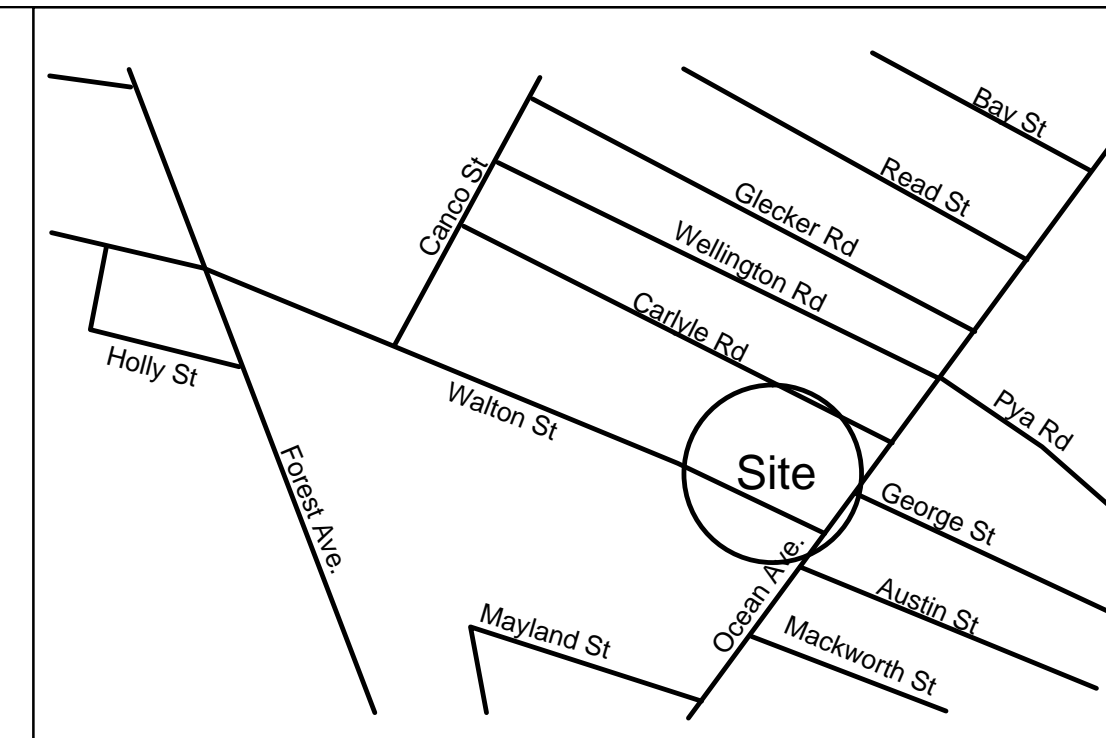


**LEGEND**

	EXISTING PROPERTY LINE
	ROAD CENTERLINE
	EXISTING SETBACK LINE
	EXISTING EASEMENT
	PROPOSED EASEMENT
	PROPOSED UNDERGROUND ELECTRIC
	100' WELL EXCLUSION ZONE LINE
	PROPOSED CONTOUR
	EXISTING STORMDRAIN
	PROPOSED STORMDRAIN
	EXISTING EDGE OF PAVEMENT
	EXISTING EDGE OF GRAVEL
	PROPOSED EDGE OF GRAVEL
	SILT FENCE
	EXISTING UTILITY POLE
	EXISTING SIGN
	PROPOSED SIGN
	PROPOSED HYDRANT
	PROPOSED BUILDING
	PROPOSED PAVEMENT



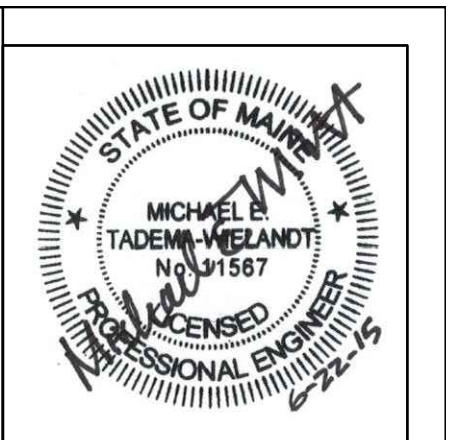
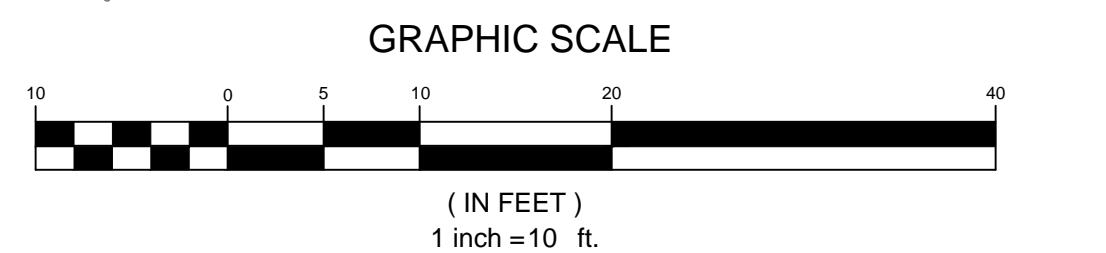
**LOCATION MAP**  
N.T.S.

**GENERAL NOTES:**

1. APPLICANT/RECORD OWNER IS MZ PROPERTIES, LLC, WHOSE ADDRESS IS 126 UNDERWOOD ROAD, FALMOUTH, ME 04105, AS RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 29670, PAGE 41 AND PLAN BOOK 29703, PAGE 220.
2. THE PARCEL IS LOCATED ON THE CITY OF PORTLAND TAX MAP 140, LOT C21.
3. TOTAL AREA OF THE PARCEL IS 7,919 S.F. +/-
4. THE ON-SITE SOIL TYPE IS BUXTON SILT LOAM.
5. PARCEL IS LOCATED IN THE R-5 RESIDENTIAL ZONE. PROPOSED STRUCTURES TO BE LOCATED WITHIN GRANDFATHERED BUILDING SETBACKS, AS SHOWN ON THE PLAN.
 

**DIMENSIONAL REQUIREMENTS:**

MINIMUM LOT SIZE:	6,000 S.F.
FRONT SETBACK:	20 FEET
REAR SETBACK:	20 FEET
SIDE SETBACK:	14 FEET (2 STORIES)
MAX. BUILDING HEIGHT:	35 FEET
6. BUILDING SIZE AND LOCATION BASED ON INFORMATION PROVIDED ON PLANS PREPARED BY BILD ARCHITECTURE, INC., WHOSE ADDRESS IS PO BOX 8235, PORTLAND, ME 04104. ISSUE DATE: 02-13-15.
7. SURVEY INFORMATION PROVIDED BY R.W. EATON ASSOCIATES, INC. ALL INFORMATION BASED UPON THE PLAN ENTITLED "BOUNDARY SURVEY & TOPOGRAPHIC SITE PLAN (OF) LAND LOCATED AT 15 WALTON STREET, PORTLAND, MAINE 04102" DATED 03-14-15.
8. SITE ENGINEERING PROVIDED BY JON H. WHITTEN, JR., P.E. #10414 OF TERRADYN CONSULTANTS, LLC WHOSE ADDRESS IS PO BOX 339, NEW GLOUCESTER, MAINE.
9. THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE DEVELOPER OR THEIR AGENTS. NOTIFY DIG-SAFE A MINIMUM OF 72 HOURS PRIOR TO EXCAVATING FOR CONSTRUCTION.
10. EXISTING TREES ON THE LOT ARE TO BE RETAINED TO MAINTAIN THE CITY'S REQUIRED STREET TREE NUMBERS PER LOT. THESE TREES ARE SUBSTANTIAL IN SIZE AND MEET THE MINIMUM REQUIREMENTS FOR STREET TREES.



NO.	DATE	REVISIONS	BY
3	06-22-15	ADDED DIMENSIONS FROM HOUSE TO PROPERTY LINE	MTW
2	05-31-15	REVISED PER REVIEW COMMENTS	JHW
1	05-18-15	ADDED 2ND AND 3RD STORY DECK OUTLINE	JHW
			APPD

P.O. Box 339  
111 Elderberry Lane  
New Gloucester, ME 04260  
Office: (207) 926-5111  
Fax: (207) 221-1317  
www.terradynconsultants.com

**TERRADYN CONSULTANTS, LLC**  
Civil Engineering - Land Planning - Stormwater Design - Environmental Permitting

SHEET DESCRIPTION	
SITE / GRADING & UTILITY PLAN	
15 WALTON STREET PORTLAND, MAINE	
PREPARED FOR	MZ PROPERTIES, LLC
126 UNDERWOOD ROAD FALMOUTH, ME 04105	
JOB NO.	SHEET
1521	1
DATE	OF
04-07-15	2
SCALE	
1"=10'	