- (A) 'ROLL SCREEN' RIDGE AIR VENT w/ SHINGLE CAP, INSECT SCREEN & 3" THROAT Min., TYP.
 - (C4) 4" VINYL CORNER BOARDS, TYP.
 - (C6) 6" VINYL CORNER BOARDS, TYP.
 - (D) PREFINISHED BROWN ALUM. DRIP EDGE, TYP.
 - (F) 'AZEK' - 1x3 OR 1x10 FASCIA BOARDS, TYP. U.G.N.
 - (R) 35 YR CERTANTIZED HATBARUS ASPHALT ROOFING SHINGLES ON 30# FELT w/ ICE & WATER SHIELD @ LOWER 3'-0", TYP.
 - (S) VINYL SIDING SYSTEM, TO MATCH EXIST. VINYL SIDING COLOR & EXPOSURE.
 - (T2) 2" VINYL WINDOW TRIM, TYP. U.G.N.
 - (T4) 4" VINYL WINDOW TRIM
 - (W) 'AZEK' 1x8 WATER TABLE

PERMIT SET 10-12-11



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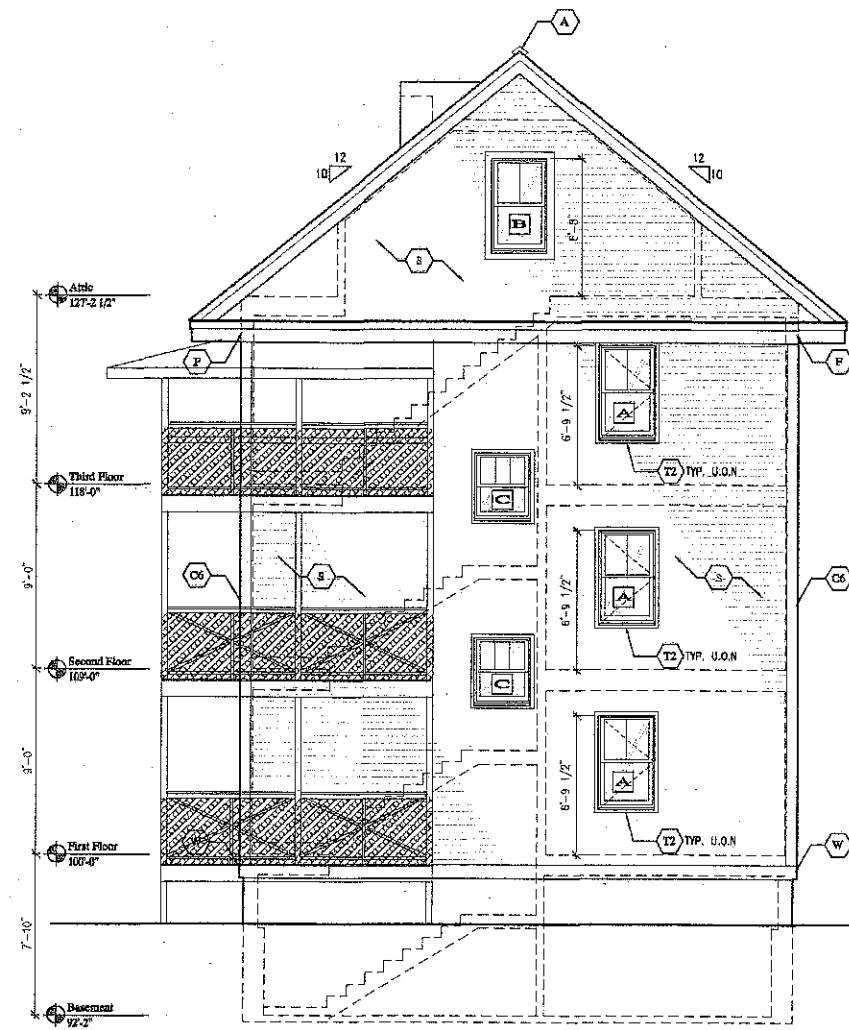


Walton Street 3 Unit
15 Walton Street
Portland Maine 04103

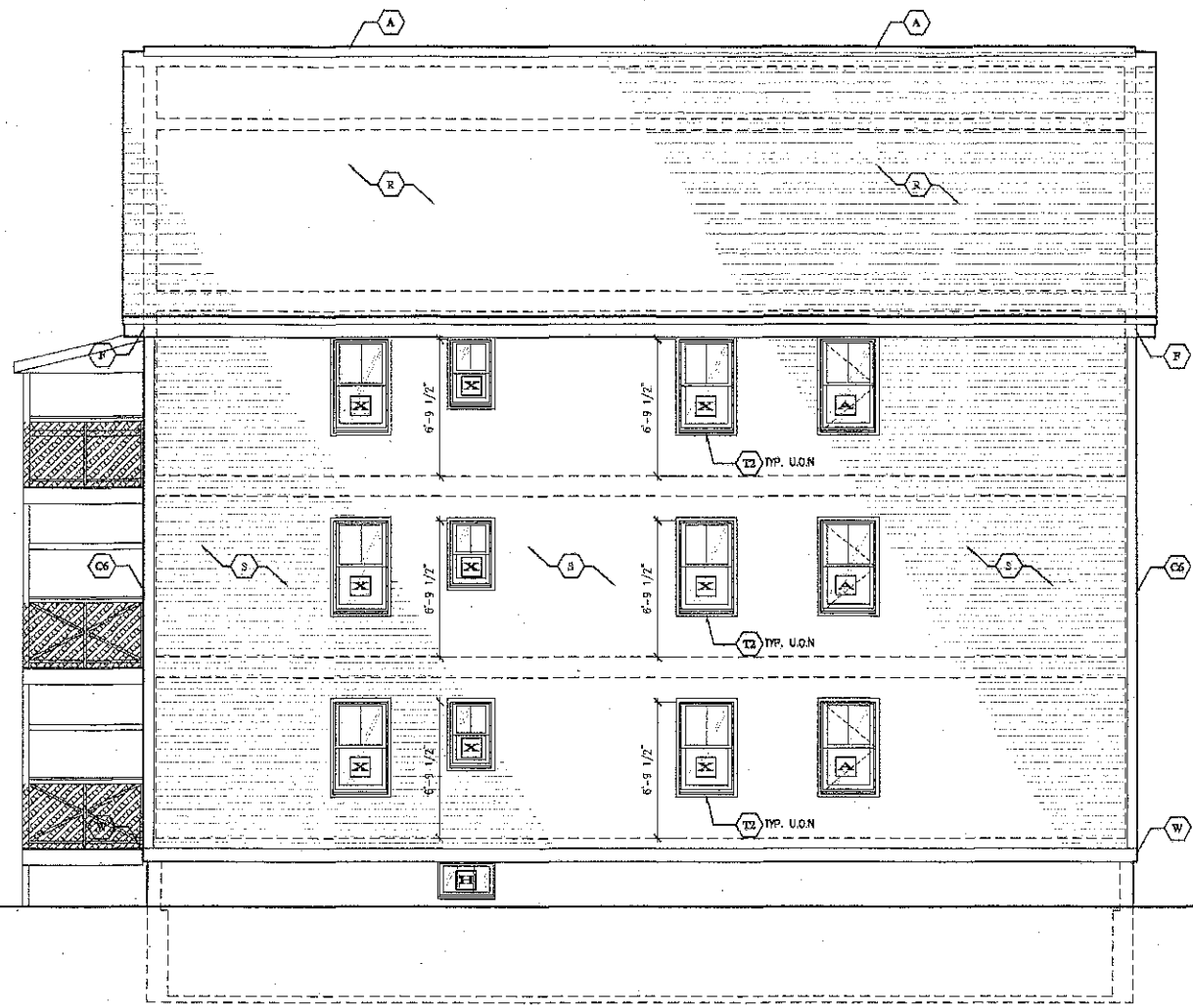
JOB: 11024

ISSUE DATE	
PRELIM	08-25-11
Perboard	Not Req'd
CD's	10-12-11
REV. 1	-
REV. 2	-
PRINT	10-12-11

EXTERIOR
ELEVATIONS
A2.2



REAR ELEVATION
SCALE: 1/4" = 1'-0"



SIDE ELEVATION
SCALE: 1/4" = 1'-0"

WINDOW SCHEDULE 15 Walton Street Portland 10-7-11

Glz. No.	Size	Type	Grille Pattern	Screen	Remarks
A	2'-6" x 4'-7" VIF	Casement	2 over	Y	EGRESS, Wide Center Rail
B	2'-6" x 4'-7" VIF	Double Hung	2 over	Y	Match Existing
C	2'-6" x 3'-2" VIF	Double Hung	3 over	Y	Tempered Glass
D	3'-0" x 5'-0" VIF	Double Hung	2 over	Y	
E	4'-0" x 5'-0" VIF	Double Hung	2 over	Y	
F	2'-2" x 4'-0" VIF	Double Hung	2 over	Y	Match to G
G	3'-0" x 4'-0" VIF	Double Hung	3 over	Y	Match to F
H	1'-6" x 2'-10" VIF	Double Hung	1 over	Y	Match at street side
X	Existing Windows				Replace Screens as required, Clean and Lube Tracks

Notes
Review AA Drawings prior to ordering
Field Verify where shown as required
Manufacturer to provide cut sheets for review and owner approval PRIOR to fabrication.

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 - (R) 35 YR CERTAINTED MATARUS ASPHALT ROOFING SHINGLES ON JDE FELT w/ ICE & WATER SHIELD @ LOWER 3'-0", TYP.
 - (S) VINYL SIDING SYSTEM, TO MATCH EXIST. VINYL SIDING COLOR & EXPOSURE
 - (T2) 2" VINYL WINDOW TRIM, TYP. U.G.N.
 - (T4) 4" VINYL WINDOW TRIM
 - (W) 'AZEK' 1x6 WATER TABLE

PERMIT SET 10-12-11