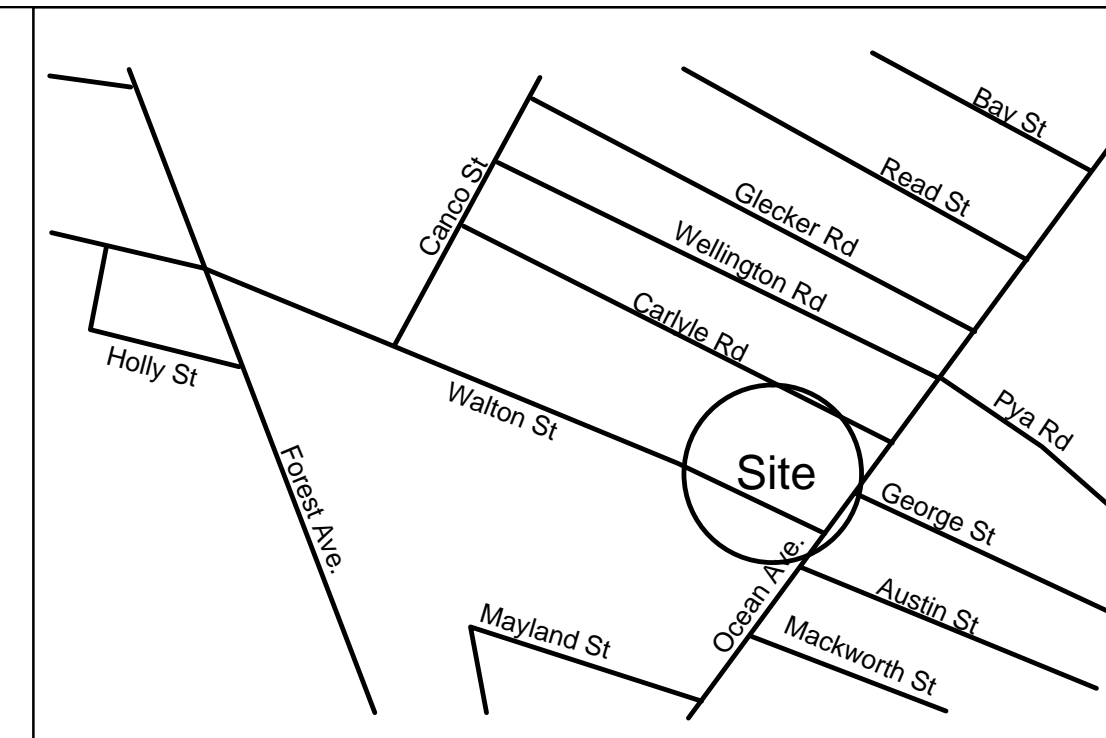


LEGEND

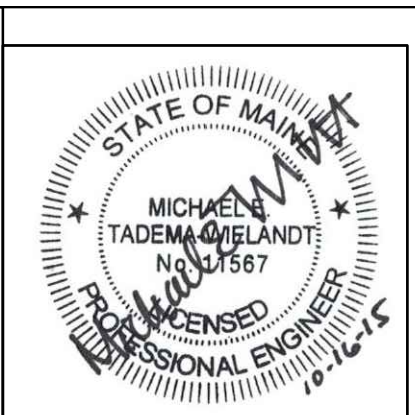
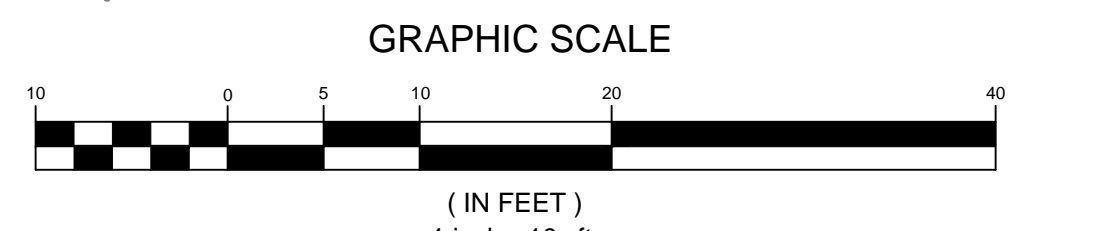
---	EXISTING PROPERTY LINE
---	ROAD CENTERLINE
---	EXISTING SETBACK LINE
---	EXISTING EASEMENT
---	PROPOSED EASEMENT
---	PROPOSED UNDERGROUND ELECTRIC
---	100' WELL EXCLUSION ZONE LINE
---	PROPOSED CONTOUR
---	EXISTING STORMDRAIN
---	PROPOSED STORMDRAIN
---	EXISTING EDGE OF PAVEMENT
---	EXISTING EDGE OF GRAVEL
---	PROPOSED EDGE OF GRAVEL
---	SILT FENCE
---	EXISTING UTILITY POLE
---	EXISTING SIGN
---	PROPOSED SIGN
---	PROPOSED HYDRANT
---	PROPOSED BUILDING
---	PROPOSED PAVEMENT



LOCATION MAP
N.T.S.

GENERAL NOTES:

1. APPLICANT/RECORD OWNER IS MZ PROPERTIES, LLC, WHOSE ADDRESS IS 126 UNDERWOOD ROAD, FALMOUTH, ME 04105, AS RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 29670, PAGE 41 AND PLAN BOOK 29703, PAGE 220.
 2. THE PARCEL IS LOCATED ON THE CITY OF PORTLAND TAX MAP 140, LOT C21.
 3. TOTAL AREA OF THE PARCEL IS 7,919 S.F. +/-
 4. THE ON-SITE SOIL TYPE IS BUXTON SILT LOAM.
 5. PARCEL IS LOCATED IN THE R-5 RESIDENTIAL ZONE. PROPOSED STRUCTURES TO BE LOCATED WITHIN GRANDFATHERED BUILDING SETBACKS, AS SHOWN ON THE PLAN.
- DIMENSIONAL REQUIREMENTS:**
- | | |
|-----------------------|---------------------|
| MINIMUM LOT SIZE: | 6,000 S.F. |
| FRONT SETBACK: | 20 FEET |
| REAR SETBACK: | 20 FEET |
| SIDE SETBACK: | 14 FEET (2 STORIES) |
| MAX. BUILDING HEIGHT: | 35 FEET |
6. BUILDING SIZE AND LOCATION BASED ON INFORMATION PROVIDED ON PLANS PREPARED BY BILD ARCHITECTURE, INC., WHOSE ADDRESS IS PO BOX 8235, PORTLAND, ME 04104. ISSUE DATE: 02-13-15.
 7. SURVEY INFORMATION PROVIDED BY R.W. EATON ASSOCIATES, INC. ALL INFORMATION BASED UPON THE PLAN ENTITLED "BOUNDARY SURVEY & TOPOGRAPHIC SITE PLAN (OF) LAND LOCATED AT 15 WALTON STREET, PORTLAND, MAINE 04102" DATED 03-14-15.
 8. SITE ENGINEERING PROVIDED BY TERRADYN CONSULTANTS, LLC, PO BOX 339, NEW GLOUCESTER, MAINE.
 9. THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE DEVELOPER OR THEIR AGENTS. NOTIFY DIG-SAFE A MINIMUM OF 72 HOURS PRIOR TO EXCAVATING FOR CONSTRUCTION.
 10. EXISTING TREES ON THE LOT ARE TO BE RETAINED TO MAINTAIN THE CITY'S REQUIRED STREET TREE NUMBERS PER LOT. THESE TREES ARE SUBSTANTIAL IN SIZE AND MEET THE MINIMUM REQUIREMENTS FOR STREET TREES.



NO.	DATE	REVISIONS	BY
4	10-16-15	REVISED FINISHED FLOOR ELEVATION PER ARCHITECT REQUEST	MTW
3	06-22-15	REVISED DIMENSIONS FROM HOUSE TO PROPERTY LINE	MTW
2	05-31-15	REVISED PER REVIEW COMMENTS	JHW
1	05-18-15	ADDED 2ND AND 3RD STORY DECK OUTLINE	JHW
			APPD

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Fax: (207) 221-1317
www.terradynconsultants.com



SHEET DESCRIPTION	
SITE / GRADING & UTILITY PLAN	
15 WALTON STREET	
PORTLAND, MAINE	
PREPARED FOR	MZ PROPERTIES, LLC
126 UNDERWOOD ROAD	
FALMOUTH, ME 04105	
JOB NO.	1521
DATE	04-07-15
SCALE	1"=10'
SHEET	1 OF 2